Conceptual Review Agenda

Schedule for 06/26/17 to 06/26/17

281 Conference Room A

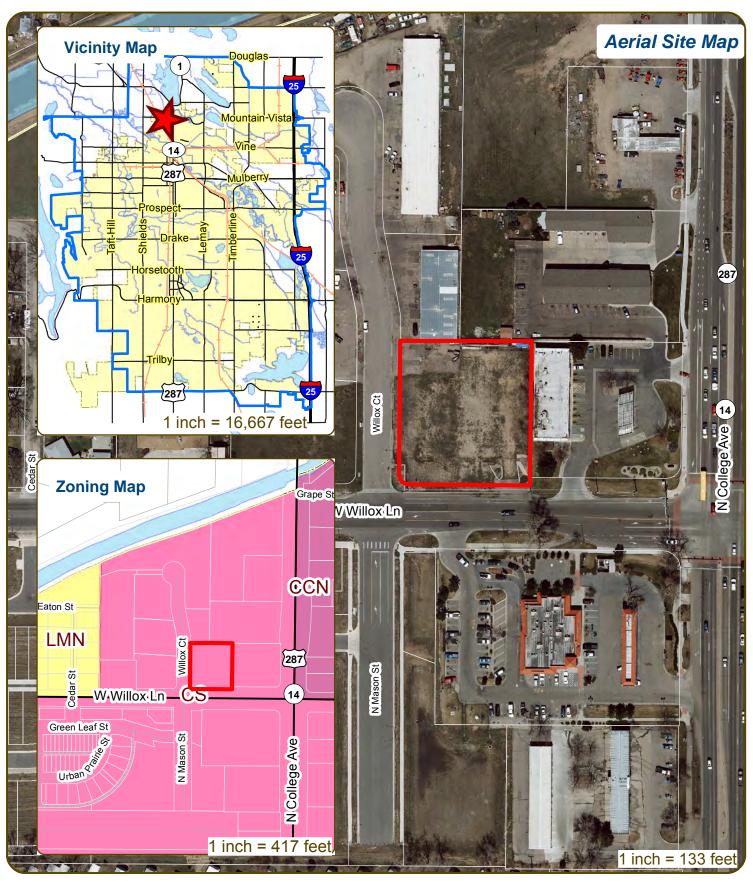
Monda	Monday, June 26, 2017						
Time	Project Name	Applicant Info	Project Description	Planner			
9:30	132 Willox Lane - Commercial Pad Site	Eric Larsen 970-461-5799 elarsen@evergreen-ind.com	This is a proposal to construct a previously approved and expired pad site on Lot 1 of the KD Subdivision, 132 Willox Lane(parcel #9835406009). The plan includes a one-story, 12,000 square foot commercial building with parking along the south and west sides. The proposal shows two points of access along Willox Ct and Willox Ln. The previous filing indicates that the approved 2007 plan was intended to replace an existing commercial building that was damaged during a snowstorm and later demolished. No activity on the site has been indicated since the projects previous approval. This project is located in the Service Commercial District (CS) and is subject to Administrative (Type 1) review.	Ted Shepard			

Agenda as of 06/16/17 at 10:06 am Page 1 of 2

Monda	y, June 26, 2017			
Time	Project Name	Applicant Info	Project Description	Planner
10:15	2800 S Taft Hill Rd Multi-Family Residential	Paul C Sorensen 970-590-1579 pauls51@comcast.net	This is a request to build 11 multi-family buildings at 2800 S Taft Hill Road (parcel #9722705004). The 4.11-acre parcel currently contains a single-family residence with the site plan indicating the demolition of all current buildings to build 11 two-story, four- and six-plex structures. The rendering indicates an interior street-like private drive with two-stubbed street ends. Driveways are proposed for each unit with garages loaded under the second floor. Two points of access are indicated, one from Hull Street and a right-in right-out on S Taft Hill Road. Detention is located on the northern edge of the site adjacent to Spring Creek. The project is located in the Medium Density Mixed-Use Neighborhood District (MMN) and is subject to Planning and Zoning Board (Type 2) review.	Clay Frickey
11:00	729 S Shields St - Kappa Kappa Gamma Addition	Greg Orr (970) 567-6841 greg@relianceconstructionconsulting.c	This is a request to expand and renovate the Kappa Kappa Gamma Sorority house located at 729 S. Shields St. (parcel #9715104940). Renovations include removing paving/parking and a retaining wall on the rear (west) of the existing building to build a 3-story, 4,300 square foot addition to the existing 3-story, 19,000 square foot building. Site access would remain unchanged, however, the amount of parking would be reduced from approximately 48 to 42 spaces.\A new outdoor courtyard with walkways will be added to the north side of the property. The project is located within the Community Commercial (CC) Zone District and is subject to a Basic Development Review (BDR).	Jason Holland

Agenda as of 06/16/17 at 10:06 am Page 2 of 2

132 Willox Lane Pad Site



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Development Review Guide - STEP 2 of 8

CONCEPTUAL REVIEW: APPLICATION

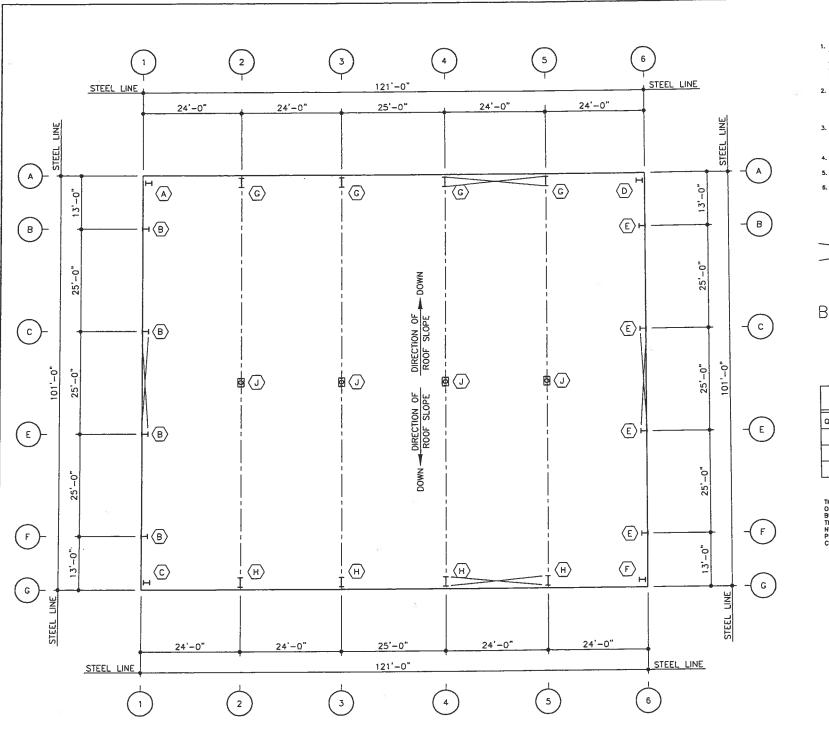
General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.* Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Business Name (if applicable) 206 Your Mailing Address **Email Address** Phone Number Site Address or Description (parcel # if no address) Description of Proposal (attach additional sheets if necessary) Proposed Use **Existing Use** Lot Dimensions 200 Total Building Square Footage 12,000 S.F. Number of Stories Age of any Existing Structures Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual. Is your property in a Flood Plain? ☐ Yes ☑ No If yes, then at what risk is it? Info available on FC Maps: http://gisweb.fcqov.com/redirect/default.aspx?layerTheme=Floodplains. Increase in Impervious Area S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site) Suggested items for the Sketch Plan: Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



ANCHOR BOLT PLAN

GENERAL NOTES

- The specified anchor bolt size assumes ase threaded rod material for bolts. Equal diameter ago? Bolts may be used in place of threaded rod. anchor bolt embedment length is due determined by the foundation oesign engineer.
- NUCOR BUILDING SYSTEMS IS NOT RESPONSIBLE FOR FOUNDATION DESIGN. THE FOUNDATION DESIGN SHALL BE DONE BY A REGISTERED PROFESSIONAL ENGINEER, FAMILIAR WITH LOCAL SITE CONDITIONS.
- ALL ANCHOR BOLTS, FLAT WASHERS FOR ANCHOR BOLTS, EXPANSION BOLTS, AND ALL CONCRETE/MASONRY EMBEDS ARE NOT BY NUCOR BUILDING SYSTEMS.
- 4. THIS DRAWING IS NOT TO SCALE
- 5. FINISHED FLOOR ELEVATION = 100'-0"
- "SINGLE" CEE COLUMNS SHOULD BE ORIENTED WITH THE "TOES" TOWARD THE LOW EAVE UNLESS SHOWN OTHERWISE.



BOTTOM OF BASEPLATE ELEV. = 100'-0" AT FINISHED FLOOR

A	NCHOF	R BOLT SCHEDULE		
QUANTITY SIZE		PROJECTION		
96	3/4"	3" FROM BOTTOM OF BASE PLATE		
0	1"	3" FROM BOTTOM OF BASE PLATE		
0	1 1/4"	3" FROM BOTTOM OF BASE PLATE		

THE ANCHOR BOLT SETTINGS SHOWN ON THESE DRAWINGS NOT ONLY INDICATE WHERE THE ANCHOR BOLTS ARE TO BE PLACEO. BUT ALSO THE FOOTBRINT OF THE NUCOR BUILDING. IT IS ESSENTIAL THAT THESE BOLT PATTERNS BE FOLLOWED. IN THE EVENT THAT THE NUCOR SETTINGS DIFFER FROM THE ARCHITECTURAL FOUNDATION PLANS, NUCOR MUST BE CONTACTED IMMEDIATELY, BEFORE CONCRETE IS PLACED.

JUN 16 2004

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PORTLAND SYSTEMS, LLC.
4251 KPUA STREIT STE. 180
MICHARDE, CAUGNO 60033
PRIORIE:
(303) 432-0778
(303) 432-0778

MULLOX COURT
FORT COLLINS, CO

JOB NUMBER: T4L0270A

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FINAL UTILITY PLANS FOR

132 WILLOX LANE

SITUATE IN SECTION 35, TOWNSHIP 8 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

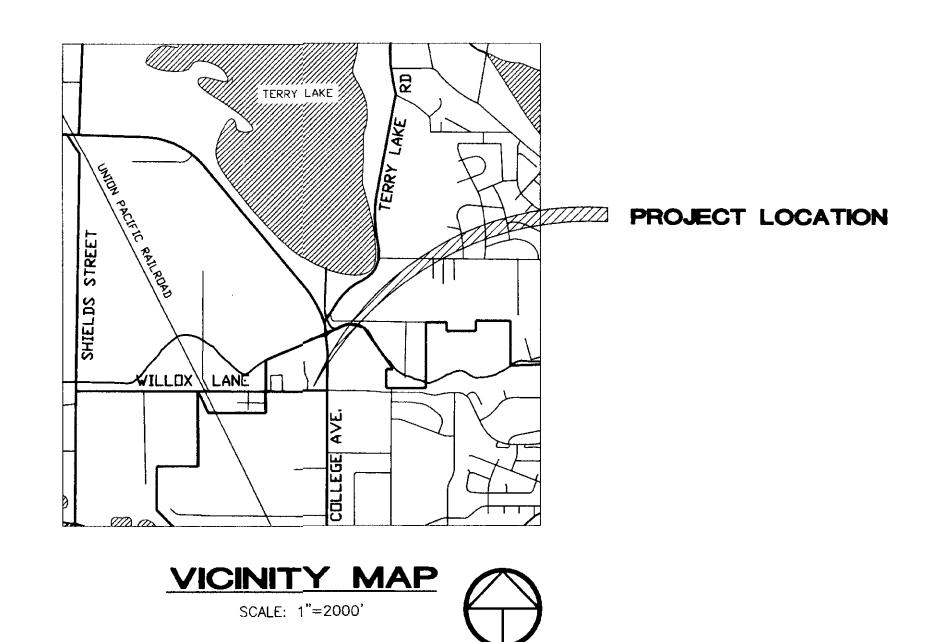
NOTES

review does not imply respansibility by the reviewing department, the Local Entity Engineer, or the Local Entity for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed in any reason as acceptance af financial responsibility by the Local Entity for additional quantities of items shown that may be required during

2. The Engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm that these final construction plans were prepared under his/her direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes, respectively, and the Engineer is fully responsible for the accuracy of all design, revisions, and record conditions that he/she has noted on these plans.

3. See General Notes sheet for additional notes.

MARCH, 2007



SHEET INDEX

- 1. COVER SHEET
- 2. GENERAL NOTES
- 3. EXISTING CONDITIONS PLAN
- 4. HORIZONTAL CONTROL PLAN
- 5. UTILITY PLAN
- 6. GRADING & EROSION CONTROL PLAN
- 7. DRAINAGE PLAN
- 8. GENERAL DETAILS
- 9. GENERAL DETAILS

VERTICAL DATUM: BENCHMARK: CITY OF FORT COLLINS BENCHMARK 42-01 LOCATED AT THE NORTHWEST CORNER OF WILLOX LANE AND COLLEGE AVE ON TRAFFIC SIGNAL BASE. ELEVATION=4984.08 NGVD 1929 UNADJUSTED

CITY OF FORT COLLINS BENCHMARK 40-97 ON THE SOUTHWEST WINGWALL TO THE BRIDGE OVER THE LARIMER AND WELD CANAL AT SHIELDS ST. BETWEEN WILLOX LANE AND LAWTON LANE. ELEVATION=4996.62 NGVD 1929 UNADJUSTED

OWNER INFORMATION: BRAD COLEMAN

COLEMAN PRODUCTS CO. 135 EAST 157TH STREET GARDENA, CA 90248 (310) 324-6805

DEVELOPER INFORMATION: BRAD COLEMAN COLEMAN PRODUCTS CO. 135 EAST 157TH STREET GARDENA, CA 90248 (310) 324-6805

PLANNER INFORMATION: DON BROOKSHIRE EASTPOINT STUDIOS 401 W. MOUNTAIN AVENUE, SUITE 201 FORT COLLINS, COLORADO 80521 (970) 224-5828

KING SURVEYORS, INC. 650 GARDEN DRIVE WINDSOR, COLORADO 80550 (970) 686-5011 CIVIL ENGINEER INFORMATION: JAY DAVIS DMW CIVIL ENGINEERS, INC.

SURVEYOR INFORMATION: LARRY PEPEK

1435 WEST 29TH STREET LOVELAND, CO 80538

(970) 461-2661 GEOTECHNICAL INFORMATION: LESTER LITTON EARTH ENGINEERING CONSULTANTS 4396 GREENFIELD DRIVE WINDSOR, COLORADO 80550 (970) 545-3908

City of Fort Collins, Co	olorado
UTILITY PLAN APPR	/.
APPROVED li Languber	gu 4/10
CHECKED BY: Roses Buffing	
Water @ Wastewater Utility	Dode Dode
CHECKED BY: Stormwater Utility	<u> 4-9-6</u>
CHECKED BY:	Date
Parks & Recreation	Date
CHECKED BY:	
Traffic Engineer	Date
CHECKED BY:	Date
t	

ADDITIONAL C-3

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This unofficial copy was downloaded on Jun-07-2017 from the City of Fort Collins Public Records Website: http://citydocs.fcgov.com or additional information or an official copy, please contact Engineering Office 281 North College Fort Collins, CO 80521 USA

2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.

3. These public impravement construction plans shall be valid for a period of three years fram the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.

4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.

5. All sanitary sewer, storm sewer, and water line construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of opproval of the plans by the City of Fort Collins Engineer.

6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the respansibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for unknown undergraund

7. The Contractor shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.

8. The Contractor shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.

9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design

10. The Developer shall coordinate and cooperate with the City of Fort Callins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for cantacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.

modification(s) must be opproved by the City of Fort Collins prior to beginning construction.

11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility pravider, a pre-construction meeting may be required prior to commencement of any work.

12. The Developer shall sequence installation of utilities in such a monner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.

13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water Utility.

14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.

15. The Developer shall comply with all terms and canditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.

16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the

responsibility of the property owner(s).

17. Prior to final inspection and acceptance by the City of Fort Callins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the releose of a certificate of occupancy for single formily units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.

18. The City of Fort Collins shall not be responsible for any damoges or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.

19. All recommendations of the Final Drainage and Erosion Contral Report for 132-134 Willox Lane dated July 12, 2006 by DMW Civil Engineers shall be followed and implemented.

20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed oreas is stabilized with hard surface or

21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the City of Fort Collins street inspector.

22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable.

23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the City of Fort Collins Engineering Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.

24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original aeotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins's default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the City of Fort Collins Engineer approves the final repart.

25. The contractor shall hire a licensed engineer or land surveyar to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.

26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as ta reduce the excavation necessary for building connections.

27. Portions of Larimer County are within averlay districts. The Larimer County FloodPlain Resolution should be referred to for additional criteria for roads within these districts.

28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.

29. Prior to the commencement of any construction, the contractor shall cantact the City of Fort Collins Forester to schedule a site inspection for any tree removal requiring

30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.

31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority. (City of Fort Callins, County or State), for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.

32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact City of Fort Collins Traffic Operations Department, who will temporarily remove or relocate the sign at no cost to the contractor; however, if the cantractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.

33. The Developer is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Development's local street operations. In oddition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development

34. There shall be no site construction activities on Saturdays, unless specifically approved by the City of Fort Collins Engineer, and no site construction activities on Sundays or holidays, unless there is prior written approval by the City of Fort Callins.

35. The Developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.

36. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate

37. The Developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.

38. If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Developer shall contact the Designer and the City of Fort Collins Engineer immediately.

39. The Developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and ovailable to the City of Fort Collins's Inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the City of Fort Collins Engineer.

40. Benchmarks

(1) CITY OF FORT COLLINS BENCHMARK 42-01 LOCATED AT THE NORTHWEST CORNER OF WILLOX LANE AND COLLEGE AVE ON TRAFFIC ELEVATION=4984.08 NGVD 1929 UNADJUSTED

(2) CITY OF FORT COLLINS BENCHMARK 40-97 ON THE SOUTHWEST. WINGWALL TO THE BRIDGE OVER THE LARIMER AND WELD CANAL AT SHIELDS ST. BETWEEN WILLOX LANE AND LAWTON LANE. ELEVATION=4996.62 NGVD 1929 UNADJUSTED

41. All stationing is based on centerline of roadways unless otherwise nated.

42. Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.

43. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be dane in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of need for a complete overlay shall be made by the City of Fort Collins Engineer and/or the City of Fort Collins Inspector at the time the cuts are made.

44. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.

46. After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be avaranteed to be free fram material and workmanship defects for a

45. Standard Handicap ramps are to be constructed at all curb returns and at all "T"

47. The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: N.A.

48. Approved Variances are listed as follows:

minimum period of two years from the date of acceptance

Variance to street standards regarding driveway separation from other driveways and streets. Waiver to City of Fort Collins flood elevation.

49. See soils report prepared by Earth Engineering Services, Project #1042036, Doted May 28, 2004.

GRADING AND EROSION CONTROL NOTES

(1,) The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.

(2.) There shall be no earth-disturbing activity outside the limits designated on the accepted plans.

(3.) All required perimeter silt and construction fencing shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.

(4.) At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.

(5.) Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.

(6.) All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent crosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City/County.

(7.) In order to minimize erosion potential, all temporary (structural) erosion control measures shall:

(a.) Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired ar reconstructed as necessary in order to ensure the continued performance of their intended function. (b.) Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector.

(c.) Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.

(8.) When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all droinage infrastructure and other public facilities.

(9.) The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of way, and make sure streets and wolkways are cleaned at the end of each working day.

(10.) All retained sediments, porticularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.

(11.) No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.

(12.) The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the praject and before turning the maintenance over to the City/County or Homeowners Association (HOA).

(13.) City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or ollow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and oll applicable local, state, and federal regulations.

(14.) A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.

(15.) To ensure that sediment does not move off of Individual lots one or more of the following sediment/erosion control BMPs shall be installed and maintained until the lots are sufficiently stabilized, as determined by the erosion control inspector, (Within Loveland City Limits Only).

(a.) Below all gutter downspouts.

(b.) Out to drainage swales.

(c.) Along lot perimeter. (d.) Other locations, if needed.

(16.) Conditions in the field may warront erosion control measures in addition to what is shown an these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City/County.

STREET IMPROVEMENTS NOTES

1. All street construction is subject to the General Notes on this sheet as well as the Street Improvements Nates listed here.

2. A paving section design, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval. prior to any street construction activity. (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.

3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, ta create a clean construction joint. The developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the City of Fort

4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the City of Fort Collins

5. Ft. Collins only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overloy. Valve box odjusting rings

6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete averlay shall be made by the City of Fort Collins Engineer, All overlay work shall be coordinated with adjacent landowners such that future projects do not cut the new asphalt overlay work.

7. All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as per the Right-of-Way Work Permit traffic control plan.

8. The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspectar and prior to installation of Gutters that hold more than 1/4 inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.

9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the sub grade material (when a full depth section is proposed) or on the sub grade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire sub grade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less that 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the sub grade or base material which exhibits excessive pumping or deformation, as determined by the City of Fort Collins Engineer, shall be reworked, replaced or otherwise to form a smooth, non-yielding surface. The City of Fort Collins Engineer

be notified at least 24 hours prior to the "proof roil." All "proof roils" shall be preformed in the presence of an inspector.

STORM DRAINAGE NOTES

1. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of on site drainage facilities shall be the responsibility of the property

2. All recommendations of the Final Drainage and Erosion Control Report for 132-134 Willox Lane by DMW Civil Engineers shall be followed and

3. Prior to final inspection and acceptance by The City of Fort Collins. certification of the drainage facilities, by a registered engineer, must by submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall by submitted to the Stormwoter Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.

WATERLINE NOTES

1. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water

2. Manhole and valve box rim elevations are to be adjusted to 1/4" below finished grade in pavement and 12" below grade in gravel roadway.

4. Coordinate service abandonment and new connections with the City Utilities departement at (970) 221-6700.

SIGNAGE AND PAVEMENT MARKING NOTES

1. All signage and marking is subject to the General Notes on this sheet, as well as the Traffic Signing and Marking Construction notes listed here.

2. All symbols, including arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.

3. All signage shall be per City of Fort Collins Standards and these plans or otherwise specified in MUTCD.

4. All lane lines for asphalt pavement shall receive two coats of latex paint with glass beads.

5. All lane lines for concrete pavement should be epoxy paint.

6. Prior to permanent installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and placement of the same. Their placement shall be approved by the Local Entity Engineer prior to permanent installation of striping and symbols.

7. Pre-formed thermo-plostic applications shall be as specified in these Plans and/or these Standards.

8. Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.

9. All surfaces shall be thoroughly cleaned prior to installation of striping

10. All sign posts shall utilize break—away assemblies and fasteners per the

11. A field inspection of lacation and installation of all signs shall be performed by the City of Fort Collins Engineer. All discrepancies identified during the field inspection must be corrected before the 2-year warranty

12. The Developer installing signs shall be responsible for locating and protecting all underground utilities.

13. Special care shall be taken in sign location to ensure an unobstructed view of each sian.

time of review. Prior to initiatian of the warranty period, the City of Fort Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Engineer determines that an unfareseen condition warrants such signage according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the 2-year warranty period for new construction (except fair wear on traffic

14. Signage and striping has been determined by information available at the

15. Sleeves for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Troffic Control Devices, for additional detail.

3. All DIP shall be wrapped with 8 mil Polyethylene conforming to ASTM D1248 and installed in accordance with ANSI A21.5/AWWA C105.

5. Extend water service and fire line into a mechanical room with a floor drain sized to accept flow from the back flow preventer.

> City of Fort Collins, Colorado Koses Buttinglon, 4/2/07 ____ CHECKED BY: CHECKED BY: CHECKED BY:

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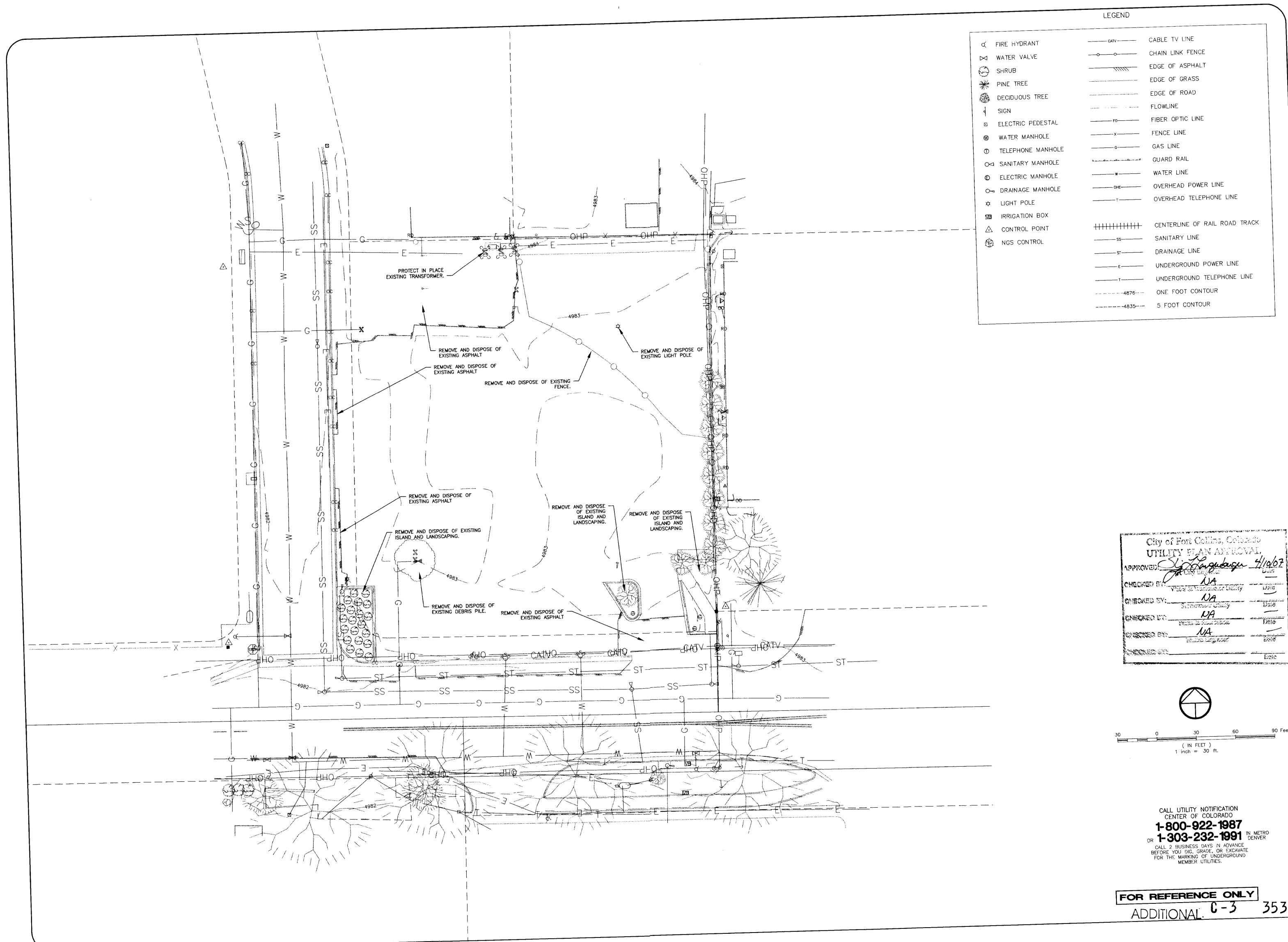
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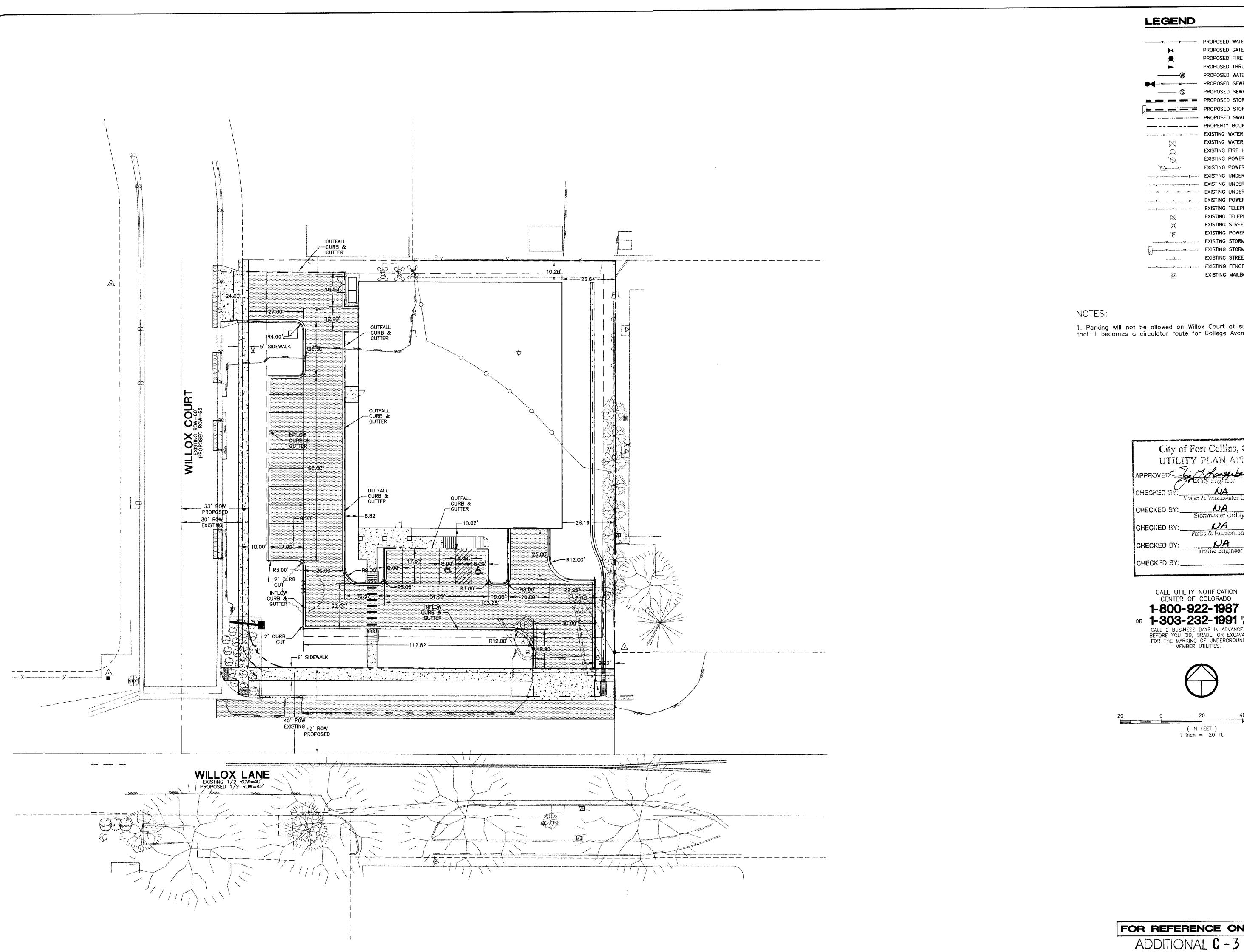
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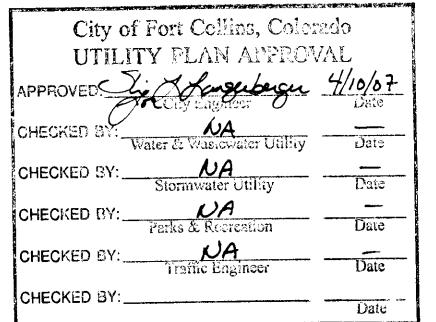
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PROPOSED WATER MAIN PROPOSED GATE VALVE PROPOSED FIRE HYDRANT PROPOSED THRUST RESTRAINT PROPOSED WATER SERVICE ₽ROPOSED SEWER MAIN PROPOSED SEWER SERVICE PROPOSED STORM SEWER OR CULVERT PROPOSED STORM SEWER W/ INLET PROPERTY BOUNDARY EXISTING WATER MAIN EXISTING WATER VALVE EXISTING FIRE HYDRANT EXISTING POWER POLE EXISTING POWER POLE W/ GUY WIRE EXISTING UNDERGROUND ELECTRIC EXISTING UNDERGROUND GAS EXISTING UNDERGROUND CABLE LINES EXISTING POWER LINES EXISTING TELEPHONE LINES EXISTING TELEPHONE PEDESTAL EXISTING STREET LIGHT EXISTING POWER VAULT STORM SEWER EXISTING STORM SEWER AND INLET EXISTING STREET SIGN EXISTING FENCE EXISTING MAILBOX

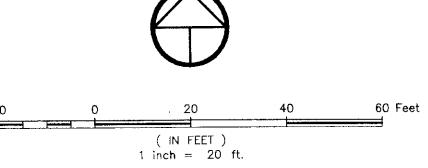
Parking will not be allowed on Willox Court at such time that it becomes a circulator route for College Avenue.



CALL UTILITY NOTIFICATION CENTER OF COLORADO

1-800-922-1987

OR 1-303-232-1991 IN METRO DENVER CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

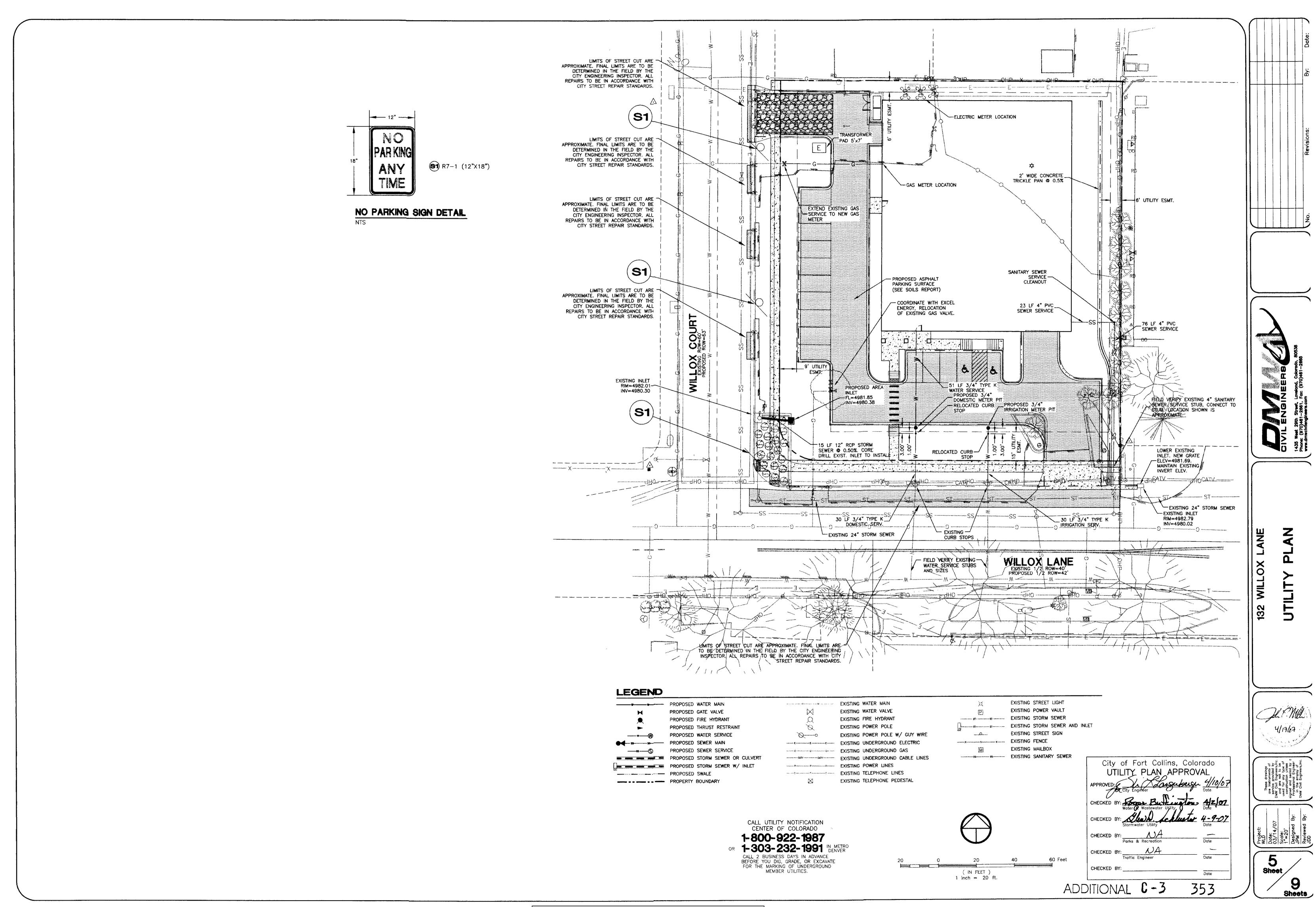


FOR REFERENCE ONLY

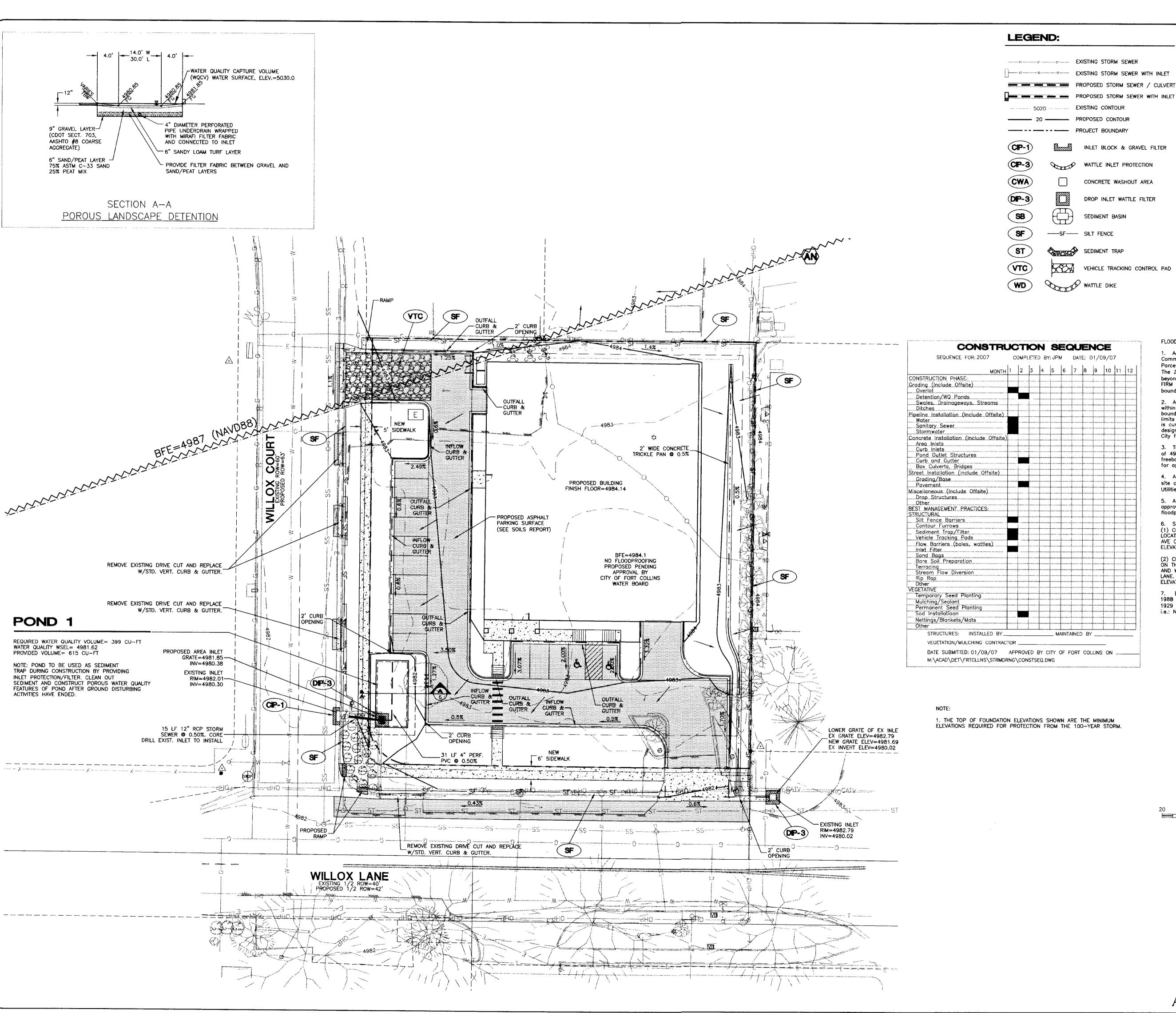
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CONTROL

HORIZONT



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LEGEND PROPOSED WATER MAIN PROPOSED GATE VALVE PROPOSED FIRE HYDRANT PROPOSED THRUST RESTRAINT PROPOSED WATER SERVICE ------- PROPOSED SEWER MAIN PROPOSED SEWER SERVICE PROPOSED STORM SEWER OR CULVERT PROPOSED STORM SEWER W/ INLET PROPERTY BOUNDARY EXISTING WATER MAIN EXISTING WATER VALVE EXISTING FIRE HYDRANT EXISTING POWER POLE EXISTING POWER POLE W/ GUY WIRE EXISTING UNDERGROUND ELECTRIC EXISTING UNDERGROUND GAS EXISTING UNDERGROUND CABLE LINES EXISTING POWER LINES EXISTING TELEPHONE LINES EXISTING TELEPHONE PEDESTAL EXISTING STREET LIGHT EXISTING POWER VAULT EXISITNG STORM SEWER EXISTING STORM SEWER AND INLET EXISTING STREET SIGN EXISTING FENCE

FLOODPLAIN NOTES:

According to FEMA Flood Insurance Rate Map for Fort Collins, Community Panel 08069C-0977-F Revised December 19, 2006 this Parcel is completely within the FEMA Designated Flood Zone "AE". The Zone "AE" boundary is not indicated on this map because it is beyond the limits of the map and ecompasses the entire area (see FIRM Panel 08069C-0977-F included with this application for zone

EXISTING MAILBOX

2. According to the City of Fort Collins, this Parcel is completely within a City designated floodplain for Dry Creek. The City floodplain boundary is not indicated on this map because it is beyond the limits of the map and ecompasses the entire area. This information is currently under review and the Parcel may not be within the City designated floodplain at the time of construction. A waiver to the City floodplain has been applied for. 3. The proposed building will have a first floor finish floor elevation

of 4984.14 (NGVD29). A variance to floodproofing requirements to freeboard level was granted by the City of Fort Collins Water Board for approval of these drawings. 4. A floodplain use permit is required for each building and each

site construction element (detention ponds, bike paths, parking lots, Utilities, etc.) in the floodplain. 5. A FEMA elevation certificate will need to be completed and

approved prior to CO being issued for any structures in the 6. Site datum is NGVD 1929 datum, project benchmarks are:

(1) CITY OF FORT COLLINS BENCHMARK 42-01 LOCATED AT THE NORTHWEST CORNER OF WILLOX LANE AND COLLEGE AVE ON TRAFFIC SIGNAL BASE. ELEVATION=4984.08 NGVD 1929 UNADJUSTED

(2) CITY OF FORT COLLINS BENCHMARK 40-97 ON THE SOUTHWEST WINGWALL TO THE BRIDGE OVER THE LARIMER AND WELD CANAL AT SHIELDS ST. BETWEEN WILLOX LANE AND LAWTON ELEVATION=4996.62 NGVD 1929 UNADJUSTED

Base flood elevations on this map are referenced to the NAVD 1988 datum. The FEMA recognized vertical datum offset to NGVD 1929 (unadjusted) for the Dry Creek floodplain is three (3.0) feet. i.e.: NAVD88=NCVD29+3.0

> CALL UTILITY NOTIFICATION CENTER OF COLORADO

1-800-922-1987 1-303-232-1991 IN METRO DENVER

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



60 Feet (IN FEET) 1 inch = 20 ft.

City of Fort Collins, Co	olorado
UTILITY PLAN APPR	OVAL
APPROVED: Language Haugus	egu 4/10/0;
CHECKED BY: Water & Wastewater Utility	Date
	to 4-9-07
CHECKED BY: VA Parks & Recreation	 Date
CHECKED BY: NA Traffic Engineer	Date
CHECKED BY:	
	Date

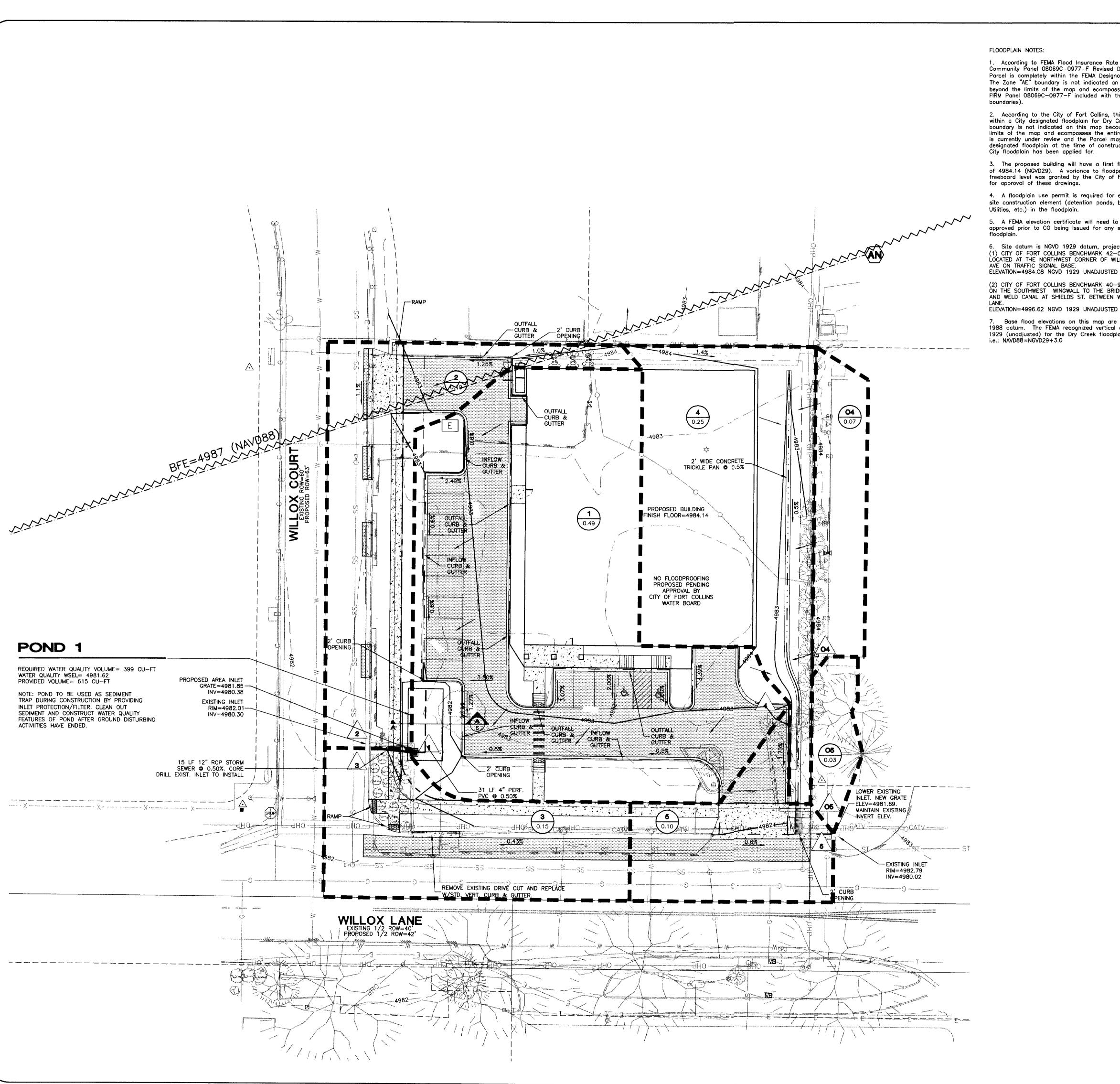
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ADING AND CONTROL

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ADDITIONAL C-3



1. According to FEMA Flood Insurance Rate Map for Fort Collins, Community Panel 08069C-0977-F Revised December 19, 2006 this Parcel is completely within the FEMA Designated Flood Zone "AE". The Zone "AE" boundary is not indicated an this map because it is beyond the limits of the map and ecompasses the entire area (see FIRM Panel 08069C-0977-F included with this application for zone

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ELEVATION=4984.08 NGVD 1929 UNADJUSTED

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7. Base flood elevations on this map are referenced to the NAVD 1988 datum. The FEMA recognized vertical datum offset to NGVD 1929 (unadjusted) for the Dry Creek floodplain is three (3.0) feet. i.e.: NAVD88=NGVD29+3.0

LEGEND:

EXISTING STORM SEWER EXISTING STORM SEWER WITH INLET PROPOSED STORM SEWER OR CULVERT PROPOSED STORM SEWER WITH INLET 5020 EXISTING CONTOUR PROPOSED CONTOUR

WATTLE INLET PROTECTION

PROJECT BOUNDARY

DROP INLET WATTLE FILTER

----SF--- SILT FENCE

VEHICLE TRACKING CONTROL PAD

DESIGN POINT

BASIN LABEL AREA IN ACRES

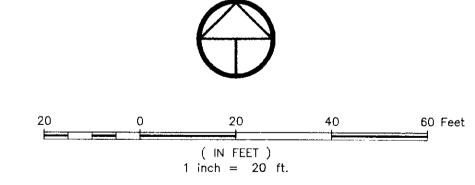
RUNOFF TABLE:

DESIGN		AREA	T			
POINT	BASINS	(AC.)	C10	C100	Q10(CFS)	Q100(CFS)
1	1	0.49	0.77	0.97	1.8	4.7
2	2	0.19	0.72	0.90	0.6	1.5
3	3	0.15	0.82	1.00	0.6	1.5
3	2-3	0.34	0.76	0.96	1.2	3.0
04	O4	0.07	0.71	0.89	0.2	0.6
4	4	0 25	0.66	0.83	0.8	1.9
4	4,04	0.32	0.67	0.84	1.0	2.5
O 5	O5	0.03	0.28	0.35	0.0	0.1
5	5	0.10	0.89	1.00	0.4	1.0
5	4,5,04,05	0.45	0.69	0.87	1.4	3.5
SITE	1-5	1.18	0.76	0.95	3.3	8.4

CALL UTILITY NOTIFICATION CENTER OF COLORADO

1-800-922-1987 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND

MEMBER UTILITIES.



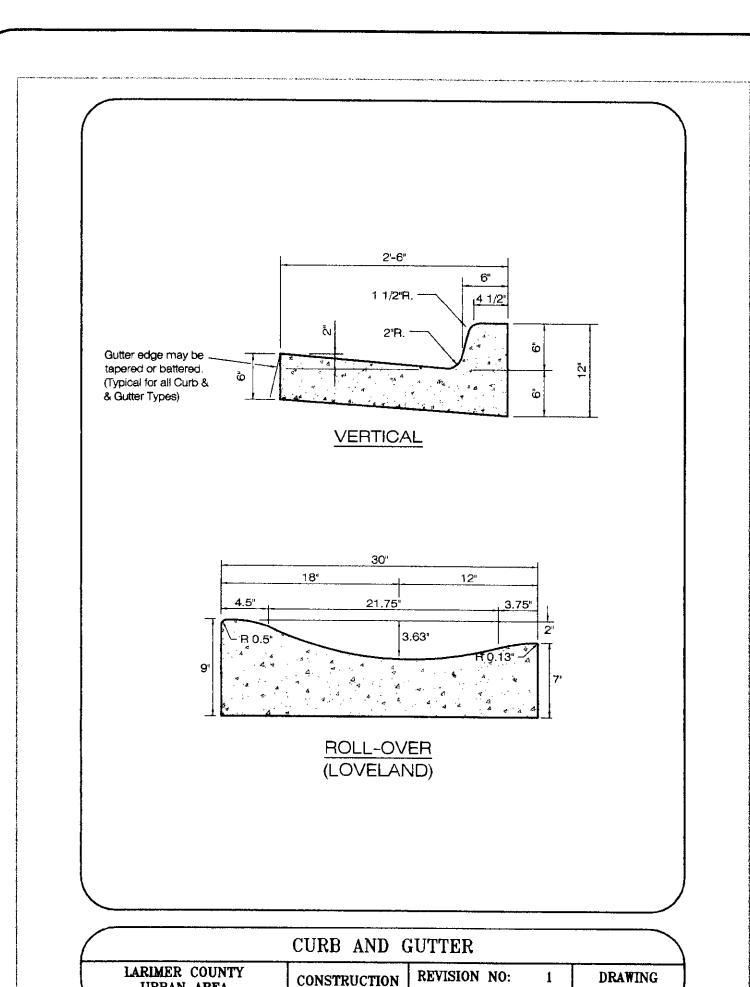
City of Fort Collins, Colorado CHECKED BY: CHECKED BY: CHECKED BY:

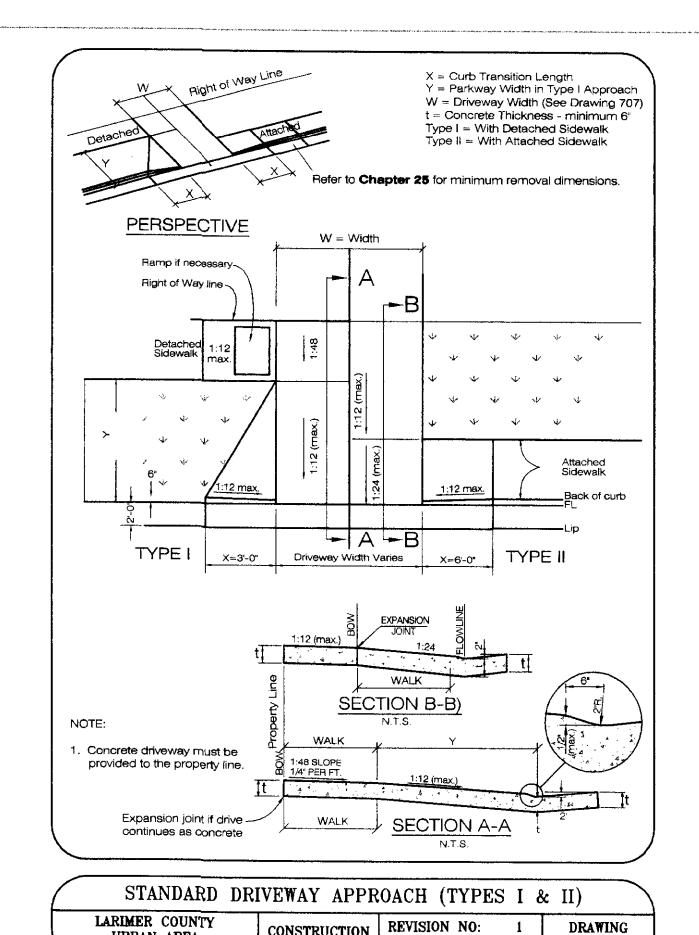
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GE **DRAIN**

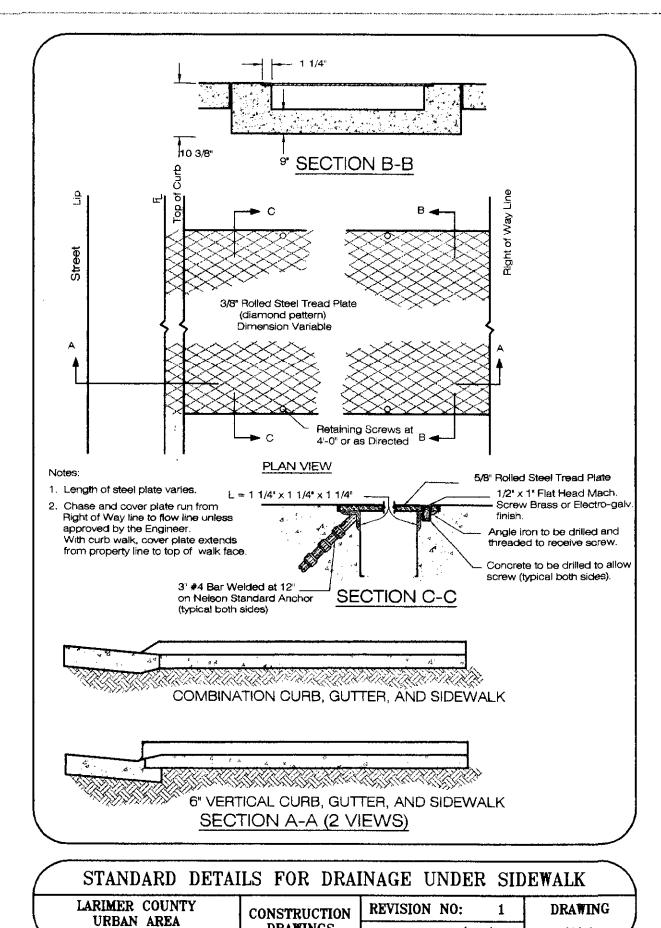
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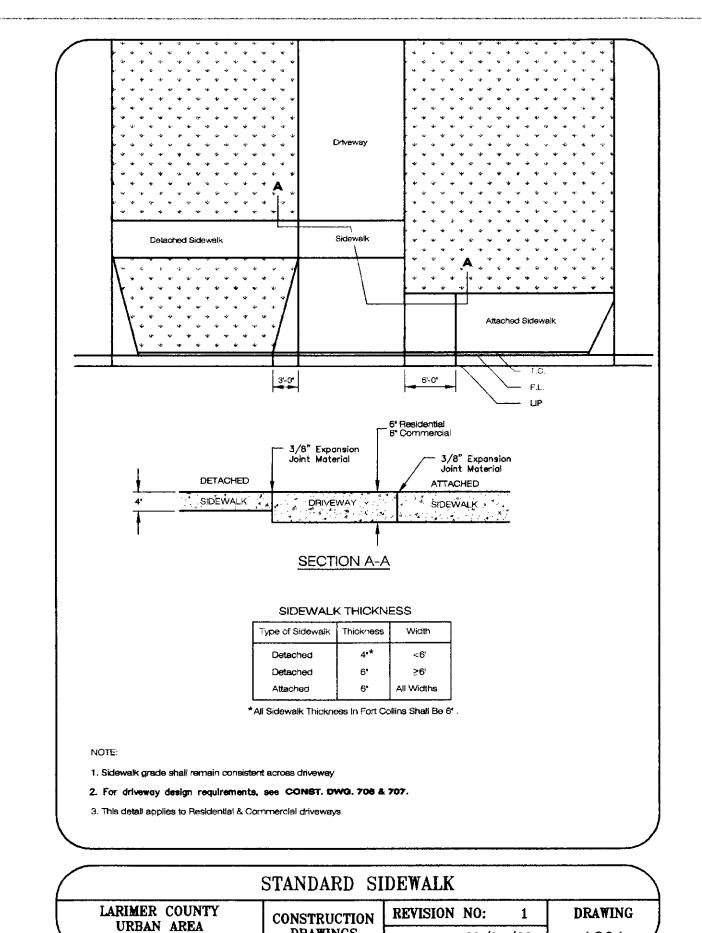


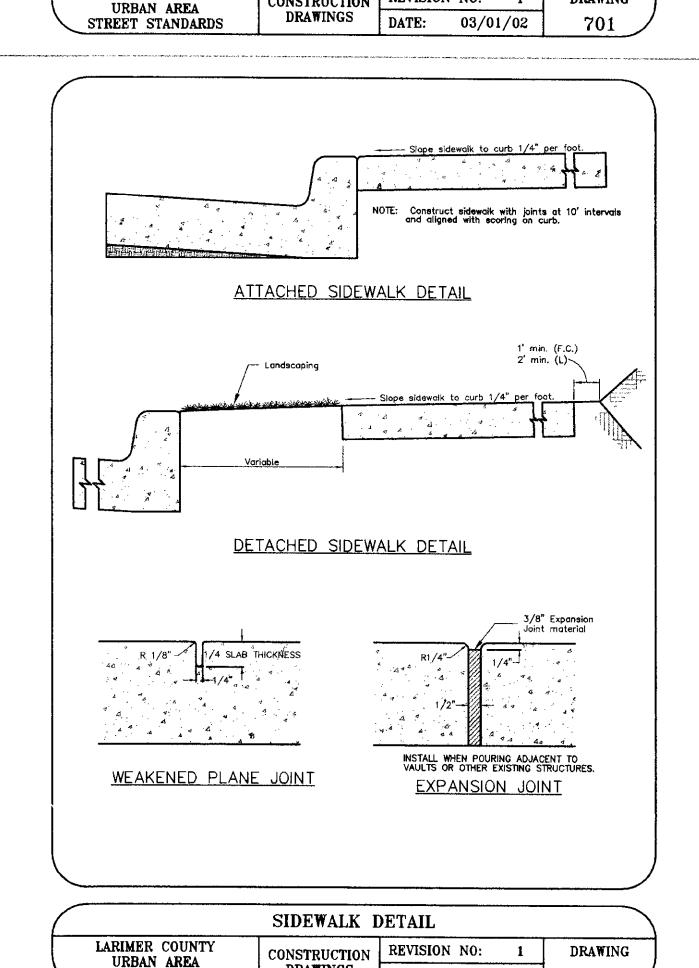


CONSTRUCTION

URBAN AREA







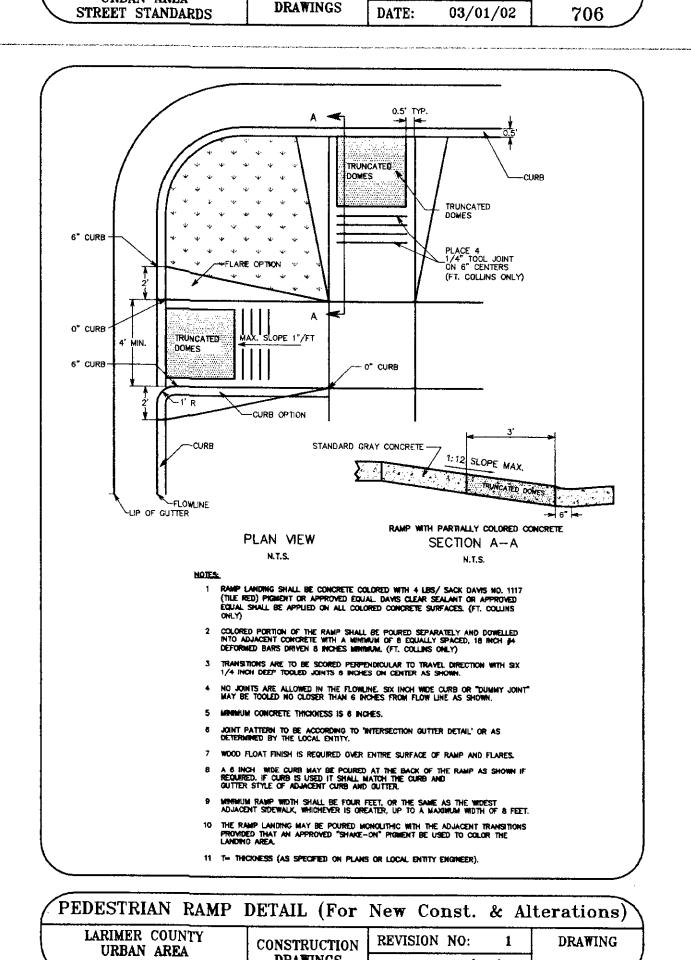
DRAWINGS

STREET STANDARDS

1602

03/02/01

DATE:

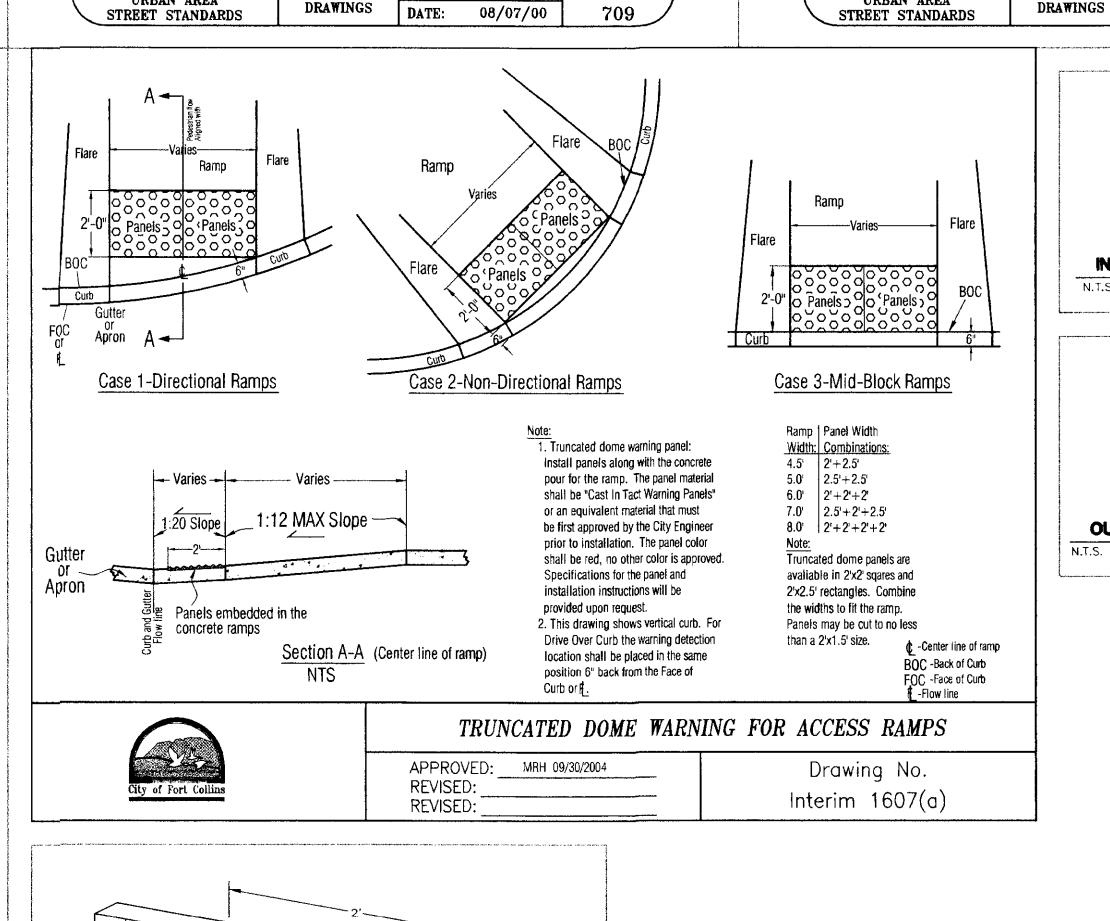


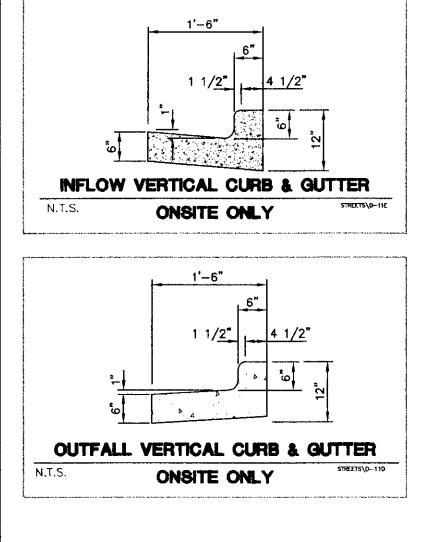
DRAWINGS

03/01/02

DATE:

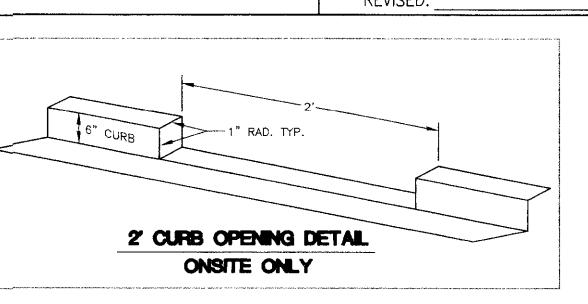
STREET STANDARDS

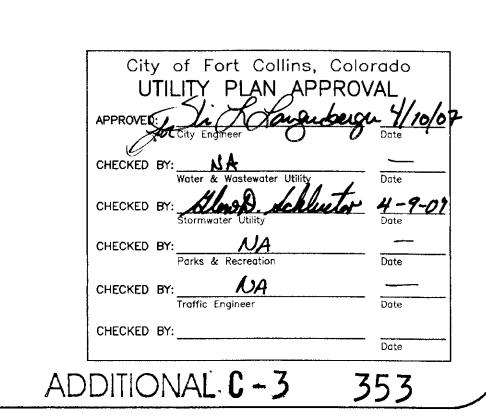




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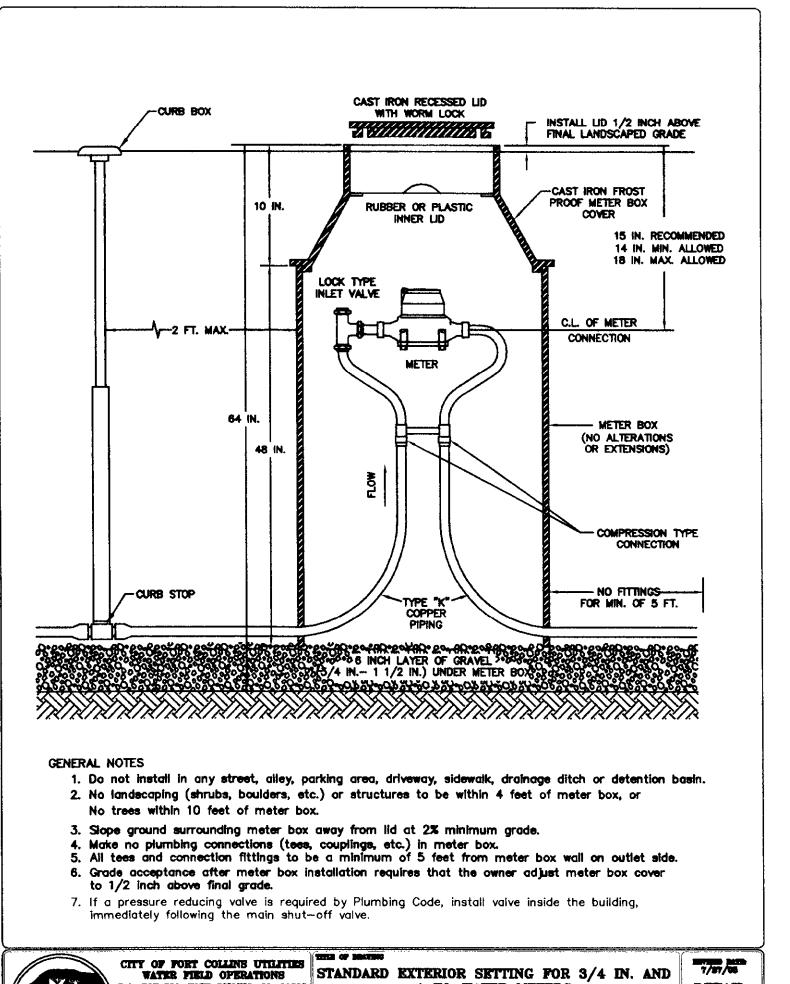
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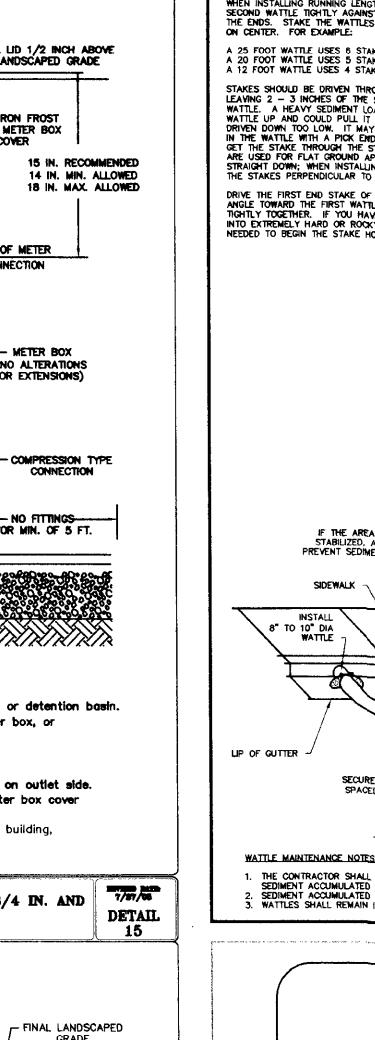
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9 Sheets



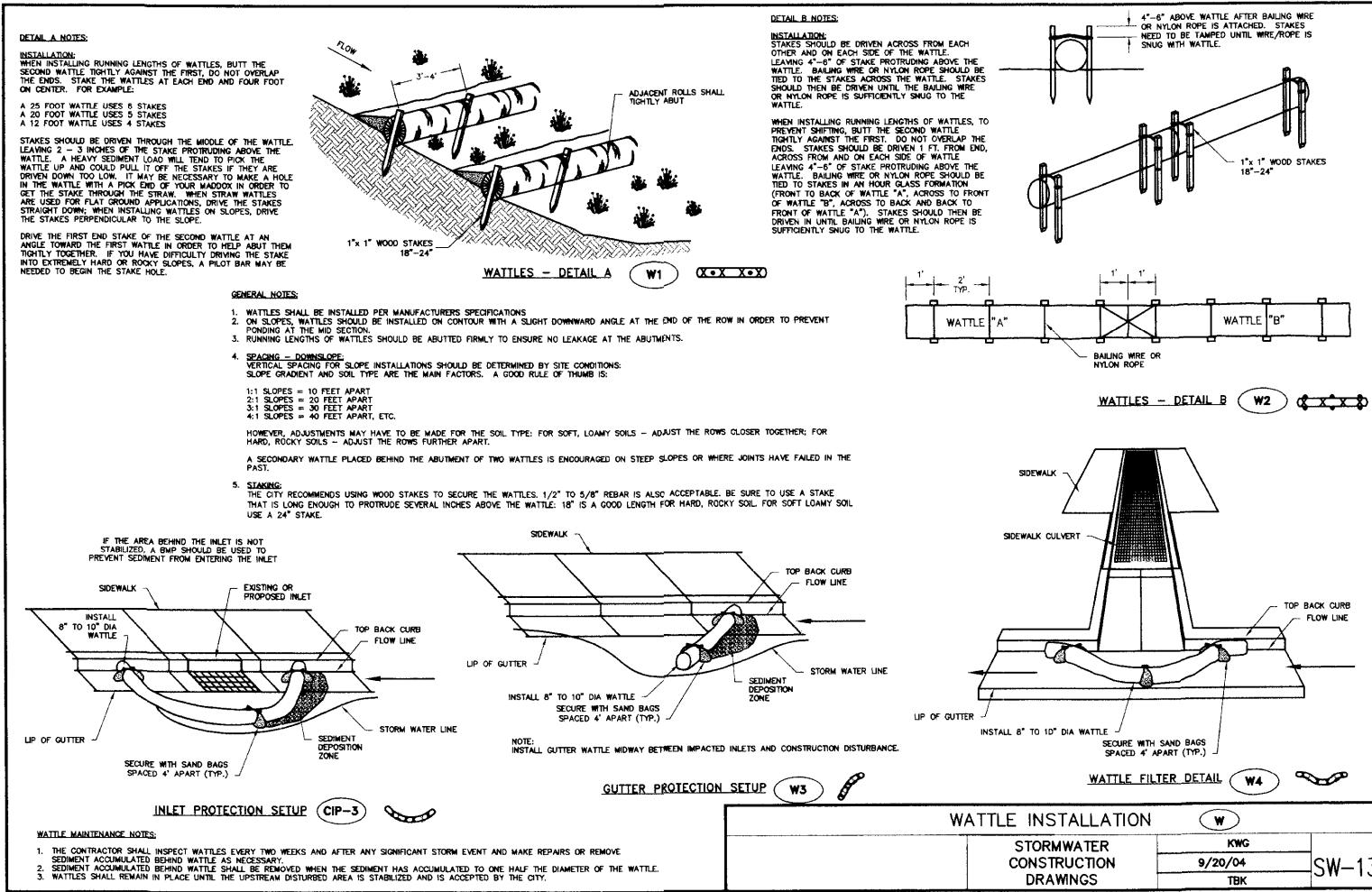
1 IN. WATER METERS

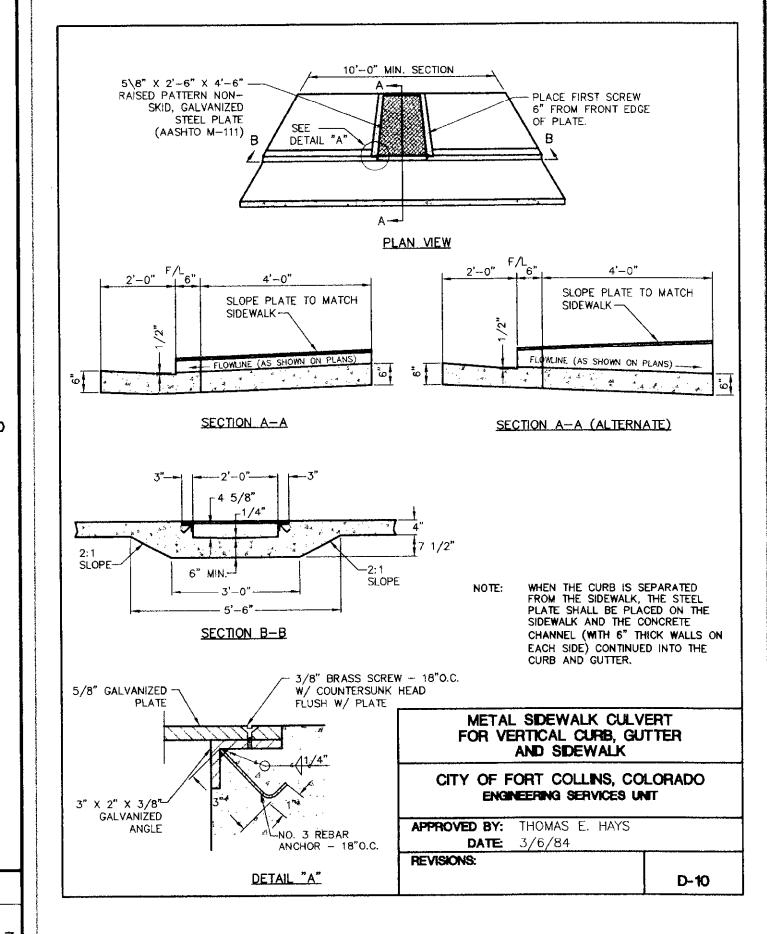
TYPICAL WATER SERVICE

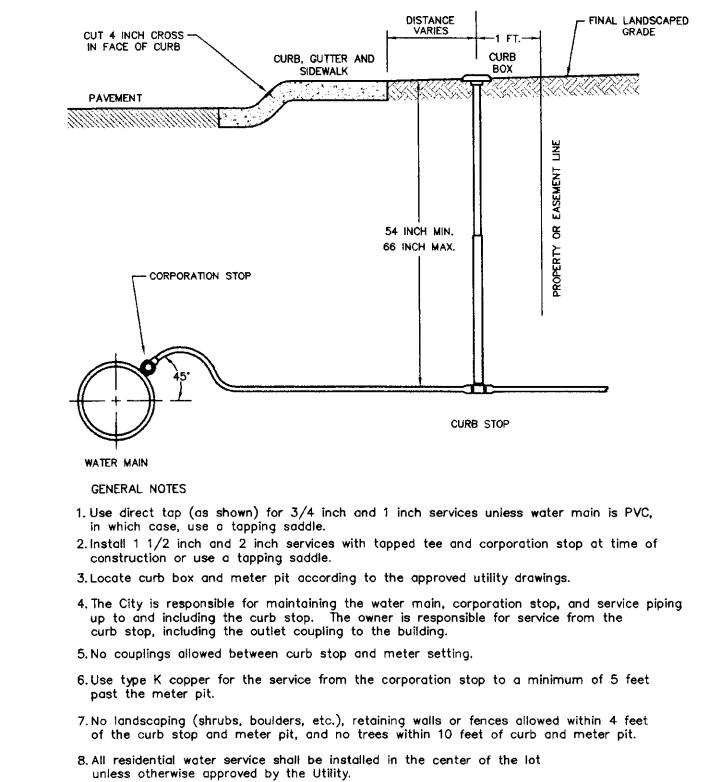


DETAIL

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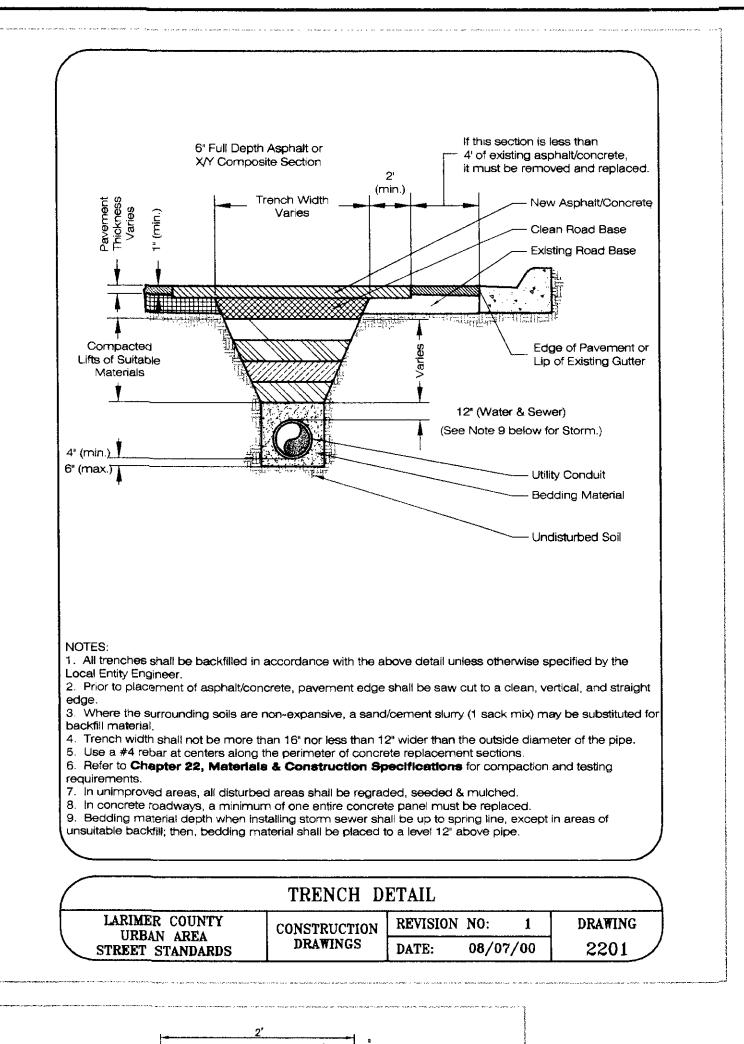




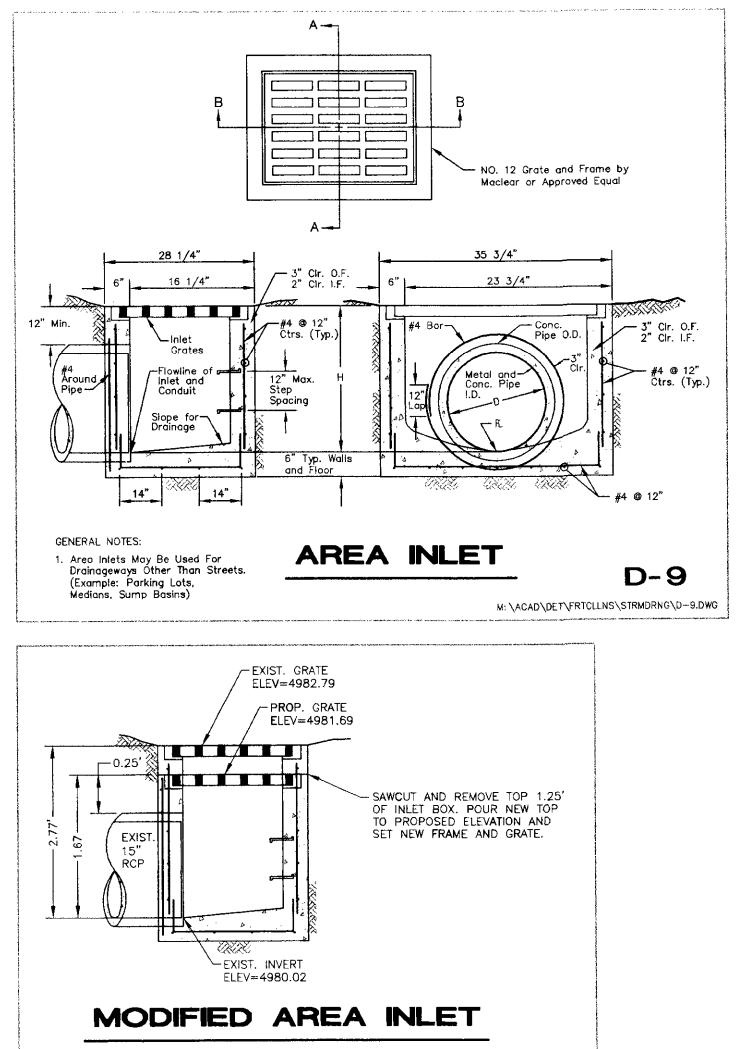
9. All water and sanitary sewer service shall have a minimum

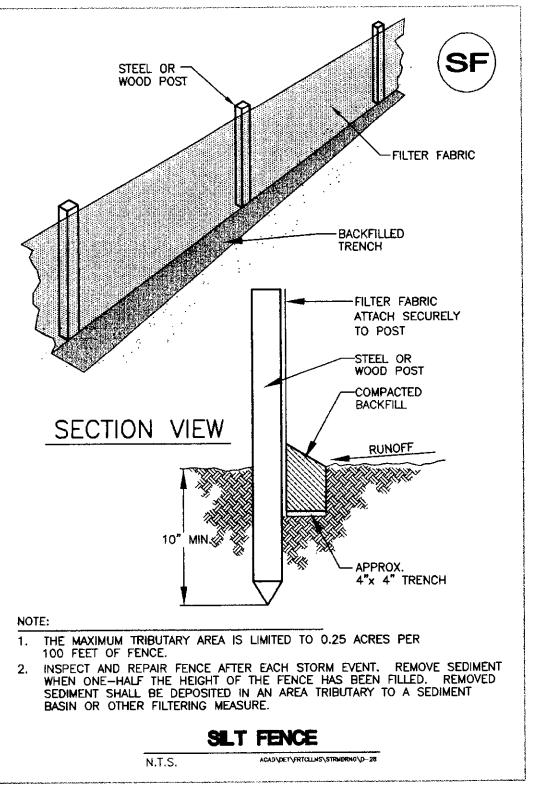
horizontal separation of ten feet.

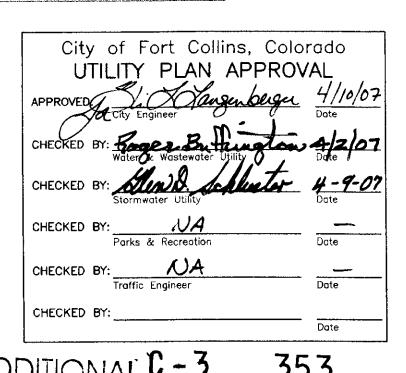
WATER FIELD OPERATIONS BOX 000, FORT COLLINS, CO. 8



2' VALLEY "V" PAN







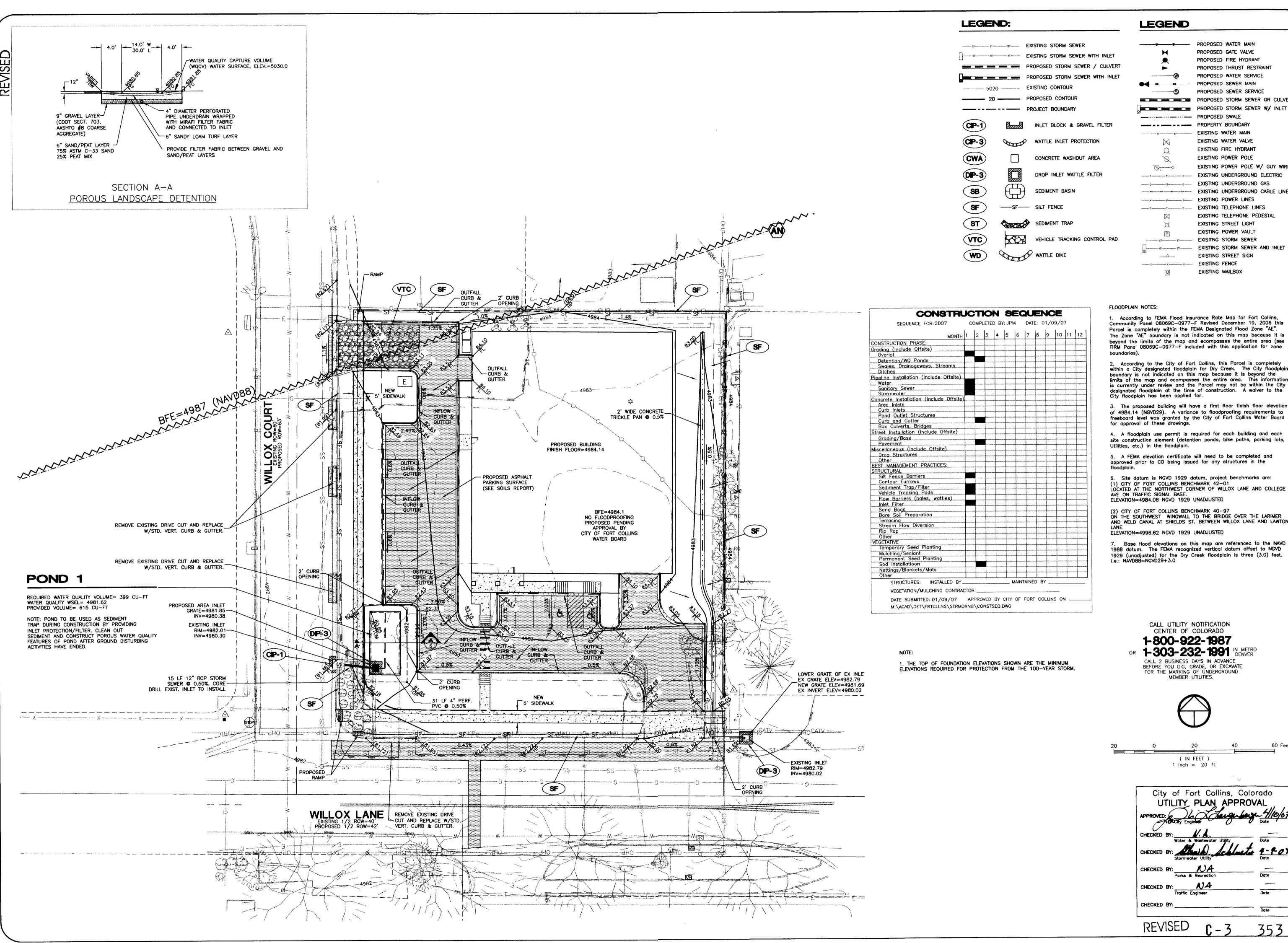
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9 Sheet

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PROPOSED WATER MAIN PROPOSED GATE VALVE PROPOSED FIRE HYDRANT PROPOSED THRUST RESTRAINT PROPOSED WATER SERVICE PROPOSED SEWER MAIN PROPOSED SEWER SERVICE PROPOSED STORM SEWER OR CULVERT PROPOSED STORM SEWER W/ INLET PROPERTY BOUNDARY --- EXISTING WATER MAIN EXISTING WATER VALVE EXISTING FIRE HYDRANT EXISTING POWER POLE EXISTING POWER POLE W/ GUY WIRE EXISTING UNDERGROUND ELECTRIC EXISTING UNDERGROUND GAS EXISTING UNDERGROUND CABLE LINES EXISTING POWER LINES EXISTING TELEPHONE LINES EXISTING TELEPHONE PEDESTAL EXISTING STREET LIGHT EXISTING POWER VAULT EXISITNG STORM SEWER

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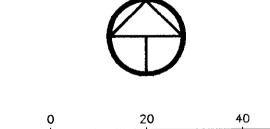
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ELEVATION=4996.62 NGVD 1929 UNADJUSTED Base flood elevations on this map are referenced to the NAVD

CALL UTILITY NOTIFICATION

1-800-922-1987

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE

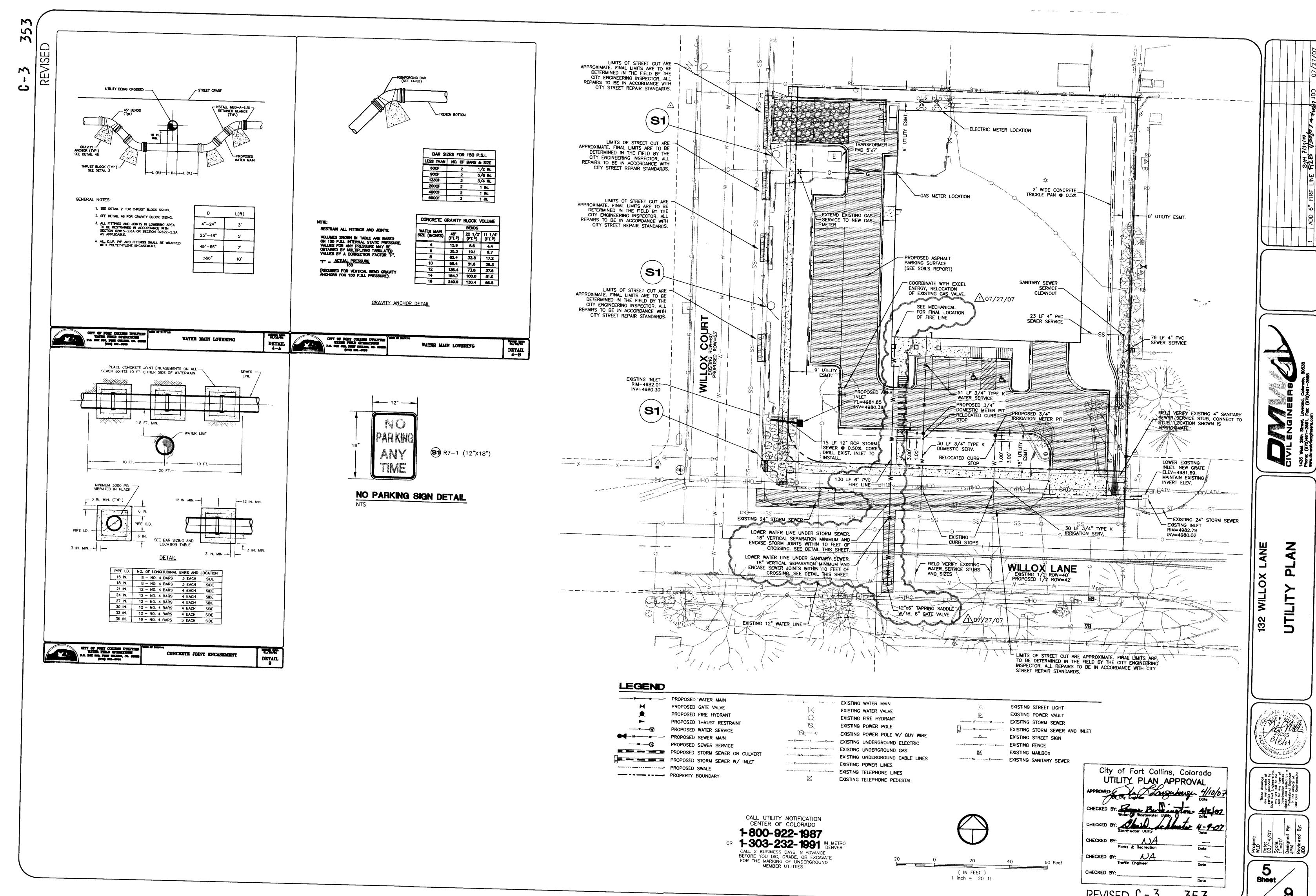


Other of Fort Collins	Colorado
City of Fort Collins, UTILITY PLAN APP	PROVAL
APPROVED: City Engineer	bergu 4/1
CHECKED BY: Water & Wastewater Utility	Date
CHECKED BY: Stormwater Utility	meter 4-1
CHECKED BY: NA Parks & Recreation	Date
CHECKED BY: NA	Date

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ADING AND CONTROL GR/ EROSION

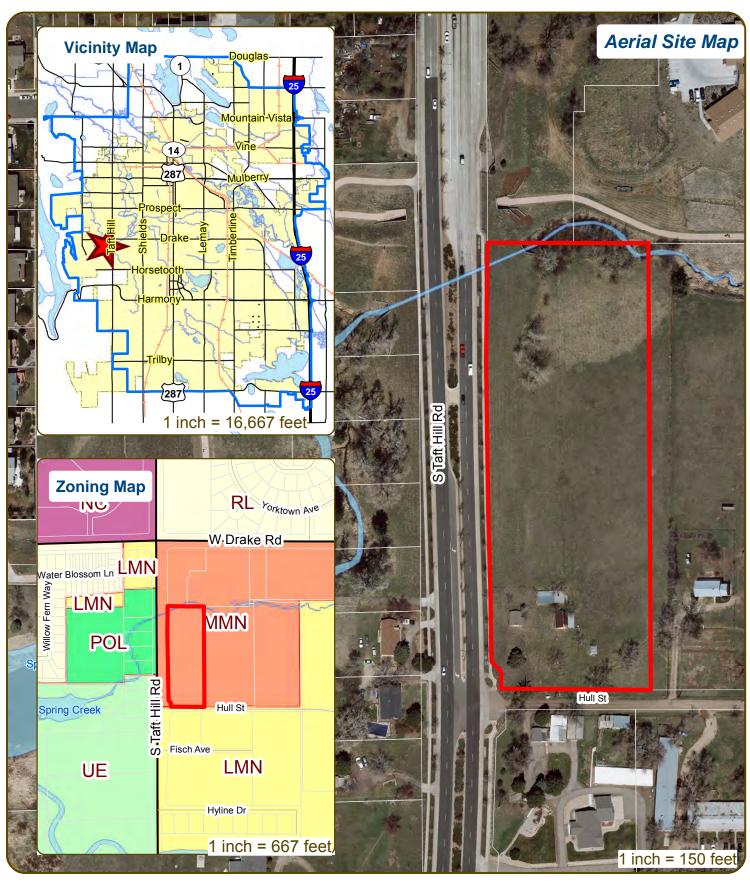
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REVISED C-3 353

2800 S Taft Hill Rd Multi-Family Residential



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Development Review Guide – STEP 2 of 8 CONCEPTUAL REVIEW:

APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

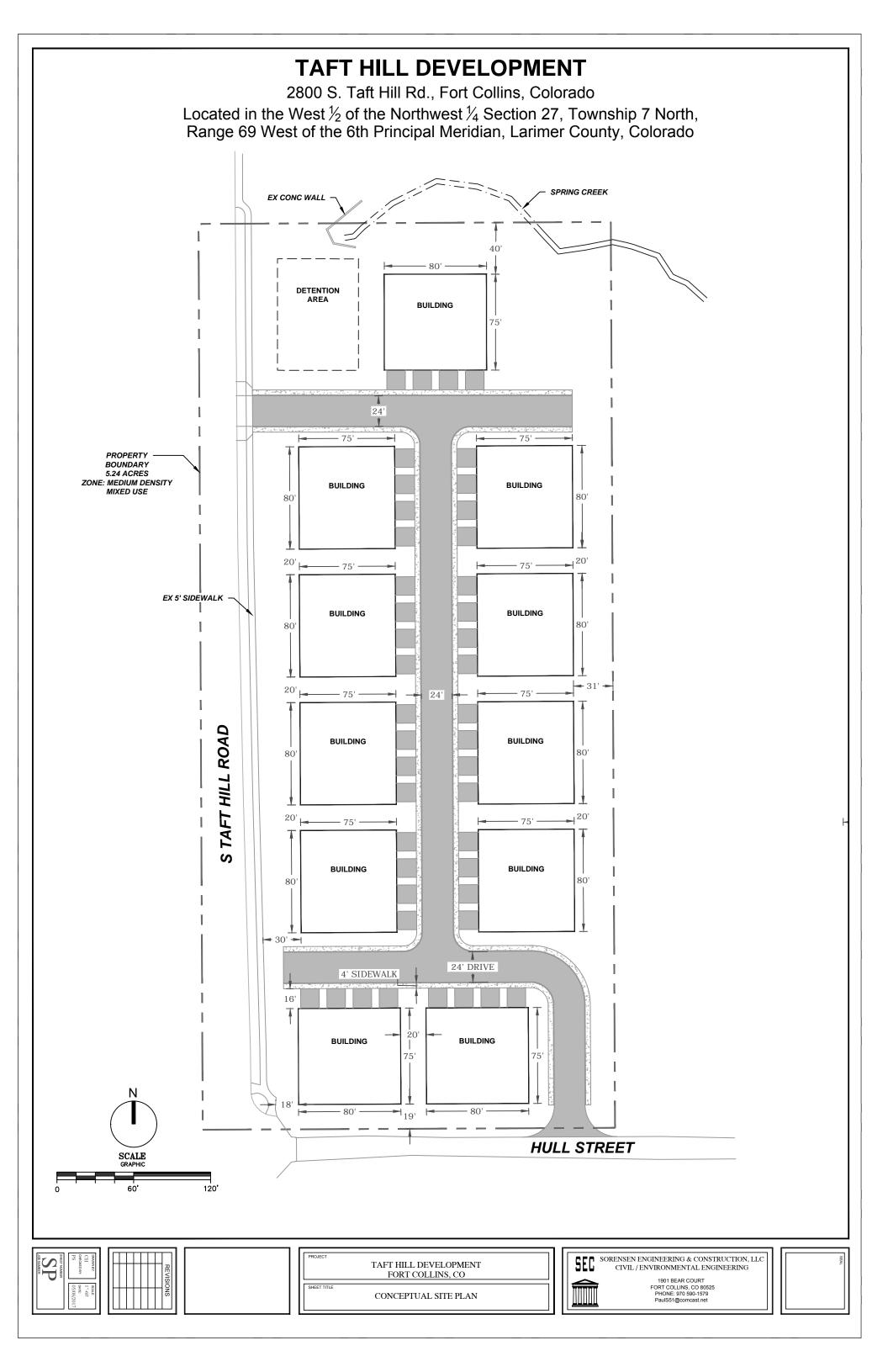
Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority.

Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal. The more info provided, the more detailed your comments from staff will be.

Contact Name(s) and Role(s) (Please identify wh	ether Consultant, Owner, etc.)	
Business Name (if applicable)		
,		
Mailing Address		
Phone	Email Address	
Site Address (parcel # if address in not available)		
Description of Proposal (attach additional sheets	if necessary)	
Proposed Use	Existing Use	
Total Building Square Footage	Number of Stories	Lot Dimensions
Age of any Existing Structures		
Info available on Larimer County's Website: http://ww	vw.co.larimer.co.us/assessor/qu	<u>iery/search.cfm</u>
If any structures are 50+ years old, good quality, cold	or photos of all sides of the stru	cture are required for conceptual.
	Mr. and Mr. and Mr. de	*******
ls your property in a Flood Plain? ☐ Yes ☐ No	If yes, then at what i	isk isit?
Info available on FC Maps: http://gisweb.fcgov.com/r	redirect/default.aspx?layerThem	e=Floodplains.
Increase in Impervious Area		S.F.
(Approximate amount of additional building, paveme	nt, or etc. that will cover existing	bare ground to be added to the site)

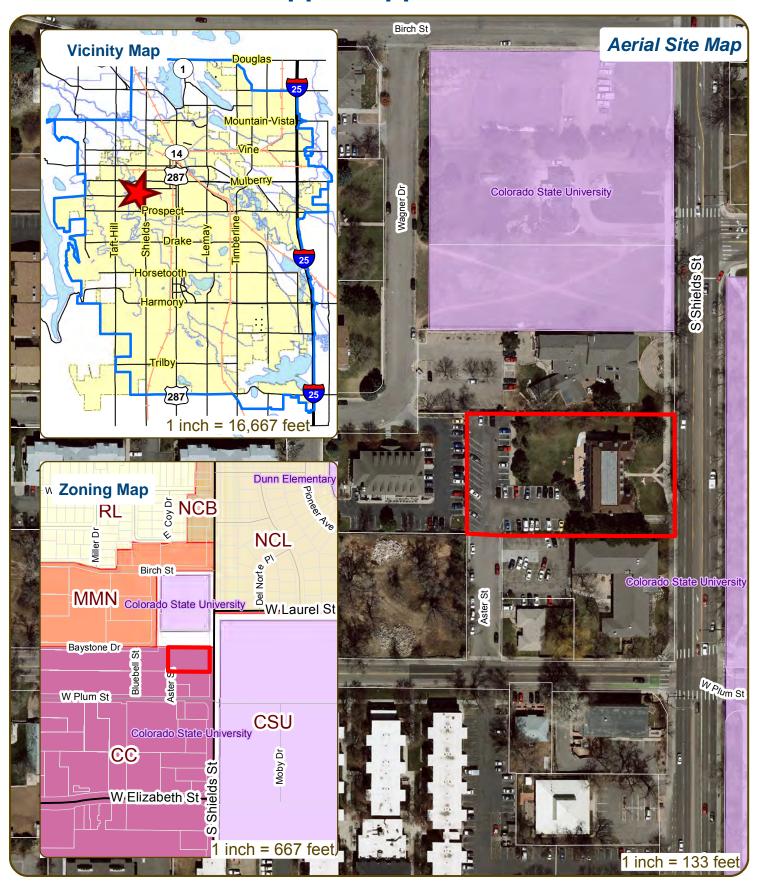
Suggested items for the Sketch Plan: Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?







729 S. Shields St. Kappa Kappa Gamma



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Development Review Guide - STEP 2 of 8

CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

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BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.* Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc.) Greg Orr - Owner Rep. Kyle Ray - Architect, Denise Waddell & Pam Wolf- Kappa Kappa Gamma, Noah Emmers - Civil Business Name (if applicable) Kapp Kappa Gamma Your Mailing Address 729 S. Shields Fort Collins, CO 80521 Email Address See contact sheet Phone Number See contact sheet Site Address or Description (parcel # if no address) 729 S. Shields Fort Collins, CO 80521 Description of Proposal (attach additional sheets if necessary) Addition and Renovation to Kappa Kappa Gamma House. Proposed Use Sorority House Sorority House Existing Use Total Building Square Footage 23,430 S.F. Number of Stories 3 Lot Dimensions 93' x 273' Age of any Existing Structures Original built in 1956 Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/guery/search.cfm If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual. Is your property in a Flood Plain? ☐ Yes 🗷 No If yes, then at what risk is it? Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?laverTheme=Floodplains. Increase in Impervious Area 3,650 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

Kappa Kappa Gamma House at Colorado State University Project No. 1326

OWNER:

Kappa Kappa Gamma House at Colorado State University Pam Wolf House Board President 303 810-1883 pamwolf7@gmail.com

ARCHITECT:

Hug & Associates, Architects Kyle G. Ray, Senior Project Manager / Designer 5250 Avalon Boulevard Alpharetta, Georgia 30009 678.297.2929 Kray@hugarchitects.com

CIVIL ENGINEER:

Michael White, PE Project Manager Baseline Engineering Corporation 303.940.9966 mike@baselinecorp.com

LANDSCAPE ARCHITECT:

TBD

STRUCTURAL ENGINEER:

Chris Kendall, PE Principal KL&A Structural Engineers 970.776.4820 Ckendall@klaa.com

MECHANICAL/ELECTRICAL/PLUMBING ENGINEERS:

Trevor M. Kindell Associate Principal Given and Associates 720.638.6590 trevork@givenandassociates.com

SPECIFICATIONS CONSULTANT:

N.A.

KITCHEN CONSULTANT:

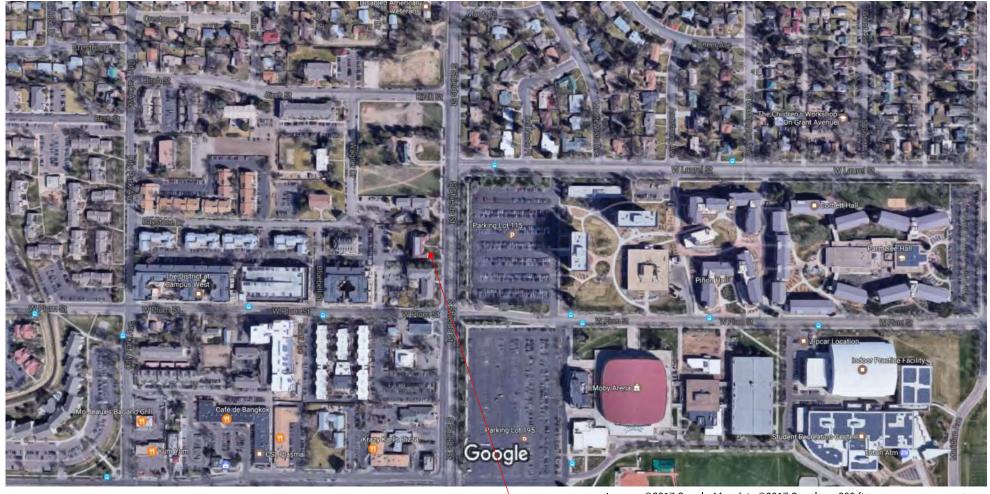
Conrad Beattie In-Sync Design Services (770) 337-5944 cb.insync@gmail.com

OWNER REPRESENTATIVE

Reliance Construction Consulting
Greg Orr
201 Commerce Dr. Suite 1
Fort Collins, CO 80524
greg@relianceconstructionconsulting.con
970-567-6841

6/15/2017 Google Maps

Google Maps



Imagery ©2017 Google, Map data ©2017 Google 200 ft L

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729 S, SHIELDS STREET
FORT COLLINS, CO 8/521 MICHAEL S, HUG, ARCHITECT 6250 AVALON BOULEVARD ALPHARETTA, GEORGIA 30009 Original Sheet Issue PROJECT DIRECTORY Latest Issue Date HOUSING BOARD MICHAEL WHITE MICHAEL HUG PRINCIPAL CHARGE KYLE RAY SR PROJECT DRAWING INDEX (303) 537-5052 (H) (303) 810-1883 (C) BED COUNT TABULATIONS 53 BEDS DRAWING INDEX - MECHANICAL

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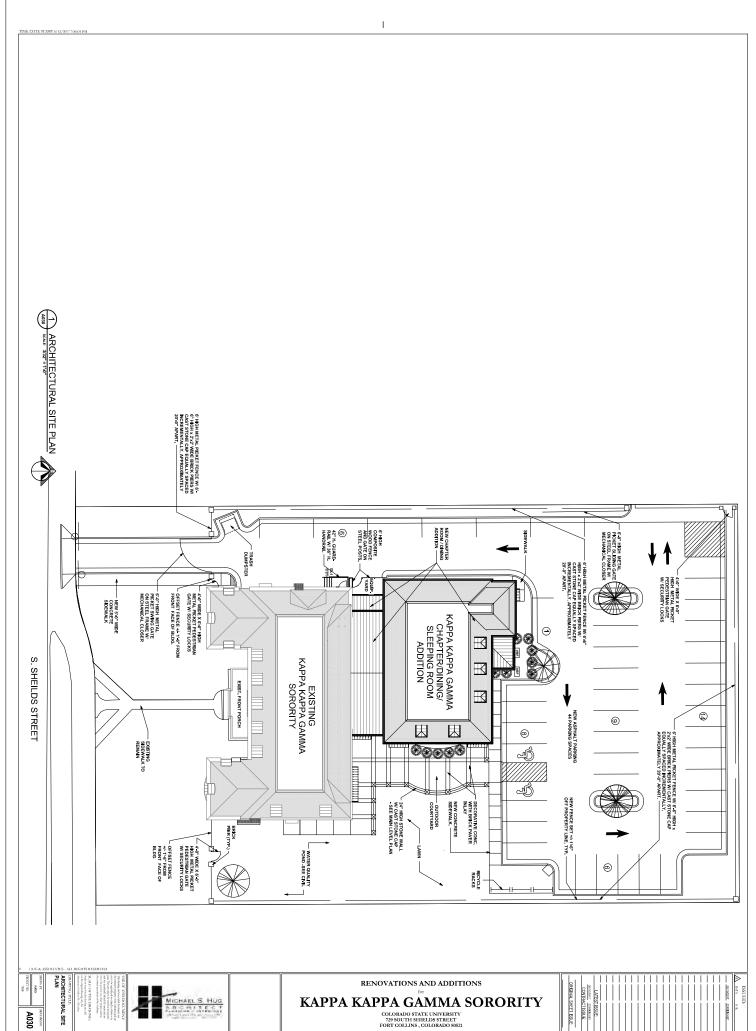
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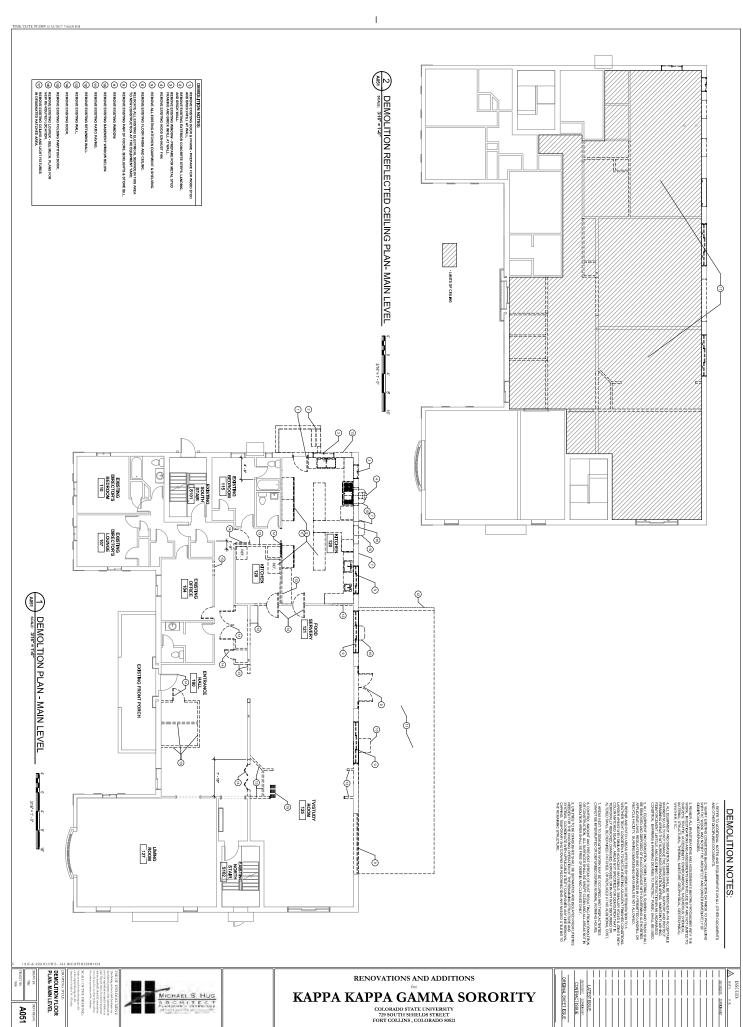
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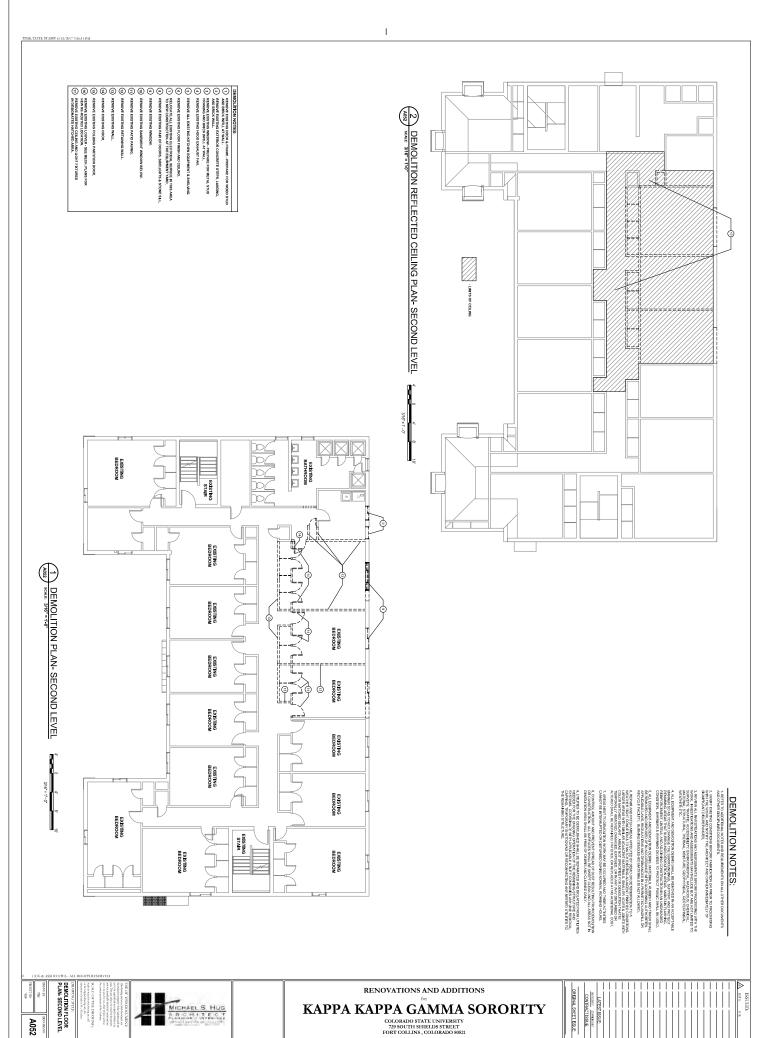
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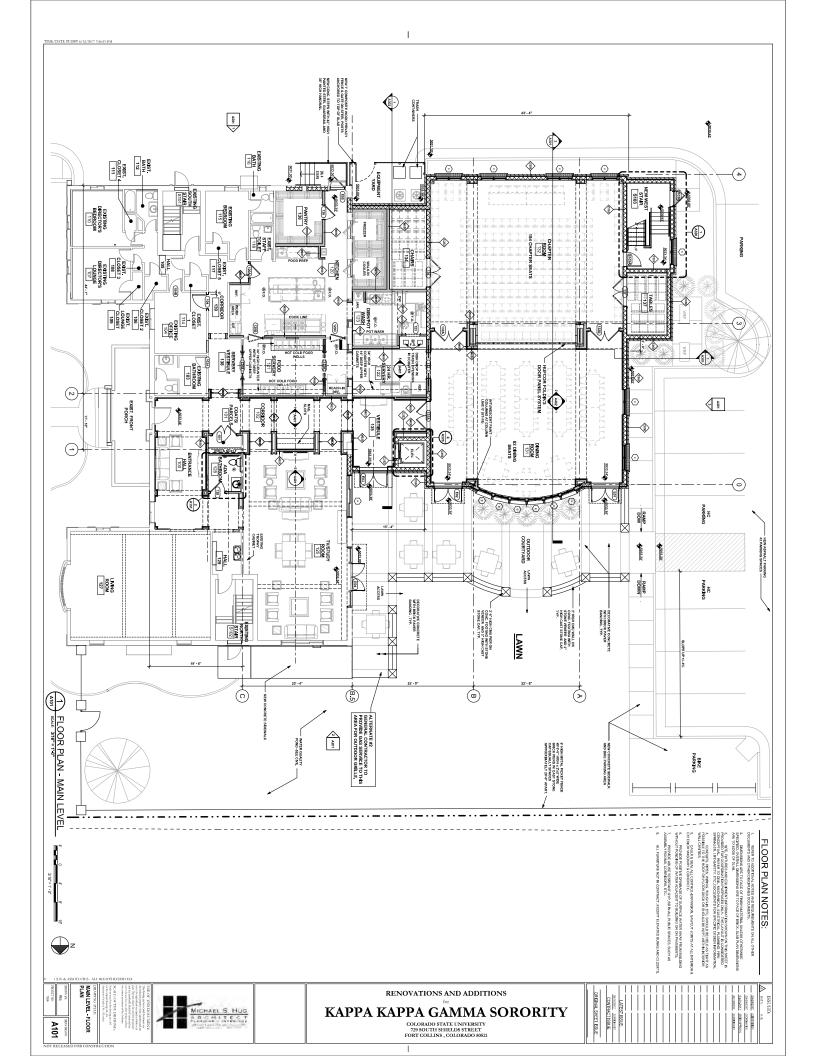


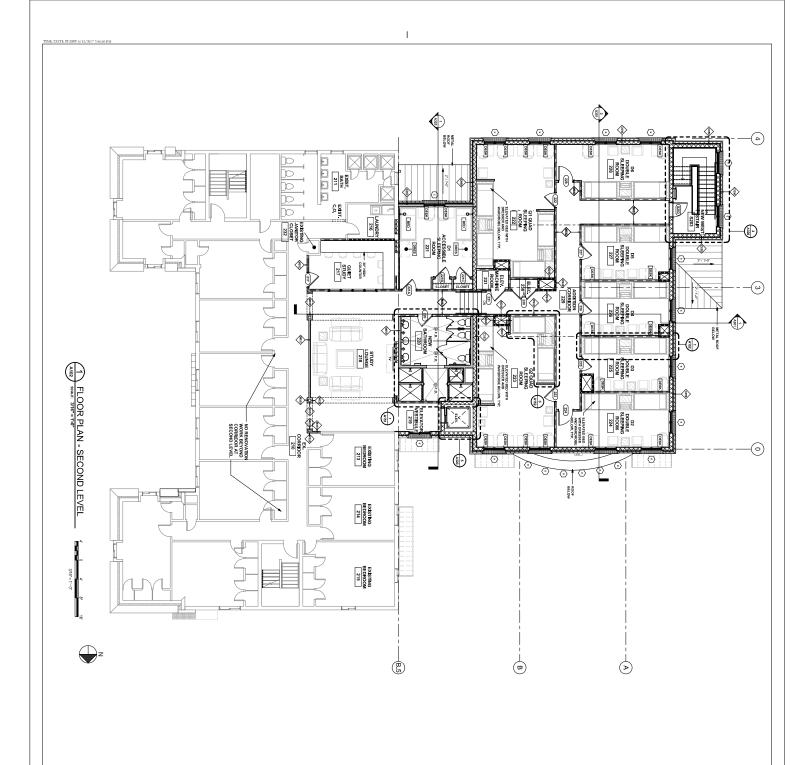
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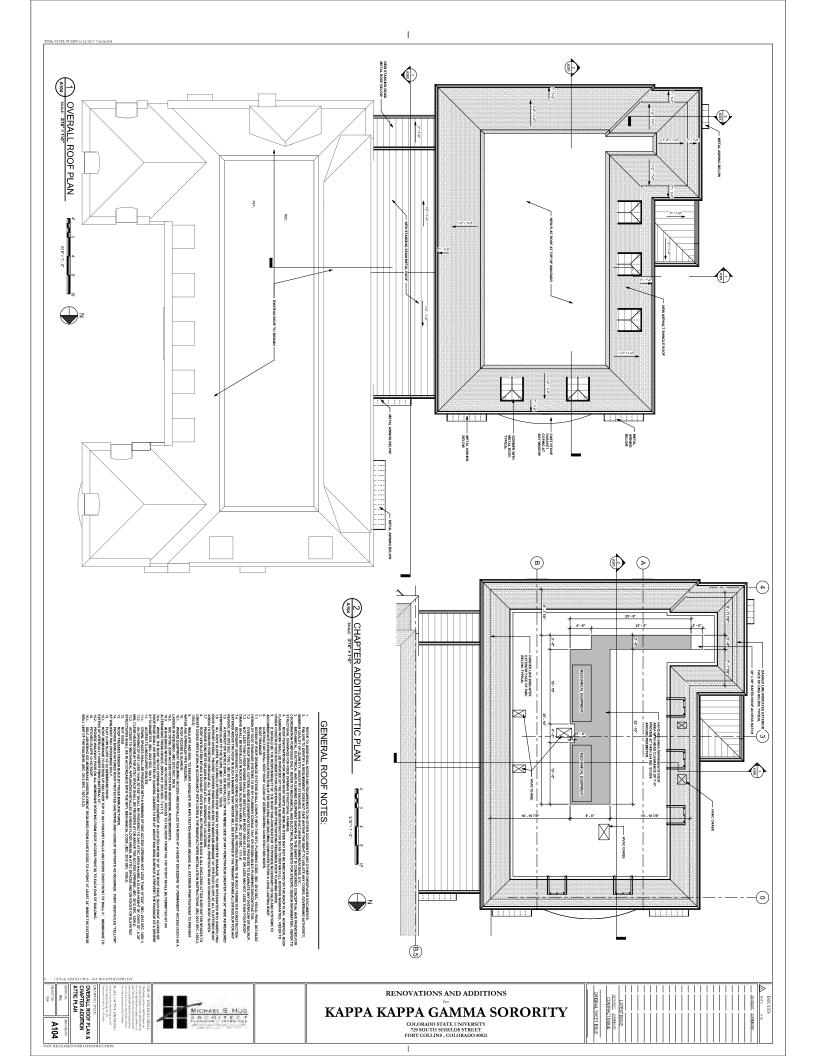
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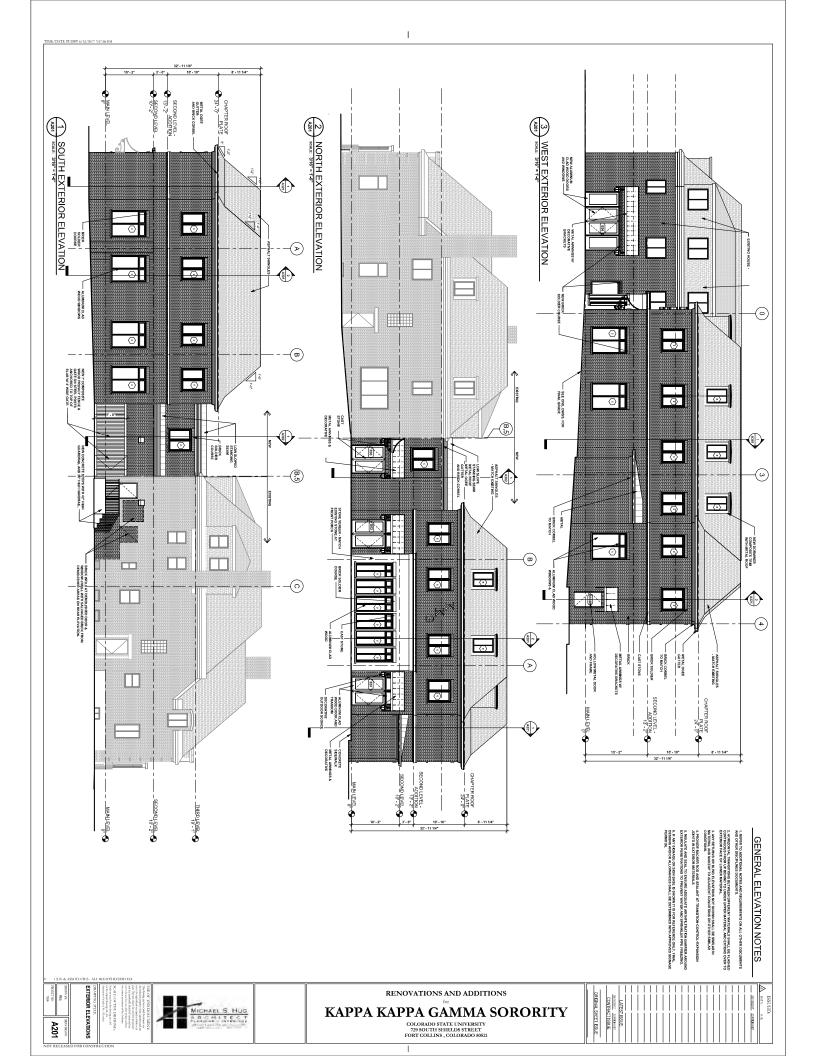
RENOVATIONS AND ADDITIONS

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FLOOR PLAN - SECOND LEVEL





THIRD LEVEL EAST-WEST BUILDING SECTION NORTH-SOUTH BUILDING SECTION EXISTING MECHANICAL 006 4 D6 DOUBLE SLEEPING ROOM 228 CHAPTER ROOM 132 24 HR SERVERY 122 (B) ADDITION CORRIDOR 229 DINING ROOM 131 -(Þ) 0 CHAPTER ROOF

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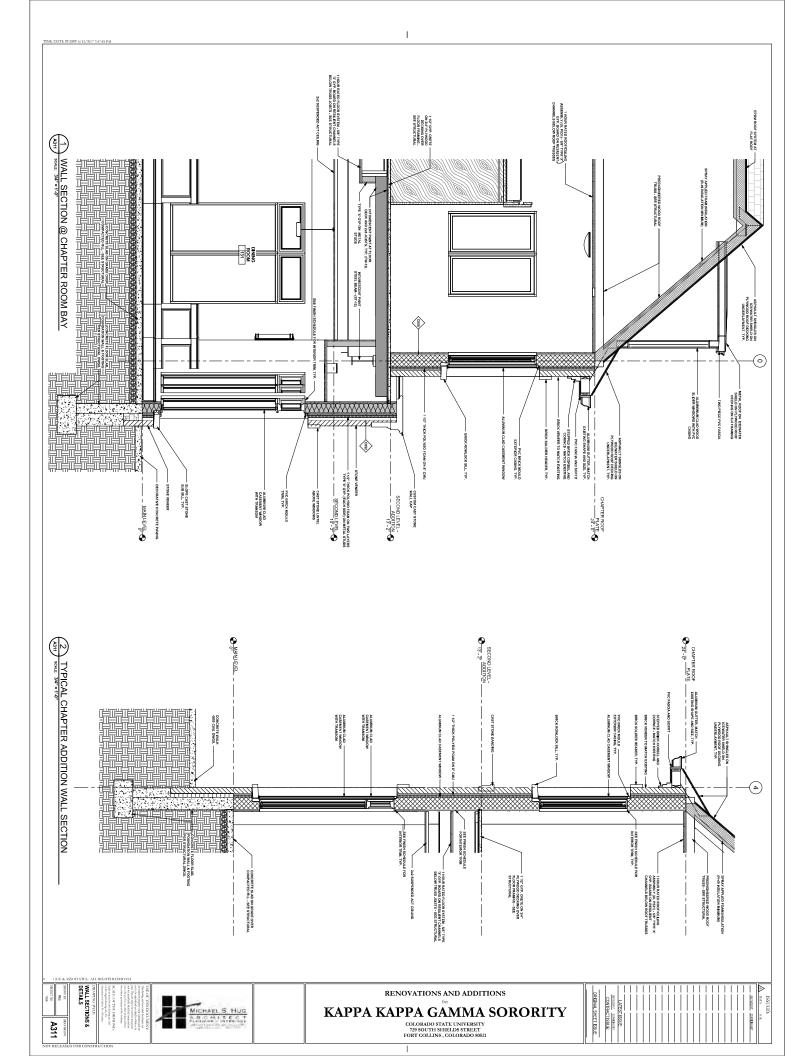
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FORT COLLINS, COLORADO SSEII A301

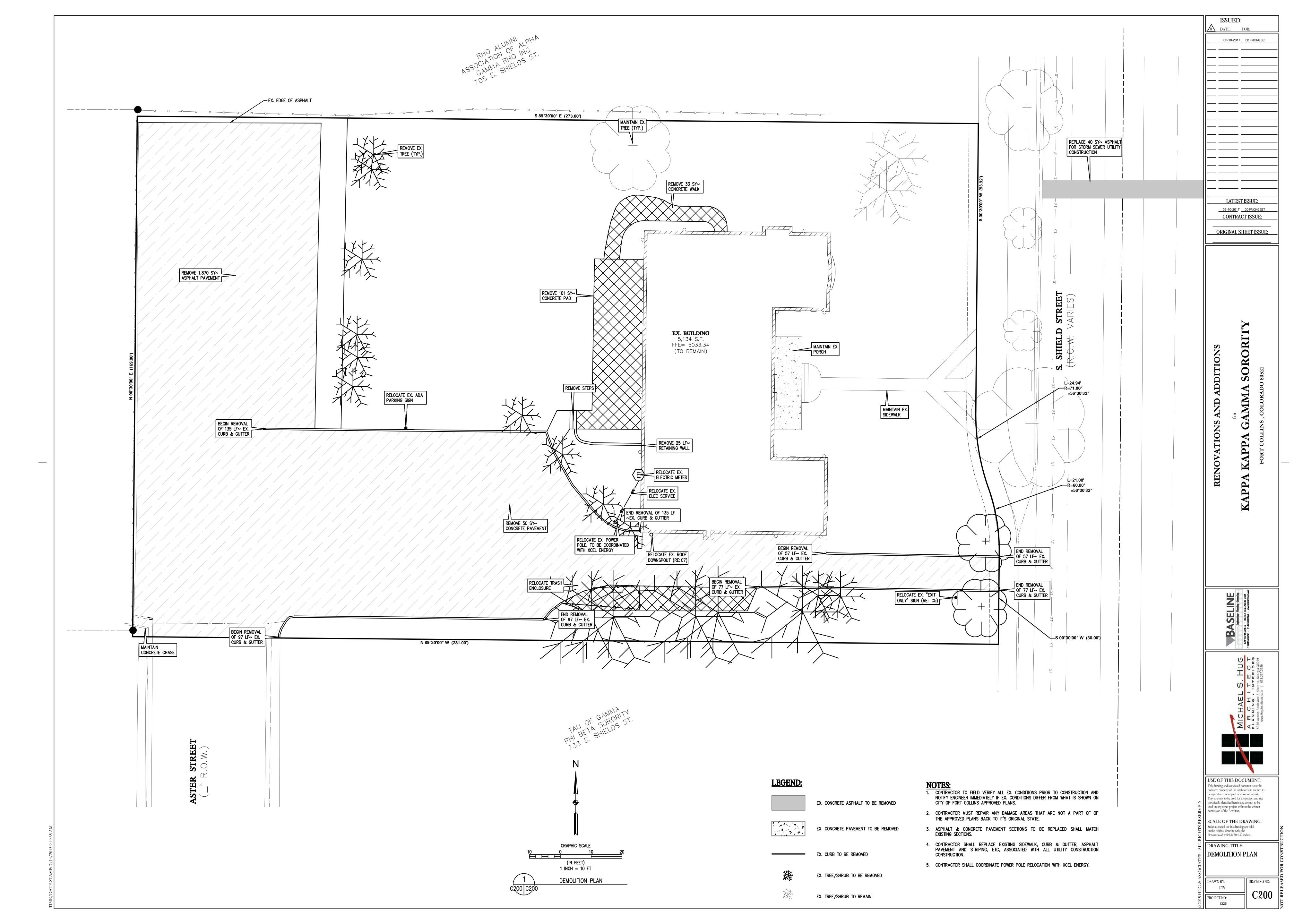
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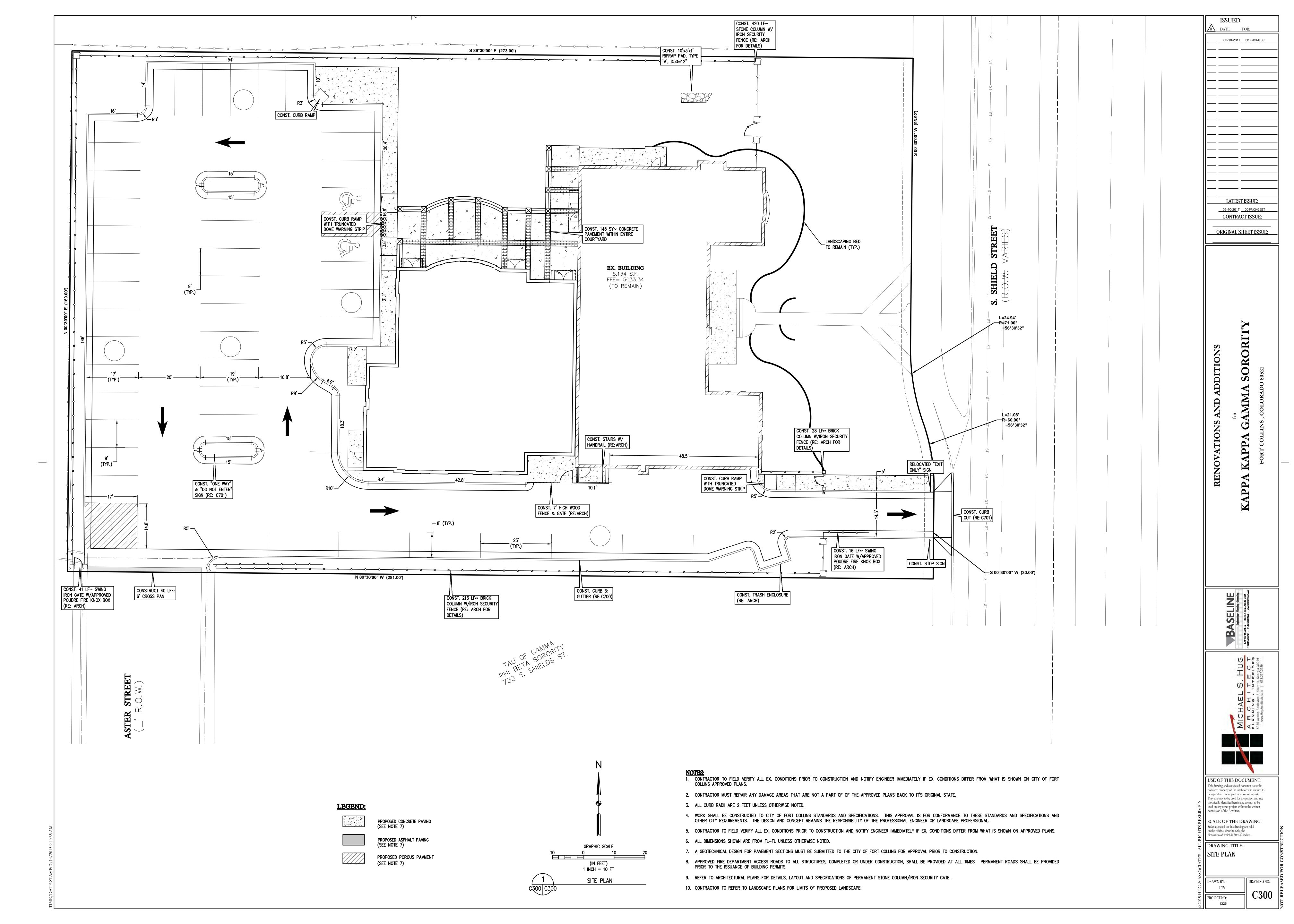
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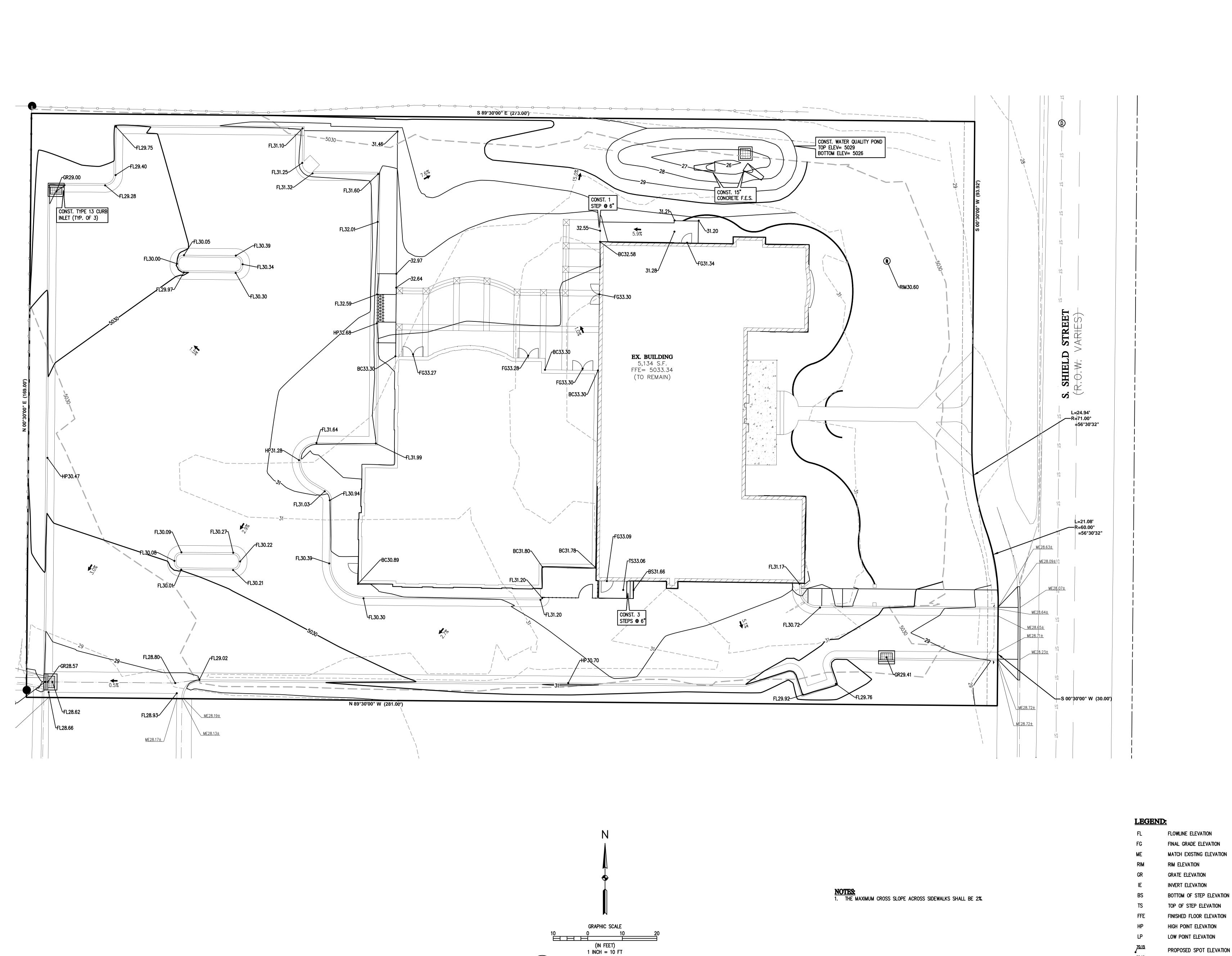
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COLORADO STATE UNIVERSITY
728 SOUTH SHIELDS STREET
FORT COLLINS, COLORADO SSEII









GRADING PLAN

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

FLOW DIRECTION/SLOPE

USE OF THIS DOCUMENT: This drawing and associated documents are the exclusive property of the Architect, and are not to be reproduced or copied in whole or in part. They are only to be used for the project and site specifically identified herein and are not to be used on any other project without the written permission of the Architect.

ISSUED:

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LATEST ISSUE:

____05-10-2017 ____DD PRICING SET CONTRACT ISSUE:

ORIGINAL SHEET ISSUE:

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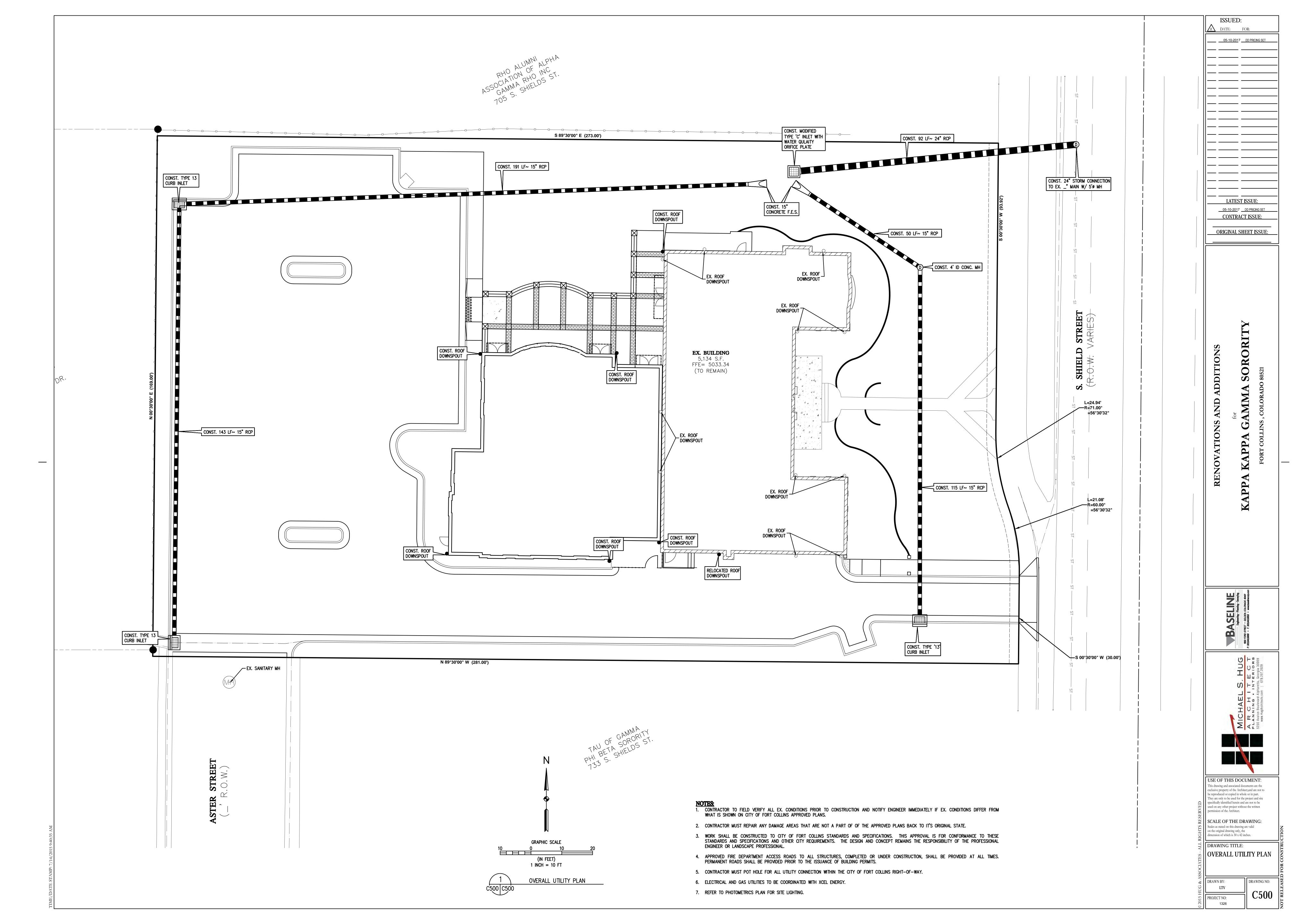
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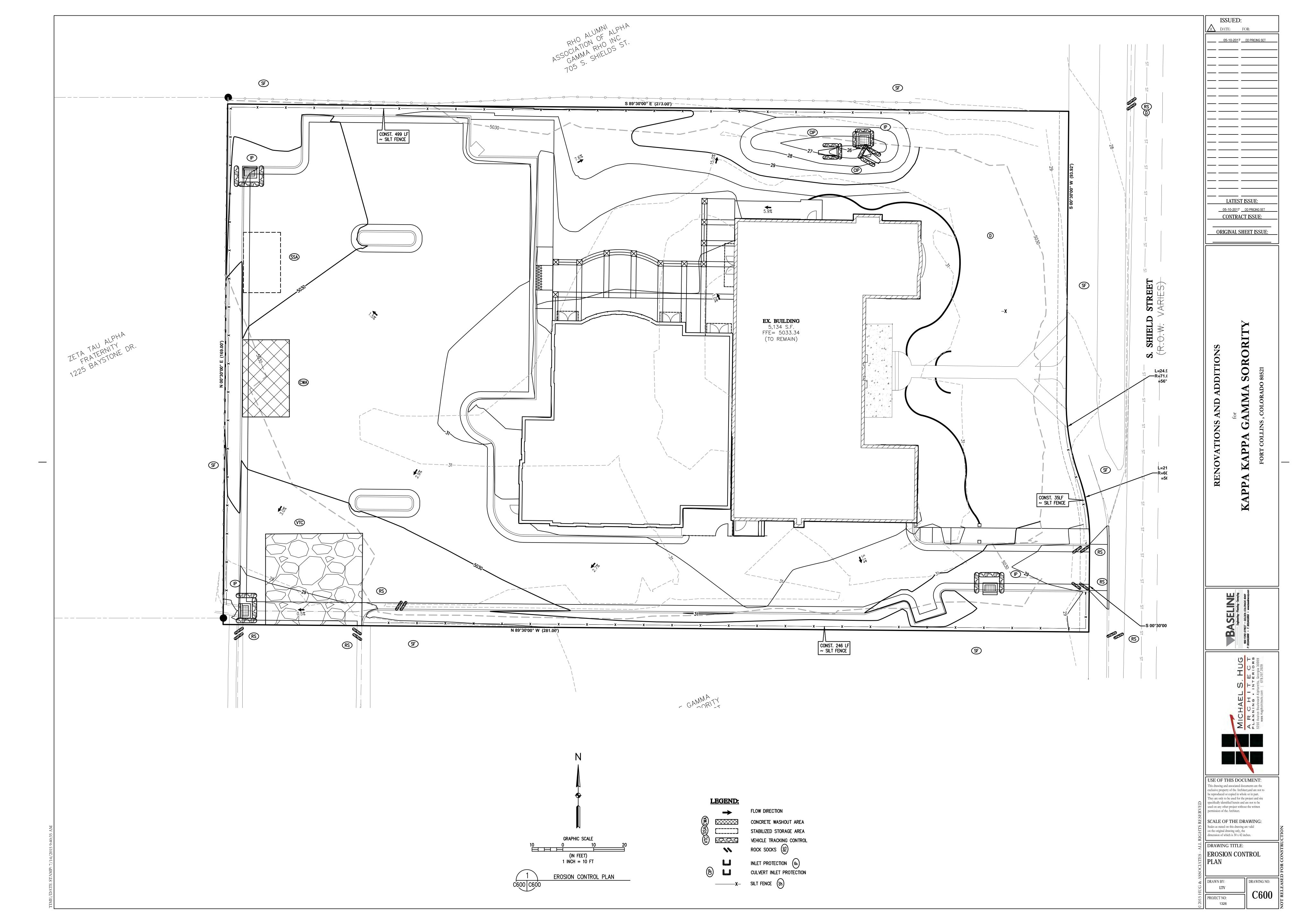
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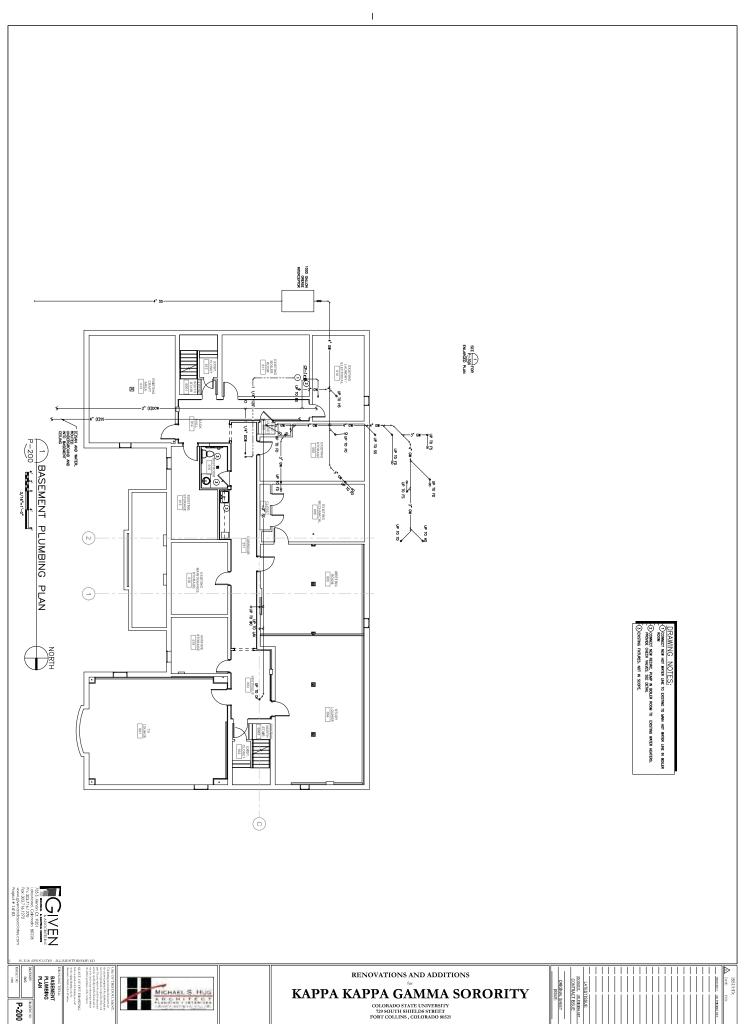
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COMPANY: FORT COLLING LIGHT & POWER
NAME:
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TELEPHONE/DUTAL/DUPLEX OUTLET
(FLOOR MTD) DATA OUTLET

AND OUTLET

FLEPHONE OUTLET

(WALL ME)

FLEPHONE OUTLET

(FLOOR ME)

FLEPHONE/DATA OUTLET SWITCH

3-WAY SWITCH

4-WAY SWITCH

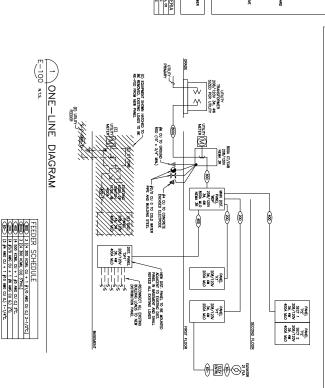
DAMER SWITCH

THERMAL OVERLOAD SWITCH

CONTROLLING OUTLET OR

FIXTURE "." JUNCTION BOX (OEILING MTD) SPECIAL PURPOSE RECEPTACLE (FLOOR MTD)
JUNCTION BOX
(WALL MTD) DUPLEX RECEPTACLE
(WALL MTD)

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OCCUPANCY SENSOR (WALL MTD)

WITH (2) INTEGERAL SMITCHES

OCCUPANCY SENSOR (CELLING MTD) WITH CORRIDOR SENSING PATTERN NITH (1) INTEGERAL SWITCH POLE MOUNTED FIXTURE (SINGLE ARM) TRACK MOUNTED FIXTURE SOONCE (WALL MTD, HALF ROUND)
SUPPRICE GLOBE
PENDANT (SMALL) 1X4 FLUORESCENT STRIP FIXTURE EXIT SIGN (SHADE INDICATES ILLUMINATED FACE(S)) EMERGENCY BUCEYE 1X4 FLUORESCENT FIXTURE (CEILING MTD) 2X2 FLUORESCENT FIXTURE (CEILING MTD) 2X4 PLUGRESCENT FIXTURE (CELING MTD) ELECTRICAL SYMBOL LEGEND MIE NOTATION (CXMPLE)

ATE NOTATION (CXMPLE) SECURITY CAMERA C PANEL (C INDICATES PANEL A1-1 CRCUT NUMBER INDICATED FIRE ALARM CONTROL PANEL
FIRE ALARM ANNUNCIATOR SINGLE PUSH BUTTON TIME CLOCK WITH BATTERY TELENSION OUTLET MOTOR/MOTOR STARTER/ DISCONNECT SWITCH COMBO FRACTIONAL HP MOTOR WITH TOGGLE STARTER & THERMAL OVERLOWS RELX — UNDERGROUND/JARGESSJA CONDUIT

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TORROR CONCENTED CONDUIT SWITCH (NON-FUSED) dewitte dewitte 7777 \$ NEWWISH NAME OF THE PROPERTY O ON (EXAMPLE)

- NEW WORK

- EXISTING WORK

DEMOLITION WORK (DWGRAMMATIC) PAD MOUNTED UTILITY TRANSFORMER ###/###V. #o. ## ### kwn CIRCUIT BREAKER (DIAGRAMMATIC) FUSED SWITCH (DIAGRAMMATIC) UTILITY METER & CT's

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ELECTRICAL SPECS LEGEND & ONE-LINE

E-100

MICHAELS HUG

RENOVATIONS AND ADDITIONS

KAPPA KAPPA GAMMA SORORITY COLORADO STATE UNIVERSITY 729 SOUTH SHIELDS STREET FORT COLLINS, COLORADO SESI

CONTRACT ISSUE

