



ITEM NO 2
MEETING DATE January 22, 2015
STAFF Holland
HEARING OFFICER

STAFF REPORT

PROJECT: Riverside Self-Storage Project Development Plan, PDP #140026

APPLICANT: Corey Seitz
1640 Riverside, LLC
1019 Club View Road
Fort Collins, Colorado 80524

OWNER: 1640 Riverside, LLC
123 North College Avenue, Suite 230
Fort Collins, CO 80524

PROJECT DESCRIPTION:

This is a request for a combined Project Development Plan and Final Plan to construct a self-storage facility on a 2.27 acre site located at 1640 Riverside Avenue. The proposal includes a two-story building along the western portion of the site with 4,192 square feet of commercial uses (Building A) and 4,772 square feet of office/warehouse space (Building A1). Located east of Building A/A1, Buildings B through F include 23,950 square feet of enclosed mini-storage. The project is located in the Industrial zone district.

RECOMMENDATION:

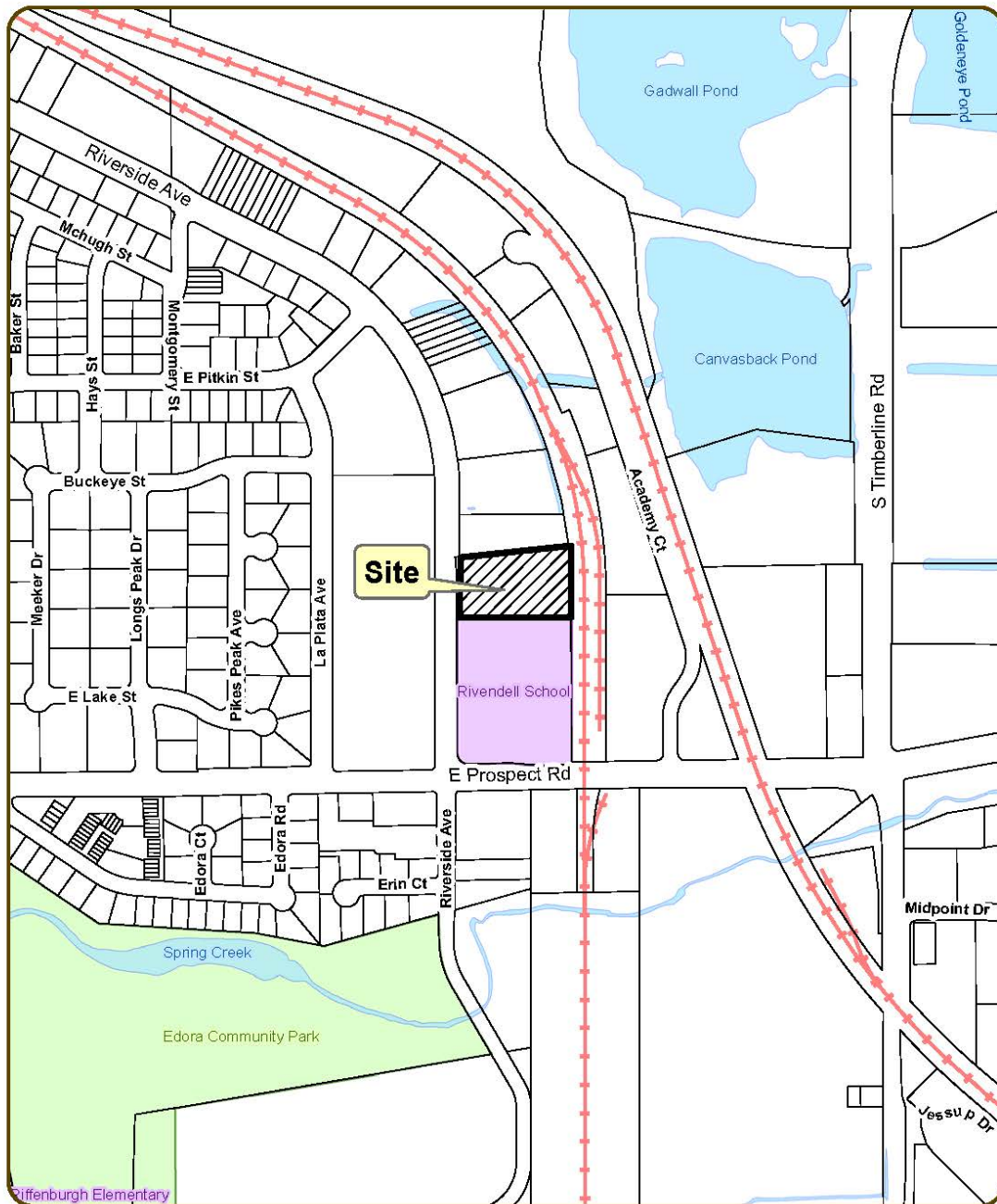
Approval of Riverside Self-Storage Project Development Plan, PDP #140026

EXECUTIVE SUMMARY:

The Riverside Self-Storage P.D.P. complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The P.D.P. complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The P.D.P. complies with relevant standards located in Division 4.28, Industrial District of Article 4 – Districts.
- The P.D.P. complies with relevant standards located in Article 3 – General Development Standards.

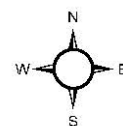
VICINITY MAP:



1640 Riverside Self-Storage

500 250 0 500 Feet

1 inch = 500 feet



COMMENTS:

1. Background:

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Industrial (I)	Self-Storage Facility
South	Industrial (I)	City Recycling Facility; Rivendell private elementary school
East	Industrial (I)	Union Pacific Railroad
West	Employment (E)	Water Pik, Inc.

Land Use History:

- The property was annexed in August 1973 as part of the East Prospect Street Annexation.
- The site is currently unoccupied and generally unimproved. The most recent development approval for the site was a replat of the property in 1995 as Lot 1 of the Riverside Subdivision.

2. Compliance with Applicable Industrial District Standards:

The project complies with all applicable Industrial District standards with the following relevant comments provided. Language in this staff report that is taken directly from the Land Use Code (LUC) is shown in *italics*, with certain relevant elements underlined for emphasis.

A. Section 4.26(A) – Purpose

The proposed land uses and site configuration are consistent with the purpose of the Industrial District, by accommodating a *variety of work processes and work places such as manufacturing, warehousing and distributing, indoor and outdoor storage, and a wide range of commercial and industrial operations.*

Section 4.26(B) – Permitted Uses

The proposed land uses are consistent with the permitted uses in the Industrial District. The Industrial District permits both *Industrial Uses* and *Commercial/Retail Uses*.

The uses specifically proposed with the P.D.P. are:

- Building Space A proposes a Commercial/Retail Use: Offices (labeled as “personal business and service” on the site plan, with the intent that some of this space will be used for the management of the mini-storage);
- Building Space A1 proposes a variety of potential uses:

Commercial/Retail Uses:

*Plumbing, Electrical and Carpenter Shops;
Equipment Rental without Outdoor Storage;
Indoor Recreational Uses;
Print shops or;*

Industrial Uses:

*Wholesale Distribution (such as plumbing or electrical supplies, etc.);
Workshops;
Warehouses*

- The remaining Buildings B, C, D, E, and F are within the interior portion of the site and propose an *Enclosed Mini-Storage* use, which is categorized as a *Commercial/Retail Use* in the LUC and is permitted in the Industrial District.

All proposed uses are Type 1 uses subject to an administrative review with a Hearing Officer.

B. Section 4.28(D) – Land Use Standards

The project is in compliance with the applicable standards of this section, more specifically:

4.28(D)(1)(a) Maximum height for all nonresidential buildings, including those containing mixed-use dwelling units, shall be four (4) stories.

4.28(D)(1)(b) All new structures greater than fifty thousand (50,000) square feet in gross leasable area shall be subject to Planning and Zoning Board review.

C. Section 4.28(E)(2) – Development Standards – Building Design

The project is in compliance with the applicable standards of this section, more specifically:

4.28(E)(2)(a) Compliance with the standards contained in Section 3.5.3 of the LUC shall be required only for the following permitted uses in this zone district:

Standard and Fast Food Restaurants, Bars and Taverns, Bed and Breakfast Establishments, Child Care Centers, Convenience Shopping Centers.

Because these uses are not proposed, Section 3.5.3 – which provides Building Standards for Mixed-Use, Institutional and Commercial Buildings – is not applicable to this proposal. However, the building design for the main Building A/A1 along the Riverside Avenue frontage does generally comply with the standards in Section 3.5.3.

4.28(E)(2)(b) Orientation. Along arterial streets and any other streets that directly connect to other districts, buildings shall be sited so that a building face abuts upon the required minimum landscaped yard for at least thirty (30) percent of the building frontage. Such a building face shall not consist of a blank wall.

The project complies with this standard by providing a main building along the Riverside Avenue frontage. The main building face is approximately 110 feet in length, and the site's frontage is 214 feet, resulting in a building frontage of approximately 50%. The building face provides recesses and projections in the building mass and material articulation, in compliance with the "no blank wall" requirement in this standard.

4.28(E)(2)(c) Building character and color. New building color shades shall be neutral, with a medium or dark color range, and not white, bright or reflective.

In compliance with this standard, the building design proposes a neutral color palette with no bright or reflective colors.

D. Section 4.28(E)(2) – Development Standards – Site Design

The project is in compliance with the applicable standards of this section, more specifically:

4.28(E)(3)(a)(2) A minimum thirty-foot deep landscaped yard shall be provided along all arterial streets, and along any district boundary line that

does not adjoin a residential land use. If a district boundary line abuts upon or is within a street right-of-way, then the required landscaped yard shall commence at the street right-of-way line on the district side of the street, rather than at the district boundary line.

4.28(E)(3)(b)(1) Storage, loading and work operations shall be screened from view along all district boundary lines and along all public streets.

The site configuration and landscaping proposed provides adequate screening for the storage facility. No outdoor storage is proposed.

4.28(E)(3)(b)(2) Within internal district areas, buildings may be surrounded by paving for vehicle use. To the extent reasonably feasible, side and rear yards in interior block locations shall be used for vehicle operations and storage areas, and front yards shall be used for less intensive automobile parking. At district edges, side yards shall be used for vehicle operations and storage areas, in order to allow for a finished, attractive rear building wall and a landscaped rear yard.

The project complies with this standard by providing vehicle access to storage facilities along the interior portions of the site, with a transition to a commercial building and a landscaped parking configuration along the Riverside Avenue frontage.

3. Compliance with Article 3 of the Land Use Code – General Development Standards

The project complies with all applicable General Development Standards with the following relevant comments provided:

A. Section – 3.2.1 Landscaping

- Street trees and “Full Tree Stocking” are provided along all high use and high visibility areas of the development in accordance with the standards of this section.
- Ground cover areas in parking lots and at the building foundation are planted in accordance with the minimum requirements, with deciduous shrubs, evergreen shrubs and ornamental grasses provided with adequate spacing. Trees are planted along the parking lot interior and perimeter in conformance with the minimum requirements of this section.

B. Section 3.2.2 – Access, Circulation and Parking

A total of 22 off-street parking spaces are provided in accordance with the maximum quantity permitted in this section. Parking maximums required per the LUC are based on the following use categories:

<u>Use:</u>	<u>Maximum Parking Permitted:</u>
<i>Personal Business and Service Shop</i>	4/1000 SF
<i>Low Intensity Retail, Repair Service, Workshop and Custom Small Industry</i>	2/1000 SF

Based on these two parking categories, the maximum permitted parking for the site, based on the proposed building areas is as follows:

<u>Building / Area:</u>	<u>Max. Parking Permitted:</u>	<u>Parking Provided:</u>
Building A / 4,192 SF	16 spaces (@4:1000)	16 spaces
Building A1 / 4,772 SF	9 spaces (@2:1000)	6 spaces
Total:	25 spaces permitted	22 spaces provided

The parking spaces and drive isles provided meet the minimum dimensional requirements in this section. In conformance with the *Purpose, General Standard and Development Standards* described in this section, the parking and circulation system provided with the project is well designed with regard to safety, efficiency and convenience for vehicles, bicycles, pedestrians and transit.

C. Section 3.2.2(C)(6) – Direct On-Site Access to Pedestrian and Bicycle Connections

A 6 foot sidewalk provides a direct connection from the building's entrances to the existing sidewalk along Riverside Avenue in accordance with this section. Bicycle parking is planned in accordance with the minimum quantity and is placed appropriately near the building entrance.

D. Section 3.2.4 – Site Lighting

A photometric plan was submitted for the project that complies with the lighting levels and design standards of this section. Parking lot and drive lighting is provided by down-directional and sharp cut-off fixtures.

E. Section 3.2.5 – Trash and Recycling Enclosures

The project provides a fully screened trash enclosure with walk-in access to recycling and waste containers in accordance with the requirements of this section. The enclosure is finished with masonry and painted steel doors which provide an appearance consistent with the building design.

F. Section 3.5.3 – Mixed-Use, Institutional and Commercial Buildings

This LUC section is not applicable to the project because the project is within the Industrial District, and as mentioned on page 5 of this staff report, only certain uses require compliance with this section. However, the form of the main commercial Building A/A1 proposed along the Riverside Avenue frontage provides adequate articulation. The use of brick, textured masonry and patterned metal siding contribute to an appearance that is consistent with the commercial building requirements of this section. Variations in massing, juxtaposed materials and forms with varied patterns of recesses and projections provide vertical and horizontal interest, breaking down the overall scale of Building A/A1. The main building's elevations provide a recognizable base and top treatment in accordance with Section 3.5.3(D)(6), with all areas of wall plane receiving an adequate base plane treatment to provide vertical relief and human scale. Entrance canopies and projecting roof elements are used to further articulate the main building and provide detail.

5. Neighborhood Meeting

A City neighborhood meeting was not required for this project and a meeting was not held.

6. Findings of Fact/Conclusion

In evaluating the Riverside Self-Storage Project Development Plan, staff makes the following findings of fact:

- A. The P.D.P. complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The P.D.P. complies with relevant standards located in Article 3 – General Development Standards.
- C. The P.D.P. complies with the relevant standards located in Division 4.28, Industrial District (I) of Article 4 – Districts.

RECOMMENDATION:

Approval of Riverside Self-Storage Project Development Plan, PDP #140026

ATTACHMENTS:

1. Site and Landscape Plan
2. Building Elevations
3. Plat
4. Traffic Memorandum
5. HMIA (Hazardous Materials) statement

PROJECT DATA

PARCEL SIZE: 95,112 SQUARE FEET 2.18 ACRES

EXISTING ZONING: I, INDUSTRIAL

RESIDENTIAL CONSTRUCTION:NONE

PROPOSED LAND USES: BUILDING A: 2,996 SQUARE FOOT FIRST FLOOR
1,196 SQUARE FOOT SECOND FLOOR
PERSONAL BUSINESS AND SERVICE USE.
BUILDINGS B-F: ENCLOSED MINI-STORAGE.
BUILDING A1: 4,772 SQUARE FOOT USED FOR PLUMBING, ELECTRICAL
AND CARPENTER SHOPS; EQUIPMENT RENTAL W/O
OUTDOOR STORAGE; INDOOR RECREATIONAL USES;
WORKSHOPS; WAREHOUSE OR PRINTSHOP AND WHOLESALE
DISTRIBUTION..

PARKING:AUTO

PERSONAL BUSINESS/OFFICE: 4/1000 SF = 17
OFFICE/WAREHOUSE: 2/1000 SF = 5
TOTAL ALLOWED = 22
TOTAL PROVIDED = 21

PARKING: BICYCLE

PERSONAL BUSINESS/OFFICE: 4 REQUIRED -- ONE ENCLOSED
PROVIDED: 4 SPACES PROVIDED -- ALL ENCLOSED

SITE DATA:

SECTION	AREA (SQ. FT.)	AREA (ACRES)
TOTAL SITE:	95,112.0	2.18

SECTION	AREA (SQ.FT.)	
BLDG. 'A': OFFICE	2,996	
BLDG. 'B': STORAGE	4,850	
BLDG. 'C': STORAGE	5,300	
BLDG. 'D': STORAGE	5,550	
BLDG. 'E': STORAGE	3,450	
BLDG. 'F': STORAGE	4,800	
BLDG. 'A1' OFFICE/WAREHOUSE	4,772	
TOTAL STORAGE BLDGS:	23,950	(25.2%)
TOTAL BLDG.(FOOTPRINT):	31,718	(33.3%)
LANDSCAPING:	25,649	(27.0%)
PAVING:	37,745	(39.7%)

1. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS OF STORM DRAINAGE
STRUCTURES, UTILITY MAINS AND SERVICES.

2. REFER TO THE FINAL CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION
REGARDING PROPOSED TOPOGRAPHY, UTILITY AND STREET IMPROVEMENTS.

3. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS,
AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND
OTHER SURVEY INFORMATION.

4. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE
PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.

5. DEVELOPER SHALL ENSURE THAT THE FINAL LANDSCAPE PLAN IS COORDINATED
WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM
DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH
NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON
THIS PLAN.

6. PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT
DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES
OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE
SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS
TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY
FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE
THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.

7. COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN ADJACENT RIGHT OF
WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ARE REQUIRED TO BE MAINTAINED
BY A PROPERTY OWNER. THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW
REMOVAL ON ALL ADJACENT STREET SIDEWALKS.

8. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE
SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN
CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING,
THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF
THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS
CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO
MATCH SURROUNDING BUILDING SURFACES.

9. LIGHTING FIXTURE ILLUMINATION LEVELS PROVIDED SHALL COMPLY WITH THE
FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND WITH
CITY OF FORT COLLINS LIGHT AND POWER UTILITY REQUIREMENTS. ALL LIGHTING
FIXTURES PROVIDED WITH THE PROJECT SHALL USE A CONCEALED, FULLY
SHIELDED LIGHT SOURCE AND SHALL FEATURE SHARP CUT-OFF CAPABILITY SO AS
TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.

10. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THESE FINAL PLANS AND
MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS
MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY
THE CITY.

11. FIRE HYDRANTS MUST MEET OR EXCEED POUDE FIRE AUTHORITY STANDARDS.
ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.

12. ALL BIKE RACKS MUST BE PERMANENTLY ANCHORED.

13. ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSABLE
RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL
DESIGNATED ACCESSABLE PARKING SPACES. ACCESSABLE PARKING SPACES
MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES
MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE
THAN 1:48 CROSS SLOPE.

RIVERSIDE STORAGE

1640 RIVERSIDE
FORT COLLINS, CO 80524

LEGAL DESCRIPTION

LOT 1, SECOND REPLAT OF PROSPECT--RIVERSIDE SUBDIVISION.

PROJECT CONSULTANTS

ARCHITECT:

WG ARCHITECTS
P.O. BOX 270788
FORT COLLINS, CO 80527
TELEPHONE: 970-493-2025
FAX: 970-493-2026
EMAIL: bobg@wgarchitects.com
CONTACT: BOB GUSTAFSON

OWNER:

1640 RIVERSIDE, LLC; A COLORADO LIMITED LIABILITY COMPANY
123 NORTH COLLEGE SUITE 230
FORT COLLINS, CO 80524
TELEPHONE: 970-567-7549
CONTACT: COREY SEITZ

CIVIL ENGINEER:

NORTH STAR DESIGN, INC.
700 AUTOMATION DRIVE, UNIT #1
WINDSOR, COLORADO 80550
TELEPHONE: 970-686-6939
FAX: 970-686-1188
EMAIL: tricia@northstardesigninc.com
CONTACT: TRICIA KROETCH

SURVEYOR:

JR ENGINEERING
2900 S. COLLEGE AVENUE
SUITE 30
FORT COLLINS, CO 80525
TELEPHONE: 970-491-9888
FAX: 970-491-9984
EMAIL: MBrake@jrengineering.com
CONTACT: MIKE BRAKE

SIGNATURE BLOCKS

OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE
LAWFUL OWNERS OF THE REAL PROPERTY DESCRIBED IN THESE SITE
PLANS AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS
AND RESTRICTIONS SET FORTH ON SAID SITE PLANS.

EXECUTED THIS ____ DAY OF _____
A.D., 20____

OWNER: 1640 RIVERSIDE, LLC; A COLORADO LIMITED LIABILITY COMPANY

BY: _____
COREY SEITZ

(STATE OF COLORADO)
(COUNTY OF LARIMER) S.S.
(CITY OF FORT COLLINS)

THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS
____ DAY OF _____, A.D. 20____

BY _____

MY COMMISSION EXPIRES _____

WITNESS MY HAND AND SEAL

NOTARY PUBLIC

COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES

APPROVED BY THE PLANNING SERVICES OF THE CITY OF FORT COLLINS, COLORADO, THIS
____ DAY OF _____, A.D. 20____

DIRECTOR OF COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES

VICINITY MAP

TELEPHONE AQUA TECH SUB-DIVISION
TELEPHONE WATER-PIK
ZONED E: EMPLOYMENT

RIVERSIDE AVE

BOOK 2062, PAGE 965
RIVERSIDE STORAGE
ZONED : INDUSTRIAL

LOT 2 -- RIVERSIDE --
PROSPECT SUB-DIVISION
RIVENDELL SCHOOL
ZONED :
INDUSTRIAL

RR TRACKS

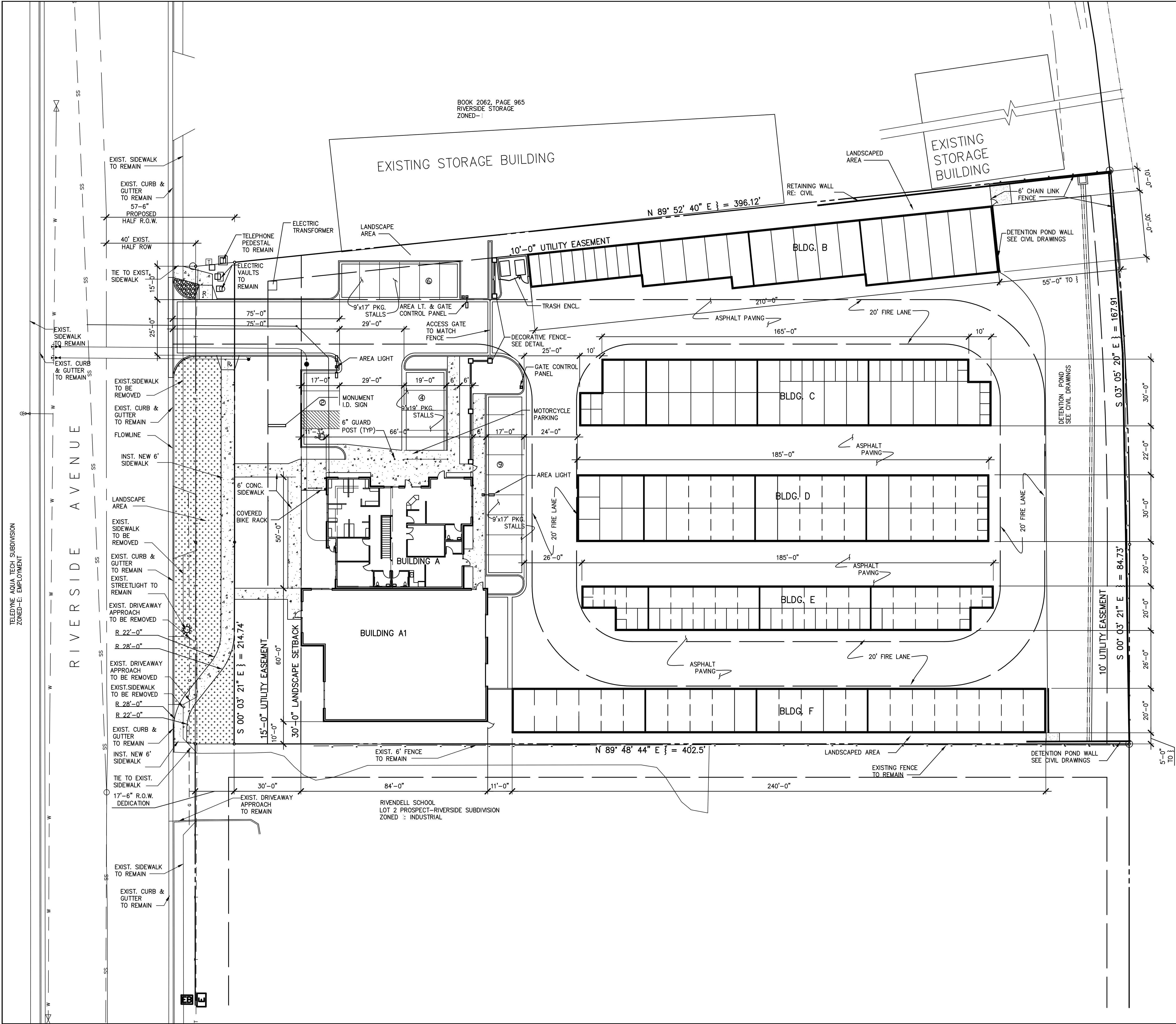
PROSPECT RD.

VICINITY MAP
SCALE: NTS

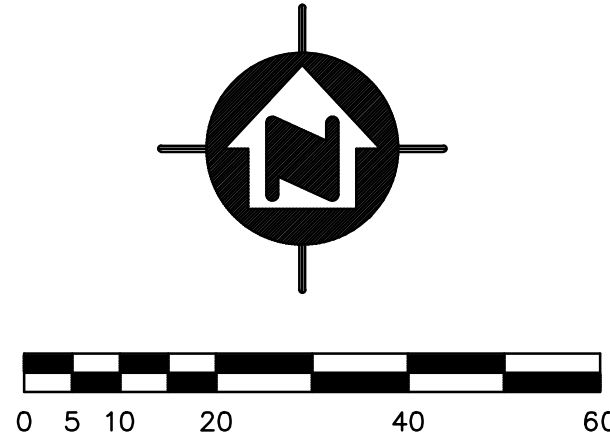
DRAWING INDEX	
ARCHITECTURAL	
1 of 9	COVER SHEET
2 of 9	SITE PLAN
3 of 9	LANDSCAPE PLAN
4 of 9	ILLUMINATION PLAN
5 of 9	SITE DETAILS
6 of 9	EXTERIOR ELEVATIONS -- OFFICE & OFFICE/WAREHOUSE
7 of 9	EXTERIOR ELEVATIONS -- OFFICE & OFFICE/WAREHOUSE
8 of 9	EXTERIOR ELEVATIONS -- STORAGE BUILDINGS
9 of 9	EXTERIOR ELEVATIONS -- STORAGE BUILDINGS

RIVERSIDE STORAGE PDP/FCP


COVER SHEET		CHECKED BY: RG	
DRAWN BY: RG	DATE: 10-10-14	SCALE: NTS	SHEET NUMBER: 1 OF 9
DRAWING NUMBER: 3054-14		PREPARED FOR: 1640 RIVERSIDE, LLC 123 NORTH COLLEGE AVENUE SUITE 230 FORT COLLINS, COLORADO 80524	
RIVERSIDE STORAGE 1640 RIVERSIDE AVENUE FORT COLLINS, COLORADO 80524		PREPARED BY: WG ARCHITECTS p.o. box 270788 ft. collins, co 80527 tele 970-493-2025 fax 970-493-2026	
REVISION		DATE	
BY		NO	

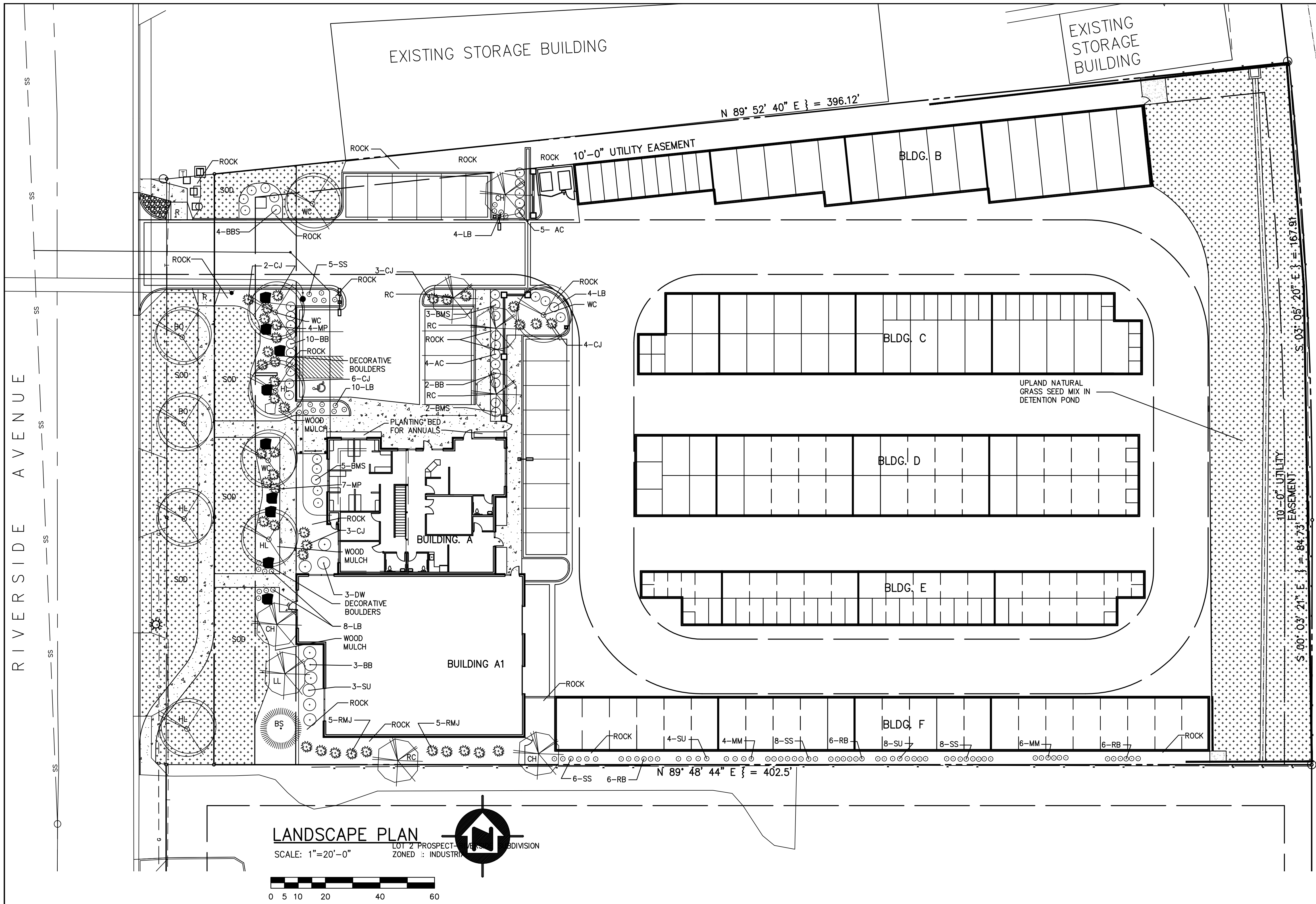


SITE PLAN
SCALE: 1"=20'-0"



RIVERSIDE STORAGE PDP/FCP

SITE PLAN		RIVERSIDE STORAGE 1640 RIVERSIDE AVENUE FORT COLLINS, COLORADO 80524		<div>PREPARED BY:</div> <div><div>WG ARCHITECTS</div><div>po box 270788 ft. collins, co 80527 tele 970-493-2025 fax 970-493-2026</div></div>							
DRAWN BY: RG	CHECKED BY:					NO		DATE			
DATE: 10-10-14	SCALE: 1" = 20'-0"							REVISION		BY	
DRAWING NUMBER: 3054-14	SHEET NUMBER: 2 OF 9										



LANDSCAPE PLAN
SCALE: 1"=20'-0"
LOT 2 PROSPECT DIVISION
ZONED : INDUSTRIAL

LEGEND				
	DECIDUOUS TREE			
	ORNAMENTAL TREE			
	EVERGREEN TREE			
	DECIDUOUS SHRUB			
	EVERGREEN SHRUB			
	EXISTING TREE			
	CONCRETE WALK		ASPHALT	
	RK		SOD	

PLANT SCHEDULE				
ABB	BOTANICAL NAME	COMMON NAME	QUAN	SIZE TYPE
WC	CATALPA SPECIOSA	WESTERN CATALPA	4	24" B&B
HL	GLEDITSIA TRIACANTHOS INERMIS	HONEYLOCUST	4	24" B&B
LL	TILIA CORDATA	LITTLE LEAF LINDEN	1	24" B&B
BO	QUERCUS MACROCARPA	BURR OAK	2	24" B&B
CH	CRATAEGUS CRUSGALLI	COCKSPUR HAWTHORN	3	12" B&B
RC	MALUS "RADIANT"	RADIANT CRABAPPLE	4	12" B&B
BS	PICEA PLUNGENS	BLUE SPRUCE	1	6" B&B
AP	PINUS NIGRA	AUSTRIAN PINE	1	6" B&B
RMJ	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	10	24" CONT
CJ	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	18	24" CONT
MP	PINUS MUGO	MUGO PINE	11	24" CONT
DW	CORNUS STOLONIFERA	RED TWIG DOGWOOD	3	24" CONT
BB	EUONYMUS ALATUS	BURNING BUSH	12	24" CONT
BMS	CARTOPTERIS INCANA	BLUE MIST SPIREA	9	24" CONT
SU	RHUS TRILOBATA	THREE LEAF SUMAC	15	24" CONT
LB	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	26	24" CONT
BBS	ANDROPOGON GERARDII	BIG BLUE STEM	4	24" CONT
RB	CHRYSOETHAMNUS NAUSEOSUS	RABBIT BRUSH	18	24" CONT
SS	ARTEMISIA CANA	SILVER SAGE	27	24" CONT
MM	CERCOCARPUS LEDIFOLIUS INTRICATUS	L.L. MOUNTAIN MAHOGANY	10	24" CONT
AC	RIBES ALPINUM	ALPINE CURRANT	4	24" CONT
SOD		TALL FESCUE SOD		SOD
RK		WASHED RIVER ROCK (8" - 8" DIA)		

- NOTE:**
GENERAL CONTRACTOR TO DESIGN, FURNISH, AND INSTALL IRRIGATION SYSTEM AS REQUIRED TO PROVIDE ADEQUATE IRRIGATION TO ALL LANDSCAPED AREAS. SEE NOTES 12, 13, 14, 15.
- PLANTING NOTES:**
- THE CONTRACTOR IS TO FURNISH AND INSTALL PLANT MATERIALS AS NOTED. ALL PLANT MATERIAL MUST EQUAL OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - PRIOR TO ANY PLANTING OPERATIONS, THE AREA TO BE PLANTED IS TO BE PREPARED WITH 3 YARDS/1000 SQ. FT. OF ORGANIC MATERIAL, ROTOTILLED A MINIMUM OF 8" DEEP.
 - EXCAVATE PLANTING PIT TWICE AS WIDE AS ROOT BALL. PREPARED PLANT BACKFILL TO BE 1/3 ORGANIC MATERIAL AND 2/3 CLEAN TOPSOIL. STAKE ALL EVERGREEN TREES WITH TREE GUY WIRES AND CANVAS STRAPS WITH GROMMETS. STAKE ALL DECIDUOUS TREES WITH T-BAR METHOD (TWO STAKES PER TREE). NO EXPOSED WIRES SHOULD COME INTO CONTACT WITH THE TRUNK FOR EITHER GUYING METHOD. TREE WRAP ALL DECIDUOUS TREES TO FIRST BRANCH.
 - ALL TREES AND SHRUBS ARE TO BE PLANTED AFTER ROUGH GRADING AND PRIOR TO PLACING OF GROUND COVER MATERIAL.
 - SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND NO VOIDS BETWEEN STRIPS. SOD TO BE FERTILIZED WITH A GRANULAR DIAMMONIUM PHOSPHATE (18-46-0) AT RATE OF SIX (6) LBS. PER 1000 SQ. FT.
 - CONTRACTOR TO MAINTAIN ALL PLANTINGS INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE AND TURNOVER TO OWNER.
 - PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON. SPRING PLANTINGS WILL BE GUARANTEED THROUGH OCTOBER OF THE SAME YEAR. ANY PLANTINGS AFTER THE MONTH OF AUGUST WILL BE GUARANTEED THROUGH MAY OF THE FOLLOWING SPRING.
 - PLANTING BED EDGER TO BE RYERSON STEEL EDGER, 1/8" X 4" X 10' (OR EQUAL).
 - CONTRACTOR TO REPAIR OR REPLACE ANY SOD, MULCH, OR SITE IMPROVEMENTS DISTURBED OR DAMAGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - PLACE GEOTEXTILE FABRIC (MIRAFI #140-2 OR EQUAL) UNDER ALL ROCK OR PLANTING BEDS.
 - LANDSCAPE INSTALLATION TO BE COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY (VERIFY PROCEDURE WITH LOCAL GOVERNING AUTHORITY).
 - IRRIGATION SYSTEM SHALL HAVE SHRUB BEDS AND LAWN AREAS ZONED SEPARATELY. LAWN AREAS TO BE POP-UP SPRAY SYSTEM. SHRUB BEDS TO HAVE FULL COVERAGE WITH EITHER A MICRO-EMITTER OR DRIP SYSTEM.
 - ALL HEADS TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS AND WALKWAYS.
 - BACKFLOW PREVENTION DEVICE SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.
 - IRRIGATION SYSTEM COMPONENTS TO BE MANUFACTURED BY 'RAINBIRD' OR EQUAL.
 - ALL SHRUB BEDS SHALL BE MULCHED WITH 6"-8" RIVER ROCK TO A DEPTH OF 3".
 - MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION AS REQUIRED BY SPECIFIC SITE CONDITIONS. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED FINAL PLANS.
 - THE LANDSCAPE IRRIGATION PLAN MUST BE APPROVED BY THE CITY PRIOR TO ISSUANCE OF A BUILDING PERMIT. THE IRRIGATION SYSTEM MUST BE INSTALLED, OR AN ACCEPTABLE BOND DEPOSITED WITH THE CITY FOR THE VALUATION OF THE IRRIGATION SYSTEM, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISKING, OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA.
 - A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED, OR REMOVED FROM THE RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS, AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
 - THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN APPROVAL BY THE CITY FORESTER FOR STREET TREES IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF THE DEVELOPMENT.
 - TREES WILL BE PLANTED TO THE FOLLOWING TREE UTILITY SEPARATIONS:
FORTY (40) FEET BETWEEN SHADE TREES AND STREET LIGHTS.
FIFTEEN (15) FEET BETWEEN ORNAMENTAL TREES AND STREET LIGHTS.
TWENTY (20) FEET BETWEEN SHADE & ORNAMENTAL TREES AND TRAFFIC CONTROL SIGNS & DEVICES.
TEN (10) FEET BETWEEN TREES AND WATER OR SEWER MAINS.
SIX (6) FEET BETWEEN TREES AND WATER OR SEWER SERVICE LINES.
EIGHT (8) FEET BETWEEN TREES AND DRIVEWAYS OR ALLEYS.

RIVERSIDE STORAGE PDP/FCP

PREPARED BY:

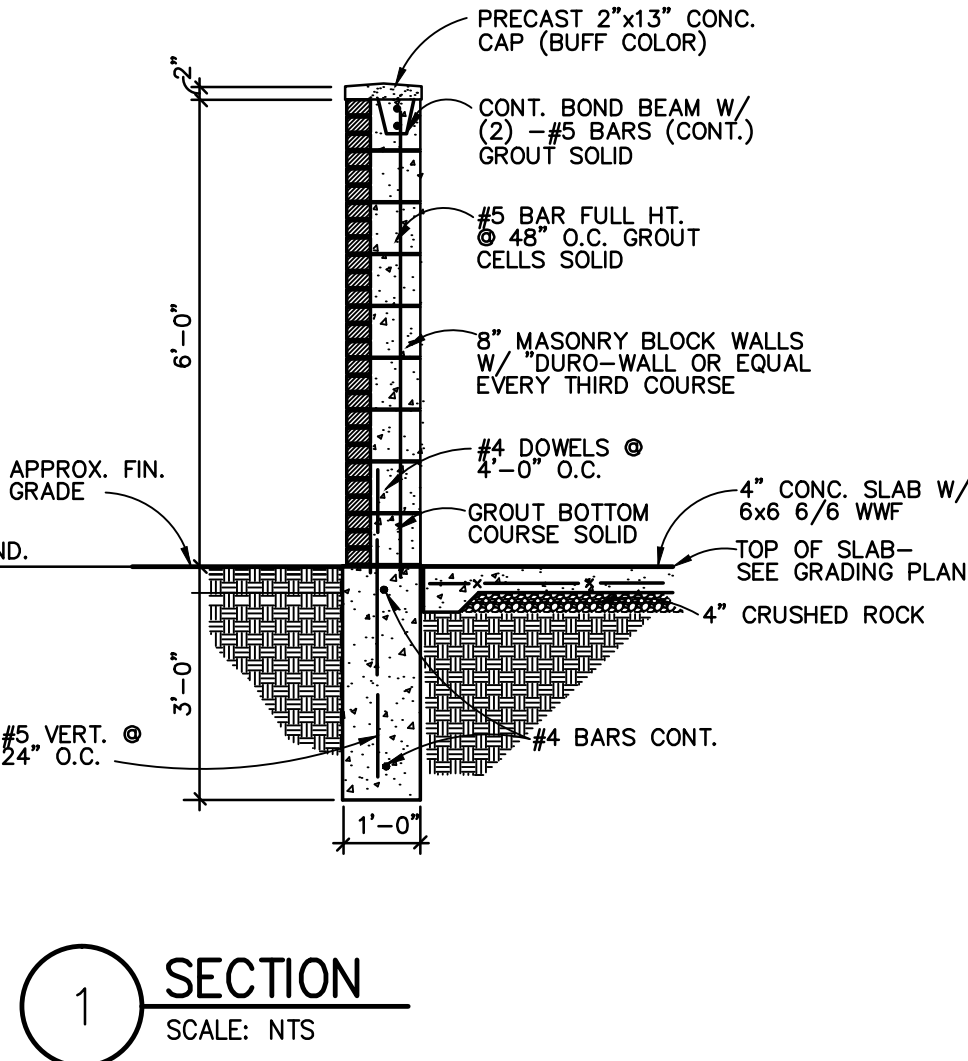
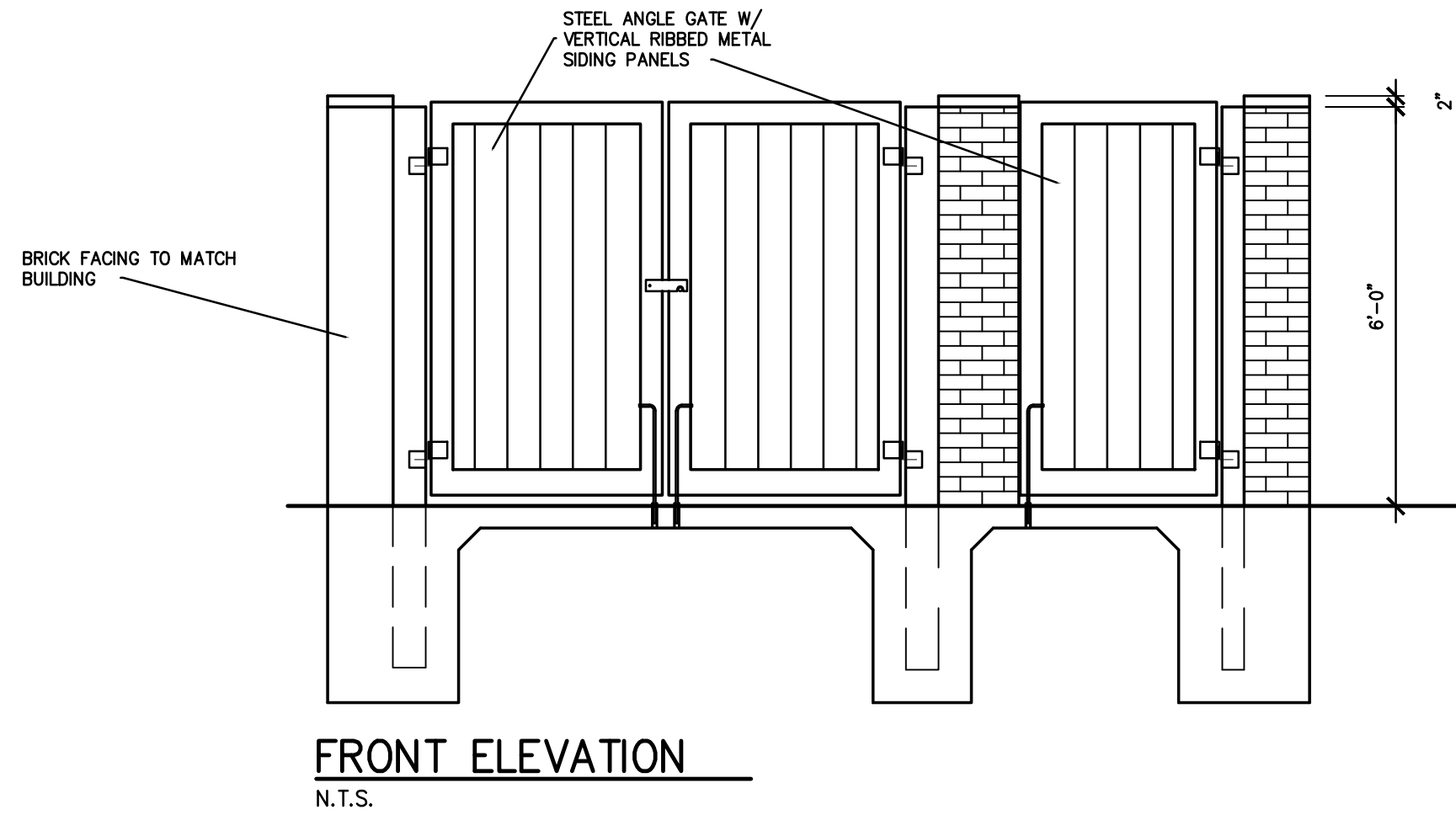
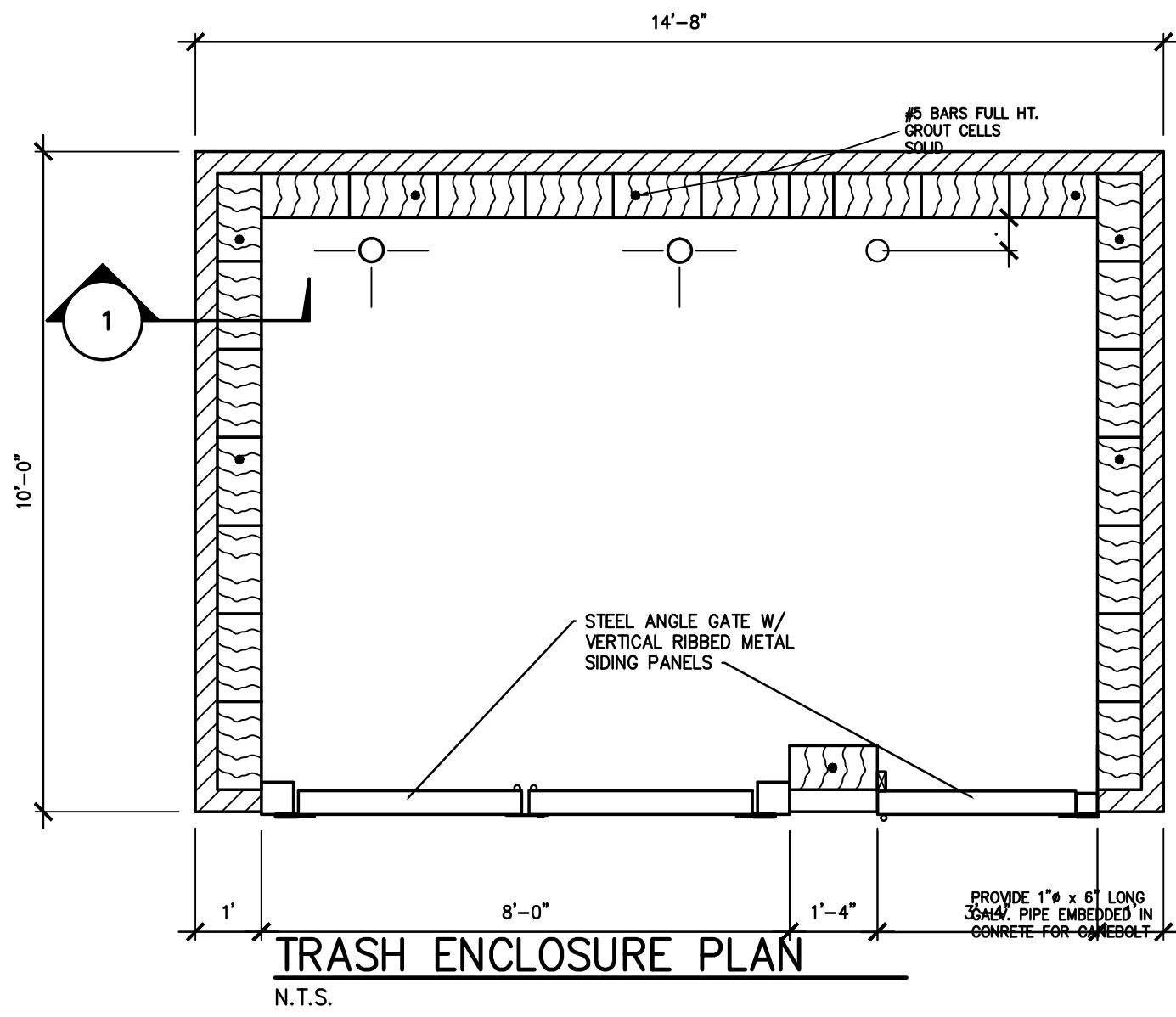
WG ARCHITECTS
po box 270788
ft. collins, co 80527
tele 970-493-2025 fax 970-493-2026

RIVERSIDE STORAGE
1640 RIVERSIDE AVENUE
FORT COLLINS, COLORADO 80524

PREPARED FOR:
1640 RIVERSIDE, LLC
123 NORTH COLLEGE AVENUE, SUITE 230
FORT COLLINS, COLORADO 80524

LANDSCAPE PLAN
DRAWN BY: RC
CHECKED BY:
DATE: 10-10-14
SCALE: 1" = 20'-0"

SHEET NUMBER:
3054-14
3 OF 9



DECORATIVE FENCE AS MANUFACTURED BY BUILDERS FENCE COMPANY, INC. OR EQUAL

GUARDIAN SERIES:

HEIGHT: 8';
LENGTH: AS NOTED ON PLANS

RAILS:

1 1/2" x 1 1/2" 14 GA. TUBE STEEL

PICKETS:

5/8" x 3/4" 16 GA. TUBE STEEL @ 4 3/4" O.C.

POSTS:

2"x2"x14 GA. TUBE STEEL W/ PRESSD STEEL CAP. POSTS SPACED @ 8' O.C.

SWING GATES:

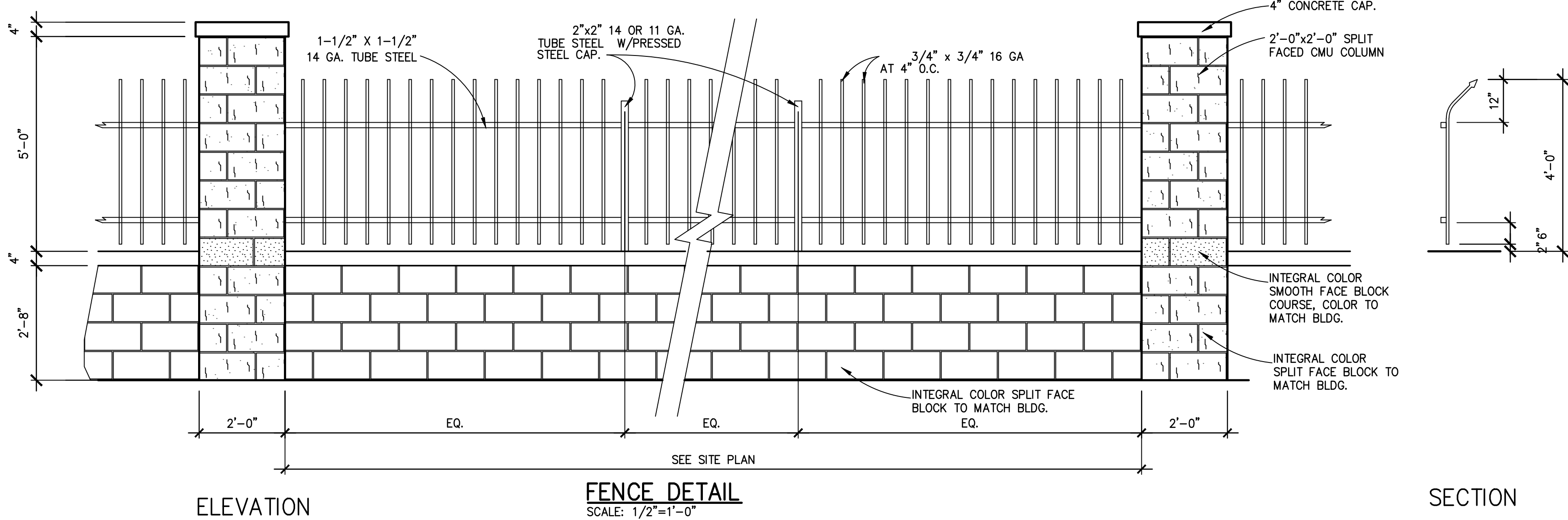
FRAMEWORK AS REQUIRED FOR SIZE, BUT NOT LESS THAN THAT OF PANELS. PICKETS TO MATCH PANELS. HARDWARE AS REQUIRED. TRUSSING & HEAVIER POST MAY BE NECESSARY.

SLIDE GATES:

2"x2"x11 GA. TUBE STEEL TOP RAIL AND VERTICALS. BOTTOM SHALL BE 2"x4"x11 GA. TUBE STEEL W/ WHEEL HOUSINGS. GROUND TRACK TO BE ANGLE IRON (SIZED PER REQUIREMENTS) WITH #4 REBAR HOOKS WELDED @ 24" O.C. WHEELS SHALL BE 6" V-GROOVE TYPE W/ 2" HARD RUBBER ROLLERS, 1/2" AXLE, AND BRONZE BUSHINGS. SAFETY POST SHALL BE MINIMUM 4" SQ. 11 GA. TUBE STEEL.

STANDARD FINISH:

ONE COAR SHOP PRIMER & ONE COAT GLOSS BLACK ENAMEL.

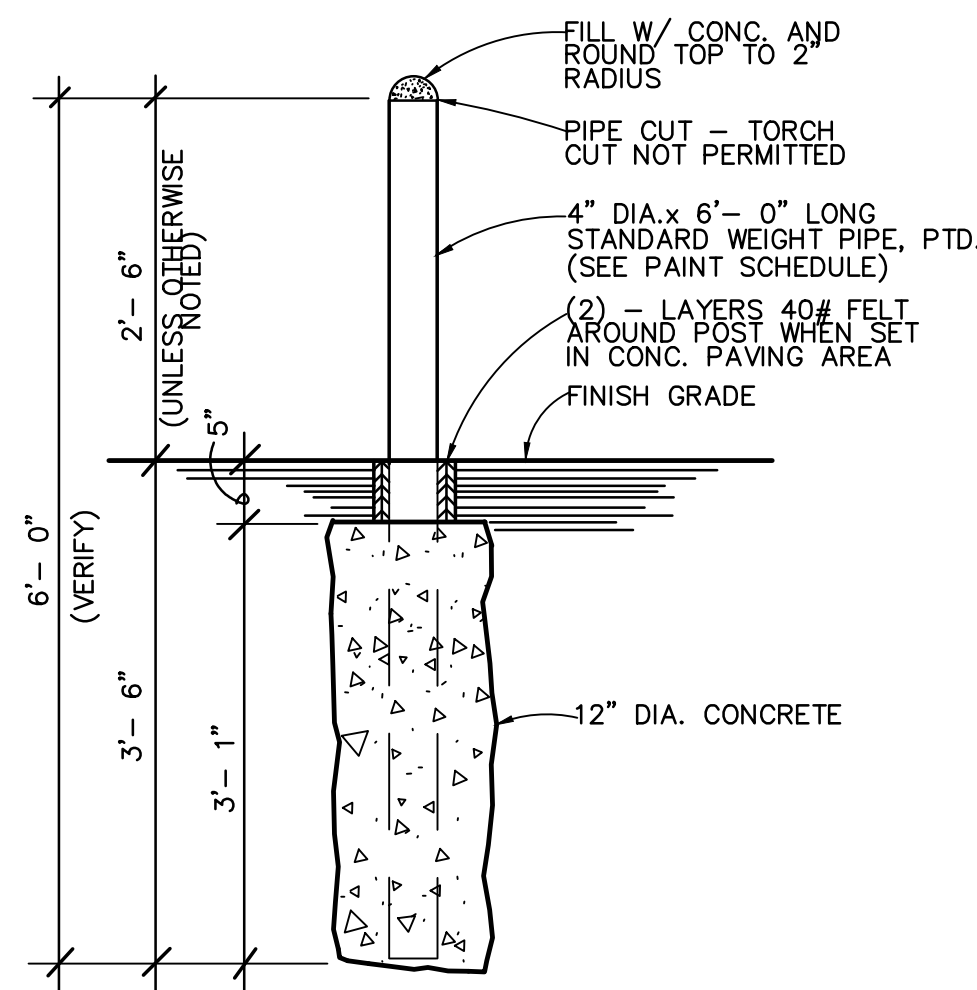


HANDICAP PARKING SIGN

SCALE: 3" 1'-0"

NOTES:

- SIGN SHALL BE VERTICALLY MOUNTED ON A POST OR A WALL AT FRONT CENTER OF ACCESS AISLE, NO MORE THAN 5'-0" HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE AND SET A MINIMUM OF 4'-0" ABOVE FINISH GRADE TO THE BOTTOM OF THE SIGN.
- REFER TO SITE PLAN FOR LOCATION.
- COLORS - LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE
- SUPPLIER:
PEACHTREE BUSINESS PRODUCTS
P.O. BOX 13290
ATLANTA, GA 30324
PHONE: 1-800-241-4623
FAX: 1-800-231-7150
- SIGN NOS. SNR78NP5 & SNG68



NOTE:

- SEE SITE PLAN FOR LOCATION OF 4" DIA. GUARD POST.
- FURNISHED & INSTALLED BY GENERAL CONTRACTOR.

4" DIA. GUARD POST

SCALE: 3/4"= 1'-0"

Y13-1
9-12-91

PREPARED BY:



po box 270788
ft. collins, co 80527
tele 970-493-2025 fax 970-493-2026

RIVERSIDE STORAGE
1640 RIVERSIDE AVENUE
FORT COLLINS, COLORADO 80524

SITE DETAILS

CHECKED BY: RG

DATE: 10-10-14

DRAWING NUMBER:

2971-06

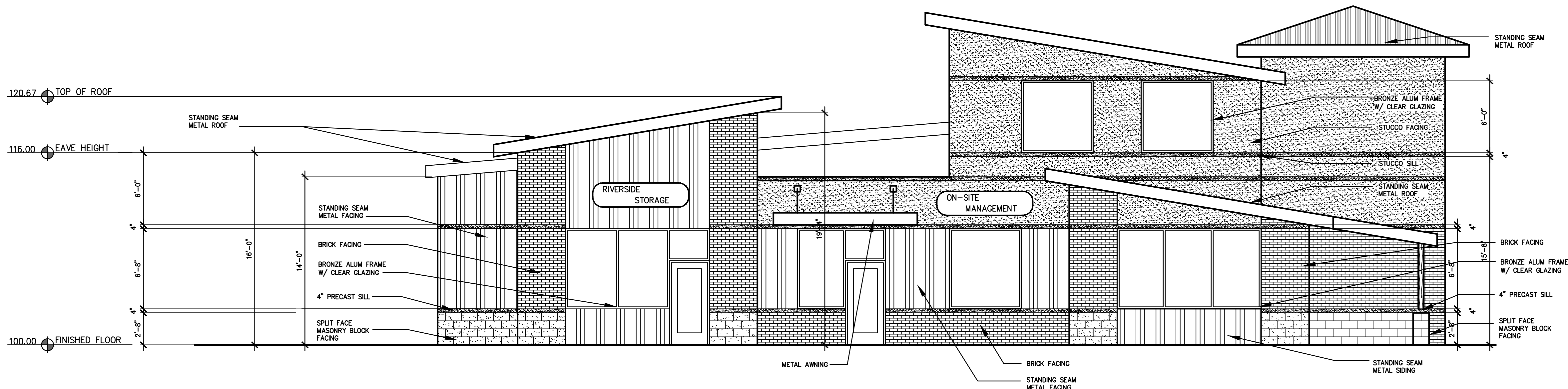
PREPARED FOR:

1640 RIVERSIDE, LLC
123 NORTH COLLEGE AVENUE SUITE 230
FORT COLLINS, COLORADO 80524

5 of 9

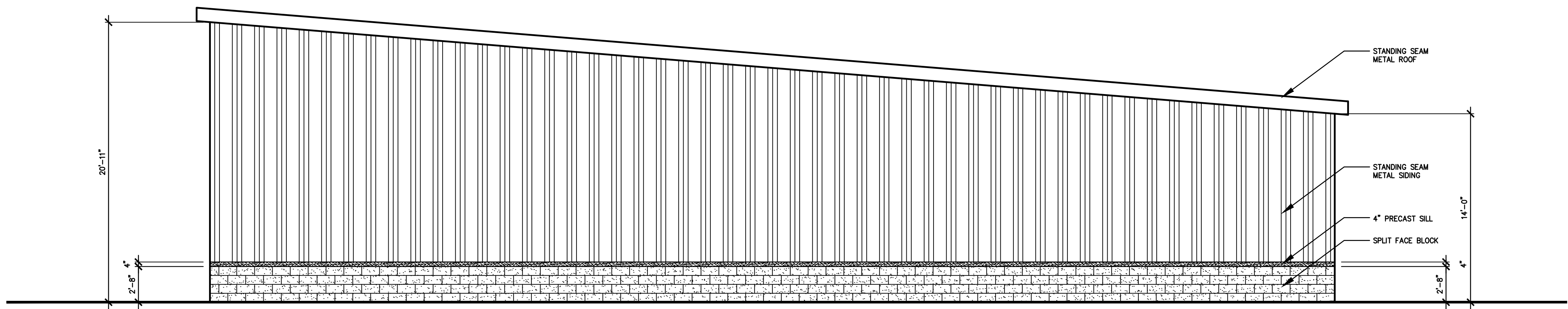


WEST ELEVATION
SCALE: 3/16"=1'-0"

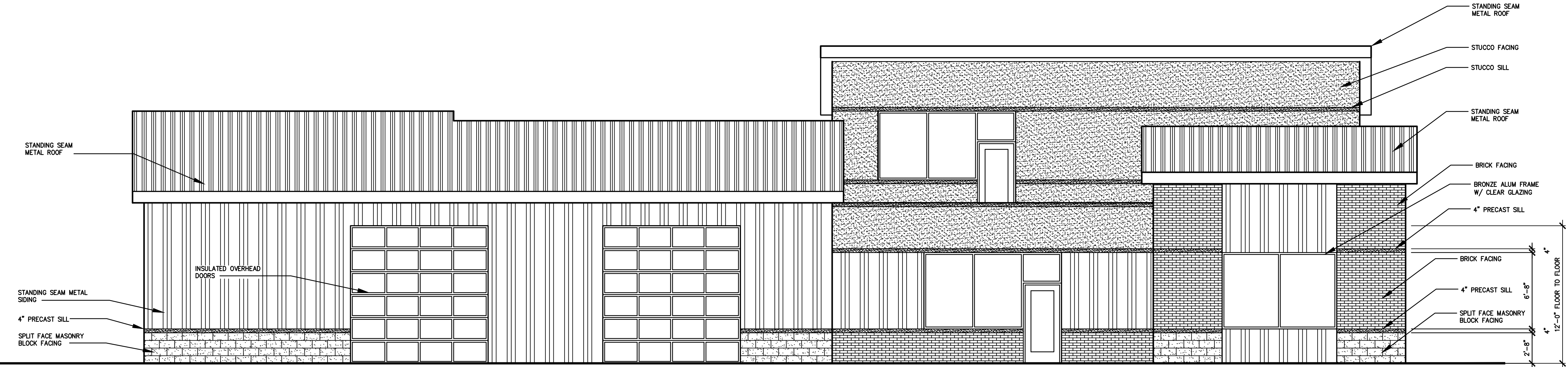


NORTH ELEVATION
SCALE: 3/16"=1'-0"

EXTERIOR ELEVATIONS		DRAWN BY: RG		CHECKED BY:		DATE: 10-10-14		SCALE: AS NOTED		SHEET NUMBER: SDP 6 of 9	
		3054-14									
RIVERSIDE STORAGE		1640 RIVERSIDE AVENUE FORT COLLINS, COLORADO 80524		PREPARED FOR:		1640 RIVERSIDE, LLC		123 NORTH COLLEGE AVENUE SUITE 230		FORT COLLINS, COLORADO 80524	
PREPARED BY:		WG ARCHITECTS		po box 270788		ft. collins, co 80527		tele 970-493-2025		fax 970-493-2026	
NO		DATE		REVISION		BY					

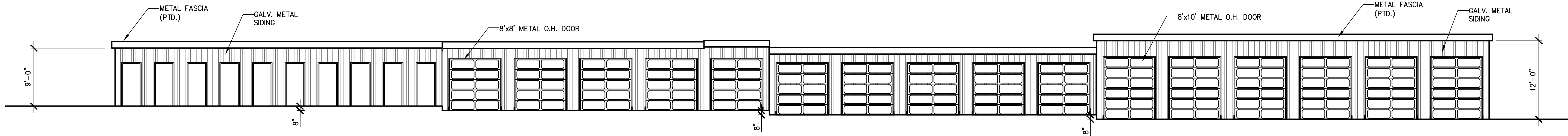


SOUTH ELEVATION
SCALE: 3/16"=1'-0"

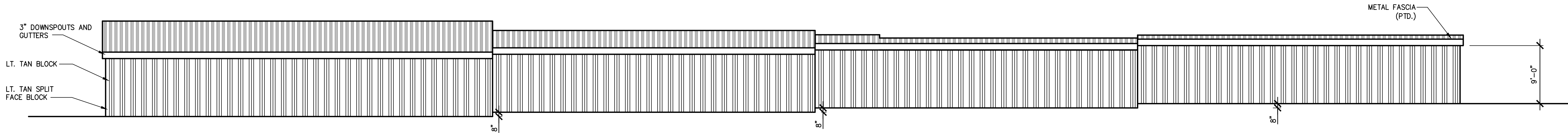


EAST ELEVATION
SCALE: 3/16"=1'-0"

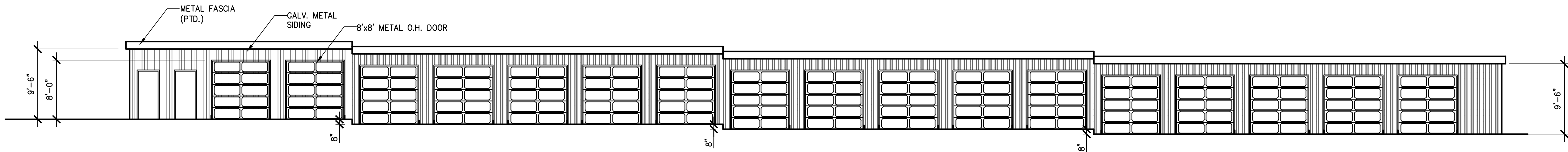
EXTERIOR ELEVATIONS		RIVERSIDE STORAGE 1640 RIVERSIDE AVENUE FORT COLLINS, COLORADO 80524		PREPARED BY: WG ARCHITECTS po box 270788 ft. collins, co 80527 tele 970-493-2025 fax 970-493-2026	
DRAWN BY:	RG	CHECKED BY:		NO	DATE
DATE:	10-10-14	SCALE:	AS NOTED	REVISION	BY
DRAWING NUMBER:	3054-14	SHEET NUMBER:	SDP 7 OF 9		



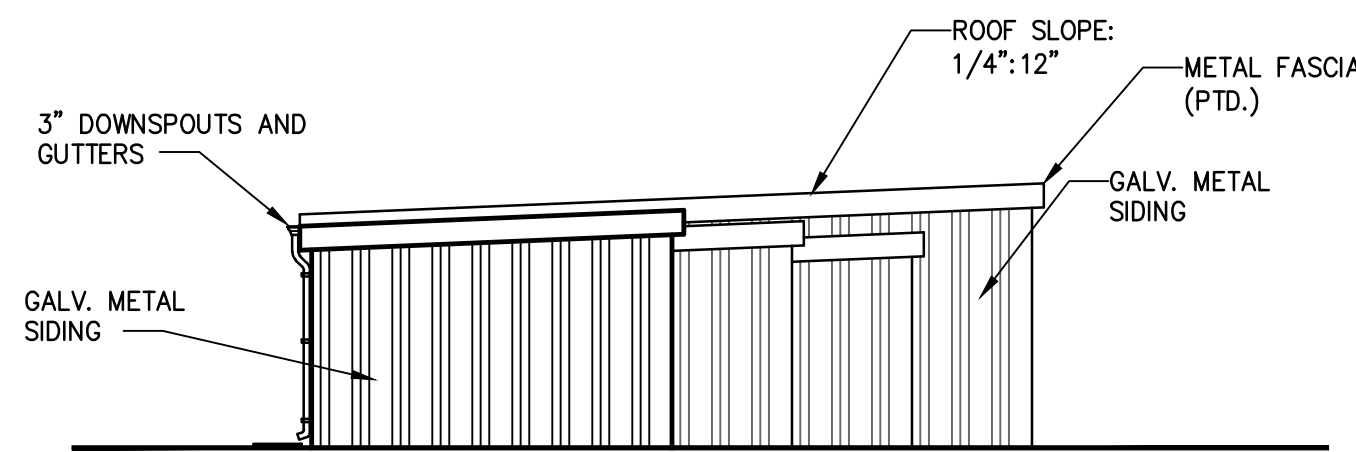
BUILDING B SOUTH ELEVATION
SCALE: 1/8"=1'-0"



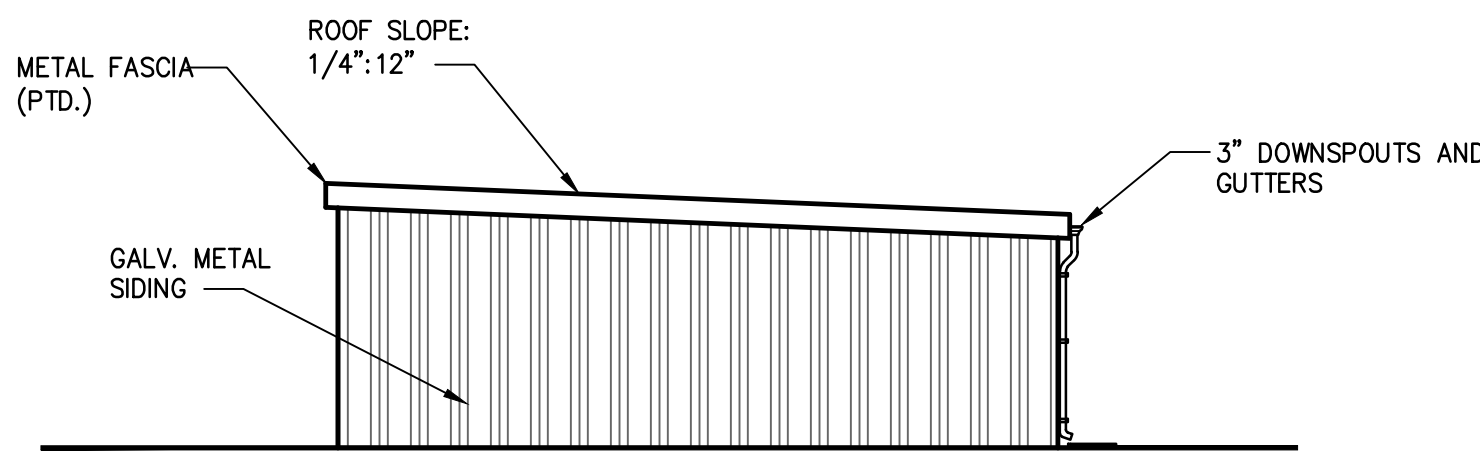
BUILDING B NORTH ELEVATION
SCALE: 1/8"=1'-0"



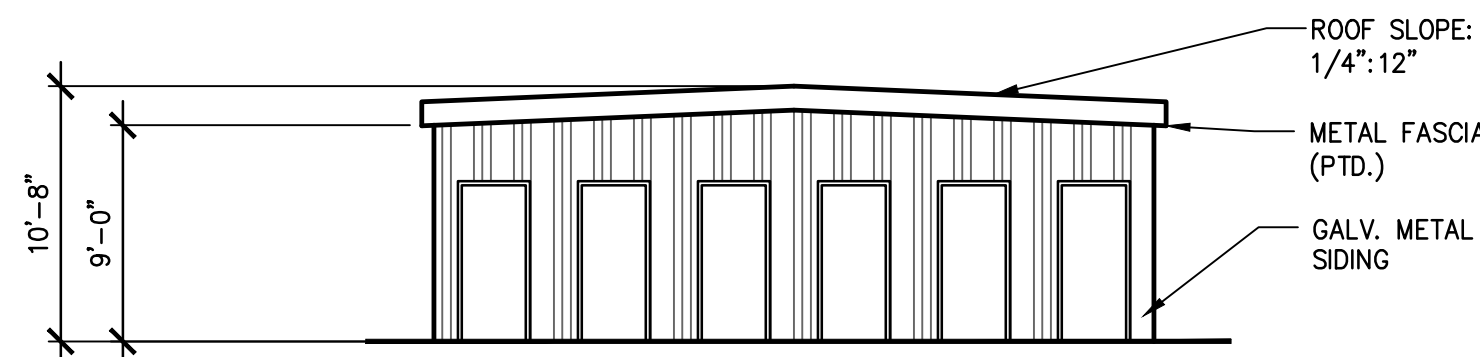
BUILDING C SOUTH ELEVATION
SCALE: 1/8"=1'-0" (BUILDING D,E SIMILAR)



BUILDING B WEST ELEVATION
SCALE: 1/8"=1'-0"



BUILDING B EAST ELEVATION
SCALE: 1/8"=1'-0"



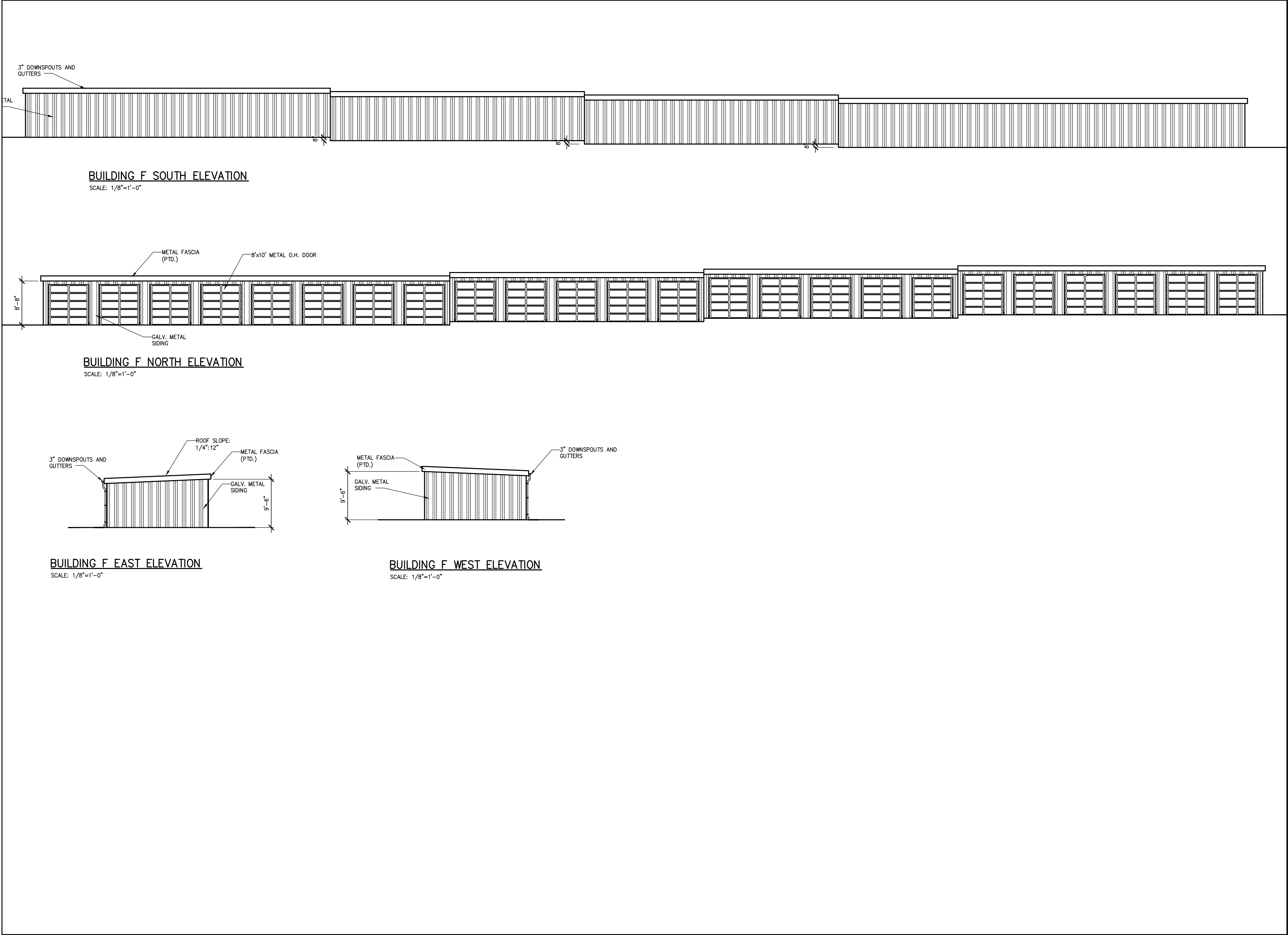
BUILDING C EAST ELEVATION
SCALE: 1/8"=1'-0" (BUILDING D,E SIMILAR)

PREPARED BY:
WG
ARCHITECTS
po box 270788
ft. collins, co 80527
tele 970-493-2025 fax 970-493-2026

RIVERSIDE STORAGE
1640 RIVERSIDE AVENUE
FORT COLLINS, COLORADO 80524

PREPARED FOR:
1640 RIVERSIDE, LLC
123 NORTH COLLEGE AVENUE SUITE 230
FORT COLLINS, COLORADO 80524

EXTERIOR ELEVATIONS	CHECKED BY:
DRAWN BY: RG	SCALE: AS NOTED
DATE: 09-29-14	SHEET NUMBER:
DRAWING NUMBER:	8 of 9
3054-14	



EXTERIOR ELEVATIONS		RIVERSIDE STORAGE 1640 RIVERSIDE AVENUE FORT COLLINS, COLORADO 80524	
DRAWN BY: RG	CHECKED BY:	PREPARED FOR: 1640 RIVERSIDE, LLC 123 NORTH COLLEGE AVENUE SUITE 230 FORT COLLINS, COLORADO 80524	
DATE: 10-10-14	SCALE: AS NOTED	PREPARED BY: WG ARCHITECTS po box 270788 ft. collins, co 80527 tele 970-493-2025 fax 970-493-2026	
DRAWING NUMBER: 3054-14	SHEET NUMBER: 9 of 9		
		NO	DATE
		REVISION	BY

REPLAT OF
LOT 1 FIRST REPLAT OF PROSPECT - RIVERSIDE SUBDIVISION
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

**STATEMENT OF OWNERSHIP
AND SUBDIVISION:**

KNOW ALL PERSONS BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING OWNERS OF THE FOLLOWING DESCRIBED LAND;

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH PM, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 1, FIRST REPLAT OF PROSPECT-RIVERSIDE SUBDIVISION

WHICH ABOVE DESCRIBED LOT CONTAINS AN OVERALL CALCULATED AREA OF 2.270 ACRES, MORE OR LESS.

FOR THEMSELVES AND THEIR SUCCESSORS IN INTEREST (COLLECTIVELY, "OWNER") HAVE CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED AND SUBDIVIDED INTO LOTS, TRACTS AND STREETS AS SHOWN ON THIS PLAT TO BE KNOWN AS "REPLAT OF LOT 1 FIRST REPLAT OF PROSPECT – RIVERSIDE SUBDIVISION", (THE "DEVELOPMENT") SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY NOW OF RECORD OR EXISTING OR INDICATED ON THIS PLAT. THE RIGHTS AND OBLIGATIONS OF THIS PLAT SHALL RUN WITH THE LAND.

CERTIFICATE OF DEDICATION:

THE OWNER DOES HEREBY DEDICATE AND CONVEY TO THE CITY OF FORT COLLINS, COLORADO (HEREAFTER "CITY"), FOR PUBLIC USE, FOREVER, A PERMANENT RIGHT-OF-WAY FOR STREET PURPOSES AND THE "EASEMENTS" AS LAID OUT AND DESIGNATED ON THIS PLAT; PROVIDED, HOWEVER, THAT (1)ACCEPTANCE BY THE CITY OF THIS DEDICATION OF EASEMENTS DOES NOT IMPOSE UPON THE CITY A DUTY TO MAINTAIN THE EASEMENTS SO DEDICATED, AND (2) ACCEPTANCE BY THE CITY OF THIS DEDICATION OF STREETS DOES NOT IMPOSE UPON THE CITY A DUTY TO MAINTAIN STREETS SO DEDICATED UNTIL SUCH TIME AS THE PROVISIONS OF THE MAINTENANCE GUARANTEE HAVE BEEN FULLY SATISFIED. THE STREETS DEDICATED ON THIS PLAT ARE THE FEE PROPERTY OF THE CITY AS PROVIDED IN SECTION 31-23-107 C.R.S. THE CITY'S RIGHTS UNDER THE EASEMENTS INCLUDE THE RIGHT TO INSTALL, OPERATE, ACCESS, MAINTAIN, REPAIR, RECONSTRUCT, REMOVE AND REPLACE WITHIN THE EASEMENTS PUBLIC IMPROVEMENTS CONSISTENT WITH THE INTENDED PURPOSE OF THE EASEMENTS; THE RIGHT TO INSTALL, MAINTAIN AND USE GATES IN ANY FENCES THAT CROSS THE EASEMENTS; THE RIGHT TO MARK THE LOCATION OF THE EASEMENTS WITH SUITABLE MARKERS; AND THE RIGHT TO PERMIT OTHER PUBLIC UTILITIES TO EXERCISE THESE SAME RIGHTS. OWNER RESERVES THE RIGHT TO USE THE EASEMENTS FOR PURPOSES THAT DO NOT INTERFERE WITH THE FULL ENJOYMENT OF THE RIGHTS HEREBY GRANTED. THE CITY IS RESPONSIBLE FOR MAINTENANCE OF ITS OWN IMPROVEMENTS AND FOR REPAIRING ANY DAMAGE CAUSED BY ITS ACTIVITIES IN THE EASEMENTS, BUT BY ACCEPTANCE OF THIS DEDICATION, THE CITY DOES NOT ACCEPT THE DUTY OF MAINTENANCE OF THE EASEMENTS, OR OF IMPROVEMENTS IN THE EASEMENTS THAT ARE NOT OWNED BY THE CITY. OWNER WILL MAINTAIN THE SURFACE OF THE EASEMENTS IN A SANITARY CONDITION IN COMPLIANCE WITH ANY APPLICABLE WEED, NUISANCE OR OTHER LEGAL REQUIREMENTS.

EXCEPT AS EXPRESSLY PERMITTED IN AN APPROVED PLAN OF DEVELOPMENT OR OTHER WRITTEN AGREEMENT WITH THE CITY, OWNER WILL NOT INSTALL ON THE EASEMENTS, OR PERMIT THE INSTALLATION ON THE EASEMENTS, OF ANY BUILDING, STRUCTURE, IMPROVEMENT, FENCE, RETAINING WALL, SIDEWALK, TREE OR OTHER LANDSCAPING (OTHER THAN USUAL AND CUSTOMARY GRASSES AND OTHER GROUND COVER). IN THE EVENT SUCH OBSTACLES ARE INSTALLED IN THE EASEMENTS, THE CITY HAS THE RIGHT TO REQUIRE THE OWNER TO REMOVE SUCH OBSTACLES FROM THE EASEMENTS. IF OWNER DOES NOT REMOVE SUCH OBSTACLES, THE CITY MAY REMOVE SUCH OBSTACLES WITHOUT ANY LIABILITY OR OBLIGATION FOR REPAIR AND REPLACEMENT THEREOF, AND CHARGE THE OWNER THE CITY'S COSTS FOR SUCH REMOVAL. IF THE CITY CHOOSES NOT TO REMOVE THE OBSTACLES, THE CITY WILL NOT BE LIABLE FOR ANY DAMAGE TO THE OBSTACLES OR ANY OTHER PROPERTY TO WHICH THEY ARE ATTACHED. THE RIGHTS GRANTED TO THE CITY BY THIS PLAT INURE TO THE BENEFIT OF THE CITY'S AGENTS, LICENSEES, PERMITTEES AND ASSIGNS.

PROPERTY OWNER

1640 RIVERSIDE, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____
OWNER

STATE OF COLORADO)
)s.s.
COUNTY OF LARIMER)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.

BY _____ AS _____ FOR THE PURPOSE HEREIN ABOVE SET FORTH.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

LIENHOLDER

ADVANTAGE BANK, A COLORADO BANKING CORPORATION

BY: _____
LIENHOLDER

STATE OF COLORADO)
)s.s.
COUNTY OF LARIMER)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.

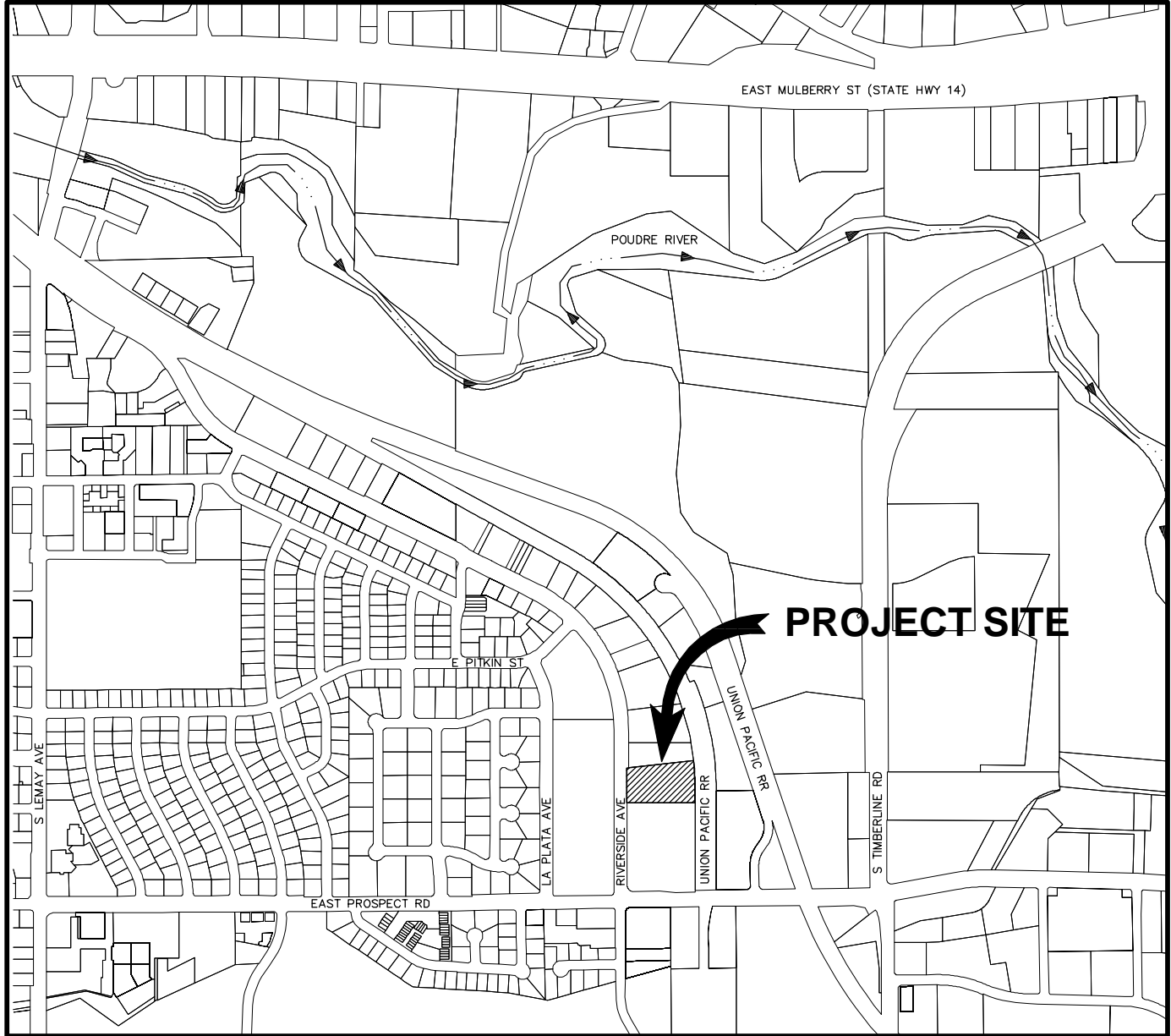
BY _____ AS _____ FOR THE PURPOSE HEREIN ABOVE SET FORTH.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

BASIS OF BEARING: THE SOUTH LINE OF LOT 1, FIRST REPLAT OF PROSPECT-RIVERSIDE SUBDIVISION, FORT COLLINS, COLORADO IS ASSUMED TO BEAR N89°48'46"E. MONUMENTATION OF SAID LINE IS SHOWN HEREON.



VICINITY MAP
SCALE: 1"=1000'



MAINTENANCE GUARANTEE:

THE OWNER HEREBY WARRANTS AND GUARANTEES TO THE CITY, FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF COMPLETION AND FIRST ACCEPTANCE BY THE CITY OF THE IMPROVEMENTS WARRANTED HEREUNDER, THE FULL AND COMPLETE MAINTENANCE AND REPAIR OF THE IMPROVEMENTS TO BE CONSTRUCTED IN CONNECTION WITH THE DEVELOPMENT WHICH IS THE SUBJECT OF THIS PLAT. THIS WARRANTY AND GUARANTEE IS MADE IN ACCORDANCE WITH THE CITY LAND USE CODE AND/OR THE TRANSITIONAL LAND USE REGULATIONS, AS APPLICABLE. THIS GUARANTEE APPLIES TO THE STREETS AND ALL OTHER APPURTENANT STRUCTURES AND AMENITIES LYING WITHIN THE RIGHTS-OF-WAY, EASEMENTS AND OTHER PUBLIC PROPERTIES, INCLUDING, WITHOUT LIMITATION, ALL CURBING, SIDEWALKS, BIKE PATHS, DRAINAGE PIPES, CULVERTS, CATCH BASINS, DRAINAGE DITCHES AND LANDSCAPING. ANY MAINTENANCE AND/OR REPAIR REQUIRED ON UTILITIES SHALL BE COORDINATED WITH THE OWNING UTILITY COMPANY OR DEPARTMENT.

THE OWNER SHALL MAINTAIN SAID IMPROVEMENTS IN A MANNER THAT WILL ASSURE COMPLIANCE ON A CONSISTENT BASIS WITH ALL CONSTRUCTION STANDARDS, SAFETY REQUIREMENTS AND ENVIRONMENTAL PROTECTION REQUIREMENTS OF THE CITY. THE OWNER SHALL ALSO CORRECT AND REPAIR, OR CAUSE TO BE CORRECTED AND REPAIRED, ALL DAMAGES TO SAID IMPROVEMENTS RESULTING FROM DEVELOPMENT-RELATED OR BUILDING-RELATED ACTIVITIES. IN THE EVENT THE UNDERSIGNED FAILS TO CORRECT ANY DAMAGES WITHIN THIRTY (30) DAYS AFTER WRITTEN NOTICE THEREOF, THEN SAID DAMAGES MAY BE CORRECTED BY THE CITY AND ALL COSTS AND CHARGES BILLED TO AND PAID BY THE OWNER. THE CITY SHALL ALSO HAVE ANY OTHER REMEDIES AVAILABLE TO IT AS AUTHORIZED BY LAW. ANY DAMAGES WHICH OCCURRED PRIOR TO THE END OF SAID TWO (2) YEAR PERIOD AND WHICH ARE UNREPAIRED AT THE TERMINATION OF SAID PERIOD SHALL REMAIN THE RESPONSIBILITY OF THE OWNER.

REPAIR GUARANTEE:

IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT AND OTHER VALUABLE CONSIDERATION, THE OWNER DOES HEREBY AGREE TO HOLD THE CITY, HARMLESS FOR A FIVE (5) YEAR PERIOD, COMMENCING UPON THE DATE OF COMPLETION AND FIRST ACCEPTANCE BY THE CITY OF THE IMPROVEMENTS CONSTRUCTED IN CONNECTION WITH THE DEVELOPMENT WHICH IS THE SUBJECT OF THIS PLAT, FROM ANY AND ALL CLAIMS, DAMAGES, OR DEMANDS ARISING ON ACCOUNT OF THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS OF THE PROPERTY SHOWN HEREIN; AND THE OWNER FURTHERMORE COMMITS TO MAKE NECESSARY REPAIRS TO SAID PUBLIC IMPROVEMENTS, TO INCLUDE, WITHOUT LIMITATION, THE ROADS, STREETS, FILLS, EMBANKMENTS, DITCHES, CROSS PANS, SUB-DRAINS, CULVERTS, WALLS AND BRIDGES WITHIN THE RIGHT-OF-WAY, EASEMENTS AND OTHER PUBLIC PROPERTIES, RESULTING FROM FAILURES CAUSED BY DESIGN AND/OR CONSTRUCTION DEFECTS. THIS AGREEMENT TO HOLD THE CITY HARMLESS INCLUDES DEFECTS IN MATERIALS AND WORKMANSHIP, AS WELL AS DEFECTS CAUSED BY OR CONSISTING OF SETTLING TRENCHES, FILLS OR EXCAVATIONS.

FURTHER, THE OWNER WARRANTS THAT HE/SHE OWNS FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREES THAT THE CITY SHALL NOT BE LIABLE TO THE OWNER OR HIS/HER SUCCESSORS IN INTEREST DURING THE WARRANTY PERIOD, FOR ANY CLAIM OF DAMAGES RESULTING FROM NEGLIGENCE IN EXERCISING ENGINEERING TECHNIQUES AND DUE CAUTION IN THE CONSTRUCTION OF CROSS DRAINS, DRIVES, STRUCTURES OR BUILDINGS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, AND ANY OTHER MATTER WHATSOEVER ON PRIVATE PROPERTY. ANY AND ALL MONETARY LIABILITY OCCURRING UNDER THIS PARAGRAPH SHALL BE THE LIABILITY OF THE OWNER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO CONVEY SAID LAND ACCORDING TO THIS PLAT.

NOTES:

1. PER C.R.S. 38-51-106, "ALL LINEAL UNITS DEPICTED ON THIS LAND SURVEY PLAT ARE U.S. SURVEY FEET. ONE METER EQUALS 39.37/12 U.S. SURVEY FEET, EXACTLY ACCORDING TO THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY."
2. THERE SHALL BE NO PRIVATE CONDITIONS, COVENANTS OR RESTRICTIONS THAT PROHIBIT OR LIMIT THE INSTALLATION OF RESOURCE CONSERVING EQUIPMENT OR LANDSCAPING THAT ARE ALLOWED BY SECTIONS 12-120 - 12-122 OF THE CITY CODE.

NOTICE:

ALL RESPONSIBILITIES AND COSTS OF OPERATION, MAINTENANCE AND RECONSTRUCTION OF THE PRIVATE STREETS AND/OR DRIVES LOCATED ON THE PRIVATE PROPERTY THAT IS THE SUBJECT OF THIS PLAT SHALL BE BORNE BY THE OWNERS OF SAID PROPERTY, EITHER INDIVIDUALLY, OR COLLECTIVELY, THROUGH A PROPERTY OWNERS' ASSOCIATION, IF APPLICABLE. THE CITY OF FORT COLLINS SHALL HAVE NO OBLIGATION OF OPERATION, MAINTENANCE OR RECONSTRUCTION OF SUCH PRIVATE STREETS AND/OR DRIVES NOR SHALL THE CITY HAVE ANY OBLIGATION TO ACCEPT SUCH STREETS AND/OR DRIVES AS PUBLIC STREETS OR DRIVES.

TITLE COMMITMENT NOTE:

THIS LAND SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY JR ENGINEERING, LTD. TO DETERMINE OWNERSHIP OF THIS TRACT, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, JR ENGINEERING, LTD. RELIED UPON TITLE COMMITMENT NO. FCC 25122269-5, PREPARED BY LAND TITLE GUARANTY COMPANY, DATED JULY 22, 2014.

NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS AFTER THE DATE OF THE CERTIFICATION SHOWN HEREON.

APPROVED AS TO FORM, CITY ENGINEER:

BY THE CITY ENGINEER OF THE CITY OF FORT COLLINS, COLORADO THIS _____ DAY OF _____, A.D., 20____.

CITY ENGINEER

PLANNING APPROVAL:

BY THE DIRECTOR OF PLANNING OF THE CITY OF FORT COLLINS, COLORADO THIS _____ DAY OF _____, A.D., 20____.

DIRECTOR OF PLANNING

CITY CLERK

ATTORNEY'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN DULY EXECUTED AS REQUIRED PURSUANT TO SECTION 2.2.3(C)(3)(g) THROUGH (e) INCLUSIVE OF THE LAND USE CODE OF THE CITY OF FORT COLLINS AND THAT ALL PERSONS SIGNING THIS SUBDIVISION PLAT ON BEHALF OF A CORPORATION OR OTHER ENTITY ARE DULY AUTHORIZED SIGNATORIES UNDER THE LAWS OF THE STATE OF COLORADO. THIS CERTIFICATION IS BASED UPON THE RECORDS OF THE CLERK AND RECORDER OF LARIMER COUNTY, COLORADO AS OF THE DATE OF EXECUTION OF THE PLAT AND OTHER INFORMATION DISCOVERED BY ME THROUGH REASONABLE INQUIRY AND IS LIMITED AS AUTHORIZED BY SECTION 2.2.3(C)(3)(f) OF THE LAND USE CODE.

ATTORNEY
ADDRESS: _____

REGISTRATION NO.: _____

SURVEYOR'S STATEMENT:

I, MICHAEL S. BRAKE, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS SUBDIVISION PLAT WAS PREPARED FROM AN ACTUAL SURVEY UNDER MY PERSONAL SUPERVISION, THAT THE MONUMENTATION AS INDICATED HEREON WERE FOUND OR SET AS SHOWN, AND THAT THE FORGOING PLAT IS AN ACCURATE REPRESENTATION THEREOF, ALL THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



MICHAEL S. BRAKE, PLS
COLORADO P.L.S. NO. 28262
FOR AND ON BEHALF OF JR ENGINEERING, LLC.




NOTICE OF OTHER DOCUMENTS:

ALL PERSONS TAKE NOTICE THAT THE OWNER HAS EXECUTED CERTAIN DOCUMENTS PERTAINING TO THIS DEVELOPMENT WHICH CREATE CERTAIN RIGHTS AND OBLIGATIONS OF THE DEVELOPMENT, THE OWNER AND/OR SUBSEQUENT OWNERS OF ALL OR PORTIONS OF THE DEVELOPMENT SITE, MANY OF WHICH OBLIGATIONS CONSTITUTE PROMISES AND COVENANTS THAT, ALONG WITH THE OBLIGATIONS UNDER THIS PLAT, RUN WITH THE LAND. THE SAID DOCUMENTS MAY ALSO BE AMENDED FROM TIME TO TIME AND MAY INCLUDE, WITHOUT LIMITATION, THE DEVELOPMENT AGREEMENT, SITE AND LANDSCAPE COVENANTS, FINAL SITE PLAN, FINAL LANDSCAPE PLAN, AND ARCHITECTURAL ELEVATIONS, WHICH DOCUMENTS ARE ON FILE IN THE OFFICE OF THE CLERK OF THE CITY AND SHOULD BE CLOSELY EXAMINED BY ALL PERSONS INTERESTED IN PURCHASING ANY PORTION OF THE DEVELOPMENT SITE.

REPLAT
LOT 1 PROSPECT – RIVERSIDE SUBDIVISION
JOB NO. 39710.00
OCTOBER 03, 2014
SHEET 1 OF 2



2900 S. College Ave. Suite 30 Fort Collins, CO 80525
970-491-9888 Fax: 970-491-9984 www.jrengineering.com

	#4 REBAR (LENGTH UNKNOWN) WITH 1" BLUE PLASTIC CAP MARKED LS 14823
	CHISSELED "X" IN CONC
	#4 REBAR (LENGTH UNKNOWN) WITH NO CAP OR LARKINGS



LINE TABLE			CURVE TABLE				
LINE	BEARING	DISTANCE	CURVE	DELTA	RADIUS	LENGTH	CHORD
L1	N89°48'43"E	319.09'	C1	90°00'00"	45.00'	70.69'	S45°11'17"E 63.64'
L2	S00°11'17"E	83.75'	C2	90°00'00"	45.00'	70.69'	S44°48'43"W 63.64'
L3	S89°48'43"W	140.55'	C3	90°00'00"	45.00'	70.69'	N45°11'17"W 63.64'
L4	N00°11'17"W	83.75'	C4	90°00'00"	25.00'	39.27'	N45°11'17"W 35.36'
L5	S89°48'43"W	108.59'	C5	90°00'00"	25.00'	39.27'	N44°48'43"E 35.36'
L6	N89°48'43"E	140.55'	C6	90°00'00"	25.00'	39.27'	S45°11'17"E 35.36'
L7	S00°11'17"E	83.75'	C7	90°00'00"	25.00'	39.27'	S44°48'43"W 35.36'
L8	S89°48'43"W	140.55'	C8	90°00'00"	25.00'	39.27'	N45°11'17"W 35.36'
L9	N00°11'17"W	83.75'					

LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L10	N00°11'17"W	26.00'	L20	S89°48'47"W	55.69'
L11	S89°48'43"W	80.75'	L21	N00°11'17"W	20.00'
L12	N00°11'17"W	24.00'	L22	N89°48'43"E	57.09'
L13	N89°48'43"E	46.01'	L23	N00°11'17"W	21.00'
L14	N44°48'43"E	15.56'	L24	N45°11'17"W	15.56'
L15	N00°11'17"W	11.00'	L25	S89°48'43"W	44.73'
L16	S89°48'43"W	57.63'	L26	N03°17'44"W	30.93'
L17	N00°11'17"W	18.00'	L27	N83°52'42"E	60.22'
L18	N89°48'43"E	55.76'	L28	N06°07'23"W	41.00'
L19	N00°11'17"W	32.00'			



J·R ENGINEERING
A Westrian Company



MEMORANDUM

TO: Bob Gustafson, WG Architects
City of Fort Collins

FROM: Matt Delich

DATE: June 11, 2014

SUBJECT: Riverside Commercial Transportation Impact Study
(File: 1446ME01)



This memorandum addresses the transportation impacts of the proposed Riverside Commercial development at 1640 Riverside Avenue in Fort Collins. The site location is shown in Figure 1. The scope of this study was discussed with Martina Wilkinson, Fort Collins Traffic Operations. A brief memorandum was requested.

Riverside Avenue is classified as a four lane arterial street. The current geometry on Riverside Avenue, adjacent to this site, has two through lanes in each direction and a continuous two-way left-turn lane. There are sidewalks along both sides of Riverside Avenue. The sidewalk will be enhanced adjacent to the site. There are no bicycle lanes along Riverside Avenue; however it is designated as a Bike Route. The nearest Transfort service (Route 18) is on Prospect Road. Figure 2 shows recent peak hour traffic on Riverside Avenue, north of Prospect Road. The lot to the north of the site has storage buildings with two driveway cuts. The lot to the south of the site is occupied by the Rivendale School. It has two driveway cuts, the north ingress driveway (near the property line) and the south egress driveway (near the north side of the school building).

Figure 3 shows the site plan for the Riverside Commercial development. The Riverside Commercial development will consist of a mini-storage component of 20,450 square feet and an office component of 13,350 square feet. Land use code 151, Mini-Warehouse and land use code 710, General Office from Trip Generation, 9th Edition, ITE were used in calculating the trip generation. Table 1 shows the trip generation for the Riverside Commercial development. The Riverside Commercial development is expected to generate 200 daily trip ends, 24 morning peak hour trip ends, and 26 afternoon peak hour trip ends. The trip distribution is expected to be 50 percent to/from the north and 50 percent to/from the south. Figure 4 shows the site generated peak hour traffic assignment.

Access to the site will be via a full-movement driveway to/from Riverside Avenue near the north side of the site. There are currently two driveway cuts near the south side of the site which will be closed. This site has no other available street access. There is

railroad property to the east of the site and developed parcels to the north and south. According to City standards, the driveway spacing is 460-660 feet for four lane arterial streets. For properties on the east side of Riverside Avenue, there is little/no compliance with this criterion. The existing driveways were established prior to the current standard. The most active adjacent driveways are to the south (Rivendale School). The proposed Riverside Commercial driveway is approximately 205 feet from the Rivendale School ingress driveway. This does not meet the spacing criterion, but is the maximum separation possible. Shared access with the Rivendale School is not desired or practical. The driveways on the lot to the north are not very active given the storage land use. The proposed Riverside Commercial driveway is approximately 105 feet from one of the driveways to the north property. This does not meet the spacing criterion. Given the existing storage building on the adjacent lot to the north, shared driveway access does not appear to be practical. The center of Riverside Avenue is striped as a continuous two-way left-turn lane in this area. This is the appropriate striping in this area given the traffic volumes, the frequency of left-turning traffic, and the posted speed on Riverside Avenue. It is recommended that this striping remain.

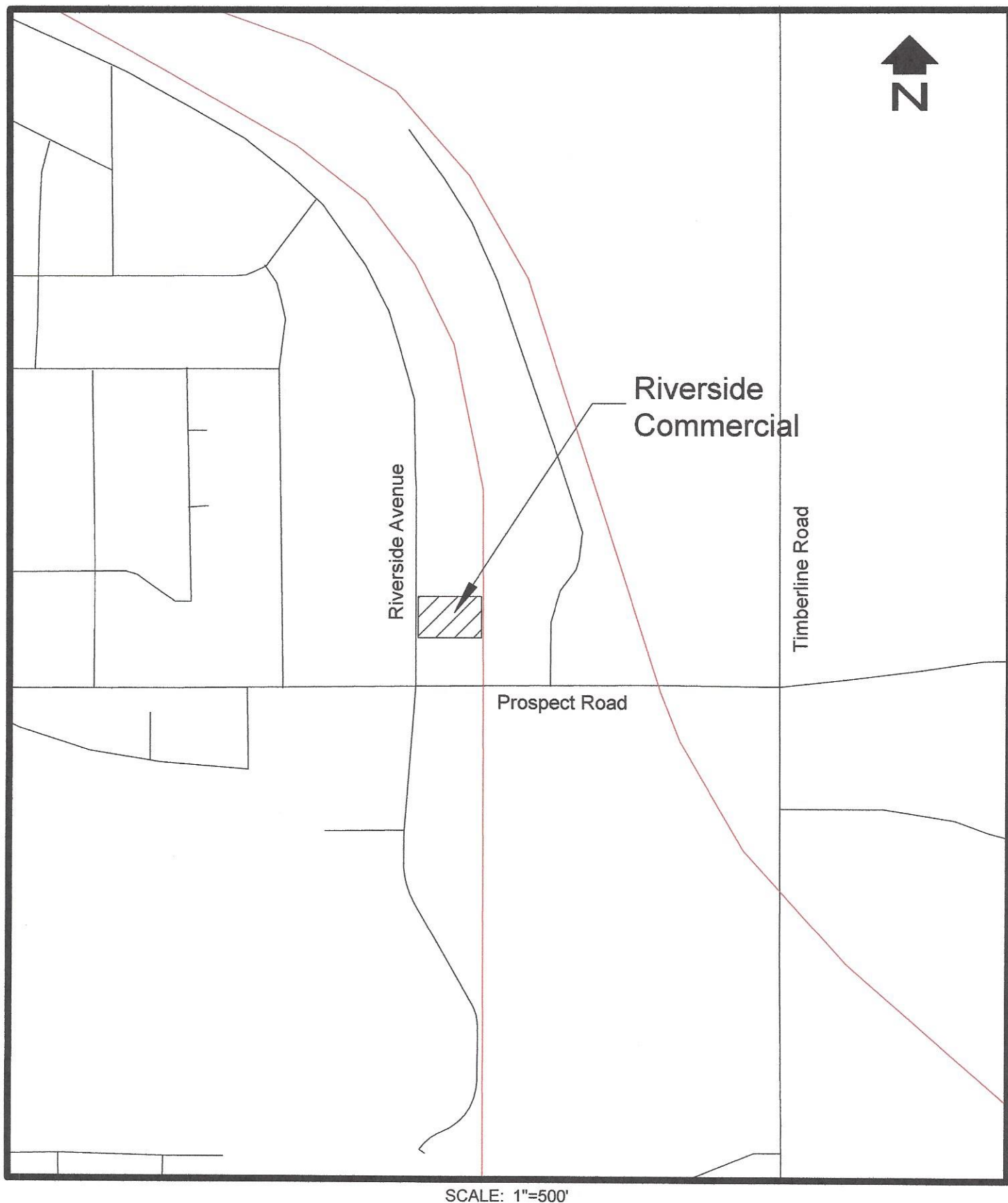
Figure 5 shows the short range (2019) total morning and afternoon peak hour traffic at the site intersection. Background traffic volume forecasts for the short range (2019) future were developed by factoring the recent traffic counts by 2 percent per year. Table 2 shows the short range (2019) total morning and afternoon peak hour operation at the site intersection. Calculation forms are provided in Appendix A. The site access intersection will operate acceptably with stop sign control in the short range (2019) future. The site access should have one lane inbound and one lane outbound. This driveway location and trip generation will not negatively impact Riverside Avenue.

The Riverside Commercial site is in an area within which the City requires pedestrian and bicycle level of service evaluations. Appendix B shows an aerial photograph of the area that is within 1320 feet of the site. The Riverside Commercial site is located within an area termed as "transit corridor," which sets the pedestrian level of service threshold at LOS B for directness and security and LOS C for other measured categories. There are two destination areas within 1320 feet of the proposed Riverside Commercial site: 1) the residential to the west and 2) the residential to the south. Appendix B contains a Pedestrian LOS Worksheet. The pedestrian LOS is acceptable.

Based upon Fort Collins bicycle LOS criteria, there are no destination areas within 1320 feet of the Riverside Commercial site. Bicycle level of service is acceptable.

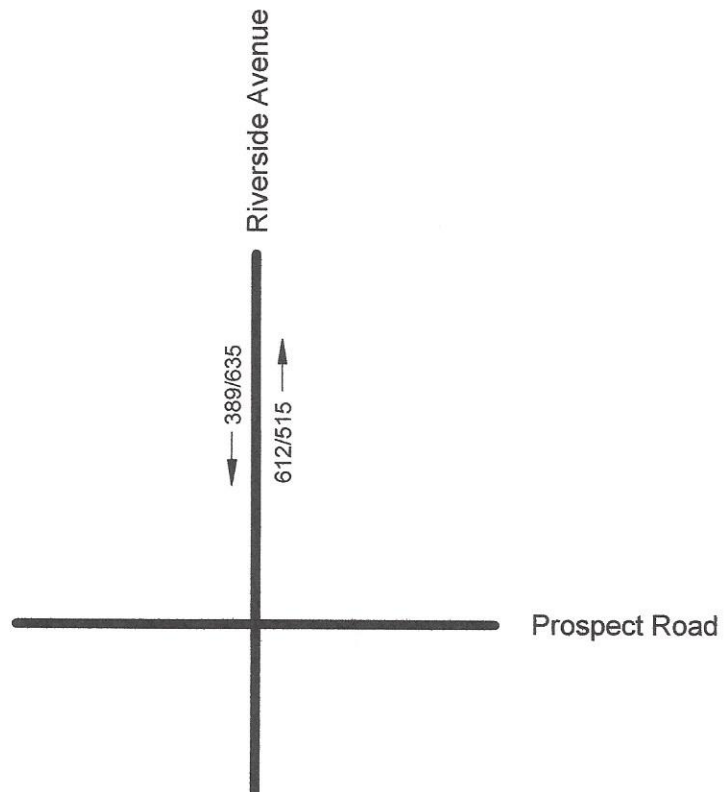
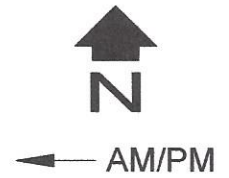
Currently, this area is served by Transfort Route 18 on Prospect Road. The transit service is acceptable.

It is concluded that, with development of the proposed Riverdale Commercial, the future level of service at the site intersection will be acceptable. The Riverside Commercial development can be built without additional auxiliary lanes at the site access or other street improvements.



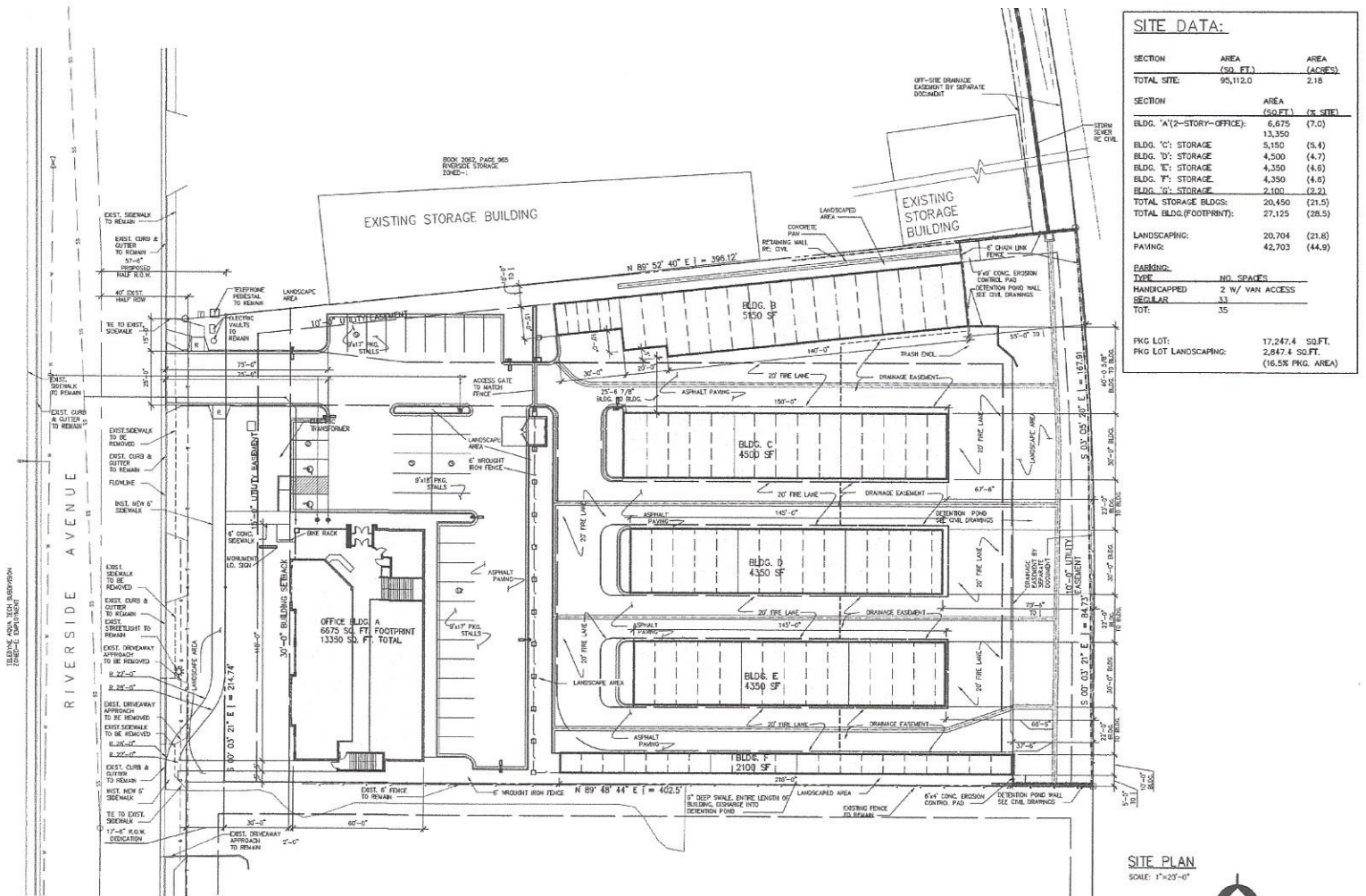
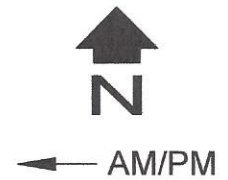
SITE LOCATION

Figure 1



EXISTING PEAK HOUR TRAFFIC

Figure 2

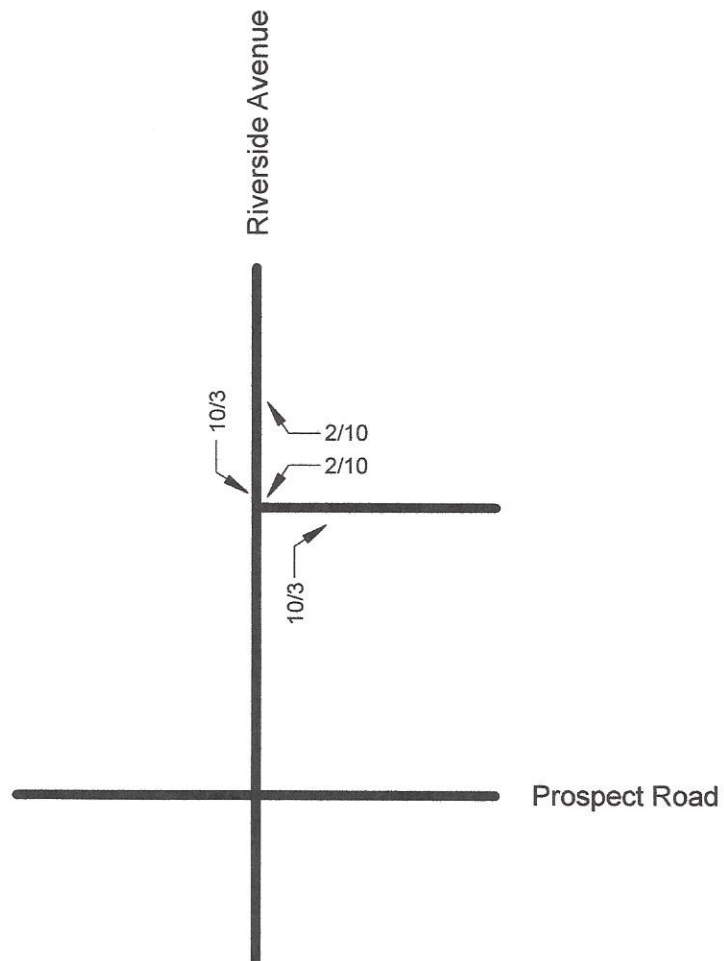
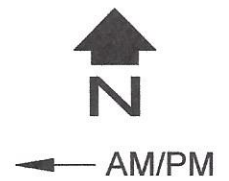


SITE PLAN

Figure 3

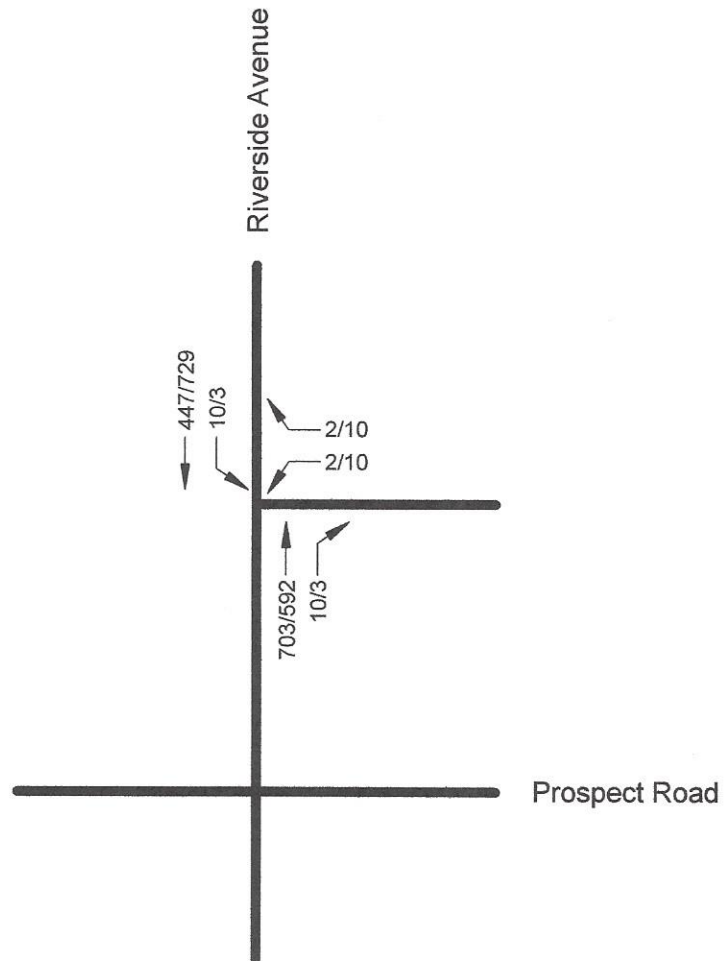
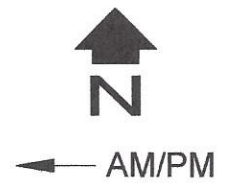
TABLE 1 Trip Generation												
Code	Use	Size	AWDTE		AM Peak Hour				PM Peak Hour			
			Rate	Trips	Rate	In	Rate	Out	Rate	In	Rate	Out
151	Mini-Warehouse	20.45 KSF	2.50	52	0.08	2	0.06	1	0.13	3	0.13	3
710	Office	13.35 KSF	11.03	148	1.37	18	0.19	3	0.25	3	1.24	17
	Total			200		20		4		6		20

TABLE 2 Short Range (2019) Total Peak Hour Operation			
Intersection	Movement	Level of Service	
		AM	PM
Riverside/Site Access (stop sign)	WB LT/RT	C	C
	SB LT	A	A



SITE GENERATED
PEAK HOUR TRAFFIC

Figure 4



SHORT RANGE (2019) TOTAL
PEAK HOUR TRAFFIC

Figure 5

APPENDIX A

HCM 2010 TWSC
3: Riverside & Site Access

Short Total AM

Intersection

Int Delay, s/veh 0.1

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Vol, veh/h	2	2	703	10	10	447
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	200	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	2	827	12	12	526

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	1119	419	0
Stage 1	833	-	-
Stage 2	286	-	-
Critical Hdwy	6.84	6.94	-
Critical Hdwy Stg 1	5.84	-	-
Critical Hdwy Stg 2	5.84	-	-
Follow-up Hdwy	3.52	3.32	-
Pot Cap-1 Maneuver	201	583	-
Stage 1	387	-	-
Stage 2	737	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	198	583	-
Mov Cap-2 Maneuver	198	-	-
Stage 1	387	-	-
Stage 2	726	-	-











Approach	WB	NB	SB
HCM Control Delay, s	17.4	0	0.2
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	SBL	SBT
Capacity (veh/h)	-	-	296	791	-
HCM Lane V/C Ratio	-	-	0.016	0.015	-
HCM Control Delay (s)	-	-	17.4	9.6	-
HCM Lane LOS	-	-	C	A	-
HCM 95th %tile Q(veh)	-	-	0	0	-

Lanes and Geometrics

3: Riverside & Site Access

Short Total PM

						
Lane Group	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12
Grade (%)	0%		0%			0%
Storage Length (ft)	0	0		0	200	
Storage Lanes	1	0		0	1	
Taper Length (ft)	25				25	
Lane Util. Factor	1.00	1.00	0.95	0.95	1.00	0.95
Ped Bike Factor						
Frt	0.932		0.999			
Flt Protected	0.976				0.950	
Satd. Flow (prot)	1694	0	3536	0	1770	3539
Flt Permitted	0.976				0.950	
Satd. Flow (perm)	1694	0	3536	0	1770	3539
Link Speed (mph)	30		30			30
Link Distance (ft)	653		680			652
Travel Time (s)	14.8		15.5			14.8
Intersection Summary						
Area Type:	Other					

HCM 2010 TWSC
3: Riverside & Site Access

Short Total PM

Intersection

Int Delay, s/veh 0.3

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Vol, veh/h	10	10	592	3	3	729
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	200	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	12	12	696	4	4	858

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	1134	350	0
Stage 1	698	-	-
Stage 2	436	-	-
Critical Hdwy	6.84	6.94	-
Critical Hdwy Stg 1	5.84	-	-
Critical Hdwy Stg 2	5.84	-	-
Follow-up Hdwy	3.52	3.32	-
Pot Cap-1 Maneuver	196	646	-
Stage 1	455	-	-
Stage 2	619	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	195	646	-
Mov Cap-2 Maneuver	195	-	-
Stage 1	455	-	-
Stage 2	616	-	-











Approach	WB	NB	SB
HCM Control Delay, s	18	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	SBL	SBT
Capacity (veh/h)	-	-	300	893	-
HCM Lane V/C Ratio	-	-	0.078	0.004	-
HCM Control Delay (s)	-	-	18	9	-
HCM Lane LOS	-	-	C	A	-
HCM 95th %tile Q(veh)	-	-	0.3	0	-

Lanes and Geometrics

3: Riverside & Site Access

Short Total AM

						
Lane Group	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12
Grade (%)	0%		0%			0%
Storage Length (ft)	0	0		0	200	
Storage Lanes	1	0		0	1	
Taper Length (ft)	25				25	
Lane Util. Factor	1.00	1.00	0.95	0.95	1.00	0.95
Ped Bike Factor						
Frt	0.932		0.998			
Flt Protected	0.976				0.950	
Satd. Flow (prot)	1694	0	3532	0	1770	3539
Flt Permitted	0.976				0.950	
Satd. Flow (perm)	1694	0	3532	0	1770	3539
Link Speed (mph)	30		30			30
Link Distance (ft)	653		680			652
Travel Time (s)	14.8		15.5			14.8
Intersection Summary						
Area Type:	Other					

APPENDIX B



Google earth

feet
km

3000
1



Pedestrian LOS Worksheet

Project Location Classification: TRANSIT CORRIDOR

	Description of Applicable Destination Area Within 1320'	Destination Area Classification		Level of Service (minimum based on project location classification)				
				Directness	Continuity	Street Crossings	Visual Interest & Amenities	Security
1	RESIDENTIAL TO WEST	RESIDENTIAL	Minimum	B	C	C	C	B
			Actual	A(<1.2)	C	B	C	B
			Proposed	A(<1.2)	C	B	C	B
2	RESIDENTIAL TO SOUTH	RESIDENTIAL	Minimum	B	C	C	C	B
			Actual	A(<1.2)	C	B	C	B
			Proposed	A(<1.2)	C	B	C	B
3			Minimum					
			Actual					
			Proposed					
4			Minimum					
			Actual					
			Proposed					
5			Minimum					
			Actual					
			Proposed					
6			Minimum					
			Actual					
			Proposed					
7			Minimum					
			Actual					
			Proposed					
8			Minimum					
			Actual					
			Proposed					
9			Minimum					
			Actual					
			Proposed					
10			Minimum					
			Actual					
			Proposed					

Figure 7. Bicycle LOS Worksheet

		level of service - connectivity		
		minimum	actual	proposed
base connectivity:		C	C	C
specific connections to priority sites:				
	description of applicable destination area within 1,320' including address	destination area classification (see text)		
1				
2				
3				
4				

1640 RIVERSIDE

HAZARDOUS MATERIALS IMPACT ANALYSIS

No hazardous materials will be stored or used on the property. Mini-storage unit rental contracts will expressly forbid the storage or use of hazardous or flammable materials. Violation will result in immediate cancellation of rental agreement.