Administrative Hearing: October 16, 2019

614 Lesser Drive – Carriage House

Summary of Request

This is a request to construct a 799 square foot carriage house and a 217 square foot addition onto the existing single-family residence located at 614 Lesser Drive.

Zoning Map (ctrl + click map to follow link)



Next Steps

If approved by the decision maker, the applicant will be eligible to submit plans for recordation. Following recordation, the applicant or representative thereof will be eligible to submit the construction drawings for building permit review and issuance.

Site Location

Located approximately 500 feet southwest of the Springer Natural Area and 650 feet north of Laurel Elementary School.

Zoning

Neighborhood Conservation Buffer District (N-C-B)

Property Owner

Taliesen LLC 429 S Howes Street Fort Collins, CO 80521

Applicant/Representative

Mike Hutsell Highcraft Builders 429 S Howes Street Fort Collins, CO 80521 p. 970.472.8100 e. <u>mike@highcraft.net</u>

Staff

Kai Kleer, City Planner p. (970) 416-4284 e. <u>kkleer@fcgov.com</u>

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Staff Recommendation

Approval



1. Project Introduction

A. PROJECT DESCRIPTION

- This application is being processed as a combined Project Development Plan (PDP)/Final Development Plan (FDP).
- The project is contained within Lot 16 of the 1947 Lesser's Subdivision.
- The lot is a 5,000 square foot site (40'x125').
- The one and a half-story carriage house is proposed to be located on the rear half of the lot.
- Existing sheds are anticipated to be removed with the development of this site.
- The addition to the existing single-family residence proposes to add 217 square feett
- The site will contain four off-street parking spaces located behind the existing single-family residence.

B. SITE CHARACTERISTICS

1. Development Status/Current Conditions

The site currently contains a single-family residence and two sheds. Larimer County Assessor records indicate that the building was built in 1921, however no building permit is on record with the City of Fort Collins.

The site was part of the 1947 Lesser's Subdivision which was later annexed as part of the Lesser's Addition on May 26, 1955.

2. Surrounding Zoning and Land Use

	North	South	East	West
Zoning	Neighborhood Conservation, Buffer District (N-C-B)	Neighborhood Conservation, Buffer District (N-C-B)	Limited Commercial (C- L)	Neighborhood Conservation, Buffer District (N-C-B)
Land Use	Single-family attached (Lesser's Subdivision)	Single-family attached (Lesser's Subdivision)	Major Automotive Repair (Houska Automotive)	Single-family attached (Lesser's Subdivision)

C. OVERVIEW OF MAIN CONSIDERATIONS

The main considerations have been parking and design of the carriage house. Because the lot is 40 feet in width each single-family residence/carriage house require two off-street parking spaces (four total) to meet the required standard.



2. Public Outreach

A. NEIGHBORHOOD MEETING

Pursuant to 2.2.2 – Step 2: Neighborhood Meetings, a neighborhood meeting is not required for Administrative (Type 1) projects. Therefore, a neighborhood meeting was not held for this project.

B. PUBLIC COMMENTS:

No public comment on the development project has been received at this time. Any communication received between the public notice period and hearing will be forwarded to the Hearing Office to be considered when making a decision on the project.

3. Article 2 – Applicable Standards

A. BACKGROUND

This project was submitted on July 28, 2019 as a combined Project Development Plan (PDP)/Final Development Plan (FDP). The project required three rounds of staff review prior to hearing.

B. PROJECT DEVELOPMENT PLAN PROCEDURAL OVERVIEW

1. Conceptual Review # CDR190042 (May 16, 2019)

A conceptual review meeting was held on May 16, 2019.

2. First Submittal (PDP190013)

The first submittal of this project was completed on June 28, 2019.

3. Neighborhood Meeting

Not applicable pursuant to 2.2.2 – Step 2: Neighborhood Meetings.

4. Project Expiration

In accordance with 2.2.11 – Step 11: Lapse, a project must be diligently pursued and resubmitted within 180 days of receiving written comments. The project satisfies this requirement and has not lapsed.

5. Notice (Posted, Written and Published)

Posted Notice: July 5, 2019, Sign # 501

Written notice: October 2, 2019, 140 addresses mailed.

Published Notice: October 7, 2019, Coloradoan confirmation #0003829384



4. Article 3 - Applicable Standards

A. DIVISION 3.2 - SITE PLANNING AND DESIGN

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.2.2 (K)(1)(c) Parking Lots	For each single-family dwelling there must be one (1) parking space on lots with greater than forty (40) feet of street frontage or two (2) parking spaces on lots with forty (40) feet or less of street frontage.	Complies
 Required Number of Off-Street 	Because the project is contained within a 40-foot lot, each single-family detached dwelling will require two off-street spaces (four total).	
Spaces for Type of Use	The plan proposes four off-street parking spaces with one contained in the garage of the carriage house and three surrounding the rear and side of the existing and proposed buildings.	

B. DIVISION 3.3 – ENGINEERING STANDARDS

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.3.1(C) – Public Sites, Reservations and Dedications	An applicant is required to dedicate rights-of-way for public streets, drainage easements and utility easements as needed to serve the area being developed. In cases where any part of an existing road is abutting or within the tract being developed, the applicant must dedicate such additional rights-of-way as may be necessary to increase such roadway to the minimum width required by Larimer County Urban Area Street Standards and the City of Fort Collins Land Use Code. As part of this application the project will dedicate an additional 6 feet of right-of-way and a 9-foot utility easement located behind the new right-of-way limits. The 15' area containing the easement and right-of-way bring the site into compliance with all applicable engineering standards and guidelines.	Complies





5. Article 4 – Applicable Standards:

A. SUMMARY

The Neighborhood Conservation, Buffer District (N-C-B) is intended for areas that are a transition between residential neighborhoods and more intensive commercial-use areas or high traffic zones that have been given this designation in accordance with an adopted subarea plan.

The proposed carriage house and addition is permitted subject to Administrative Review in this district.

B. DIVISION 4.9 – NEIGHBORHOOD CONSERVATION, BUFFER DISTRICT

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
4.9(B) Permitted Uses	The proposed carriage house is a permitted use in the N-C-B zone district. The land use code refers to a carriage house interchangeably as a single-family detached dwelling.	Complies
4.9(D)(2) Residential	Any new single-family dwelling (carriage house) that is proposed to be located behind a street fronting principal residence can only contain 1,000 square feet of floor area, must be 10 feet away from any other structure and can only have a 600 square foot footprint.	Complies
	The proposed plan complies with the aforementioned standards by providing a 600 square foot building footprint, 20-foot setback from the existing building and overall square footage of 799 square feet.	
4.9(D)(5) Allowable	The allowable floor area on the rear half of lot must not exceed thirty-three (33) percent of the overall lot area.	Complies
Floor Area on Rear Half of Lots	The allowable floor area is calculated as follows ((5,000/2).33) = 825 square feet. The proposed 799 square foot building is less the above sum, therefore meeting this requirement.	
4.9(D)(6) Dimensional Standards	Dimensional standards require a minimum rear yard setback of 15 feet, side yard setback of 5 feet and when any portion of building or wall exceeds 18 feet along a side yard, an additional 1 foot of setback. Building height is also limited to 1 ½ stories.	Complies
	The plan provides the required minimum of 5 feet side and 15 feet rear setbacks. The project proposes a wall height of 15 feet along the side yard and does not require any additional setback to meet dimensional standards of this section. The proposed carriage house is 1 ½ stories.	
4.9(E)(3)(c)(1) Additional Review Criteria for	The site plan shall provide a separate yard area containing at least one hundred twenty (120) square feet to serve both the carriage house and the existing principal dwelling. Such yard area shall be at least ten (10) feet in its smallest dimension and must provide privacy and screening for abutting properties.	Complies
Carriage Houses	The plan provides a 15'x40' (600 sq. ft.) rear-yard space.	
4.9(E)(3)(c)(2)	Decks, entry doors, major entry access stairs or major windows shall face the existing principal building or the alley (if the lots front the alley). Windows that overlook an abutting side or rear yard must be minimized.	
	The plan complies by proposing the major entry access facing the existing single-family residence. Windows facing the side lot are also minimize and placed in a way to preserve privacy of the neighboring properties.	



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Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
4.9(E)(3)(c)(3)	Buildings, structures, open spaces and other features of the site plan shall be oriented and located such that they maintain natural resources, including existing significant trees and shrubs, to the extent reasonably feasible. No significant natural resources will be impacted by the project proposal.	Complies
4.9(E)(4) Landscape / Hardscape Material	A maximum of forty (40) percent of the front yard of a lot may be covered with inorganic material such as asphalt or cement concrete, paving stone, flagstone, rock or gravel. The project does not propose the addition of any inorganic material in the front yard.	Complies
4.9(E)(5) Site Design	Permanent open off-street parking areas shall not be located any closer to a public street right-of-way than the distance by which the principal building is set back from the street right-of-way. This provision shall not be construed to preclude temporary parking in driveways. The project proposes all parking to be located behind the street fronting single-family residence	Complies



6. Findings of Fact/Conclusion

In evaluating the request for the 614 Lesser Drive – Carriage House Final Development Plan, FDP190013, staff makes the following findings of fact:

- The F.D.P. complies with process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 Administration.
- The F.D.P. complies with relevant standards located in Article 3 General Development Standards.
- The F.D.P. complies with relevant standards located in Division 4.9, Neighborhood Conservation, Buffer District of Article 4.

7. Recommendation

Staff recommends approval of 614 Lesser Drive - Carriage House, FDP190013.

8. Attachments

- 1. Vicinity & Zoning Map
- 2. Project Narrative
- 3. Plan Set
- 4. Utility Plan Set
- 5. Drainage Letter
- 6. ROW Dedication
- 7. Utility Easement Dedication





429 S. Howes Street, Fort Collins, CO 80521 970.472.8100 • www.HighCraft.Net

614 Lesser Drive Carriage House Development Request

Owner: Taliesen LLC P: 970-472-8100

Past Meeting Dates			
Conceptual Review	05/16/2019		
Pre-submittal Review w/Coordinator	06/20/2019		
Round 1 Staff Review Meeting	07/17/2019		

This development request is to build a 1½ story carriage house at 614 Lesser Drive (parcel #9713115016) with a lot area of 5000 square feet in the neighborhood conservation buffer (NCB) zoning district. There is currently a single family residence that fronts Lesser Drive. The carriage house would be located at the rear of the lot along the rear setback, and would share access by means of an existing driveway that runs along the south side of the existing house that will provide access to 4 required off street parking spaces.

The architectural form and placement of the carriage house on the lot is such that minimal impact to the privacy of the surrounding neighbors is a priority. There are two residential neighbors along the north and south property lines. The lot also abuts Houska Automotive to the rear. Architectural features such as windows and access are minimized along the north and south property lines, and the general orientation of the building maximizes the privacy for neighboring properties. The placement also allows for a common access and parking area between the two dwelling units, while also providing for separate, private yard spaces for each. Trash and Recycling services will be provided by normal curbside pickup.

Building height is kept as low as feasible to allow for the 1½ story carriage house to include two habitable spaces for sleeping. Although larger in height than the one story existing house, the footprint is smaller than the existing. The height and massing of the carriage house is also similar to other 2-story houses across the street and nearby.

The thoughtful design and intent of this development will enhance the purpose of the neighborhood conservation buffer (NCB) district, which defines a transition between residential neighborhoods and the high traffic, commercial zones of the City.

Thank you for your consideration of the requested development.

Sincerely,

Mike Hutsell, HighCraft Builders, on behalf of the owner, Taliesen LLC



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PLAN NOTES

FIRE RESISTANCE:

- DOORS BETWEEN GARAGE AND DWELLING: SOLID WOOD OR SOLID/HONEYCOMB STEEL OF MIN. 1-3/8" THICKNESS, OR MIN. 20 MINUTE FIRE RATED, EQUIPPED W/ SELF OR AUTOMATIC CLOSING DEVICE. (R302.5.1) FIRE SEPARATION BETWEEN HOUSE AND GARAGE (ANY UTILITY AREA, L.C.) SHALL
- BE PER R302.6 AT ENCLOSED ACCESSIBLE SPACE UNDER STAIRS, UNDERSIDE OF STAIRS TO BE
- PROTECTED W/ MIN. 1/2" GYP. BD. (R302.7)
- FIREBLOCKING TO BE PER CODE, INCLUDING @ INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS. (R302.11)
- FLOOR FRAMING TO BE PROTECTED BY MIN. 1/2" GYP. BD. EXCEPT: (R302.13) - OVER CRAWLSPACE NOT INTENDED FOR STORAGE OR HEATING APPLIANCES. - WHERE AREA PER FLOOR IS UNDER 80SF AND PERIMETER IS FIREBLOCKED.
- WHERE FLOOR IS OF DIMENSIONAL OR COMPOSITE LUMBER OF MIN. 2X10. - WHERE SPRINKLER IS INSTALLED AT APPLIANCE (F.C.) - (SEE ADDTL. EXCEPTIONS L.C.)

SAFETY GLASS:

PROVIDE SAFETY GLASS AS REQ'D PER R308:

- IN FIXED AND OPERABLE DOOR PANELS, GUARDS, AND RAILINGS. ADJACENT TO OPERABLE DOOR PANELS WHERE BOT. OF GLASS UNDER 60" A.F.F. AND SIDE OF GLASS WITHIN 24" OF PANEL, EXCEPT WHERE ON LATCH SIDE AND IN DIFFERENT WALL PLANE FROM DOOR.
- WHERE PANE IS MIN. 9 SF, AND BOT. OF GLASS UNDER 18" A.F.F., AND TOP OF GLASS OVER 36" A.F.F., AND WALKING SURFACE WITHIN 36" HORIZONTALLY.
- AT WET LOCATIONS WITHIN 60" HORIZONTALLY OF WATER'S EDGE WHERE BOT. OF GLASS IS UNDER 60" A.F.F. • AT STAIRS, LANDINGS, AND RAMPS, WHERE BOT. OF GLASS UNDER 36" ABOVE
- PLANE OF WALKING SURFACE, AND WHERE GLASS IS WITHIN 60" OF HORIZONTAL ARC FROM NOSING OF BOTTOM (AND TOP, F.C.) STEP.

EMERGENCY ESCAPE (EGRESS) OPENINGS:

- REQUIRED AT BASEMENTS, HABITABLE ATTICS, AND SLEEPING ROOMS, (AND
- HABITABLE LOFTS AND MEZZANINES, F.C.) AND SHALL MEET THE FOLLOWING: • MIN. NET CLEAR OPENING OF 5.7 SF, OR 5.0 SF WHERE BOTTOM OF CLEAR OPG. IS LESS THAN 44" ABOVE OUTSIDE GROUND LEVEL.
- MIN. 24" CLEAR HEIGHT AND MIN. 20" CLEAR WIDTH. MAX. 44" INTERIOR SILL HEIGHT TO CLEAR OPG. (24" MIN. WHERE EXTERIOR SILL
- EXCEEDS 72", FORT COLLINS).
- WINDOW WELL INTERIORS MIN. 36" BOTH DIRECTIONS.
- WELL COVERS SHALL MEET ESCAPE OPG. REQ'S AND BE OPERABLE WITHOUT TOOLS, KEYS OR SPECIAL KNOWLEDGE, AND BY FORCE NO GREATER THAN NORMAL **OPERATION OF AN ESCAPE OPG.**
- WHERE WINDOW WELL IS OVER 44" HIGH, LADDER IS REQ'D:
- LADDER MAY PROJECT 6" MAX. INTO REQ'D WELL DIMENSIONS, SHALL PROJECT MIN. 3" FROM WALL, AND SHALL HAVE AN INSIDE WIDTH OF MIN. 12" W/ RUNGS MAX. 18" O/C.

MEANS OF EGRESS:

DWELLINGS SHALL BE PROVIDED WITH MIN. 1 EGRESS DOOR, WHICH IS TO BE SIDE HINGED AND PROVIDE A CLEAR OPG. OF MIN. 32" WIDE AND 78" HIGH.

LANDINGS AND THRESHOLDS:

- LANDINGS SHALL BE 36" WIDE, OR WIDTH OF STAIR/DOOR SERVED, MIN., AND 36' DEEP, MIN. LANDINGS REQ'D AT TOP AND BOTTOM OF STAIRS, AND AT BOTH SIDES OF DOORS EXCEPT FOR THE FOLLOWING - ONE OR TWO RISES AT OUTSIDE OF EXTERIOR DOOR NOT REQ'D FOR EGRESS IF
- INSWING DOOR - AN INTERIOR DOOR MAY BE PLACED AT TOP STEP OF A STAIRWAY, PROVIDED IT DOES NOT SWING OVER STAIRWAY.
- AT THE REQ'D EGRESS DOOR, THRESHOLD SHALL NOT EXCEED 1-1/2" ABOVE FLOOR ALL EXTERIOR LIGHTING TO BE INTERNATIONAL DARK SKY ASSOC. (IDA) APPROVED OR LANDING, EXCEPT AT EXTERIOR OF AN INSWING DOOR, WHERE THRESHOLD MAY BE UP TO 7-3/4". AT OTHER EXTERIOR DOORS THRESHOLD SHALL BE 7-3/4" MAX.

STAIRWAYS:

- MIN. 36" CLEAR WIDTH ABOVE HANDRAIL HEIGHT AND BELOW HEADROOM HEIGHT
- MIN. 31-1/2" CLEAR WIDTH BELOW HANDRAIL HEIGHT W/ HANDRAIL ON ONE SIDE, AND 27" WIDE W/ HANDRAIL ON BOTH SIDES.
- MIN. 80" CLEAR HEADROOM ABOVE LINE CONNECTING NOSINGS.
- MAX. 7-3/4" RISE (MIN. 4", LARIMER COUNTY AND FORT COLLINS), MIN. 10" TREAD. • 3/4" MIN., 1-1/4" MAX. NOSING REQUIRED WHERE TREAD DEPTH IS UNDER 11". NOSING RADIUS 9/16" MAX.
- WINDER TREADS MIN. 6" DEEP AT ANY POINT, AND MIN. 10" DEEP AT WALKLINE (12" FROM NARROW EDGE OF STAIR).

• MAX 4" GAP AT OPEN RISES.

HANDRAILS:

- REQ'D AT ONE SIDE OF STAIRWAYS OF 4 OR MORE RISERS.
- TOP OF HANDRAIL SHALL BE 34"-38" ABOVE LINE CONNECTING NOSINGS.
- HANDRAIL SHALL BE CONTINUOUS FROM TOP RISER TO BOTTOM RISER WITH MIN. 1-1/2" GAP TO WALL, AND RETURN/TERMINATE TO WALL OR POST AT ENDS. TYPE I RAILS - CIRCULAR RAILS SHALL HAVE DIAM. BETWEEN 1-1/4" AND 2", OTHER PROFILES SHALL HAVE A PERIMETER BETWEEN 4" AND 6-1/4" AND MAX. CROSS

SECTION OF 2-1/4" AND EDGES WITH MIN. 0.01" RADIUS. TYPE II RAILS - REFER TO R311.7.8.3-2 WHERE PERIMETER EXCEEDS 6-1/4".

FALL PROTECTION:

- **GUARDRAILS:** REQ'D AT PORTION OF EDGE OF WALKING SURFACES, INCLUDING STAIRWAYS, LANDINGS, AND RAMPS THAT ARE LOCATED MORE THAN 30" ABOVE FLOORS OR **GRADE WITHIN 36" HORIZONTALLY OF EDGE**
- HEIGHT: MIN. 36" A.F.F., EXCEPT AT OPEN SIDES OF STAIR WHERE SHALL BE MIN. 34" ABOVE LINE CONNECTING NOSINGS, AND BETWEEN 34" AND 38" ABOVE LINE
- CONNECTING NOSINGS IF ALSO SERVING AS HANDRAIL. • UP TO REQ'D HEIGHT, SHALL NOT PERMIT PASSAGE OF A 4" DIAM. SPHERE, EXCEPT AT OPEN SIDE OF STAIR, WHERE SHALL NOT PERMIT PASSAGE OF A 4-3/8" DIAM. SPHERE, AND AT TRIANGULAR OPENING FORMED BY STAIR RISE/TREAD/GUARD WHERE SHALL NOT PERMIT PASSAGE OF 6" DIAM. SPHERE.

WINDOWS:

SHALL MEET THE REQUIREMENTS OF R312.2 WHERE TOP OF OPERABLE WINDOW SILL IS LESS THAN 24" ABOVE INTERIOR FLOOR AND MORE THAN 72" ABOVE EXTERIOR FLOOR/GRADE.

ATTIC AND CRAWLSPACE ACCESS:

ATTICS W/ MIN. VERTICAL HEIGHT OF 30" (INSIDE FRAMING) AND AREA OVER 30 SF REQUIRE ACCESS LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.

- MIN. ROUGH FRAMED ACCESS OPG. 22"X30".
- MIN. CLEAR HEADROOM (INSIDE FRAMING) SHALL BE 30" AT SOME POINT ABOVE ACCESS OPG.
- ALL UNDERFLOOR AREAS SHALL BE ACCESSIBLE BY MIN. 18"X24" FLOOR OR 16"X24" PERIMETER WALL HATCH.

FIREPLACES:

ALL FIREPLACES ARE TO BE INSTALLED IN COMPLIANCE WITH MANUFACTURER'S INSTALLATION REQUIREMENTS. MANUFACTURER'S REQUIREMENTS SHALL SUPERSEDE ANY CONFLICTING ELEMENT OF PLANS.

PER R408.

SEALED)

ALL SIDING TO BE INSTALLED PER CODE AND MFR'S RECOMMENDATIONS OVER APPROPRIATE AND TO CODE W.R.B. INSTALLED PER MFR'S RECOMMENDATIONS WITH APPROPRIATE AND TO CODE CLEARANCES TO GRADE/HARDSCAPE.

<u>LIGHTING</u>

MIN. 90% OF INSTALLED LAMPS TO BE HIGH-EFFICACY.

FORT COLLINS REQUIREMENTS

AND PLACED PER IDA STANDARDS

READY.

CARBON MONOXIDE/SMOKE ALARMS:

BEDROOMS HABITABLE ATTICS

BUILDING ENVELOPE

ATTIC AND CRAWLSPACE VENTILATION:

UNLESS MEETING REQ'S OF R806.5, ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE A NET AREA OF OPENINGS FOR CROSS VENTILATION OF MIN. 1/150 OF THE AREA OF THE VENTED SPACE, OR MIN. 1/300 IF BETWEEN 40% AND 50% OF THE AREA OF THE VENTED SPACE IS LOCATED AT THE UPPER PORTION (WITHIN 3' OF RIDGE) OF THE ATTIC, AND REMAINDER IN BOTTOM THIRD.

UNDERFLOOR AREAS SHALL HAVE VENTILATION OPENINGS OF MIN. 1/150 OF THE FLOOR AREA, AND DISTRIBUTED WITHIN 3' OF CORNERS. WHERE VAPOR BARRIER IS INSTALLED, OR UNDERFLOOR AREA IS UNVENTED TO THE OUTSIDE (REQUIRED UNLESS OTHERWISE APPROVED BY BUILDING OFFICIAL, F.C.), VENTILATION IS TO BE

VENTILATED OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MIN. 1/16"/MAX. 1/4" OPENINGS

THERMAL ENVELOPE

FENESTRATION: U 0.30, MAX. (0.32, L.C.)

CEILINGS: R49 MIN. (R38 LOV.), OR R38 MIN. WHERE UNCOMPRESSED OVER EAVES. R30 MIN., UNCOMPRESSED, AT CEILING WITHOUT ATTIC THAT IS UNDER 500 SF/ 20% OF TOTAL INSULATED AREA.

WALLS: R20 MIN., ENCAPSULATED, AND R38 AT ATTIC KNEE WALLS.

FLOORS: R30 MIN., OR SUFFICIENT TO FILL CAVITY DOWN TO R19 MIN. BASEMENT AND UNVENTED CRAWLSPACE WALLS: R13 MIN., ENCAPSULATED (IN F. AND L.C. RIM TO BE SPRAY FOAMED TO R15 (R13 L.C.) MIN, OR R19 MIN. AND AIR

SLABS: R10 MIN., 2 FT. MIN. DEPTH AT PERIMETER.

WATER PROTECTION:

ALL ROOFING TO BE INSTALLED PER CODE AND MANUFACTURER'S RECOMMENDATIONS OVER APPROPRIATE AND TO CODE UNDERLAYMENT AND ICE & WATER SHIELD.

WINDOWS AND EXTERIOR DOORS TO BE INSTALLED PER MFR'S **RECOMMENDATIONS.**

PROVIDE ALL ROOF FLASHING, FLASHING AT LEDGERS/BANDS/HEADERS IN SIDING HEAD FLASHING, CAP FLASHING, PENETRATION FLASHING/COLLARS, AND FLASHING BETWEEN DISSIMILAR MATERIALS TO CODE AND MANUFACTURER'S RECOMMENDATIONS, AND AS REQUIRED FOR WATERTIGHT CONSTRUCTION.

ELECTRICAL NOTES

PROVIDE LIGHTING AT ALL STAIRWAYS. AT INTERIOR STAIRWAYS OF 6 OR MORE RISERS, LIGHTING SHALL BE SWITCHED FROM TOP AND BOTTOM. LIGHTING SHALL BE PROVIDED AT TOP LANDING OF EXTERIOR STAIRWAYS, AND AT BOTTOM LANDING WHERE STAIRWAY SERVES A BASEMENT FROM GRADE LEVEL.

NEW DWELLINGS TO BE PHOTOVOLTAIC READY, WITH GARAGES ELEC. VEHICLE

HARD-WIRED SMOKE ALARMS WITH A BATTERY BACKUP MUST BE INSTALLED:

- IN EACH SLEEPING ROOM - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE

- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND

- ON BOTH LEVELS OF A SPLIT LEVEL DWELLING UNIT WHEN THERE IS AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS

HARD-WIRED CARBON MONOXIDE ALARMS WITH BATTERY BACKUP SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS THAT CONTAIN FUEL FIRED APPLIANCES OR HAVE ATTACHED GARAGES.

WHERE MORE THAN ONE SMOKE OR CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. PHYSICAL INTERCONNECTION OF ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. (IN F.C AND L.C.

INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.)

GENERAL LANDSCAPE NOTES

1. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.

2. IRRIGATION: ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. IRRIGATION SYSTEMS

TO BE TURNED OVER TO THE CITY PARKS DEPARTMENT FOR MAINTENANCE MUST BE APPROVED BY THE PARKS MANAGER AND MEET PARKS IRRIGATION STANDARDS. DESIGN REVIEW SHALL OCCUR DURING UTILITIES DEPARTMENT IRRIGATION REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND CONSTRUCTION OBSERVATION AND INSPECTION BY PARKS SHALL BE INCORPORATED INTO THE CONSTRUCTION PROCESS.

3. TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS **REOUIRING REVEGETATION AND LANDSCAPING.**

4. SOIL AMENDMENTS: SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1.000) SOUARE FEET OF LANDSCAPE AREA. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, A WRITTEN CERTIFICATION MUST BE SUBMITTED TO THE CITY THAT ALL PLANTED AREAS, OR AREAS TO BE PLANTED, HAVE BEEN THOROUGHLY LOOSENED AND THE SOIL AMENDED, CONSISTENT WITH THE **REOUIREMENTS SET FORTH IN SECTION 12-132.**

5. INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE OUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.

6. MAINTENANCE: TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSOR IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.

7. REPLACEMENT: ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE

REQUIREMENTS OF THESE PLANS. 8. THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:

- -40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
- -15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS

-10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES -6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER

SERVICE LINES. -4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES

-4 FEET BETWEEN TREES AND GAS LINES

9. ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 3.2.1(D)(2)(a)

10. PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.

11. THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.

12. MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.

13. ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.

GENERAL NOTES

L ALL WORK IS TO CONFORM TO ADOPTED CODES OF THE AUTHORITY HAVING JURISDICTION:

- PROJECT.

. VERIFY ALL DIMENSIONS IN THE FIELD. WRITTEN DIMENSIONS HAVE PRECEDENC OVER SCALED DIMENSIONS. ALL DRAWINGS SCALED AS NOTED.

. REFER TO STRUCTURAL DOCUMENTS FOR SPECIFIC STRUCTURAL REQUIREMENT AND SPECIFICATIONS.

SITE PLAN NOTES

1. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.

2. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.

3. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.

4. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.

5. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.

6. ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.

7. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.

8. FIRE HYDRANTS MUST MEET OR EXCEED POUDRE FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.

9. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.

10. ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.

11. COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY THE PROPERTY OWNER OF THE COMMON AREA. THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.

12. DESIGN AND INSTALLATION OF ALL PARKWAY/TREE LAWN AND MEDIAN AREAS IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY STANDARDS. UNLESS OTHERWISE AGREED TO BY THE CITY WITH THE FINAL PLANS, ALL ONGOING MAINTENANCE OF SUCH AREAS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPE

13. THE PROPERTY OWNER FOR EACH RESIDENTIAL LOT IS RESPONSIBLE FOR SNOW REMOVAL ON ALL STREET SIDEWALKS ADJACENT TO EACH RESIDENTIAL LOT.

14. PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&R'S), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF XERISCAPE LANDSCAPING, SOLAR/PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), ODORCONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.

15. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.

16. FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND VERIFY UNITS MEET EGRESS REQ'S AND MATCH EXIST. OPG. SIZES AS SHOWN ON PLANS LEGIBLE CONDITION AT ALL TIMES AD BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.

17. PREMISE IDENTIFICATION: AN ADDRESSING PLAN IS REQUIRED TO BE REVIEW AND APPROVED BY THE CITY AND POUDRE FIRE AUTHORITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. UNLESS THE PRIVATE DRIVE IS **OWNER/DEVELOPER - TALIESEN, LLC** NAMED, MONUMENT SIGNAGE MAY BE REQUIRED TO ALLOW WAY-FINDING. ALL 970-472-8100 BUILDINGS SHALL HAVE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED dwight@highcraft.net BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE, VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, AND POSTED ARCHITECTURAL ASSOCIATE - MIKE HUTSELL, HIGHCRAFT BUILDERS WITH A MINIMUM OF SIX-INCH NUMERALS ON A CONTRASTING BACKGROUND. 970-472-8100 (OFFICE) 970-632-0029 (CELL) WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT mike@highcraft.net BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

 LARIMER COUNTY: 2018 IRC AND IECC, 2017 NEC, WITH LOCAL AMENDMENTS • LOVELAND: 2012 IRC AND IECC, 2017 NEC, WITH LOCAL AMENDMENTS • FORT COLLINS: 2018 IRC AND IECC, 2017 NEC, WITH LOCAL AMENDMENTS

2. PLAN NOTES, BUILDING ENVELOPE NOTES, AND ELECTRICAL NOTES ARE INTENDED ONLY TO SUMMARIZE SOME ELEMENTS OF APPLICABLE CODES. THESE NOTES CONTAIN ITEMS THAT MAY OR MAY NOT PERTAIN TO THIS PARTICULAR

PROJECT NARRATIVE

PAST MEETING DATES: CONCEPTUAL REVIEW, 05/16/2019

 PRE SUBMITTAL MEETING, 06/20/2019 ROUND 1 STAFF REVIEW MEETING, 07/17/2019

THIS DEVELOPMENT REQUEST IS TO BUILD A 1¹/₂ STORY CARRIAGE HOUSE AT 614 LESSER DRIVE (PARCEL #9713115016) WITH A LOT AREA OF 5000 SQUARE FEET IN THE NEIGHBORHOOD CONSERVATION BUFFER (NCB) ZONING DISTRICT. THERE IS CURRENTLY A SINGLE FAMILY RESIDENCE THAT FRONTS LESSER DRIVE. THE CARRIAGE HOUSE WOULD BE LOCATED AT THE REAR OF THE LOT ALONG THE REAR SETBACK, AND WOULD SHARE ACCESS BY MEANS OF AN EXISTING DRIVEWAY THAT

RUNS ALONG THE SOUTH SIDE OF THE EXISTING HOUSE THAT WILL PROVIDE ACCESS TO 4 REQUIRED OFF STREET PARKING SPACES. THE ARCHITECTURAL FORM AND PLACEMENT OF THE CARRIAGE HOUSE ON THE

LOT IS SUCH THAT MINIMAL IMPACT TO THE PRIVACY OF THE SURROUNDING NEIGHBORS IS A PRIORITY. THERE ARE TWO RESIDENTIAL NEIGHBORS ALONG THE NORTH AND SOUTH PROPERTY LINES. THE LOT ALSO ABUTS HOUSKA AUTOMOTIVE TO THE REAR. ARCHITECTURAL FEATURES SUCH AS WINDOWS AND ACCESS ARE MINIMIZED ALONG THE NORTH AND SOUTH PROPERTY LINES, AND THE GENERAL ORIENTATION OF THE BUILDING MAXIMIZES THE PRIVACY FOR NEIGHBORING PROPERTIES. THE PLACEMENT ALSO ALLOWS FOR A COMMON ACCESS AND PARKING AREA BETWEEN THE TWO DWELLING UNITS, WHILE ALSO PROVIDING FOR SEPARATE, PRIVATE YARD SPACES FOR EACH. TRASH AND RECYCLING SERVICES WILL BE PROVIDED BY NORMAL CURBSIDE PICKUP.

BUILDING HEIGHT IS KEPT AS LOW AS FEASIBLE TO ALLOW FOR THE 11/2 STORY CARRIAGE HOUSE TO INCLUDE TWO HABITABLE SPACES FOR SLEEPING. ALTHOUGH LARGER IN HEIGHT THAN THE ONE STORY EXISTING HOUSE. THE FOOTPRINT IS SMALLER THAN THE EXISTING. THE HEIGHT AND MASSING OF THE CARRIAGE HOUSE IS ALSO SIMILAR TO OTHER 2-STORY HOUSES ACROSS THE STREET AND NEARBY. THE THOUGHTFUL DESIGN AND INTENT OF THIS DEVELOPMENT WILL ENHANCE THE PURPOSE OF THE NEIGHBORHOOD CONSERVATION BUFFER (NCB) DISTRICT, WHICH DEFINES A TRANSITION BETWEEN RESIDENTIAL NEIGHBORHOODS AND THE HIGH TRAFFIC, COMMERCIAL ZONES OF THE CITY.

DOOR HARDWARE

KEYED + DEADBOLT

DUMMY

PASSAGE

PRIVACY

KEYED

QTY

DM

KY

KD

PA

PR

THANK YOU FOR YOUR CONSIDERATION OF THE REQUESTED DEVELOPMENT.

DOOR SCHEDULE

	DOOR STYLE
Α	INTERIOR DOOR
В	ENTRY DOOR
С	CASED OPENING
D	GARAGE ENTRY

CARRIA<u>GE HOUSE</u>

STYLE	ТҮРЕ	SIZE	QTY
Α	BYP	48" x 80"	1
Α	SWG	24" x 80"	2
Α	SWG	30" x 80"	3
В	SWG	24" x 80"	1
В	SWG	30" x 80"	2
В	SWG	36" x 66"	1
В	SWG	36" x 80"	1
D	SWG	30" x 80"	1

EXISTING HOUSE

STYLE	ТҮРЕ	SIZE	QTY
Α	BYP	48" x 78"	1
А	BYP	48" x 80"	2
А	SWG	30" x 80"	3
Α	SWG	48" x 80"	1
В	SWG	30" x 80"	1
В	SWG	36" x 80"	1

VERIFY UNITS MEET EGRESS REQ'S AND MATCH EXIST. OPG. SIZES AS SHOWN ON PLANS

WINDOW SCHEDULE

MAT'L	ТҮРЕ	SIZE	TEMP	QTY
۷	AW	30" x 18"		2
۷	AW	30" x 30"		3
۷	SC	30" x 42"		2
۷	AW	32" x 36"		1
۷	SC	32" x 60"		2
۷	FX	42" x 18"		1
V	FX	42" x 27"		1

EXISTING HOUSE

	MAT'L	ТҮРЕ	SIZE	TEMP	QTY
	v	SH	24" x 36"		3
	v	SH	26" x 54"		4
R	v	SH	26" x 60"		2
	V	SH	30" x 36"		1
	v	SH	36" x 60"		2

PROJECT CONTACTS

INTERIOR DESIGNER - JILL ARNHOLD, HIGHCRAFT BUILDERS 970-472-8100 (OFFICE) 970-413-2432 (CELL) jill@highcraft.net

ENGINEER - JASON BAKER, ADVANCED ENGINEERING 229 12TH STREET SW LOVELAND, CO 80537 970-278-1909 (OFFICE) 970-690-4616 (CELL) jason@advancedengineeringllc.com



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3 **DRAFT ROUND**



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 1F ELECTRICAL

 1/4" = 1'-0"
 1'
 5'
 10'









K	EYNOTES				
8.14	DUTLET FOR GARBAGE DISPOSAL MOUNT HIGH ON WALL DUTLET FOR GARAGE DOOR OPENEI	R		HIGHCRAF BUILDERS 429 S. HOWES STREET FORT COLLINS, CO 80521 970,472.8100	
ELEC LOC/ ADJU OR U	DECTRICAL TRICAL PLAN NOTES: ATIONS MAY REQUIRE JSTMENT DUE TO CONCEALED JNFORESEEN CONDITIONS	EXISTING FIXTURES LOCATED WITHIN PROJECT AREA AS SHOWN ON PLAN ARE TO BE RETROFITTED/ REPLACED REQUIRED FOR CONSISTENCY WITH ELECTRICAL.	S AS	E CARRIAGE HOUSE	
MOU 'X6' I STAC	INTING HEIGHT (INCHES) INDICATES NUMBER OF FIXTURES CKED AT SAME LOCATION	ELECTRICAL PLAN LINE-STYLE KEY: EXISTING: TO BE REMOVED: NEW:		DRIVE	
КЕҮ	DESCRIPTION 220V OUTLET		NEW 2	SSER	
•	DUPLEX OUTLET		43		
GFI	DUPLEX GFI OUTLET		10	614 LE	
ф Ş	SWITCH		21		
3 5	SWITCH THREE WAY		10		
ү (0)	EXHAUST FAN		2		
-	LIGHT FLUSH MOUNT		2		
T - ()-	LIGHT FLUSH MOUNT KEYLESS		2		
+ n	LIGHT PENDANT		2		
T D	RECESSED LIGHT FIXTURE		23		
	RECESSED LIGHT FIXTURE ENCLO	SED SLOPED	1		
۲ ۲	RECESSED LIGHT FIXTURE SLOPEI		1	3	
ЧŠ "F					
wp¢s		A FROUT SLUPED	1	DR/ RO	
-Ŷ-	LIGHT FIXTURE WALL MOUNT		5	FDP TAL	
-\$ <u>+</u>	LIGHT FIXTURE WALL MOUNT WA	ATER PROOF	4		
∘GD	GARBAGE DISPOSAL		2	PDP/FDP SUBMITTAL	
\$1	SMOKE ALARM W/ BATTERY BAC	KUP PER IRC REQ'S	4	DRAWN: MH	
\$30/00	SMOKE/CARBON MONOXIDE ALA REQ'S	ARM W/ BATTERY BACKUP PER IRC	3	INITIAL PREPARATION: 05/16/ CURRENT PREPARATION: 09/11/	2019
				A8.0	1" SCALE CHECK
				ELECTRICAL F	LAN

LOT 16, LESSER'S SUBDIVISION, CITY OF FORT COLLINS, BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF SECTION THIRTEEN (13), TOWNSHIP SEVEN NORTH (T.7N.), RANGE SIXTY NINE WEST (R.69W.) OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.). 09/09/2019



VICINITY MAP

GENERAL NOTES

SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY. 2. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST

REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE. 3. THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD PROVIDER. NOTIFICATION SHALL BE A MINIMUM OF 2 WORKING DAYS PRIOR TO OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY ENGINEER. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.

4. THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE LOCAL ENTITY, AS BENEFICIARY SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE | OF THE WATER LINES AND DRY UTILITIES. PLANS, AND APPROVAL OF THESE PLANS BY THE LOCAL ENTITY ENGINEER SHALL NOT | 13. THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH

RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY UTILITY. AGREES TO HOLD HARMLESS AND INDEMNIFY THE LOCAL ENTITY, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS. | DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS 5. ALL SANITARY SEWER, STORM SEWER, AND WATER LINE CONSTRUCTION, AS WELL AS POWER AND OTHER "DRY" UTILITY INSTALLATIONS, SHALL CONFORM TO THE

LOCAL ENTITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF APPROVAL OF THE PLANS BY THE LOCAL ENTITY ENGINEER.

6. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILIT ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL

UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE **RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.**

7. THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH /IRRIGATION COMPANY) ARE TO BE | LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

8. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING FOR ANY UTILITY CROSSINGS REQUIRED.

9. IF A CONFLICT EXISTS BETWEEN EXISTING AND PROPOSED UTILITIES AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE | WASTEWATER, AND/OR STORM DRAINAGE FACILITIES IN THE DEVELOPMENT. ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.

ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS | 10. THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, UTILITY COMPANIES.

> 11. NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE DEVELOPER NOTIFIES THE UTILITY COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.

> 12. THE DEVELOPER SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM

IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER

14. A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR WATER IS OF THE UNITED STATES.

15. THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, (303) 692-3590), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN. 16. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ONSITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).

17. PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE LOCAL ENTITY, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BE SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT SINGLE FAMILY UNITS. FOR COMMERCIAL PROPERTIES, CERTIFICATION SHALL BE PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT 18. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES SUSTAINED IN THIS DEVELOPMENT AS A RESULT OF GROUNDWATER SEEPAGE, CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY WHETHER RESULTING FROM GROUNDWATER FLOODING, STRUCTURAL DAMAGE OR OTHER DAMAGE UNLESS SUCH DAMAGE OR INJURIES ARE SUSTAINED AS A RESULT OF THE LOCAL ENTITY FAILURE TO PROPERLY MAINTAIN ITS WATER.

UTILITY PLANS FOR

PROJECT BENCHMARKS

PROJECT DATUM: NAVD88

BENCHMARK F136, 2.7 KM (1.7 MI) SOUTHEAST ALONG THE COLORADO AND SOUTHERN RAILROAD FROM THE STATION AT FORT COLLINS AND 0.1 KM (0.05MI) WEST FROM MILEPOST 76. IT IS 20.4 M (67 FT) NORTH OF THE NORTH CURB OF RIVERSIDE AVE, 14.9 M (49 FT) NORTH FROM THE CENTER OF THE UNION PACIFIC TRACKS AND 14.3 M (47 FT) SOUTH FROM THE CENTER OF THE COLORADO AND SOUTHERN RAILROAD TRACKS. IT IS IN THE NORTHEAST SIDE OF THE INTERSECTION OF RIVERSIDE AVE. AND LEMAY AVE.POINT IS THROUGH A 5-INCH LOGO CAP. THE MARK IS 0.3 METERS S FROM A WITNESS POST. THE MARK IS 0.3 M BELOW THE HIGHWAY ELEVATION: 4957.52

BENCHMARK 8-02, ON THE SOUTHEAST CORNER OF THE INTERSECTION OF LEMAY AVENUE AND MULBERRY STREET, IN THE CURB. ON THE SOUTHEAST SIDE OF A TRIANGULAR ISLAND THAT CONTAINS THE TRAFFIC SIGNAL ELEVATION: 4939.27

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS

IF NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 DATUM - 3.18

PROJECT CONTACTS

OWNER/DEVELOPER - TALIESEN, LLC 429 S. HOWES STREET, FORT COLLINS, CO 80521 970-472-8100 dwight@highcraft.net

ARCHITECTURAL ASSOCIATE - MIKE HUTSELL, HIGHCRAFT BUILDERS 429 S. HOWES STREET, FORT COLLINS, CO 80521 970-472-8100 (OFFICE) 970-632-0029 (CELL) mike@highcraft.net

SURVEYOR - STEVE PARKS, MAJESTIC SURVEYING, LLC 1111 DIAMOND VALLEY DRIVE, SUITE 104, WINDSOR, CO 80550 970-833-5698 stevenp@majesticsurveying.com

ENGINEER - JASON BAKER, ADVANCED ENGINEERING 229 12TH STREET SW LOVELAND, CO 8053 970-278-1909 (OFFICE) 970-690-4616 (CELL) jason@advancedengineeringllc.com

21. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED WITHIN 24 HOURS BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.

22. NO WORK MAY COMMENCE WITHIN ANY IMPROVED OR UNIMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE.

23. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMIT FOR ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. TH DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEERING INSPECTOR (FORT COLLINS - 221-6605) AND THE LOCAL ENTITY EROSION CONTROL INSPECTOR (FORT COLLINS – 221-6700) AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC

IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE DEVELOPER MAY COMMENCE WORK IN THE ENGINEER ABSENCE. HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT FESTING REVEALS AN IMPROPER INSTALLATION.

30. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING. 31. THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN

ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY. (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.

34. THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.

35. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED UNLESS SPECIFICALLY NOTED OTHERWISE

36. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT **RECORD DRAWINGS.**

37. THE DEVELOPER SHALL HAVE, ONSITE AT ALL TIMES, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.

38. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.

39. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR A ALL TIMES. UPON COMPLETION OF THE WORK, THE CONTRACTOR(S) SHALL SUBMIT RECORD DRAWINGS TO THE LOCAL ENTITY ENGINEER. 41. ALL STATIONING IS BASED ON CENTERLINE/FLOWLINE (INSERT PROPER

WORD) OF ROADWAYS UNLESS OTHERWISE NOTED. 42. DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS,

PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY. 43. WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE LOCAL ENTITY CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE

MADE. PATCHING SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ENTITY STREET REPAIR STANDARDS. THE FINISHED PATCH SHALL BLEND IN SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY

OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE LOCAL ENTITY ENGINEER

AND/OR THE LOCAL ENTITY INSPECTOR AT THE TIME THE CUTS ARE MADE. 44. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND

CONDITION AS REQUIRED BY THESE PLANS. 45. STANDARD HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB **RETURNS AND AT ALL "T" INTERSECTIONS.**

46. AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A MINIMUM PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.

STORM DRAINAGE NOTES

L. THE CITY OF FORT COLLINS SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ONSITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).

2. ALL RECOMMENDATIONS OF THE FINAL DRAINAGE AND EROSION CONTROL STUDY (NAME OF THE STUDY AND DATE) BY (ENGINEERING FIRM) SHALL BE FOLLOWED AND IMPLEMENTED

3. PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BY SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR SINGLE FAMILY UNITS. FOR COMMERCIAL PROPERTIES, CERTIFICATION SHALL BY SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT.

WATERLINE NOTE

. THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.



City of Fort Collins, Cold UTILITY PLAN APPROVA	
APPROVED:City Engineer	Date
CHECKED BY: Water & Wastewater Utility	Date
CHECKED BY:	Date
CHECKED BY: Parks & Recreation	Date
CHECKED BY: Traffic Engineer	Date
CHECKED BY:	

U1.0 COVERSHEET U2.0 DRAINAGE PLAN **U3.0 UTILITY PLAN**

LORADO AND SOUTHERN RAILROAD FROM THE STATION AT T IS 20.4 M (67 FT) NORTH OF THE NORTH CURB OF THE UNION PACIFIC TRACKS AND 14.3 M (47 FT) SOUTH FROM RACKS. IT IS IN THE NORTHEAST SIDE OF THE INTERSECTION CH LOGO CAP. THE MARK IS 0.3 METERS S FROM A WITNESS
SECTION OF LEMAY AVENUE AND MULBERRY STREET, IN D THAT CONTAINS THE TRAFFIC SIGNAL. (W'H W W W W W W W W W W W W W W W W W W
BOLDERS
ENGINEER AFFIRMATION STATEMENT I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE CITY OF FORT COLLINS AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DESIGN, REVISIONS, AND RECORD CONDITIONS THAT I HAVE NOTED ON THESE PLANS. NOTE ENGINEER AFFIRMATION APPLIES <u>ONLY</u> TO GRADING AND DRAINAGE PLAN ON SHEET U2.0 JASON E. BAKER, P.E.
City of Fort Collins, Colorado UTILITY PLAN APPROVAL APPROVED: City Engineer Date CHECKED BY: Water & Wastewater Utility Date CHECKED BY: Stormwater Utility Date CHECKED BY: Parks & Recreation Date CHECKED BY: Parks & Recreation Date CHECKED BY: Traffic Engineer Date CHECKED BY: Environmental Planner Date CHECKED BY: Environmental Planner Date CHECKED BY: Environmental Planner Date CHECKED BY: Environmental Planner Date CHECKED BY: CONSTRUCTION FORT COLLINS FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE CITY OF FORT COLLINS FOR THE CITY OF FORT COLLINS FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.
UTILITY PLAN SHEET LIST U1.0 COVERSHEET U2.0 DRAINAGE PLAN

COVERSHEE

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BY THE OWNER, AND MUST CONTINUE TO BE MAINTAINED BY THE OWNER IF LOT FRONTAGE IS IMPROVED TO ULTIMATE CONDITIONS.



UTILITY PLAN

ITIAL PREPARATION: 05/16/2019



September 6, 2019

TO: City of Fort Collins Stormwater Staff

RE: Site Drainage at 614 Lesser Drive, Fort Collins, Colorado Advanced Engineering, LLC Project Number 1011-246-01D.1

Dear City of Fort Collins Stormwater Staff:

We have consulted with HighCraft Builders regarding an addition and carriage house project that is proposed at the above referenced site. The existing home is to have an addition at the east side, over a crawlspace. Several existing sheds in the back yard (east side of lot) are to be removed. A detached carriage house with a garage will be constructed near the east end of the lot, the living space will be over a crawl space. Our office has visited the site and reviewed the existing and proposed drainage conditions. This review has included visual site observations, review of an elevation survey HighCraft provided (based on NAVD 88), area calculations based on the proposed site plan and the survey, and runoff calculations based on the Rational Method to verify flow in the proposed drainage pan (driveway) and the swale in the front yard. The purpose for this review was to evaluate the impact of the proposed project on existing drainage conditions and to provide a Proposed Grading & Drainage Plan, Project Number 1011-246-01D.

Existing drainage conditions at the site are very poor, similar to many homes in this area of town. The lot is generally very near flat, any areas with a slight slope are irregular, there are no defined drainage patterns. The site experiences ponding in many locations during precipitation events, and runoff flows onto neighboring properties in various locations. The neighboring properties to the north and south have generally similar drainage conditions. The neighboring property to the east is a large commercial lot with pavement. It does not appear that any substantial flows cross over the property lines, again there are no defined drainage patterns and the entire area would experience ponding. Currently almost none of the runoff flows to Lesser Drive.

Based on our review of the existing and proposed conditions, we found the following:

- 1. Existing impervious area (buildings + pavement) 1495 sf, 30.0 % of the site.
- 2. New impervious area (buildings + pavement) 2346 sf, 47.0 % of the site.
- 3. Final impervious area (existing sheds + new) 3585 sf, 71.7 % of the site.

Our drainage plan indicates that the majority of the runoff from the buildings and paved areas will be conveyed to the Lesser Drive. This is accomplished via downspouts from the roof gutters at the buildings, surface drainage at the paved areas, a swale in the front yard, and a sidewalk culvert to the street. Small landscaped areas at the east end of the lot, as well as the north edge, will continue to have poor drainage and follow historic flow lines (ponding, with flow back and forth over property lines as occurs currently). There is no way to feasibly mitigate all of the drainage from these areas. However, by draining the areas of the buildings and pavement to the street as described above (and September 6, 2019 TO: City of Fort Collins Stormwater Staff RE: Site Drainage at 614 Lesser Drive, Fort Collins, Colorado Advanced Engineering, LLC Project Number 1011-246-01D.1 Page 2 of 2

shown on the plan), ponding and flow across property lines to the neighbors will be substantially reduced from existing conditions. We have conservatively calculated that the proposed improvements will result in runoff from over 70 % of the entire lot area being conveyed to Lesser Drive. Furthermore, over 86 % of the final impervious area will drain to the street, and possibly close to 100 % depending on the as-built gutter configuration. Drainage calculations verifying the capacity of the drainage pan (driveway) and the swale in the front yard are attached.

Given these proposed conditions and improvements, it is our opinion the existing drainage areas that are unimproved will not be negatively impacted and will continue to function as they have historically or better, with likely reduced impact on the adjacent properties. Standard erosion control measures should be followed during construction as required, to limit erosion and impact of construction procedures on adjacent properties. New landscaping should be installed in the unpaved areas to provide continuous erosion control.

The recommendations and conclusions presented in this letter are based on a review of portions of the described site/structures, your plans and your directions. Our review was limited to the items described in this letter, and is not intended to cover structural, mechanical, electrical, environmental, mold, or architectural features of the site/buildings. Discrepancies or deficiencies revealed during construction should be brought to the attention of the engineer. Thank you for the opportunity to serve you. If you have any questions, please feel free to call.

I hereby attest that this letter for the final drainage design for the above referenced project at 614 Lesser Drive was prepared by me or under my direct supervision, in accordance with the provisions of the Fort Collins Stormwater Criteria Manual. I understand that the City of Fort Collins does not and will not assume liability for drainage facilities designed by others.

MINING MARKEN IN COMMENCE

Sincerely,

Advanced Engineering, LL

Jason E. Baker, P.E. President

Project No. 1011-246-01D.1 ADVANCED Calculated by JEB date 9-6-19 ENGINEERING, LLC Reviewed by _____ Task Drainage Calcs Sheet 1 of 2 229 12TH ST. S.W., LOVELAND, CO 80537 PHONE 970-278-1909 site: 614 Lesser Drive, Ft. Collins, CO Basin Areas B1 = 0.073 AC B2 = 0.008 AcB3 = 0.034 AcBasin BI Developed Runoff C=0.95 Tc=5min→ I100=10.0 in/hr. Q = CIA = (0.95)(10.0)(0.073) = 0.694 cfs33% S.F. $\rightarrow (0.649)(1.33) = 0.92$ efs Basin BZ Developed Runoff C=0.20 Tc=5min→I100=10.0 in/hr. $Q_2 = CIA = (0.20)(10.0)(0.008) = 0.016 cfs$ 33% S.F. -> (0.016)(1.33) = 0.021 cfs Basins BI+BZ Developed Runoff (at 133%) Q = 0.92 + 0.021 = 0.941 cfss.F. V Total Runoff at Curb with S.F. AE-GP20007 • A-B&C • 800-888-1788





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DEED OF DEDICATION FOR RIGHT-OF-WAY

KNOW ALL MEN BY THESE PRESENTS: That the undersigned Taliesen LLC, being the owner of certain real property in Larimer County, Colorado legally described at Reception No. 20190009987 in the Larimer County Records, in consideration of Ten Dollars (\$10.00) in hand paid, receipt of which is hereby acknowledged, and other good and valuable consideration, does hereby dedicate, transfer, and convey to the City of Fort Collins, Colorado, a Municipal Corporation, whose mailing address for purposes of this Deed is P.O. Box 580, Fort Collins, CO 80522, for public use forever a permanent right-of-way for public street purposes in the City of Fort Collins, County of Larimer, State of Colorado, more particularly described on Exhibit "A" attached hereto and by this reference made a part hereof.

It is understood by the undersigned that, by acceptance of this dedication, the City of Fort Collins does not accept the duty of maintenance of such right-of-way until permanent improvements have been made and the City has accepted such improvements. Unless otherwise specifically agreed by the City, the City does not assume the duty of maintenance of sidewalks, curbs and gutters, or parkways.

Witness our hands and seals this <u>day of</u>, 2019.

Grantor:

By: Taliesen, LLC
Title: Owner
Name and Address:
Taliesen, LLC
429 South Howes Street
Fort Collins, CO 80524

ATTEST:

By: ______ Title:

State of Colorado County of Larimer

as	, and	as	
Witness my hand and official se	al.		
My commission expires:			
wy commission expires.			

ATTORNEY'S CERTIFICATION

I hereby certify that the foregoing Deed has been duly executed as required pursuant to Section 2.2.3 (C)(3)(a) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Deed on behalf of a corporation or other entity are duly authorized signatories under the laws of the State of Colorado. This Certification is based upon an examination of the records of the Clerk and Recorder of Larimer County, Colorado as of the date of execution of the deed and other information discovered by me through reasonable inquiry and is limited as authorized by Section 2.2.3(C)(3)(f) of the Land Use Code.

Attorney			
Address _			

Registration No.	
Date:	

This Deed of Dedication is accepted by the Director of Planning, Development, and Transportation Service Unit pursuant to Section 2.1.5 of the Land Use Code of the City of Fort Collins this _____ day of _____, 201__.

Chad Crager As delegee for the Director of Planning, Development, and Transportation Service Unit

ATTEST:

City Clerk

EXHIBIT A

PARCEL DESCRIPTION ROW

A parcel of land, being part of Lot 16, Lesser's Subdivision as recorded May 8, 1947 as Reception No. 580666 of the Records of the Larimer County Clerk and Recorder, located in the Northeast Quarter (NE1/4) of Section Thirteen (13), Township Seven North (T.7N.), Range Sixty-Nine West (R.69W.) of the Sixth Principal Meridian (6th P.M.), City of Fort Collins, County of Larimer, State of Colorado and being more particularly described as follows:

The West 6.00 feet of said Lot 16.

Said described parcel of land contains 240 Square Feet or, more or less (±).

SURVEYORS STATEMENT

I, Steven Parks, a Colorado Licensed Professional Land Surveyor do hereby state that this Parcel Description was prepared under my personal supervision and checking, and that it is true and correct to the best of my knowledge and belief.



Steven Parks - on behalf of Majestic Surveying, LLC Colorado Licensed Professional Land Surveyor #38348





DEED OF DEDICATION OF EASEMENT

KNOW ALL MEN BY THESE PRESENTS: That the undersigned Taliesen LLC ("Grantor"), being the owner of certain real property in Larimer County, Colorado legally described as Reception No. 20190009987 in the Larimer County Records, in consideration of Ten Dollars (\$10.00) in hand paid, receipt of which is hereby acknowledged, and other good and valuable consideration, does hereby dedicate, transfer, and convey to the City of Fort Collins, Colorado, a Municipal Corporation ("City"), whose mailing address for purposes of this deed is P.O. Box 580, Fort Collins, CO 80522, for public use forever a permanent easement for Utilities in the City of Fort Collins, County of Larimer, State of Colorado, more particularly described on Exhibit "A" attached hereto and by this reference made a part hereof (the "Easement").

The City's rights under the Easement include the right to install, operate, access, maintain, repair, reconstruct, remove and replace within the Easement public improvements consistent with the intended purpose of the Easement; the right to install, maintain and use gates in any fences that cross the Easement; the right to mark the location of the Easement with suitable markers; and the right to permit other public utilities to exercise these same rights. Grantor reserves the right to use the Easement for purposes that do not interfere with the full enjoyment of the rights hereby granted.

The City is responsible for maintenance of its own improvements and for repairing any damage caused by its activities in the Easement, but by acceptance of this dedication, the City does not accept the duty of maintenance of the Easement, or of improvements in the Easement that are not owned by the City. Grantor will maintain the surface of the Easement in a sanitary condition in compliance with any applicable weed, nuisance or other legal requirements.

Except as expressly permitted in an approved plan of development or other written agreement with the City, Grantor will not install on the Easement, or permit the installation on the Easement, of any building, structure, improvement, fence, retaining wall, sidewalk, tree or other landscaping (other than usual and customary grasses and other ground cover). In the event such obstacles are installed in the Easement, the City has the right to require the Grantor to remove such obstacles from the Easement. If Grantor does not remove such obstacles, the City may remove such obstacles without any liability or obligation for repair and replacement thereof, and charge the Grantor the City's costs for such removal. If the City chooses not to remove the obstacles, the City will not be liable for any damage to the obstacles or any other property to which they are attached.

The rights granted to the City by this Deed inure to the benefit of the City's agents, licensees, permittees and assigns.

[SIGNATURES ON FOLLOWING PAGE]

Witness our han	ds and seals this	day of	, 201		
		Grantor:			
		By: Telies	sen LLC		
		Title: Ow	ner		
		Name and	d Address:		
		Taliesen I	LLC		
		429 South	n Howes Str	reet	
		Fort Colli	ins, CO 805	21	
ATTEST:					
By:					
Title:	-				
State of Colorado, County of Larimer.					
The foregoing ir	strument was ackn				
	d and official seal.	,			·
My commission	expires:				
	Notar	y Public			

This Deed of Dedication is accepted by the Director of Planning, Development, and Transportation Service Unit pursuant to Section 2.1.5 of the Land Use Code of the City of Fort Collins this _____ day of _____, 201__.

Chad Crager As delegee for the Director of Planning, Development, and Transportation Service Unit

ATTEST:

City Clerk

ATTORNEY'S CERTIFICATION

I hereby certify that the forgoing Deed has been duly executed as required pursuant to Section 2.2.3 (C)(3)(a) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Deed on behalf of a corporation or other entity are duly authorized signatories under the laws of the State of Colorado. This Certification is based upon an examination of the records of the Clerk and Recorder of Larimer County, Colorado as of the date of execution of the deed and other information discovered by me through reasonable inquiry and is limited as authorized by Section 2.2.3(C)(3)(f) of the Land Use Code.

Attorney	
Address	

Registration No.	
Date:	

EXHIBIT A

PARCEL DESCRIPTION UTILITY EASEMENT

A parcel of land, being part of Lot 16, Lesser's Subdivision as recorded May 8, 1947 as Reception No. 580666 of the Records of the Larimer County Clerk and Recorder, located in the Northeast Quarter (NE1/4) of Section Thirteen (13), Township Seven North (T.7N.), Range Sixty-Nine West (R.69W.) of the Sixth Principal Meridian (6th P.M.), City of Fort Collins, County of Larimer, State of Colorado and being more particularly described as follows:

The East 9.00 feet of the West 15.00 feet of said Lot 16.

Said described parcel of land contains 360 Square Feet or, more or less (±).

SURVEYORS STATEMENT

I, Steven Parks, a Colorado Licensed Professional Land Surveyor do hereby state that this Parcel Description was prepared under my personal supervision and checking, and that it is true and correct to the best of my knowledge and belief.



Steven Parks - on behalf of Majestic Surveying, LLC Colorado Licensed Professional Land Surveyor #38348





DATE: 6-14-2019

Steven Parks, PLS 38348 On behalf of Majestic Surveying, LLC PROJECT NO: 2019159 CLIENT: HIGHCRAFT SCALE: 1"=20'