



ITEM NO 2 of 3
MEETING
DATE January 24, 2018
STAFF Kai Kleer

ADMINISTRATIVE HEARING OFFICER

STAFF REPORT

PROJECT: FTC Unify SC-1, PDP170022

APPLICANT: LRK Consulting
Ryan Sagar
1196 Grant Street
Suite 313
Denver, CO 80203

OWNER: Pickle Juice LLC
185 North College Avenue
Fort Collins, CO 80524

PROJECT DESCRIPTION:

This is a request for a Project Development Plan (PDP) to install wireless telecommunication equipment concealed within an eight-foot eight-inch faux chimney on an existing two-story building. The site is located at located at 185 North College Avenue in the Downtown (D) zone district. The use is permitted in the zone district, subject to approval by a Hearing Officer.

RECOMMENDATION: Staff recommends approval of the FTC Unify SC-1 Wireless Telecommunication Equipment, PDP170022.

EXECUTIVE SUMMARY:

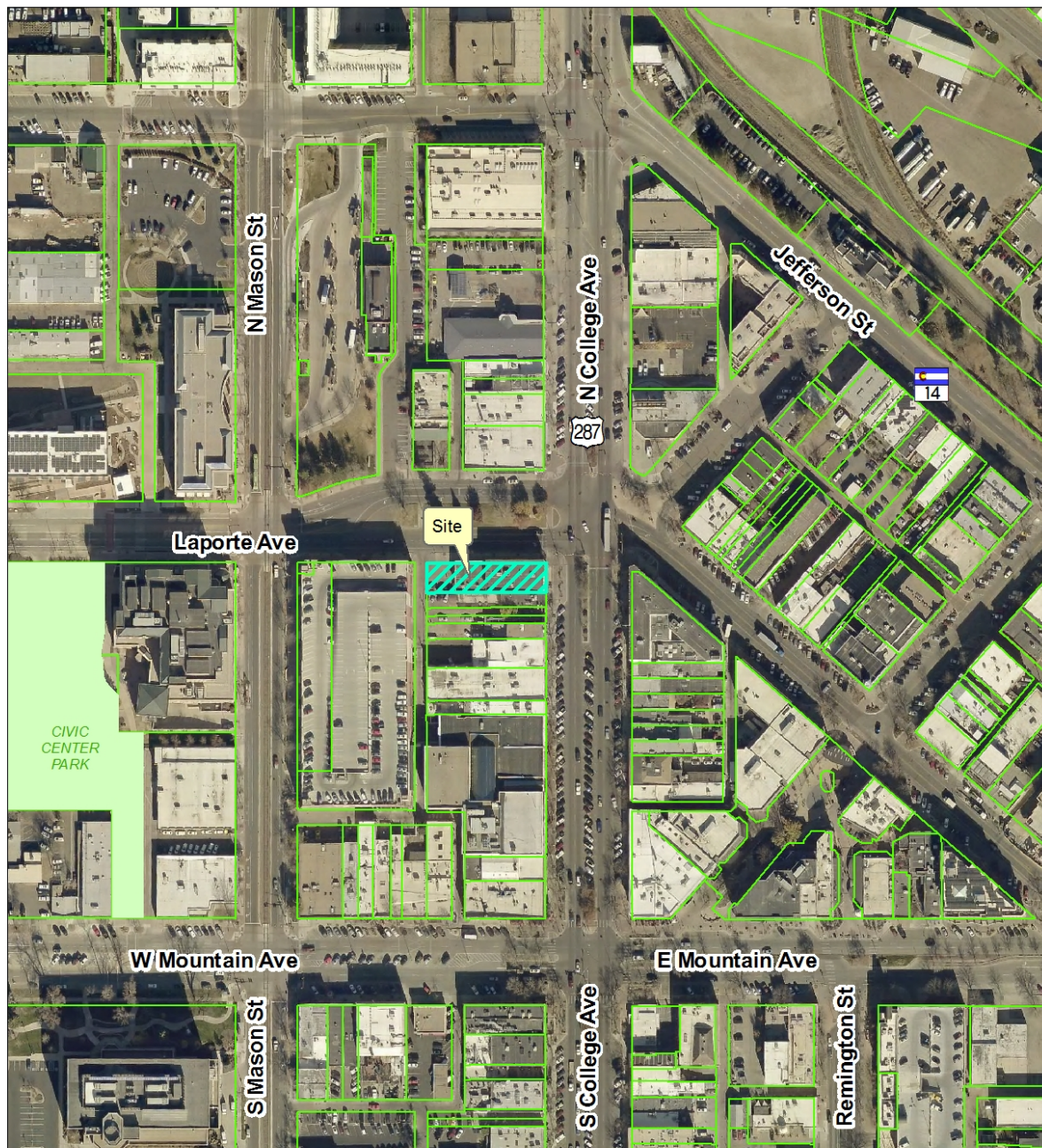
Staff finds the proposed FTC Unify SC-1 Project Development Plan complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The Project Development Plan complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Project Development Plan complies with relevant standards of Article 3 – General Development Standards.

- The Project Development Plan complies with relevant standards located in Division 4.16 – Downtown (D) of Article 4 – Districts.

VICINITY MAP

FTC Unify SC-1 - PDP170022 185 N College Ave



0 105 210 420 Feet



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COMMENTS:

1. Background

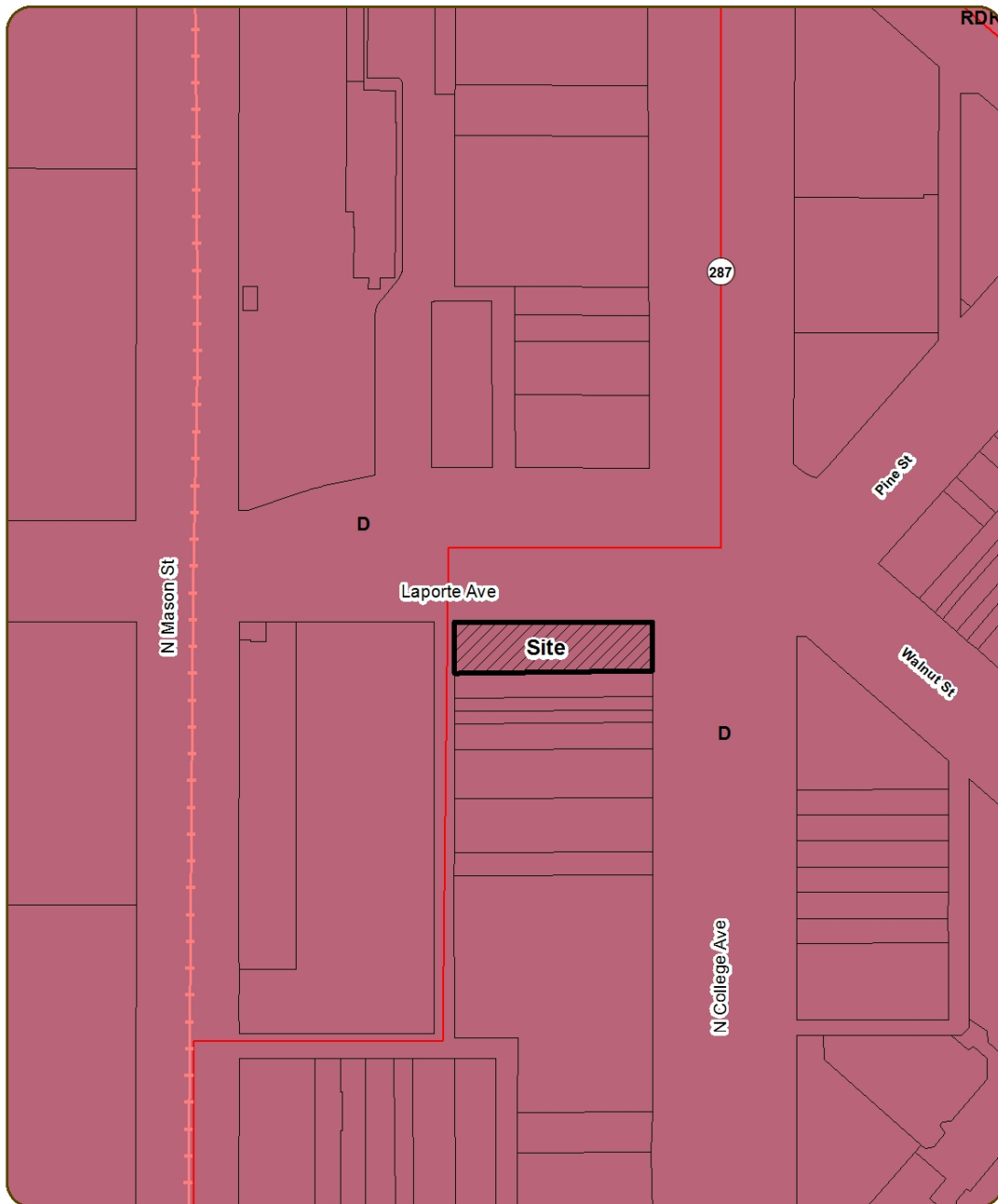
The surrounding zoning and land uses to each side of the project site are as follows:

Direction	Zone District	Existing Land Uses
North	Downtown (D)	Restaurant (Beau Jo's)
South	Downtown (D)	Restaurant (Moe's Original Bar B Que)
East	Downtown (D)	Mixed-use dwellings, (Starbucks, Darvier Jewelry, Butter Cream Cupcakery, Northern Hotel Apartments)
West	Downtown (D)	Parking Garage (Civic Center Parking Structure)

The site is located within Block 21 of the Original Town Site Plat on Lots 22 and 23. The Plat was established and incorporated on February 3, 1873. Currently, the site contains a two-story building built in 1999. The building comprises of two professional offices and the Pueblo Viejo Mexican restaurant.

A zoning map is presented on the following page.

Map s: FTC Unify SC-1, Zoning Map



FTC Unify SC-1 Zoning Map

1 inch = 125 feet



2. Compliance with Article 4 of the Land Use Code – Downtown zone district:

The project complies with all applicable Article 4 standards as follows:

A. Section 4.16(B)(2)(E) – Permitted Uses

Wireless telecommunication equipment is a permitted use in the Downtown zone district, and within the Civic Center Subdistrict is subject to Administrative (Type 1) review. The project proposes the installation of an eight-foot eight-inch faux chimney that contains a single wireless telecommunication antenna.

3. Compliance with Article 3 of the Land Use Code – General Development Standards:

Article 3 includes additional standards specific to wireless telecommunication facilities and equipment. Compliance with these standards is described in detail below:

A. Section 3.8.13 – Wireless Telecommunication

3.8.13(B) – Co-location

To reduce the impact of multiple carriers siting wireless telecommunication equipment in more than one location, no facility or equipment owner or lessee or employee thereof shall act to exclude or attempt to exclude any other wireless telecommunication provider from using the same building, structure or location.

The proposed plan contains notes indicating that owners and employees shall cooperate to achieve future co-location efforts.

3.8.13(C)(3) – Wireless Telecommunication Equipment

Wireless telecommunication equipment must be of the same color as the building or structure to which or on which such equipment is mounted.

The proposed project does not indicate that any wireless telecommunication equipment will be visible from public view, however, notes have been added to the proposed wall-mounted ladders so that they are painted to match the color of the building.

Whenever a wireless telecommunication antenna is attached to a building roof, the height of the antenna must not be more than fifteen (15) feet over the height of the building.

The proposed height of the faux chimney is eight-feet eight-inch over the height of the building. The proposal therefore does not exceed the maximum height limit of 15 feet.

All wireless telecommunication equipment must be located as far from the edge of the roof as possible. Even if the building is constructed at or above the building height limitations contained in Section 3.8.17, the additional fifteen (15) feet is permissible.

The proposed wireless antenna works on a line-of-sight basis and because of this, the applicant proposes an eight-foot eight-inch chimney with a 10-foot setback. The applicant asserts that the proposed location is the best way to limit the impact of the concealment while also keeping in context with other typical rooftop elements found throughout downtown.

Whenever wireless telecommunication equipment is mounted to the wall of a building or structure, the equipment must be mounted in a configuration as flush to the wall as technically possible and must not project above the wall on which it is mounted. Such equipment must, to the maximum extent feasible, also feature the smallest and most discreet components that the technology will allow so as to have the least possible impact on the architectural character and overall aesthetics of the building or structure. Roof and ground-mounted wireless telecommunication equipment must be screened by parapet walls or screen walls in a manner compatible with the building's design, color and material.

The proposed project conceals all associated wireless equipment accessory to the antenna behind and below the existing parapet wall. The wireless antenna is concealed within the faux chimney and features a stucco finish, chimney cap and spark arrestor that are consistent with the buildings design.

3.8.13(C)(8) – Color

Telecommunication equipment must be painted to match as closely as possible the color and texture of the wall, building or surrounding built environment. Muted colors, earth tones and subdued colors must be used.

Notes for all items associated with this proposal and within public view have been added to the plan to ensure that colors match the existing building.

4. Findings of Fact/Conclusion:

In evaluating the request for the FTC Unify SC-1, Wireless Telecommunication Equipment Project Development Plan, staff makes the following findings of fact:

- A. The FTC Unify SC-1 – Wireless Telecommunication Equipment Project Development Plan complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The FTC Unify SC-1 – Wireless Telecommunication Equipment Project Development Plan complies with the applicable standards located in Article 3 – General Development Standards.
- C. The FTC Unify SC-1 – Wireless Telecommunication Equipment Project Development Plan complies with the applicable standards in Division 4.16, Downtown District (D) of Article 4 – Districts.

RECOMMENDATION:

Staff recommends approval of the FTC Unify SC-1 – Wireless Telecommunication Equipment Project Development Plan, PDP170022.

ATTACHMENTS:

- 1. Applicant's Statement of Planning Objectives
- 2. FTC Unify SC-1 Plan Set
 - a. Title Sheet
 - b. Photosimulation Views
 - c. Site Plan
 - d. Enlarged Site Plan
 - e. Elevations
 - f. Line of Site Elevations
 - g. Faux Chimney Detail
 - h. Construction Details

June 26, 2017

Wireless-Telecommunications Equipment (Co-location) Review: Planning Objectives
FTC Unify SC1 located at 185 North College Ave, Parcel ID# 9711470003

My client, Verizon Wireless, wishes to submit an application for Wireless-Telecommunications Equipment that will be located on top of a two-story building along College Avenue and in the heart of Downtown Fort Collins. The installation of this new equipment will provide critical 4G-LTE voice and data services to a location with increasingly higher pedestrian and vehicular traffic.

Specifically, my client proposes the installation of the following equipment:

- An Omni-directional antenna located inside a new square chimney structure. The total height of the new chimney is 8'-8" above the existing roof height and shall be painted to match the color of the main building.
- Remote Radio Heads (RRHs) and an Over-Voltage Protection Units (OVPs) placed behind the building's existing parapet wall. The RRHs are meant to limit line loss to the radio equipment, while the OVP is installed to protect the rooftop equipment from electrical surges. This equipment will not be visible from public view.
- Ladders to access the first and second floor rooftop of the building.
- A Fiber Vault located near the property line in the northwest corner of the property.
- Cabling from utility sources to rooftop equipment within new cable trays.

In accordance with the Communications and Technology section of the City Comprehensive Plan, this new wireless equipment will provide citizens access to high-quality wireless service in a part of downtown that faces significant capacity demands. Access to this improved service will continue to be a critical component for community interactions as well as economic growth now that 4G-LTE has become widely utilized.

Furthermore, this design carefully took into consideration and meets the standards as outlined in Paragraph C, Subsections 3, 8, and 15 in Chapter 3.8.13 of the Municipal Code. Please let me know if there is anything else I can provide you with to aid in the review of this project. I look forward to working with your department as Verizon Wireless continues to invest in reliable, fast, and strong wireless services in the City of Fort Collins.

Sincerely,



Senior Site Acquisition Consultant, LRK Consulting LLC
1196 Grant Street, Unit 313, Denver, CO 80203
mrsagar45@gmail.com
219-477-0099



FTC UNIFY SC 01
SMALL CELL NSB
185 N COLLEGE AVENUE
FORT COLLINS, COLORADO 80524
ZONING DRAWINGS

verizon
3131 SOUTH VAUGHN WAY #500
AURORA, COLORADO 80014
(303) 873-2652

AeroSolutions LLC
Optimizing Your Wireless Infrastructure
5555 CENTRAL AVENUE #100
BOULDER, COLORADO 80301
PH: (720) 304-6882
FAX: (720) 304-6883

AERO PROJECT #: 097-16-0125

REVISION SCHEDULE			
M	01-05-18	GAC	REV M
L	12-15-17	GAC	REV L
K	10-30-17	LCW	REV K
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I	09-25-17	RPH	REV I
H	09-13-17	RPH	REV H
G	08-17-17	RPH	REV G
F	08-09-17	KRC	REV F
REV	DATE	BY	DESCRIPTION

DRAWING TITLE:

TITLE SHEET

DRAWING SHEET:

T-1

SHEET NUMBER:

1 OF 8

SITE INFORMATION:

SITE NAME:
FTC UNIFY SC 01

SITE ADDRESS:
185 N. COLLEGE AVE
FORT COLLINS, CO
80524

JURISDICTION:
CITY OF FORT COLLINS

SITE DIRECTIONS

DEPART 3131 S VAUGHN WAY, AURORA, CO 80014:
FROM SOUTH VAUGHN WAY, MERGE ONTO I-225 N, TAKE EXIT 12A TO MERGE ONTO I-70 W. KEEP RIGHT AT THE FORK TO CONTINUE ON I-270 W. TAKE EXIT 0 TO MERGE ONTO I-25 N TOWARDS FORT COLLINS. TAKE EXIT 289 TO MERGE ONTO CO-14 W/E MULBERRY STREET TOWARD FORT COLLINS. TURN RIGHT ONTO RIVERSIDE AVENUE. CONTINUE ONTO JEFFERSON STREET. SHARP LEFT ONTO N COLLEGE AVENUE. SITE WILL BE ON YOUR RIGHT.

LEGAL DESCRIPTION

LOT 22 AND 23, BLOCK 21
CITY OF FORT COLLINS, LARIMER COUNTY, COLORADO

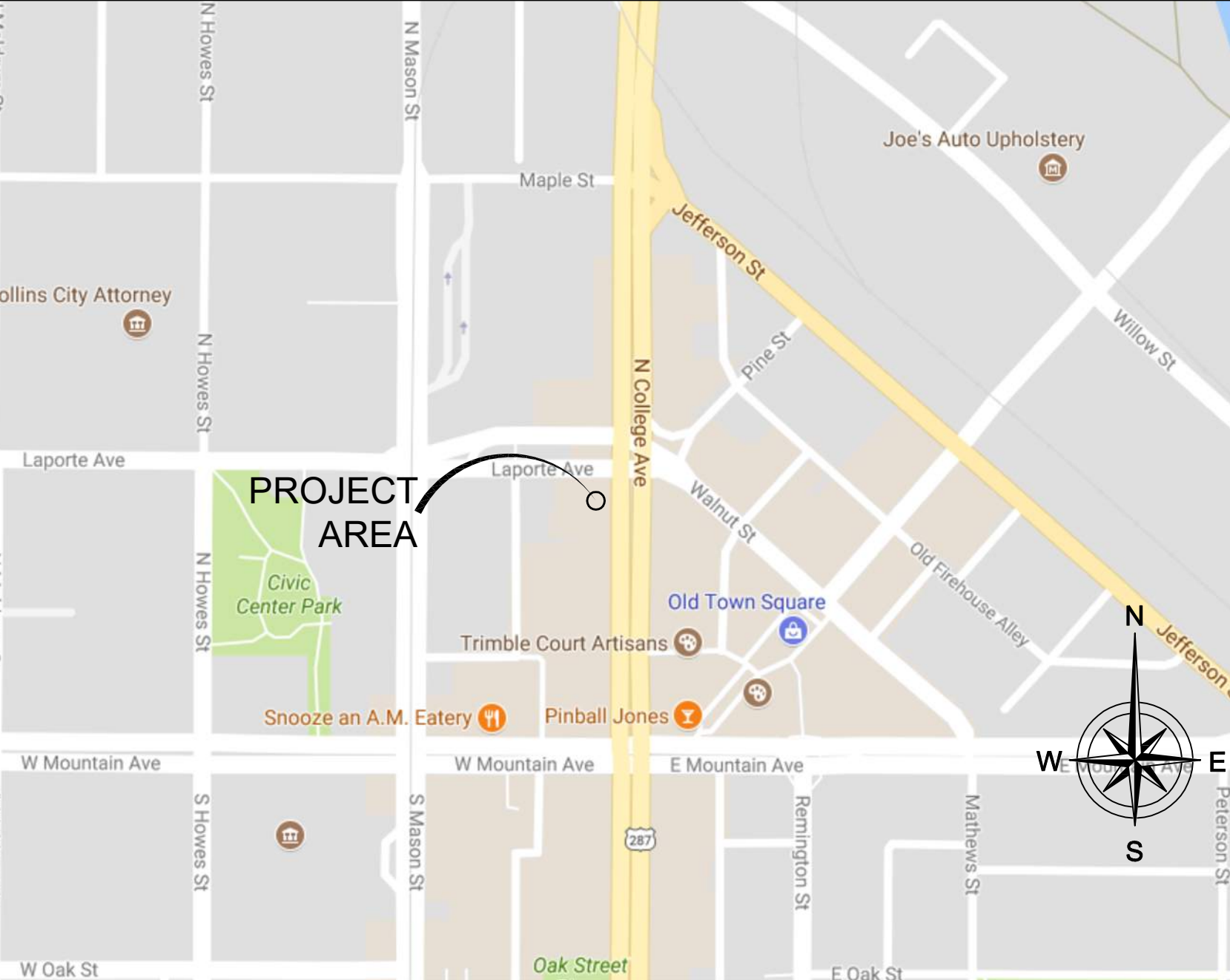
CLIENT

VERIZON WIRELESS REAL ESTATE
3131 S. VAUGHN WAY #550
OVERLAND PARK, KS 66211
CONTACT: JENNIFER THOMAS SCHNEIDER
PHONE: 913-344-2030

PROPERTY OWNER

PICKLE JUICE, LLC
185 N COLLEGE AVE
FORT COLLINS, CO 80524
CONTACT: DAVID FRY
PHONE: 970-484-9555

VICINITY MAP



FORT COLLINS, COLORADO

CONSTRUCTION MANAGER

VERIZON WIRELESS
3131 S. VAUGHN WAY #550
AURORA, CO 80014
CONTACT: JASON SHELLEDY
PHONE: 970-646-1283

RF ENGINEER

VERIZON WIRELESS
3131 S. VAUGHN WAY #550
AURORA, CO 80014
CONTACT: RAM NANDIRAJU
EMAIL: Ram.Nandiraju@verizonwireless.com

SITE ACQUISITION

LRK CONSULTING
1196 GRANT ST. UNIT 313
DENVER, CO 80203
CONTACT: RYAN SAGAR
PHONE: 219-477-0099

ENGINEER

AERO SOLUTIONS, LLC
5555 CENTRAL AVE #100
BOULDER, CO 80301
CONTACT: MATT FLECK
PHONE: 720-279-8973

PROJECT DATA

JURISDICTION: CITY OF FT. COLLINS
ZONING: D-DOWNTOWN DISTRICT
APN: 97123-17-922
PARCEL SIZE: 14244 S.F.
ELEVATION: 4983' (NAVD 88)
SITE COORDINATES: N 40° 35' 19.43" (NAD 83)
W 105° 04' 38.78" (NAD 83)
STRUCTURE TYPE: BUILDING
STRUCTURE HEIGHT: 35'-8"± (TOP OF PARAPET)
ANTENNA RAD CENTER: 41'-0" AGL

APPLICANT: VERIZON WIRELESS
APPLICANT CONTACT: JENNIFER THOMAS SCHNEIDER
10740 NALL AVE. STE 400
OVERLAND PARK, KS 66211
PH: 913-344-2030
ENGINEERING: AERO SOLUTIONS, LLC
ENGINEERING CONTACT: MATT FLECK
5555 CENTRAL AVENUE #100
BOULDER, COLORADO 80301
PH: 720-279-8973

CODE ANALYSIS

BUILDING CODE: IBC 2012 (W/ LOCAL AMMENDMENTS)
ELECTRICAL CODE: NEC 2014
FIRE SAFETY CODE: NFPA-1 (2006)
USE GROUP: U - UTILITY
CONSTRUCTION TYPE: IIB

SHEET INDEX

T-1	TITLE SHEET
PH-1	PHOTOSIMULATION VIEWS
Z-1	SITE PLAN
Z-2	ENLARGED SITE PLAN
Z-3	ELEVATIONS
Z-4	LINE OF SITE ELEVATIONS
Z-5	FAUX CHIMNEY DETAIL
Z-6	CONSTRUCTION DETAILS

PROJECT DESCRIPTION

1. INSTALL NEW EQUIPMENT ON ROOFTOP BEHIND EXISTING PARAPET WALL.
2. INSTALL (1) NEW CUSTOM NON-PENETRATING SLED MOUNT ON ROOFTOP NOT VISIBLE FROM STREET VIEW.
3. INSTALL (1) NEW FAUX CHIMNEY ATTACHED TO CUSTOM SLED MOUNT MOUNT WITH CONCEALED ANTENNA INSIDE (PAINTED TO MATCH SECOND FLOOR OF BUILDING).
4. INSTALL NEW FIBER VAULT FOR PROPOSED FIBER RUN ON STREET LEVEL.
5. RUN NEW FIBER AND POWER TO PROPOSED EQUIPMENT.
6. INSTALL NEW COAX CABLES.
7. INSTALL NEW LADDER WITH CAGE FROM GROUND TO LOWER ROOF WITH SMALL LADDER FROM TOP OF PARAPET TO LOWER ROOF(PAINTED TO MATCH WALL MOUNTED ON).
8. INSTALL NEW LADDER WITH CAGE FROM LOWER ROOF TO UPPER ROOF WITH TURNAROUND AND SMALL LADDER DOWN FROM TOP OF PARAPET TO UPPER ROOF.

APPROVALS

VERIZON (RF):	_____	DATE: _____
VERIZON (CONST.):	_____	DATE: _____
VERIZON (RE):	_____	DATE: _____
LANDLORD:	_____	DATE: _____



1 PH-1 N.T.S. PHOTOSIMULATION VIEW (BEFORE, LOOKING WEST)



2 PH-1 N.T.S. PHOTOSIMULATION VIEW (AFTER, LOOKING WEST)



3 PH-1 N.T.S. PHOTOSIMULATION VIEW (BEFORE, LOOKING NORTHWEST)



4 PH-1 N.T.S. PHOTOSIMULATION VIEW (AFTER, LOOKING NORTHWEST)

verizon
3131 SOUTH VAUGHN WAY #500
AURORA, COLORADO 80014
(303) 873-2652

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AERO PROJECT #: 097-16-0125

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G	08-17-17	RPH	REV G
F	08-09-17	KRC	REV F
REV	DATE	BY	DESCRIPTION

DRAWING TITLE:
PHOTOSIMULATION VIEWS

DRAWING SHEET:
PH-1

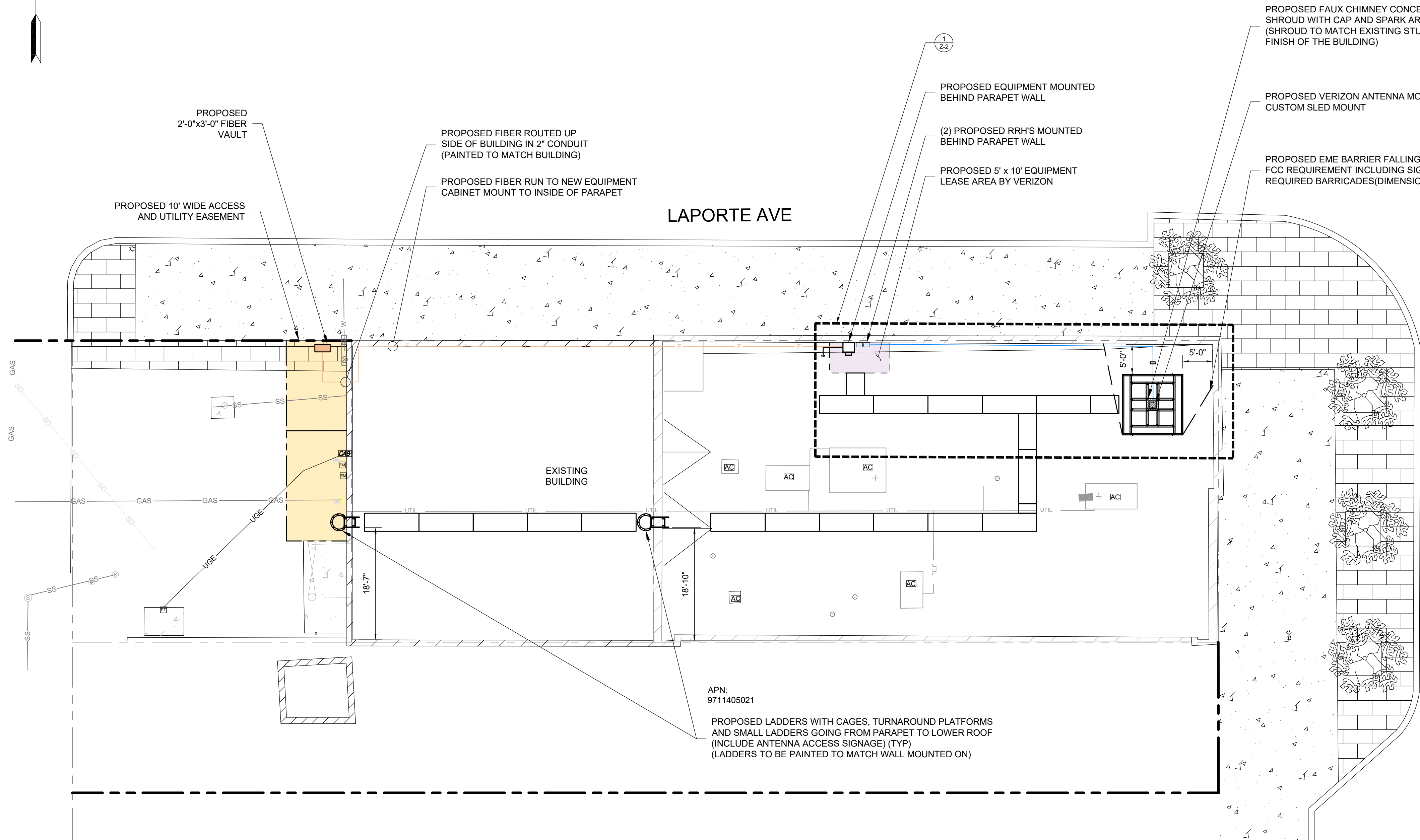
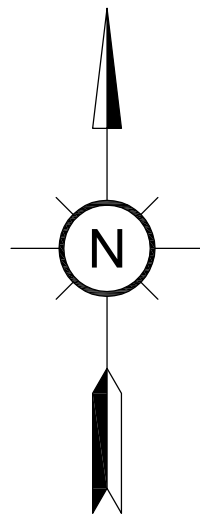
SHEET NUMBER:
2 OF 8

SITE INFORMATION:

SITE NAME:
FTC UNIFY SC 01

SITE ADDRESS:
**185 N. COLLEGE AVE
FORT COLLINS, CO
80524**

JURISDICTION:
CITY OF FORT COLLINS

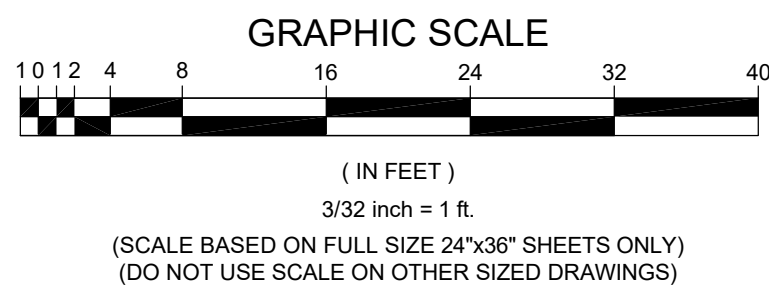


GENERAL NOTES:

1. THIS PLAN WAS PREPARED USING AN APPROVED SURVEY PLAN ENTITLED "BOUNDARY DETAIL" BY RLF CONSULTING, DATED 06/03/17.
2. THE PROPOSED FACILITY WILL CAUSE "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
3. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
4. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. (THERE IS NO HANDICAP ACCESS REQUIRED).
5. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
6. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
7. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE.
8. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.
9. ANY WORK ASSOCIATED WITH THE ROOFING MEMBRANE SUCH AS ANCHORAGE, CONDUIT PLACEMENT, ADDED ISOLATION PADS, ETC. MUST BE INSTALLED BY A ROOFER THAT IS APPROVED BY THE MANUFACTURER OF THE INSTALLED ROOF MEMBRANE.
10. NOTIFICATION OF DATE AND TIME SHALL BE MADE TO THE APPROPRIATE WALMART REPRESENTATIVES AGREED TO SUCH AS THE STORE MANAGER, CLIENT CONTACT AT WALMART HEADQUARTERS OR CONSTRUCTION MANAGER.
11. ACCESS SHALL BE MADE VIA PROPER AREAS EITHER THROUGH THE ROOF HATCH OR VIA THE JIB CRANE AREA.
12. FINAL WORK SHALL BE PROPERLY SEALED AND WATERTIGHT. ALL DEBRIS SHALL BE REMOVED FROM THE ROOF AND PHOTOGRAPHIC RECORD OF FINAL CONDITION OF THE ROOF SHALL BE SENT TO THE WALMART REPRESENTATIVE. NOTIFICATION OF COMPLETION OF WORK SHALL BE DONE VIA THE AGREED UPON CHANNELS OF COMMUNICATION.
13. RF SIGNAGE TO BE INSTALLED AT ANY/ALL ROOF ACCESS POINTS ON THE BUILDING.

VERIZON COLOR STANDARDS			
GRAY-EXISTING EASEMENT		ORANGE-FIBER	
PURPLE #1- LEASE AREA		TAN-ANTENNAS	
BLUE GRAY#1- ACCESS/UTILITY		RED-PENETRATIONS	
BLUE #1-HYBRID CABLES/COAX		UMBER-NEW WORK UTILITY EASEMENT	
BLUE #2-RRHS		GRAY-WALL HATCH	
GREEN-DC POWER		GREY-EXISTING	
LEGEND			
WATER LINE	W	STORM SEWER	SS
SANITARY SEWER	SS	UG ELECTRIC	UE
GAS LINE	GAS	ELECTRIC	E
FIBER LINE	F	OH TELCO	OT
OH ELECTRIC	OE	PROPERTY LINE	OT
UG ELECTRIC	UE	FENCE IRON	FI
FENCE CLF	Y	UG UTILITIES	UG
RIGHT OF WAY	Y	OH UTILITIES	OHU
WATER METER	WM	SIGNAGE	S
WATER VALVE	WV	CATCH BASIN	CB
IRRIGATION VALVE	IV	STORM MANHOLE	SM
SAN SEWER MH	SMH	POWER POLE	PP
TELCO MAN HOLE	TMH	TRAFFIC SIGNAL	TS
LIGHT POLE	LP	ELECTRIC VAULT	EV
ELEC PULL BOX	EPB	ELECTRIC CABINET	EC
ELECTRIC EQUIP	EE	ELECTRICAL XFMR	EX

1 SITE PLAN
Z-1 SCALE: 3/32"=1'-0"



AERO PROJECT #: 097-16-0125

REVISION SCHEDULE			
M	01-05-18	GAC	REV M
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REV	DATE	BY	DESCRIPTION

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SITE PLAN

DRAWING SHEET:

Z-1

SHEET NUMBER:

3 OF 8

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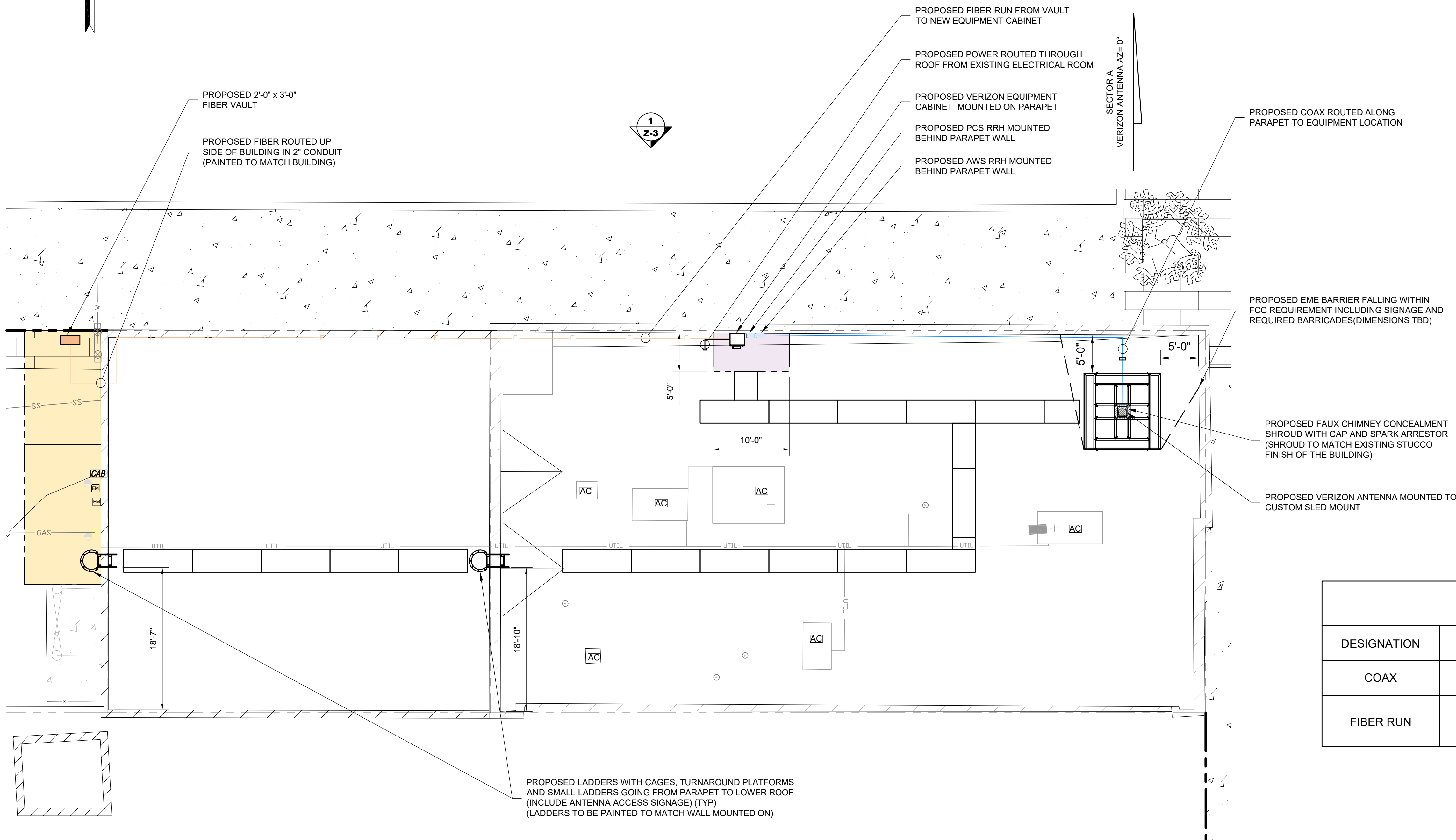
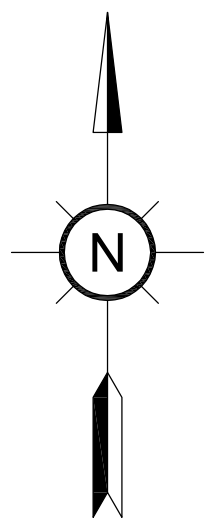
JURISDICTION:
CITY OF FORT COLLINS



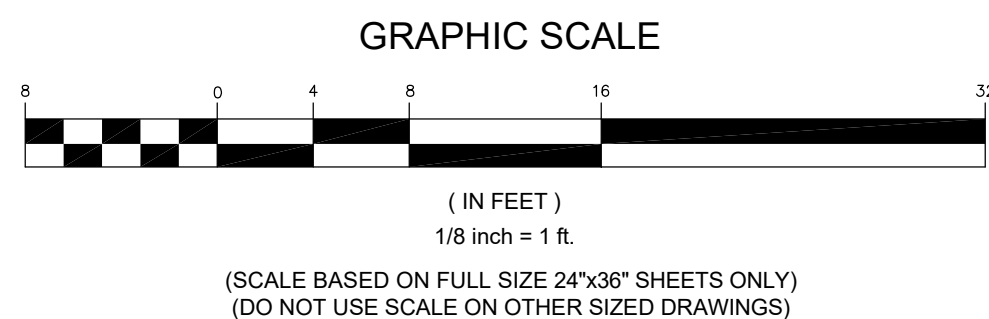
Know what's below.
Call before you dig.

PROTECT YOURSELF. ONE THREE
WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OCCUPATIONAL SAFETY AND HEALTH
ACT OF 1970 AND ALL RULES AND REGULATIONS
THERE TO APPURTENANT.



1
Z-2 **ENLARGED SITE PLAN**
SCALE: 1/8"=1'-0"



GENERAL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THIS PLAN WAS PREPARED USING AN APPROVED SURVEY PLAN ENTITLED "BOUNDARY DETAIL" BY RLF CONSULTING, DATED 02/22/17.
8. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
9. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
10. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (THERE IS NO HANDICAP ACCESS REQUIRED).
11. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
12. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. MOUNTS AND ANTENNAS ARE DESIGNED TO MEET TIA-222-G AS PER IBC 2015 REQUIREMENTS.
15. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
16. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
17. IF ANY PIPING EXISTS BENEATH THE SITE AREA, CONTRACTOR MUST LOCATE IT AND CONTACT OWNERS REPRESENTATIVE.

CABLE TABLE				
DESIGNATION	LENGTH	NO.	CONDUIT SIZE	TYPE
COAX	±70'	2	N/A	7/8" COAX
FIBER RUN	±170'	1	2"	FIBER IN CONDUIT 3-CELL PLENUM MAXCELL INNERDUCT

NOTES:

1. LENGTHS ARE ESTIMATES; CONTRACTOR AND/OR CONSTRUCTION MANAGER SHALL FIELD VERIFY ALL LENGTHS PRIOR TO ORDERING.
2. ALL AZIMUTHS SHOWN ARE RELATIVE TO TRUE NORTH, UNLESS NOTED OTHERWISE.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AZIMUTHS DEPICTED HEREIN WITH THE RF DEPARTMENT PRIOR TO INSTALLING ANY ANTENNAS.

verizon
3131 SOUTH VAUGHN WAY #500
AURORA, COLORADO 80014
(303) 873-2652

AeroSolutions LLC
Optimizing Your Wireless Infrastructure
5555 CENTRAL AVENUE #100
BOULDER, COLORADO 80301
PH: (720) 304-6882
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AERO PROJECT #: 097-16-0125

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G	08-17-17	RPH	REV G
F	08-09-17	KRC	REV F
REV	DATE	BY	DESCRIPTION

DRAWING TITLE:

**ENLARGED
SITE PLAN**

DRAWING SHEET:

Z-2

SHEET NUMBER:

4 OF 8

SITE INFORMATION:

SITE NAME:
FTC UNIFY SC 01

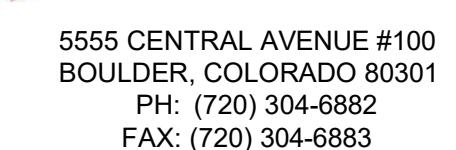
SITE ADDRESS:
**185 N. COLLEGE AVE
FORT COLLINS, CO
80524**

JURISDICTION:
CITY OF FORT COLLINS



**Know what's below.
Call before you dig.**

PROTECT YOURSELF. GIVE THREE
WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OCCUPATIONAL SAFETY AND HEALTH
ACT OF 1970 AND ALL RULES AND REGULATIONS
THERE TO APPURTENANT.



REVISION SCHEDULE

M	01-05-18	GAC	REV M
L	12-15-17	GAC	REV L
K	10-30-17	LOW	REV K
J	10-04-17	RPH	REV J
I	09-25-17	RPH	REV I
H	09-13-17	RPH	REV H
G	08-17-17	RPH	REV G
F	08-09-17	KRC	REV F
REV	DATE	BY	DESCRIPTION

ELEVATIONS

Z-3

5 OF 8

SITE NAME:
FTC UNIFY SC 01

SITE ADDRESS:
185 N. COLLEGE AVE
FORT COLLINS, CO
80524

JURISDICTION:
CITY OF FORT COLLINS



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CONSTRUCTION MUST BE DONE IN COMPLIANCE
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ACT OF 1970 AND ALL RULES AND REGULATIONS
THERE TO ADJUSTMENT



(IN FEET)

(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



AERO PROJECT #: 097-16-0125

REVISION SCHEDULE

M	01-05-18	GAC	REV M
L	12-15-17	GAC	REV L
K	10-30-17	LCW	REV K
J	10-04-17	RPH	REV J
I	09-25-17	RPH	REV I
H	09-13-17	RPH	REV H
G	08-17-17	RPH	REV G
F	08-09-17	KRC	REV F
REV	DATE	BY	DESCRIPTION

DRAWING TITLE:

LINE OF SITE
ELEVATIONS

DRAWING SHEET:

Z-4

SHEET NUMBER:

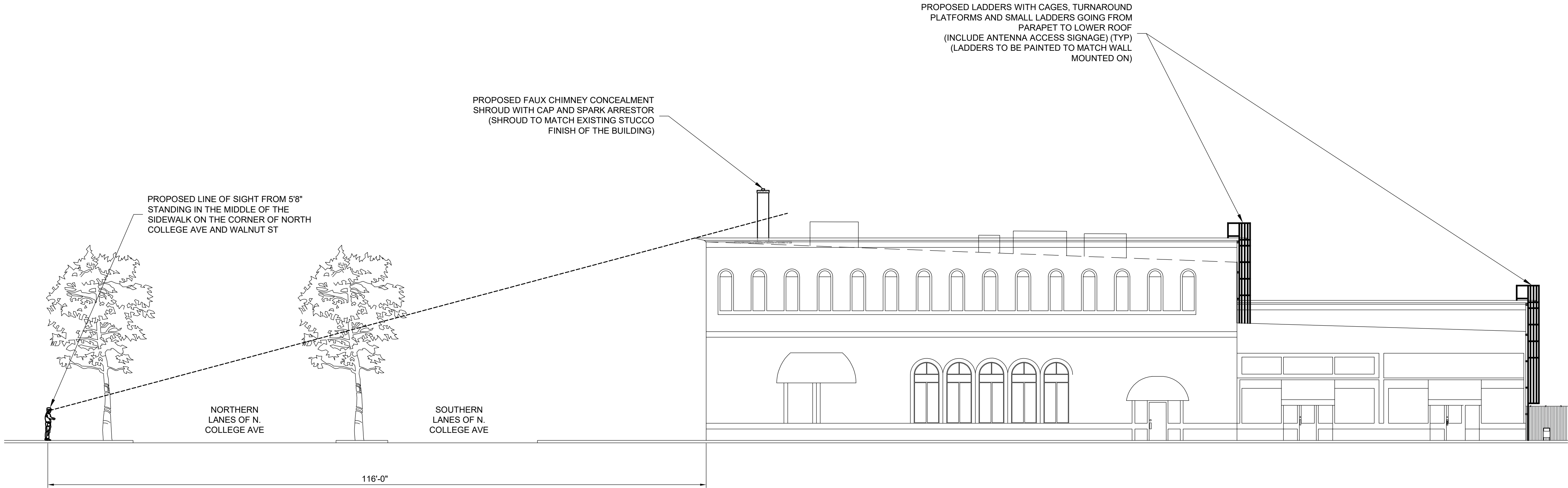
6 OF 8

SITE INFORMATION:

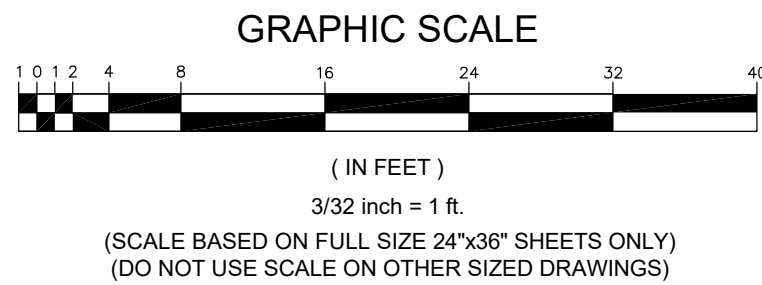
SITE NAME:
FTC UNIFY SC 01

SITE ADDRESS:
185 N. COLLEGE AVE
FORT COLLINS, CO
80524

JURISDICTION:
CITY OF FORT COLLINS



1
Z-4 **LINE OF SIGHT ELEVATION**
SCALE: 3/32"=1'-0"



NOTE:
THIS ELEVATION IS NOT DRAWN TO SCALE. IT IS A VISUAL REPRESENTATION OF HOW THE SITE WOULD APPEAR TO A 5' 8" PERSON STANDING ON THE SIDEWALK ON THE CORNER OF NORTH COLLEGE AVENUE AND WALNUT STREET.

2
Z-4 **PERSPECTIVE ELEVATION**
N.T.S.

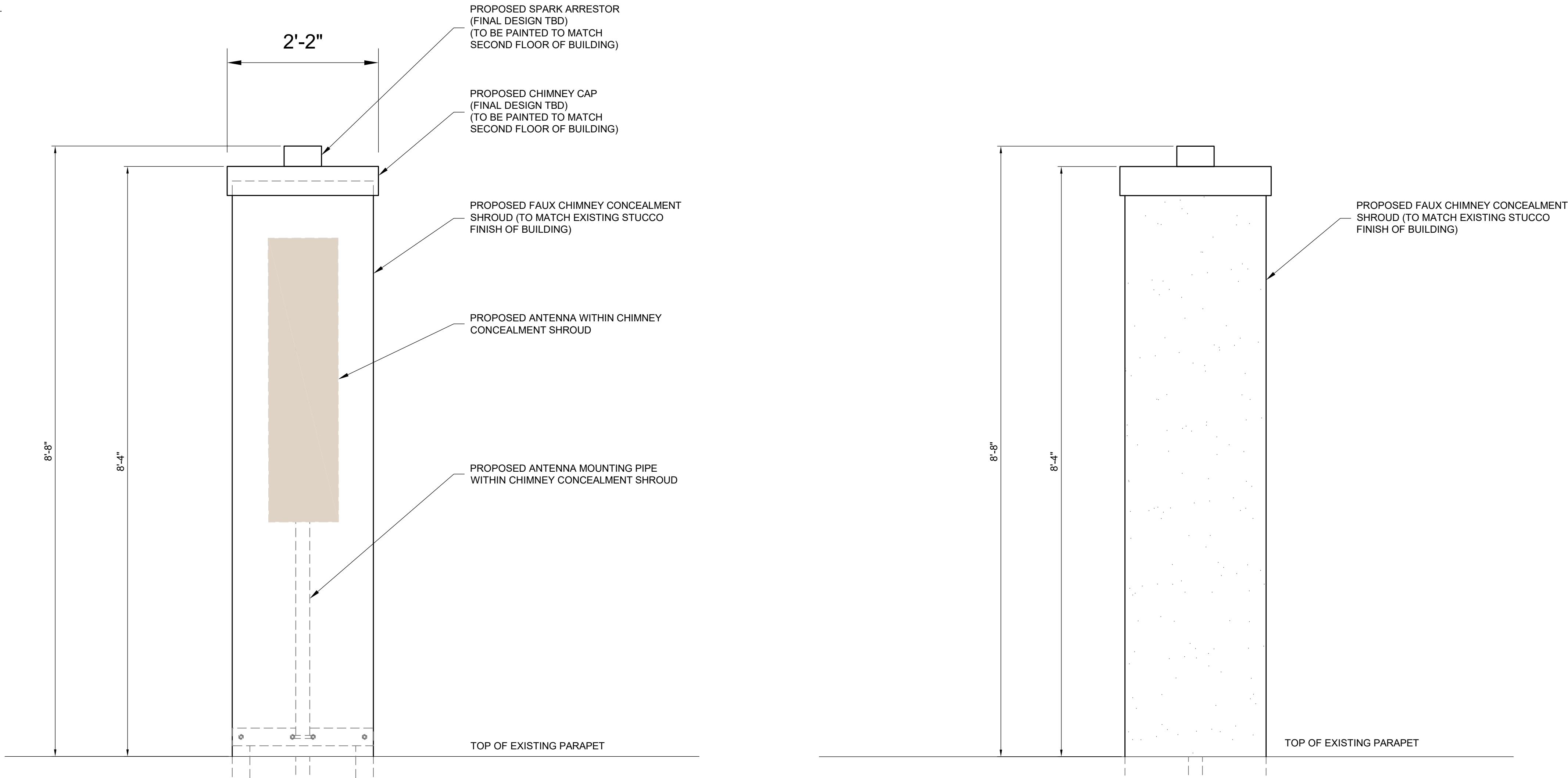
RF TRANSPARENT MATERIAL SPECIFICATIONS

FIBERGLASS REINFORCED PLASTIC (FRP) SHAPES:

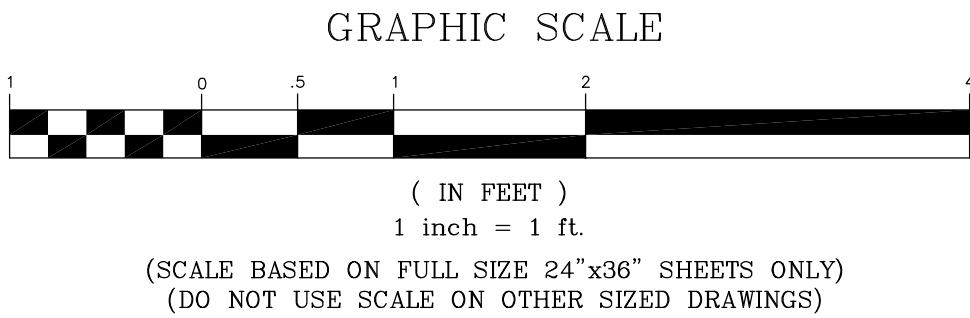
1. ALL FRP SHAPES AND PLATE SHALL CONFORM TO STRONGWELL EXTREN 500/525 SERIES.
2. APPLY RESIN ADHESIVE TO ALL FRP MATING SURFACES PRIOR TO BOLTING.
3. STRONGWELL FIBERBOLTS AND NUTS OR EQUAL.
4. ALL CUT EDGES AND HOLES SHALL BE SEALED WITH A RESIN COMPATIBLE WITH THE RESIN MATRIX USED IN THE STRUCTURAL SHAPE.
5. THE FABRICATOR AND CONTRACTOR SHALL EXERCISE PRECAUTIONS NECESSARY TO PROTECT THE FIBERGLASS PULTRUDED STRUCTURAL SHAPES FROM ABUSE TO PREVENT BREAKAGE, NICKS, GOUGES, ETC. DURING FABRICATION, HANDLING, AND INSTALLATION.
6. STURCTURAL SHAPES SHALL BE FABRICATED AND ASSEMBLED AS INDICATED ON THE DESIGN DRAWINGS.
7. FIBERBOLTS BOLTS AND NUTS SHALL BE TIGHTENED TO AND LOCKED WITH EPOXY AS FOLLOWS:
1/2" DIAMETER NUTS 8 FT-LBS TORQUE
5/8" DIAMETER NUTS 16 FT-LBS TORQUE
3/4" DIAMETER NUTS 24 FT-LBS TORQUE

FIBERGLASS PANEL NOTES: BY LARSON CAMOFLAGE, LLC
- FABRICATE PANELS TO FIT PER DIMENSIONS SHOWN IN PLAN.
- PANELS TO BE MINIMUM 1/4" THICKNESS.

1. PANELS ARE TO BE FABRICATED IN A CONTIGUOUS LAYUP PER PLANS USING RF TRANSPARENT MATERIALS.
2. ARCHITECT SHALL SPECIFY ANY REQUIRED FINISHES OR TREATMENTS TO ACHIEVE DESIRED APPEARANCE.
3. FABRICATOR SHALL USE A GLASS-RESIN RATIO OF 35% + 3%; REINFORCEMENT BY WEIGHT.
4. EACH SKIN SHALL BE FABRICATED WITH GENERAL PERPOSE RESIN OR POLYESTER VINYL RESIN WHERE REQUIRED FOR FIRE TREATMENT, CHOPPED STRAND MAT.
5. CORNER FLANGES MAY BE FASTENED WITH 5/8" NON-METALLIC THREADED ROD AND NUTS; STRONGWELL FIBERBOLT STUDS AND NUTS OR EQUIVALENT. A TORQUE WRENCH MUST BE USED TO TIGHTEN FASTENERS TO A MAXIMUM 16 FT-LBS.
6. FRP PANELS AND SHAPES SHALL BE COATED WITH A FLAT GEL-COAT FINISH TO PROVIDE ULTRAVIOLET PROTECTION.
7. ALL CUT AND DRILLED EDGES SHALL BE COATED WITH RESIN.
8. FABRICATOR AND INSTALLER SHALL TEST FIT ALL PANELS PRIOR TO FINAL ASSEMBLY/INSTALLATION TO ASSURE SQUARENESS AND CORNER FITS.
9. CONTACT KEN PUEHL FOR ADDITIONAL INFORMATION AT 520-741-3115.



1
Z-5 **FAUX CHIMNEY DETAIL**
SCALE: 1"=1'-0"



AERO PROJECT #: 097-16-0125

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F	08-09-17	KRC	REV F
REV	DATE	BY	DESCRIPTION

DRAWING TITLE:
**FAUX CHIMNEY
DETAIL**

DRAWING SHEET:
Z-5

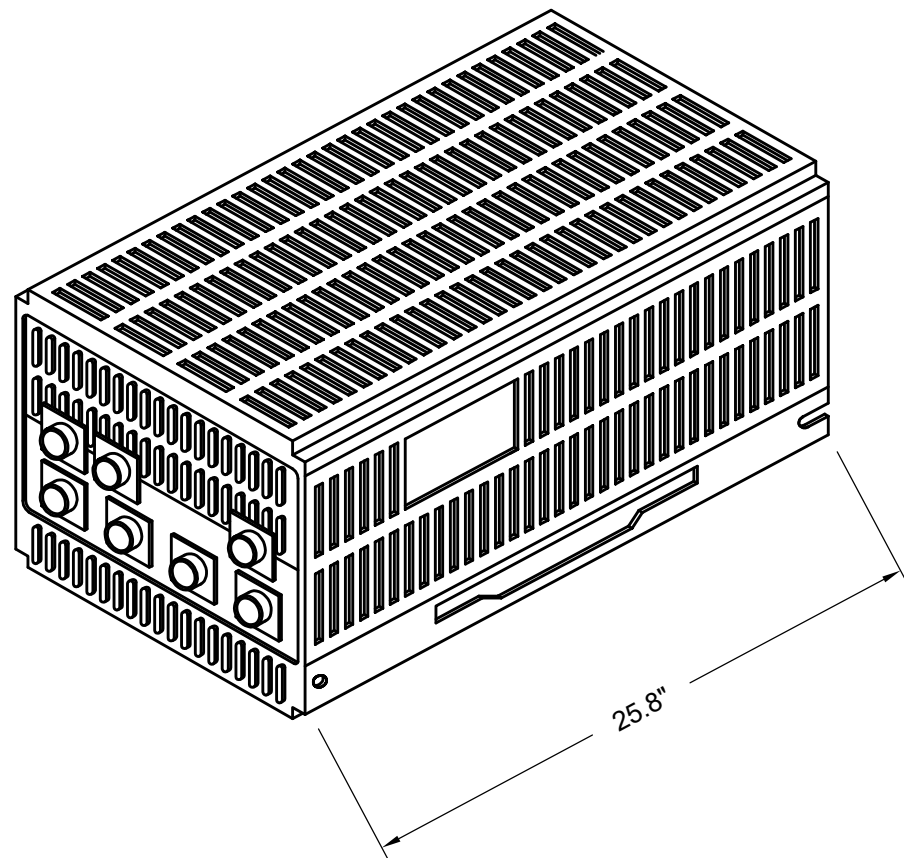
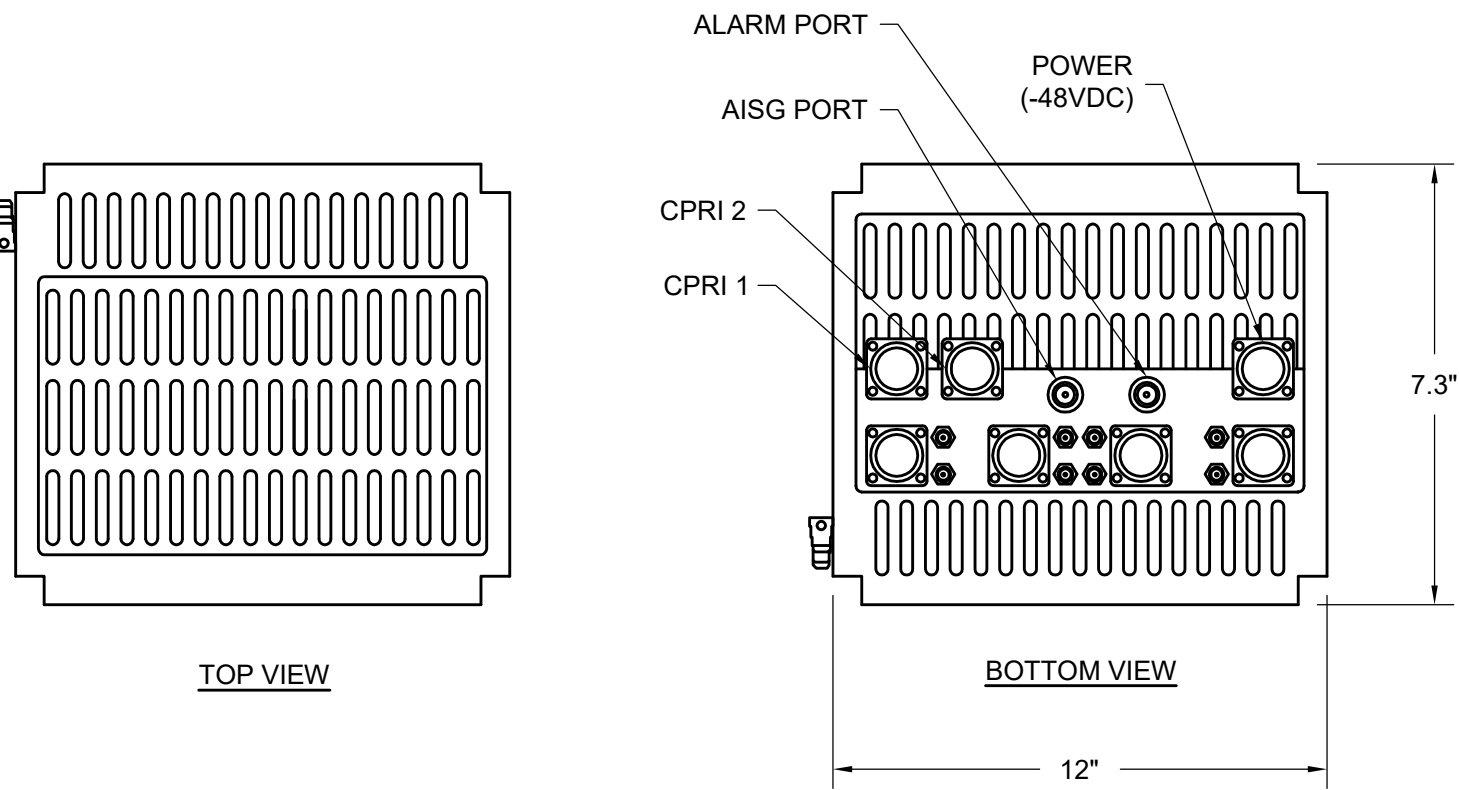
SHEET NUMBER:
7 OF 8

SITE INFORMATION:

SITE NAME:
FTC UNIFY SC 01

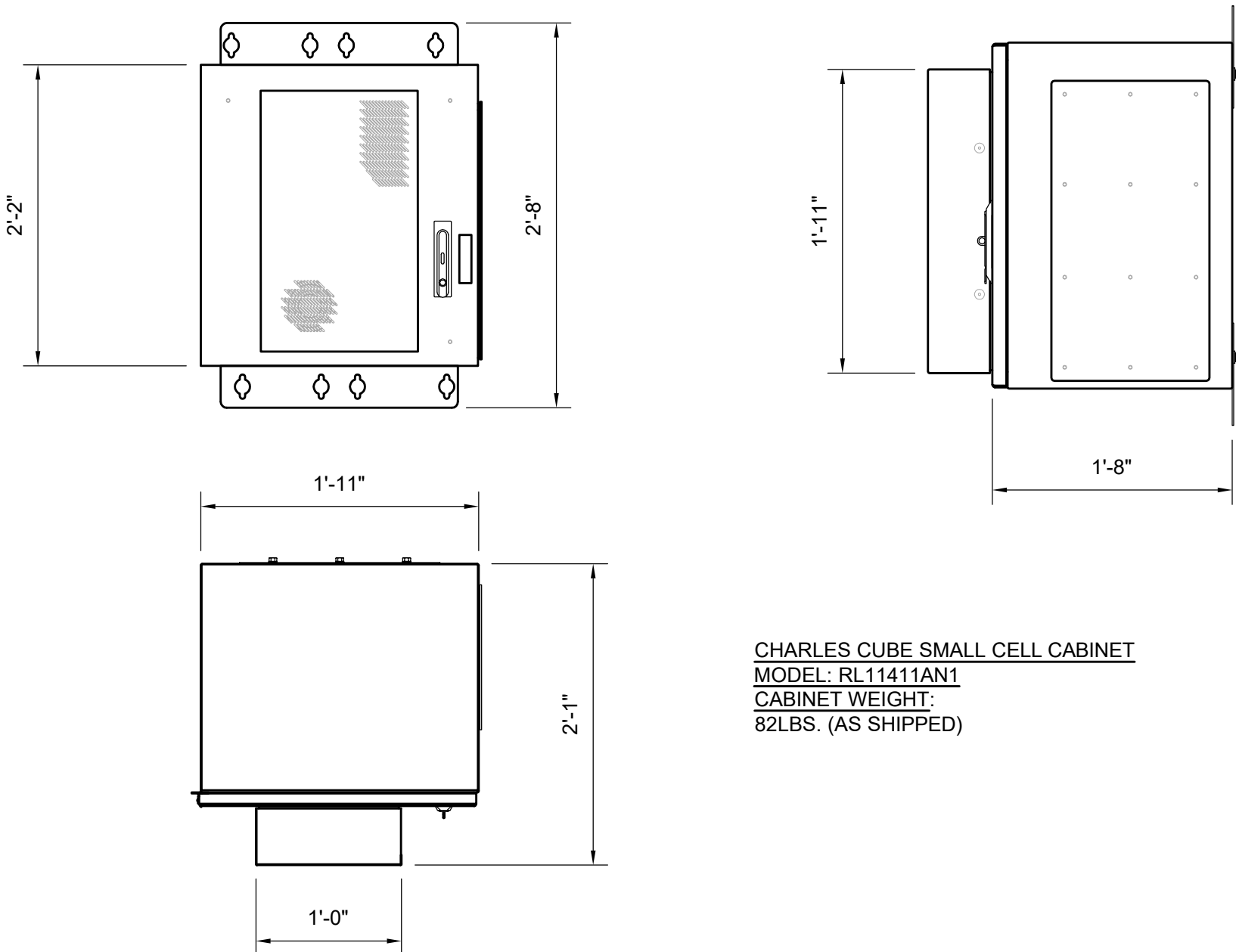
SITE ADDRESS:
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80524**

JURISDICTION:
CITY OF FORT COLLINS

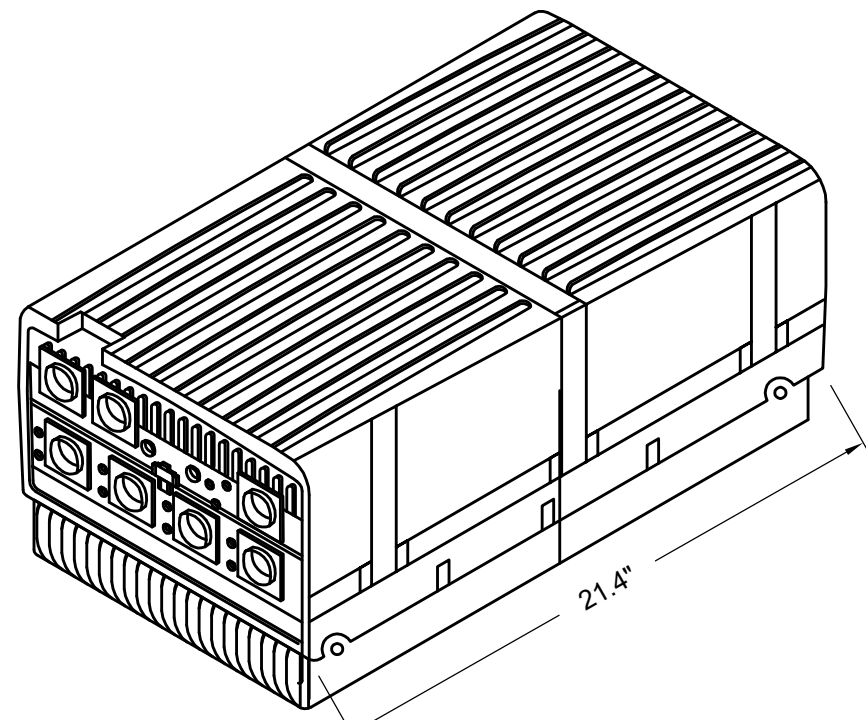
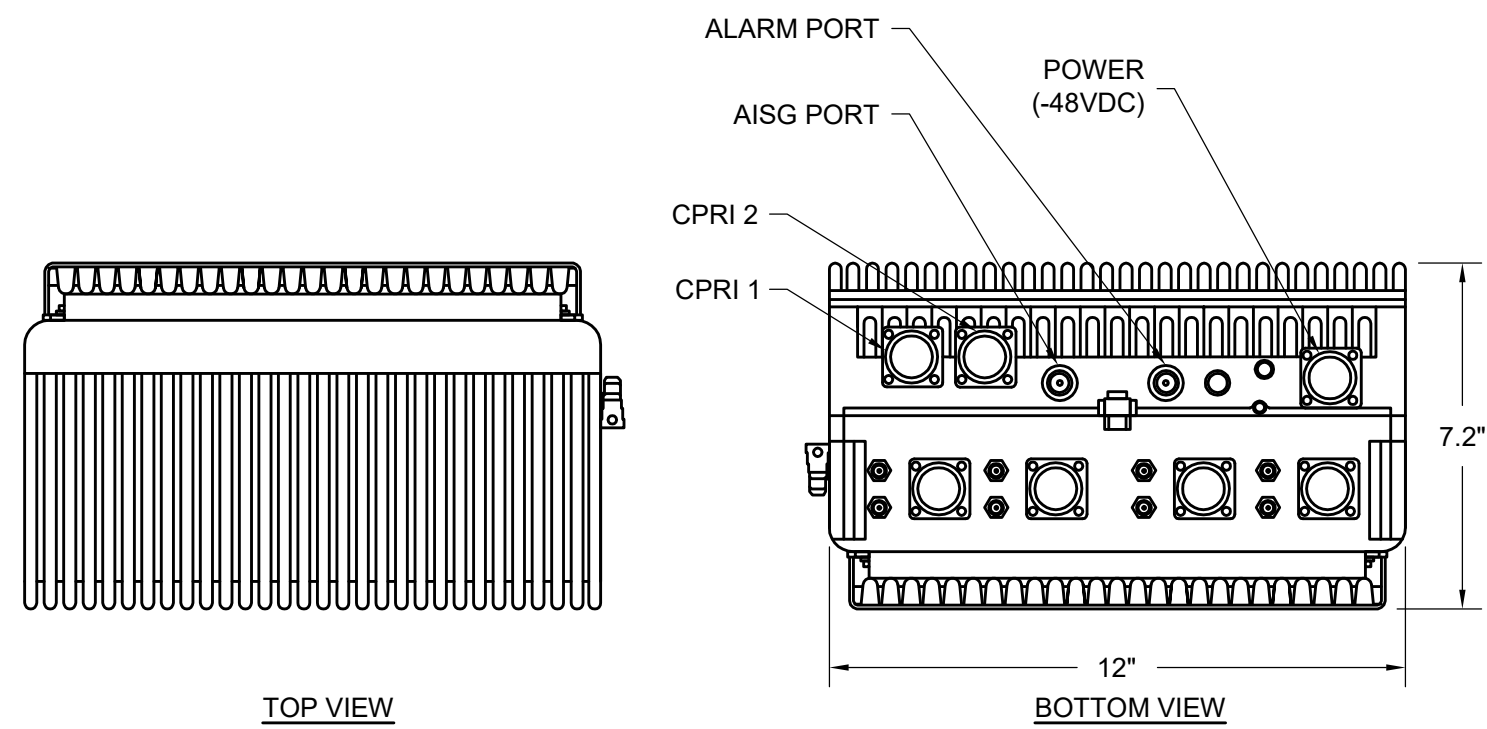


ISOMETRIC VIEW
RRH WEIGHT: 56.8 LBS

1
Z-5 **AWS RRH DETAIL**
N.T.S.

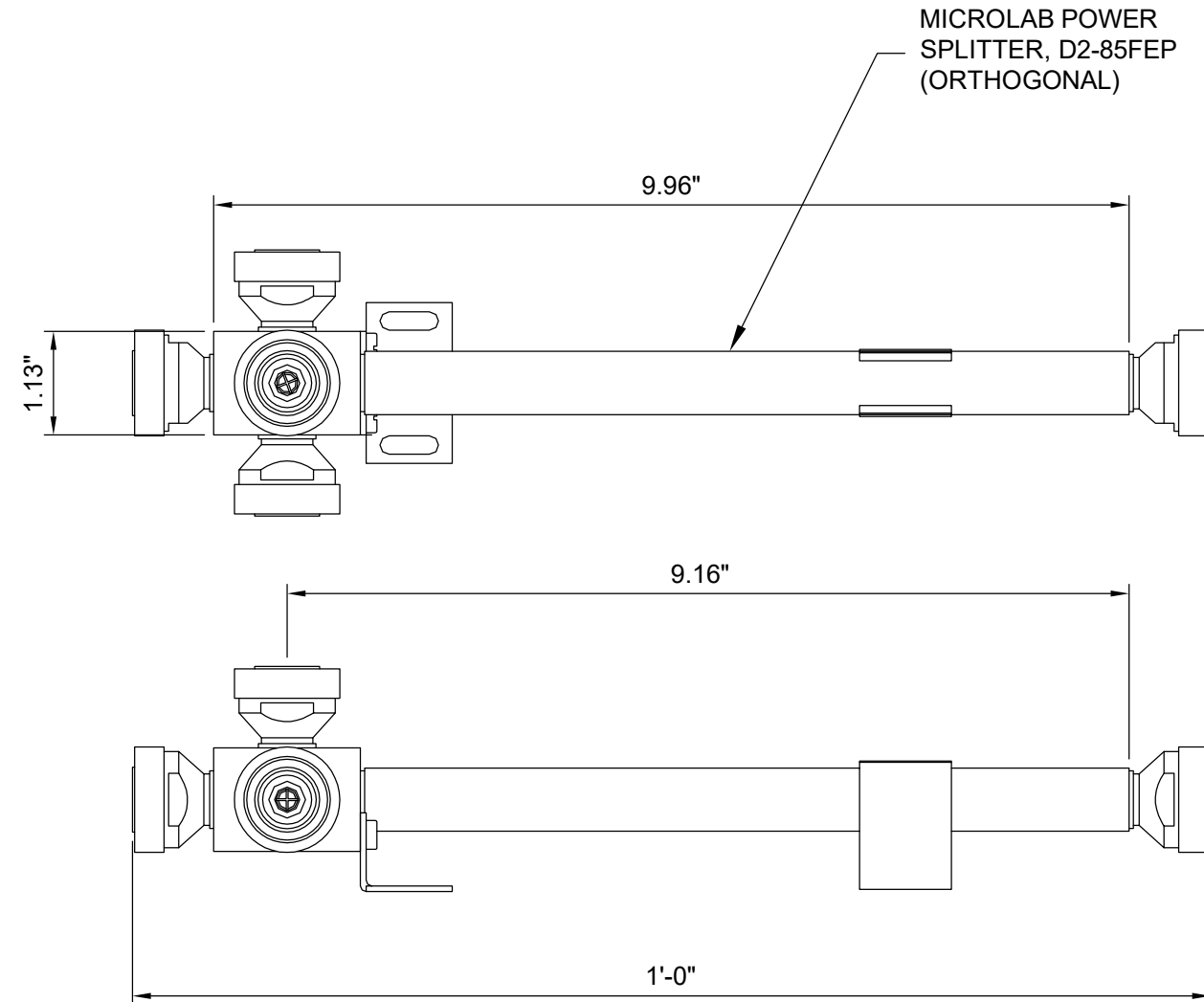


3
Z-5 **CHARLES SMALL CELL CABINET**
N.T.S.



ISOMETRIC VIEW
RRH WEIGHT: 53 LBS

2
Z-5 **PCS RRH DETAIL**
N.T.S.



4
Z-5 **PROPOSED SPLITTER DETAIL**
N.T.S.

verizon
3131 SOUTH VAUGHN WAY #500
AURORA, COLORADO 80014
(303) 873-2652

AeroSolutions LLC
Optimizing Your Wireless Infrastructure

5555 CENTRAL AVENUE #100
BOULDER, COLORADO 80301
PH: (720) 304-6882
FAX: (720) 304-6883

AERO PROJECT #: 097-16-0125

REVISION SCHEDULE			
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F	08-09-17	KRC	REV F
REV	DATE	BY	DESCRIPTION

DRAWING TITLE:

**CONSTRUCTION
DETAILS**

DRAWING SHEET:

Z-6

SHEET NUMBER:

8 OF 8

SITE INFORMATION:

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