

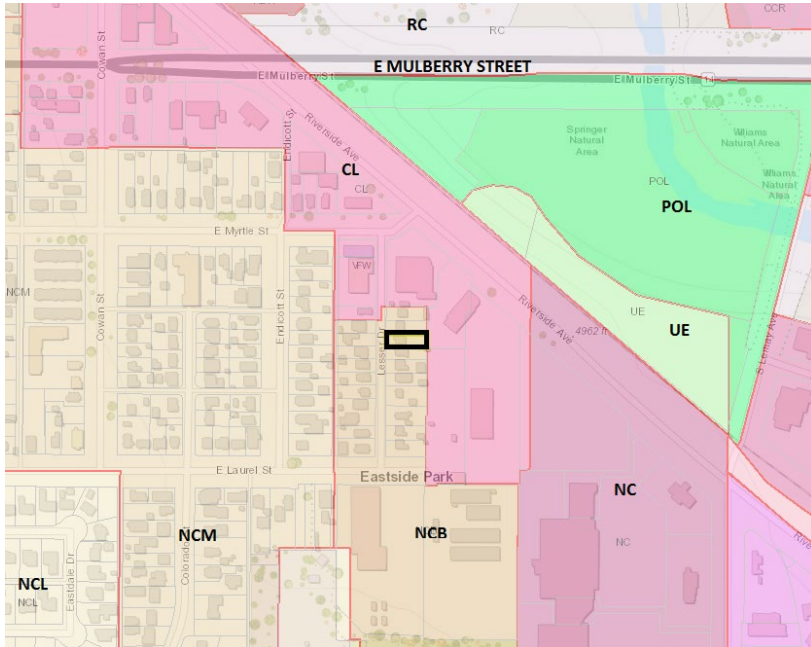
Administrative Hearing: October 16, 2019

614 Lesser Drive – Carriage House

Summary of Request

This is a request to construct a 799 square foot carriage house and a 217 square foot addition onto the existing single-family residence located at 614 Lesser Drive.

Zoning Map (ctrl + click map to follow link)



Next Steps

If approved by the decision maker, the applicant will be eligible to submit plans for recordation. Following recordation, the applicant or representative thereof will be eligible to submit the construction drawings for building permit review and issuance.

Site Location

Located approximately 500 feet southwest of the Springer Natural Area and 650 feet north of Laurel Elementary School.

Zoning

Neighborhood Conservation Buffer District (N-C-B)

Property Owner

Taliesen LLC
429 S Howes Street
Fort Collins, CO 80521

Applicant/Representative

Mike Hutsell
Highcraft Builders
429 S Howes Street
Fort Collins, CO 80521
p. 970.472.8100 e. mike@highcraft.net

Staff

Kai Kleer, City Planner
p. (970) 416-4284 e. kkleer@fcgov.com

Contents

1. Project Introduction	2
2. Public Outreach	3
3. Article 2 – Applicable Standards.....	3
4. Article 3 - Applicable Standards.....	4
5. Article 4 – Applicable Standards:.....	5
6. Findings of Fact/Conclusion	7
7. Recommendation	7
8. Attachments	7

Staff Recommendation

Approval

1. Project Introduction

A. PROJECT DESCRIPTION

- This application is being processed as a combined Project Development Plan (PDP)/Final Development Plan (FDP).
- The project is contained within Lot 16 of the 1947 Lesser's Subdivision.
- The lot is a 5,000 square foot site (40'x125').
- The one and a half-story carriage house is proposed to be located on the rear half of the lot.
- Existing sheds are anticipated to be removed with the development of this site.
- The addition to the existing single-family residence proposes to add 217 square feet
- The site will contain four off-street parking spaces located behind the existing single-family residence.

B. SITE CHARACTERISTICS

1. Development Status/Current Conditions

The site currently contains a single-family residence and two sheds. Larimer County Assessor records indicate that the building was built in 1921, however no building permit is on record with the City of Fort Collins.

The site was part of the 1947 Lesser's Subdivision which was later annexed as part of the Lesser's Addition on May 26, 1955.

2. Surrounding Zoning and Land Use

	North	South	East	West
Zoning	Neighborhood Conservation, Buffer District (N-C-B)	Neighborhood Conservation, Buffer District (N-C-B)	Limited Commercial (C-L)	Neighborhood Conservation, Buffer District (N-C-B)
Land Use	Single-family attached (Lesser's Subdivision)	Single-family attached (Lesser's Subdivision)	Major Automotive Repair (Houska Automotive)	Single-family attached (Lesser's Subdivision)

C. OVERVIEW OF MAIN CONSIDERATIONS

The main considerations have been parking and design of the carriage house. Because the lot is 40 feet in width each single-family residence/carriage house require two off-street parking spaces (four total) to meet the required standard.

2. Public Outreach

A. NEIGHBORHOOD MEETING

Pursuant to 2.2.2 – *Step 2: Neighborhood Meetings*, a neighborhood meeting is not required for Administrative (Type 1) projects. Therefore, a neighborhood meeting was not held for this project.

B. PUBLIC COMMENTS:

No public comment on the development project has been received at this time. Any communication received between the public notice period and hearing will be forwarded to the Hearing Office to be considered when making a decision on the project.

3. Article 2 – Applicable Standards

A. BACKGROUND

This project was submitted on July 28, 2019 as a combined Project Development Plan (PDP)/Final Development Plan (FDP). The project required three rounds of staff review prior to hearing.

B. PROJECT DEVELOPMENT PLAN PROCEDURAL OVERVIEW

1. Conceptual Review # CDR190042 (May 16, 2019)

A conceptual review meeting was held on May 16, 2019.

2. First Submittal (PDP190013)

The first submittal of this project was completed on June 28, 2019.

3. Neighborhood Meeting

Not applicable pursuant to 2.2.2 – *Step 2: Neighborhood Meetings*.

4. Project Expiration

In accordance with 2.2.11 – *Step 11: Lapse*, a project must be diligently pursued and resubmitted within 180 days of receiving written comments. The project satisfies this requirement and has not lapsed.

5. Notice (Posted, Written and Published)

Posted Notice: July 5, 2019, Sign # 501

Written notice: October 2, 2019, 140 addresses mailed.

Published Notice: October 7, 2019, Coloradoan confirmation #0003829384

4. Article 3 - Applicable Standards

A. DIVISION 3.2 - SITE PLANNING AND DESIGN

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.2.2 (K)(1)(c) Parking Lots – Required Number of Off-Street Spaces for Type of Use	<p>For each single-family dwelling there must be one (1) parking space on lots with greater than forty (40) feet of street frontage or two (2) parking spaces on lots with forty (40) feet or less of street frontage.</p> <p>Because the project is contained within a 40-foot lot, each single-family detached dwelling will require two off-street spaces (four total).</p> <p>The plan proposes four off-street parking spaces with one contained in the garage of the carriage house and three surrounding the rear and side of the existing and proposed buildings.</p>	Complies

B. DIVISION 3.3 – ENGINEERING STANDARDS

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.3.1(C) – Public Sites, Reservations and Dedications	<p>An applicant is required to dedicate rights-of-way for public streets, drainage easements and utility easements as needed to serve the area being developed. In cases where any part of an existing road is abutting or within the tract being developed, the applicant must dedicate such additional rights-of-way as may be necessary to increase such roadway to the minimum width required by Larimer County Urban Area Street Standards and the City of Fort Collins Land Use Code.</p> <p>As part of this application the project will dedicate an additional 6 feet of right-of-way and a 9-foot utility easement located behind the new right-of-way limits. The 15' area containing the easement and right-of-way bring the site into compliance with all applicable engineering standards and guidelines.</p>	Complies

5. Article 4 – Applicable Standards:

A. SUMMARY

The Neighborhood Conservation, Buffer District (N-C-B) is intended for areas that are a transition between residential neighborhoods and more intensive commercial-use areas or high traffic zones that have been given this designation in accordance with an adopted subarea plan.

The proposed carriage house and addition is permitted subject to Administrative Review in this district.

B. DIVISION 4.9 – NEIGHBORHOOD CONSERVATION, BUFFER DISTRICT

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
4.9(B) Permitted Uses	The proposed carriage house is a permitted use in the N-C-B zone district. The land use code refers to a carriage house interchangeably as a single-family detached dwelling.	Complies
4.9(D)(2) Residential	Any new single-family dwelling (carriage house) that is proposed to be located behind a street fronting principal residence can only contain 1,000 square feet of floor area, must be 10 feet away from any other structure and can only have a 600 square foot footprint. The proposed plan complies with the aforementioned standards by providing a 600 square foot building footprint, 20-foot setback from the existing building and overall square footage of 799 square feet.	Complies
4.9(D)(5) Allowable Floor Area on Rear Half of Lots	The allowable floor area on the rear half of lot must not exceed thirty-three (33) percent of the overall lot area. The allowable floor area is calculated as follows $((5,000/2).33) = 825$ square feet. The proposed 799 square foot building is less the above sum, therefore meeting this requirement.	Complies
4.9(D)(6) Dimensional Standards	Dimensional standards require a minimum rear yard setback of 15 feet, side yard setback of 5 feet and when any portion of building or wall exceeds 18 feet along a side yard, an additional 1 foot of setback. Building height is also limited to 1 ½ stories. The plan provides the required minimum of 5 feet side and 15 feet rear setbacks. The project proposes a wall height of 15 feet along the side yard and does not require any additional setback to meet dimensional standards of this section. The proposed carriage house is 1 ½ stories.	Complies
4.9(E)(3)(c)(1) Additional Review Criteria for Carriage Houses	The site plan shall provide a separate yard area containing at least one hundred twenty (120) square feet to serve both the carriage house and the existing principal dwelling. Such yard area shall be at least ten (10) feet in its smallest dimension and must provide privacy and screening for abutting properties. The plan provides a 15'x40' (600 sq. ft.) rear-yard space.	Complies
4.9(E)(3)(c)(2)	Decks, entry doors, major entry access stairs or major windows shall face the existing principal building or the alley (if the lots front the alley). Windows that overlook an abutting side or rear yard must be minimized. The plan complies by proposing the major entry access facing the existing single-family residence. Windows facing the side lot are also minimize and placed in a way to preserve privacy of the neighboring properties.	

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
4.9(E)(3)(c)(3)	<p>Buildings, structures, open spaces and other features of the site plan shall be oriented and located such that they maintain natural resources, including existing significant trees and shrubs, to the extent reasonably feasible.</p> <p>No significant natural resources will be impacted by the project proposal.</p>	Complies
4.9(E)(4) Landscape / Hardscape Material	<p>A maximum of forty (40) percent of the front yard of a lot may be covered with inorganic material such as asphalt or cement concrete, paving stone, flagstone, rock or gravel.</p> <p>The project does not propose the addition of any inorganic material in the front yard.</p>	Complies
4.9(E)(5) Site Design	<p>Permanent open off-street parking areas shall not be located any closer to a public street right-of-way than the distance by which the principal building is set back from the street right-of-way. This provision shall not be construed to preclude temporary parking in driveways.</p> <p>The project proposes all parking to be located behind the street fronting single-family residence</p>	Complies

6. Findings of Fact/Conclusion

In evaluating the request for the 614 Lesser Drive – Carriage House Final Development Plan, FDP190013, staff makes the following findings of fact:

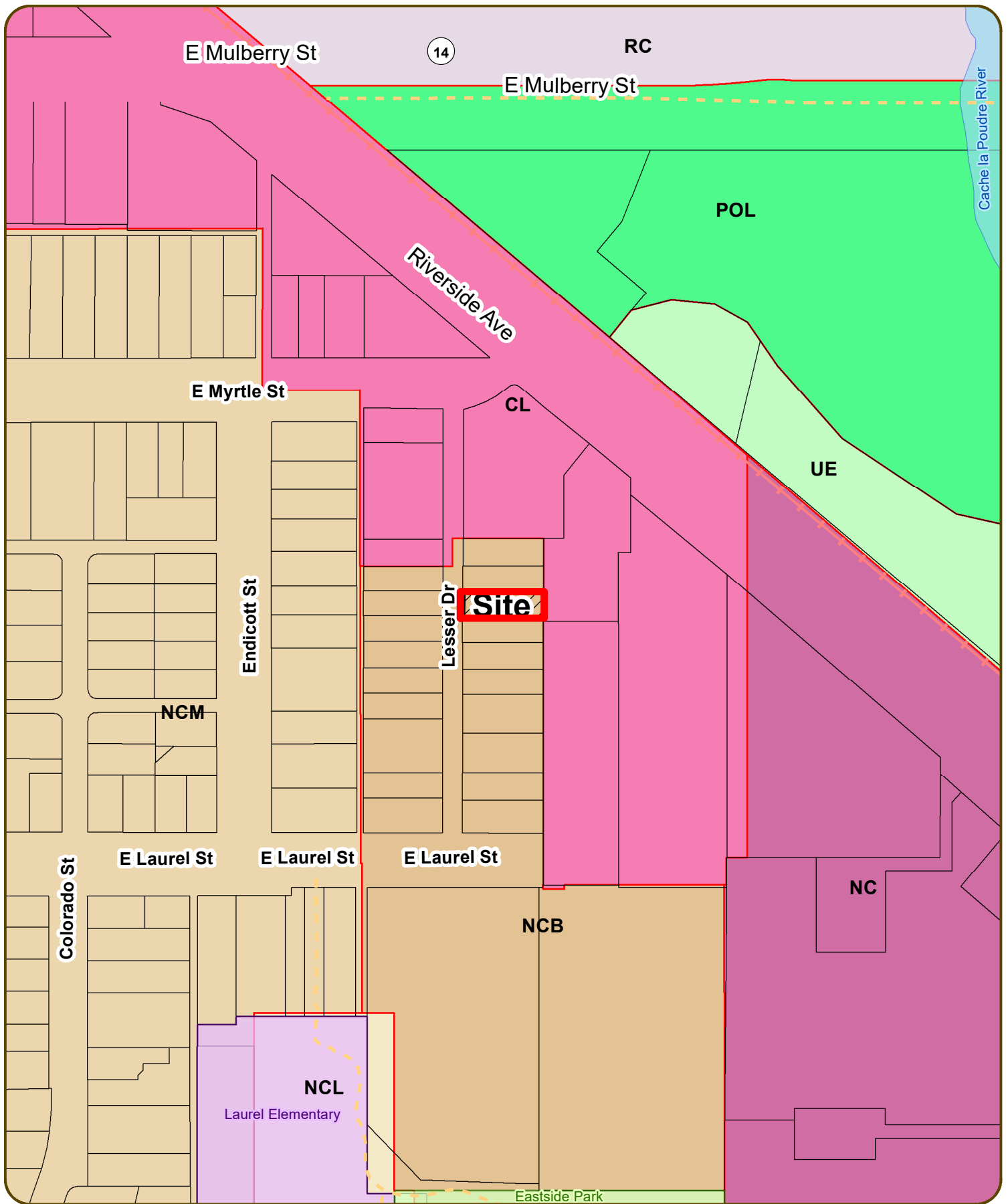
- The F.D.P. complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The F.D.P. complies with relevant standards located in Article 3 – General Development Standards.
- The F.D.P. complies with relevant standards located in Division 4.9, Neighborhood Conservation, Buffer District of Article 4.

7. Recommendation

Staff recommends approval of 614 Lesser Drive – Carriage House, FDP190013.

8. Attachments

1. Vicinity & Zoning Map
2. Project Narrative
3. Plan Set
4. Utility Plan Set
5. Drainage Letter
6. ROW Dedication
7. Utility Easement Dedication



614 Lesser Dr. Zoning & Vicinity Map

1 inch = 200 feet





429 S. HOWES STREET, FORT COLLINS, CO 80521
970.472.8100 • WWW.HIGHCRAFT.NET

614 Lesser Drive Carriage House Development Request

Owner: Taliesen LLC

P: 970-472-8100

Past Meeting Dates	
Conceptual Review	05/16/2019
Pre-submittal Review w/Coordinator	06/20/2019
Round 1 Staff Review Meeting	07/17/2019

This development request is to build a 1½ story carriage house at 614 Lesser Drive (parcel #9713115016) with a lot area of 5000 square feet in the neighborhood conservation buffer (NCB) zoning district. There is currently a single family residence that fronts Lesser Drive. The carriage house would be located at the rear of the lot along the rear setback, and would share access by means of an existing driveway that runs along the south side of the existing house that will provide access to 4 required off street parking spaces.

The architectural form and placement of the carriage house on the lot is such that minimal impact to the privacy of the surrounding neighbors is a priority. There are two residential neighbors along the north and south property lines. The lot also abuts Houska Automotive to the rear. Architectural features such as windows and access are minimized along the north and south property lines, and the general orientation of the building maximizes the privacy for neighboring properties. The placement also allows for a common access and parking area between the two dwelling units, while also providing for separate, private yard spaces for each. Trash and Recycling services will be provided by normal curbside pickup.

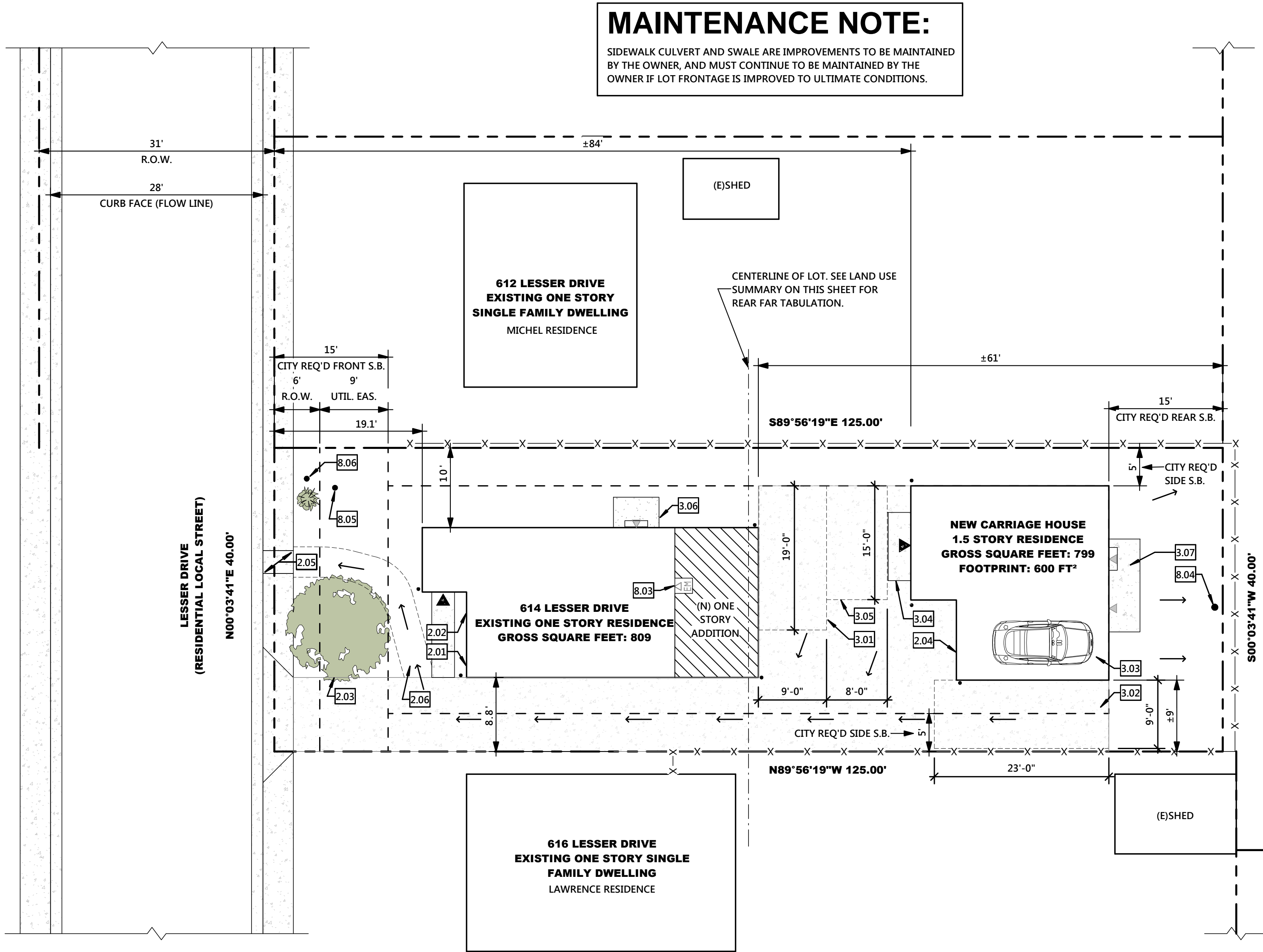
Building height is kept as low as feasible to allow for the 1½ story carriage house to include two habitable spaces for sleeping. Although larger in height than the one story existing house, the footprint is smaller than the existing. The height and massing of the carriage house is also similar to other 2-story houses across the street and nearby.

The thoughtful design and intent of this development will enhance the purpose of the neighborhood conservation buffer (NCB) district, which defines a transition between residential neighborhoods and the high traffic, commercial zones of the City.

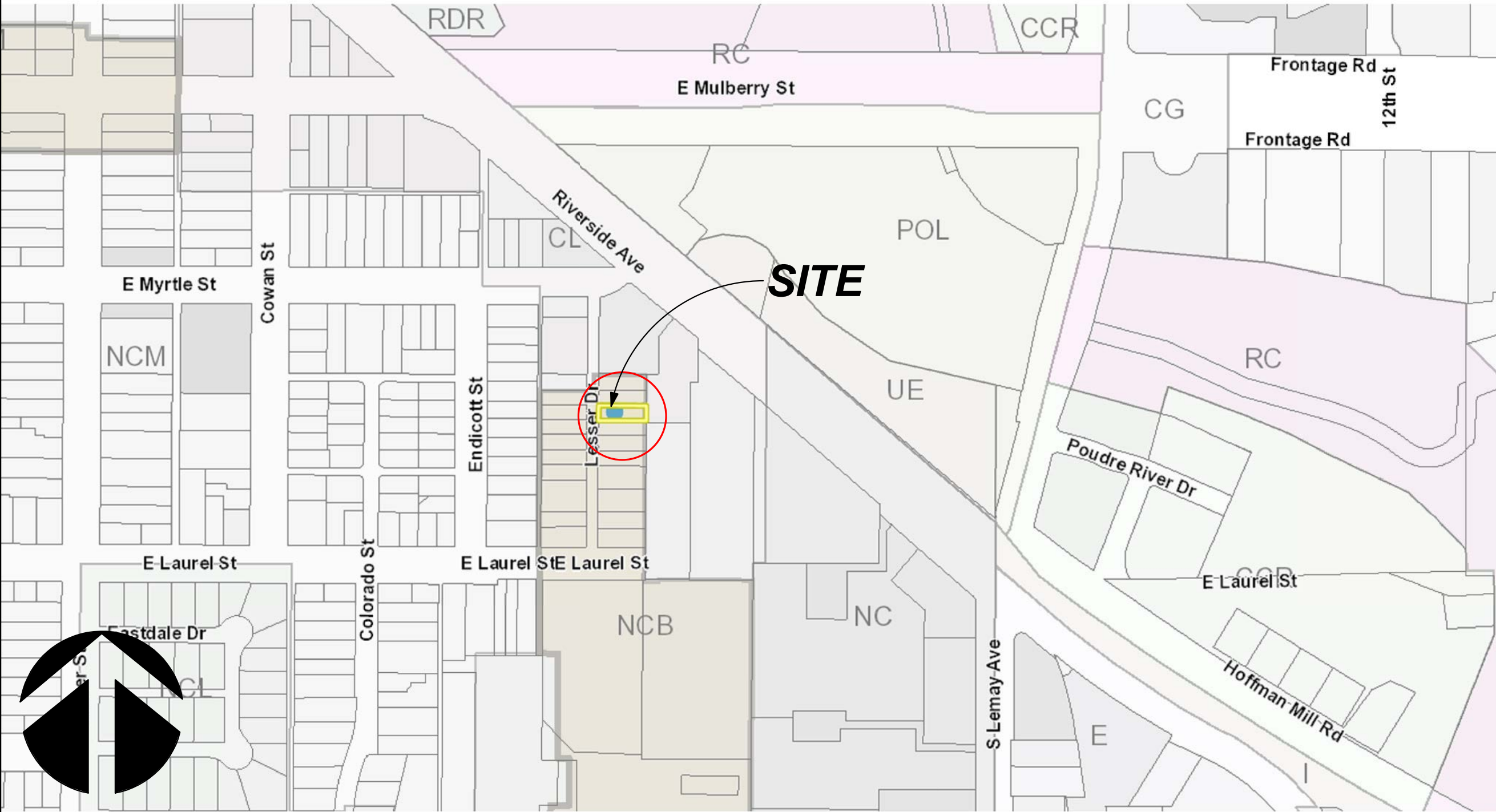
Thank you for your consideration of the requested development.

Sincerely,

Mike Hutsell, HighCraft Builders, on behalf of the owner, Taliesen LLC



SITE PLAN
1" = 10'-0"



VICINITY MAP



CONTEXT MAP

LAND USE SUMMARY

LEGAL DESCRIPTION	LOT 16, LESSER'S SUBDIVISION, CITY OF FORT COLLINS, BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF SECTION THIRTEEN (13), TOWNSHIP SEVEN NORTH (T.7N.), RANGE SIXTY NINE WEST (R.69W.) OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.).
APN:	9713115016
YEAR BUILT:	1921
ZONE:	NCB
GROSS LOT AREA:	5000 (0.115 ACRES)
EXISTING HOUSE:	
NUMBER OF BEDROOMS:	2
MAXIMUM BUILDING HEIGHT AT RIDGE:	±15'
EXISTING HOUSE AREA TOTAL	592
AREA TO BE DEMOLISHED	230
AREA OF ADDITION (GROSS)	447
AREA OF ADDITION (NET)	217
NEW HOUSE AREA TOTAL	809
CARRIAGE HOUSE:	
NUMBER OF BEDROOMS:	2
MAXIMUM BUILDING HEIGHT AT RIDGE:	±21'
ALLOWABLE FLOOR AREA IN REAR 50%:	((5000/2)x.33)=825. 825-26 (AREA OF EXISTING HOUSE IN REAR 50%)=799
FOOTPRINT (1F FLOOR AREA)	600
2F FLOOR AREA (≥ 7'-6" HEIGHT)	199
GROSS DENSITY:	0.115/2=0.06 ACRES PER UNIT
EXISTING IMPERVIOUS AREA:	
EXISTING HOUSE	592
EXISTING PARKING/DRIVEWAY	523
EXISTING TOTAL	1115
IMPERVIOUS AREA TO BE DEMOLISHED:	
EXISTING HOUSE	230
EXISTING DRIVEWAY	523
TOTAL:	753
NEW IMPERVIOUS AREA:	
NEW CARRIAGE HOUSE	600
NEW PARKING	1659
TOTAL:	2241
FINAL IMPERVIOUS AREA INCREASE:	2241 (NEW) - 753 ((E) DEMOLISHED) =1488
PARKING TABULATION:	
EXISTING HOUSE OFF STREET SPOTS	2
CARRIAGE HOUSE OFF STREET SPOTS	2
TOTAL OFF STREET PARKING SPOTS:	4
ALL OFF STREET PARKING REQ'D PER SECTIONS 3.2.2(K)(1)(c), (L)(1,2), AND 4.9(E)(3)(a)(2) IN THE FORT COLLINS LUC.	
ALL AREAS IN SQUARE FEET U.N.O.	

SITE PLAN LEGEND

---	PROPERTY LINE
---	SETBACK/EASEMENT
---	(N) ADDITION
---	LANDSCAPED AREA
▲	MAIN BUILDING ENTRANCE
▲	SECONDARY ENTRANCE
•	DOWNSPOUT

FOR SURVEY INFORMATION, PLEASE REFER TO IMPROVEMENT SURVEY PLAT DATED 06-12-2019, BY MAJESTIC SURVEYING.

KEYNOTES

- 2.01 ADDRESS SIGNAGE FOR CARRIAGE HOUSE TO BE PLACED NEAR CORNER OF HOUSE. SIGNAGE AT THIS LOCATION TO INCLUDE ARROW POINTING TO DRIVEWAY (SIDE OF HOUSE). SEE ADDRESS SIGNAGE NOTES.
- 2.02 ADDRESS SIGNAGE FOR EXISTING HOUSE TO BE PLACED NEAR FRONT DOOR, FACING THE STREET. SEE ADDRESS SIGNAGE NOTES.
- 2.03 EXISTING TREE TO REMAIN
- 2.04 ADDRESS SIGNAGE FOR CARRIAGE HOUSE TO BE PLACED ABOVE GARAGE DOOR, FACING THE STREET. SEE ADDRESS SIGNAGE NOTES.
- 2.05 SIDEWALK CULVERT. SEE DETAIL ON U2.0.
- 2.06 SWALE INDICATED HERE IS FOR STORMWATER QUALITY TREATMENT. SEE DRAINAGE PLAN ON U2.0
- 3.01 NEW 9'x19' PARKING SPOT FOR EXISTING HOUSE
- 3.02 NEW 9'x23' PARKING SPOT FOR NEW CARRIAGE HOUSE
- 3.03 NEW GARAGE PARKING SPOT FOR NEW CARRIAGE HOUSE
- 3.04 3'-0" x 9'-0" CONCRETE LANDING
- 3.05 NEW 8'x15' COMPACT VEHICLE PARKING SPOT FOR EXISTING HOUSE
- 3.06 4'-0" x 6'-0" CONCRETE LANDING
- 3.07 4'-0" x 12'-0" CONCRETE LANDING
- 8.03 ABANDON EXISTING ELECTRIC METER
- 8.04 EXISTING TELECOMMUNICATIONS POLE
- 8.05 EXISTING WATER METER
- 8.06 EXISTING LIGHT POLE

CERTIFICATIONS

PLANNING CERTIFICATION

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICE OF THE CITY OF FORT COLLINS, COLORADO ON THIS _____ DAY OF _____ A.D. 20____.

DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES

OWNERSHIP CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS THE _____ DAY OF _____ A.D. 20____.

OWNER'S PRINTED NAME _____

OWNER'S SIGNATURE _____

NOTORIAL CERTIFICATE

STATE OF COLORADO

COUNTY OF LARIMER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ A.D. 20____ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC _____

ABBREVIATIONS

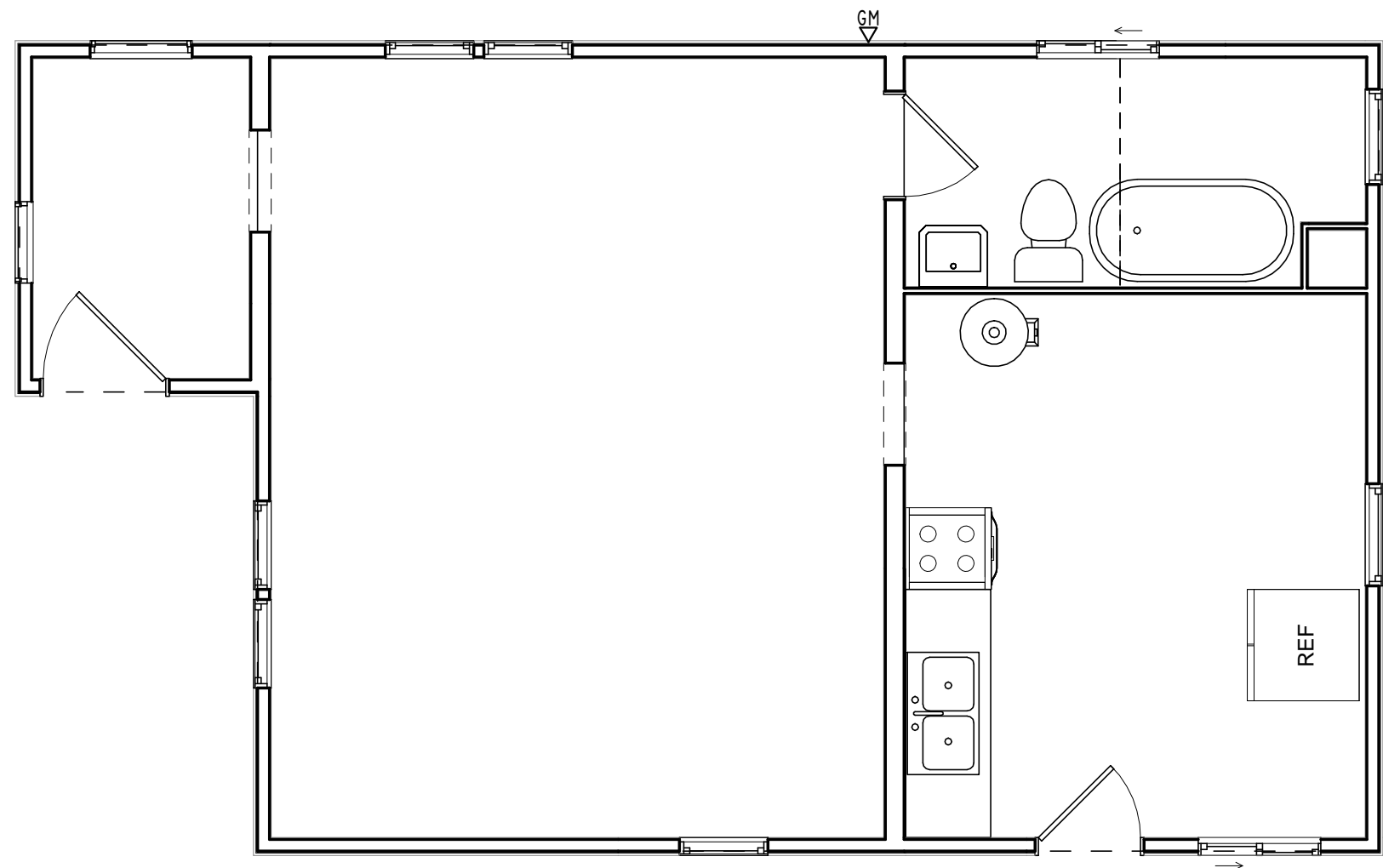
(D)	DEMOLITION	HT.	HEIGHT
(E)	EXISTING	I.D.	INTERIOR DESIGN
(N)	NEW	MAX.	MAXIMUM
B/	BOTTOM OF	MIN.	MINIMUM
T/	TOP OF	MTL.	METAL
@	AT	N.T.S.	NOT TO SCALE
A.D.	ARCHITECTURAL DESIGN	O/C	ON CENTER
B.M.	BEAM	OPG.	OPENING
BRG.	BEARING	OPP.	OPPOSITE
CLG.	CEILING	PT.	PAINT
CANT.	CANTILEVER	PTD.	PAINTED
CONT.	CONTINUOUS	P.T.	PRESSURE TREATED
C.O.	CASED OPENING	R.O.	ROUGH OPENING
DBL.	DOUBLE	S.B.	SETBACK
DIA.	DIAMETER	SIM.	SIMILAR
DIM.	DIMENSION	SQ. FT.	SQUARE FEET
DN.	DOWN	STD.	STANDARD
EA.	EACH	T.B.D.	TO BE DETERMINED
EAS.	EASEMENT	TMPD.	TEMPERED
EM	ELECTRIC METER	TYP	TYPICAL
EXT.	EXTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
F.F.	FINISH FLOOR	UTIL.	UTILITY
FND.	FOUNDATION	VERT.	VERTICAL
GM	GAS METER	V.I.F.	VERIFY IN FIELD
G.S.M.	GALVANIZED SHEET METAL	W/	WITH
H.C.	HIGHCRAFT	WD.	WOOD
H.D.G.	HOT DIP GALVANIZED	WH	WATER HEATER
HOR.	HORIZONTAL	W.P.	WATER PROOF

ADDRESS SIGNAGE NOTES

EXTERIOR SIGNAGE TO CONSIST OF EASILY LEGIBLE, MINIMUM 8" HIGH NUMERALS THAT CONTRAST WITH BACKGROUND. SIGNAGE AT FRONT OF EXISTING HOUSE TO BE MOUNTED AT HEIGHT AND LOCATION THAT IS CLEARLY VISIBLE FROM STREET.

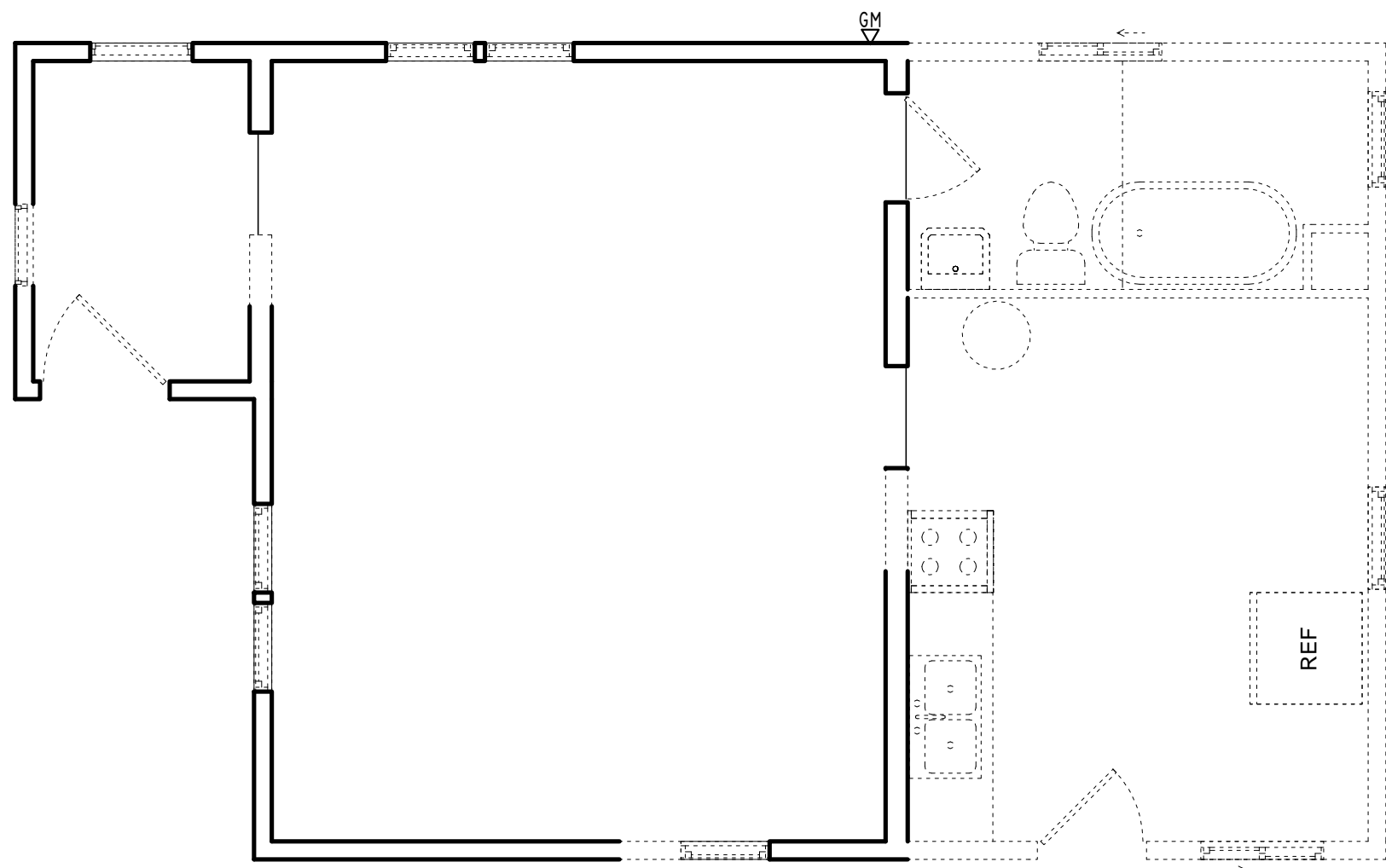
SHEET LIST

A0.0 SITE PLAN	A4.0 ROOF PLAN + SECTIONS
A1.0 COVER SHEET	A8.0 ELECTRICAL PLAN
A2.0 EXISTING, DEMO, NEW PLANS	
A3.0 (N) ELEVATIONS	



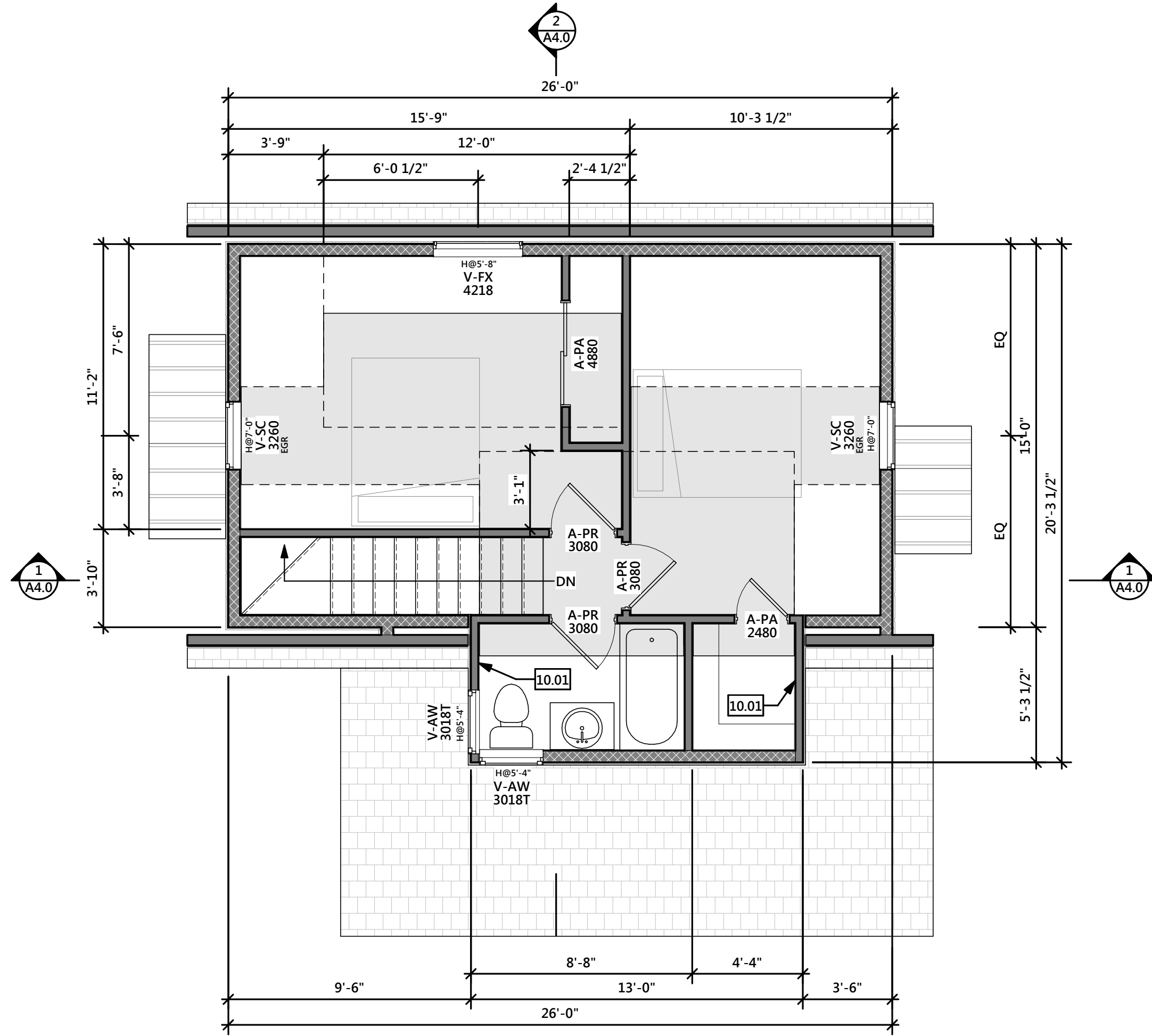
EXISTING PLAN

1/4" = 1'-0"



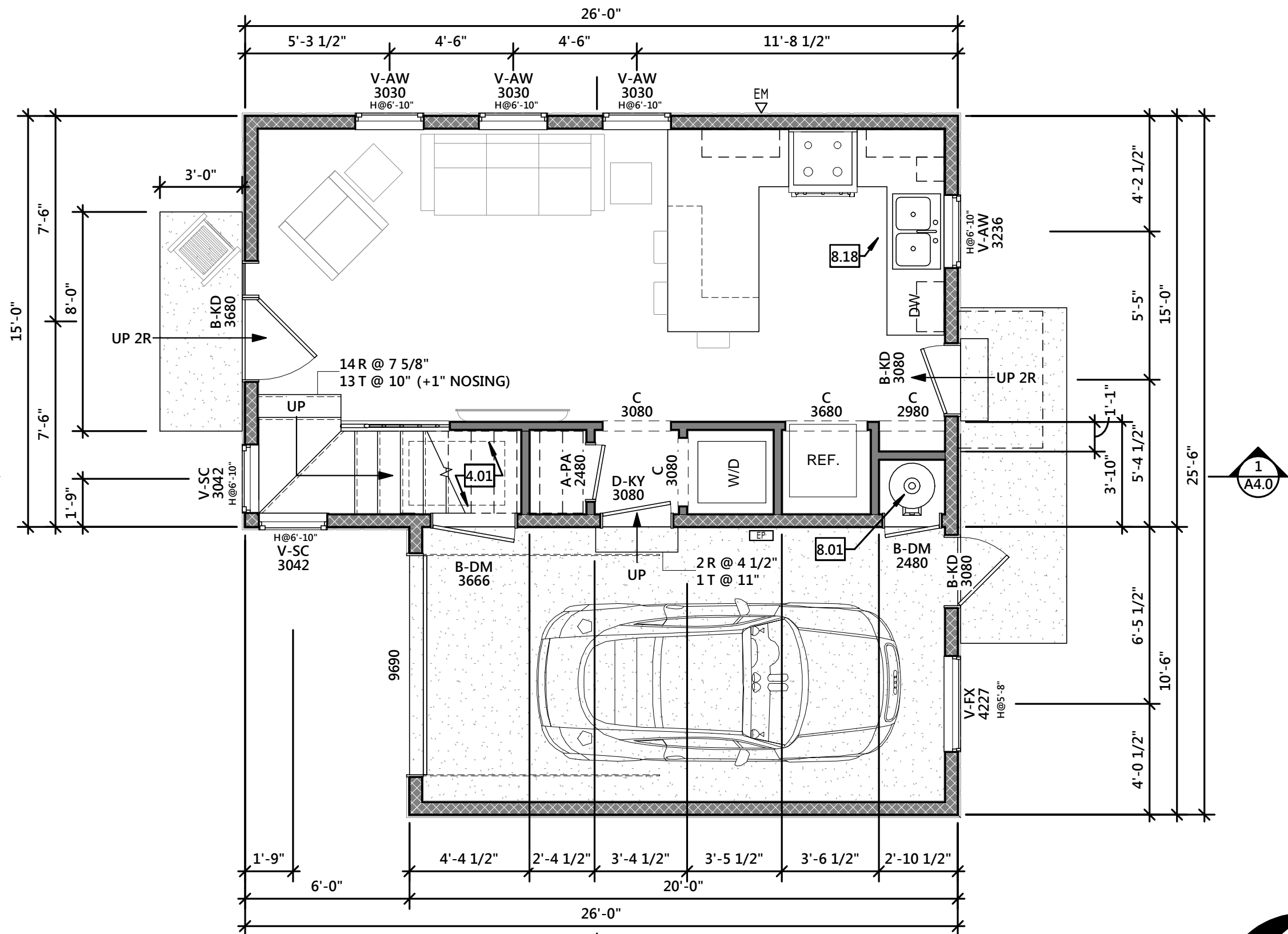
DEMO PLAN

1/4" = 1'-0"



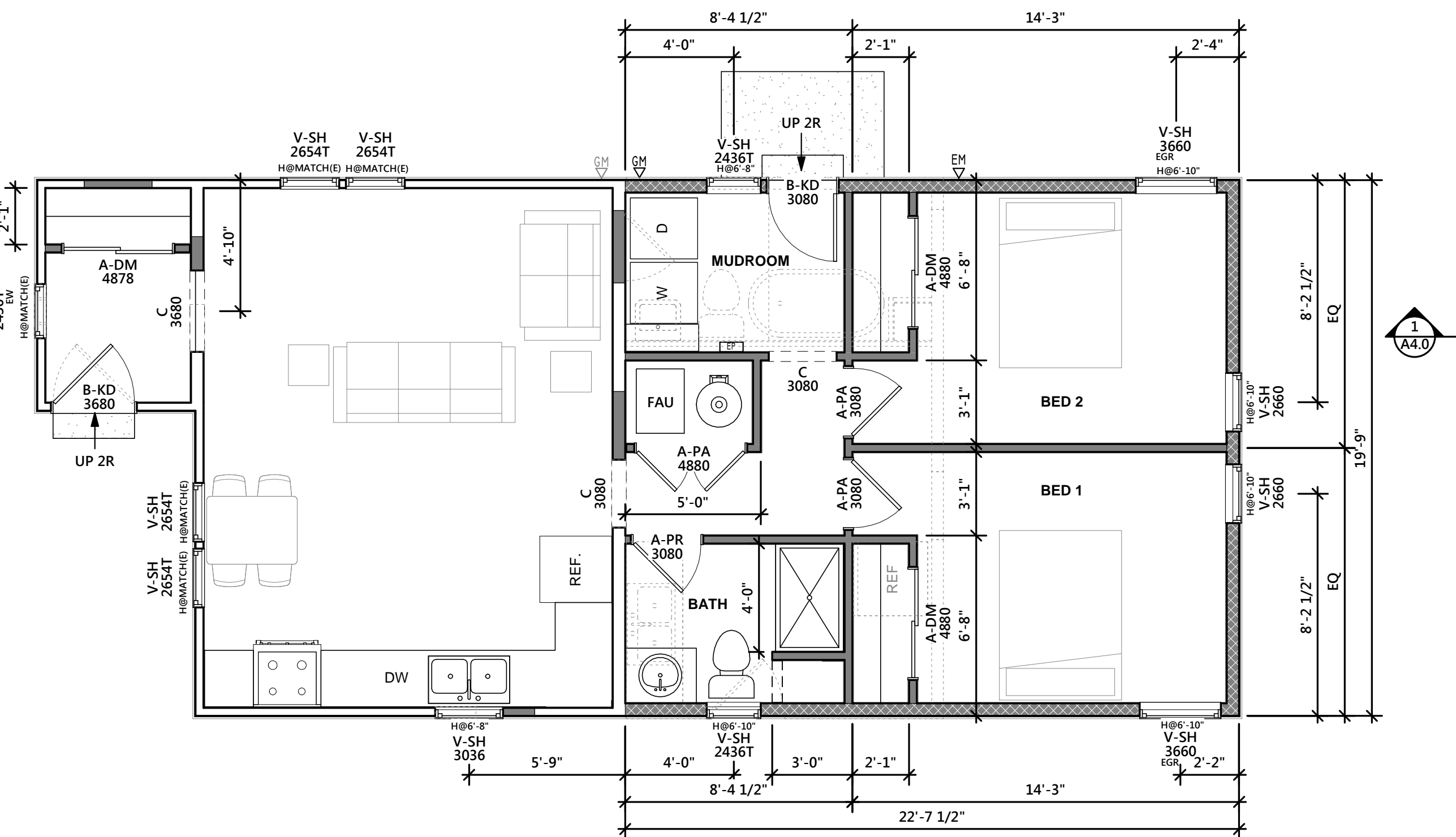
NEW CARRIAGE HOUSE 2F PLAN

1/4" = 1'-0"



NEW CARRIAGE HOUSE 1F PLAN

1/4" = 1'-0"



NEW EXISTING HOUSE PLAN

1/4" = 1'-0"

KEYNOTES

- 4.01 CRAWL ACCESS HATCH LARGE ENOUGH TO REMOVE FAU. CREATE MIN. 30"Hx22"W PATHWAY TO EQUIPMENT @ CRAWL SPACE, W/30" DEEP x30" WIDE CLEAR SERVICE SPACE.
- 8.01 RAISE PLATFORM FOR WATER HEATER AS REQ'D SO THAT IGNITION SOURCE IS NOT LESS THAN 18 INCHES ABOVE GARAGE FLOOR.
- 8.18 FLOOR MOUNTED SUPPLY
- 10.01 SPRAY FOAM THIS WALL

FLOOR PLAN NOTES

FRAMING:

DIMENSIONS ARE TO FACE OF STRUCTURAL ELEMENT (STUDS, CONCRETE WALLS, ETC.) EXCEPT TO CENTERLINE OF POSTS AND COLUMNS, U.N.O.

DOOR AND WINDOW SIZES ARE UNIT DIMENSIONS. ROUGH OPENINGS WILL VARY DEPENDENT ON FINAL MANUFACTURER. VERIFY ROUGH OPENING SIZES WITH MANUFACTURER.

WALL FRAMING TO BE @16" O/C HEM FIR #2 U.N.O.

- NEW WALL-2x6
NEW WALL-2x4 U.N.O.
WALL TO REMAIN
WALL TO BE REMOVED
2F AREA WITH CEILING HEIGHT ≥7'-6"

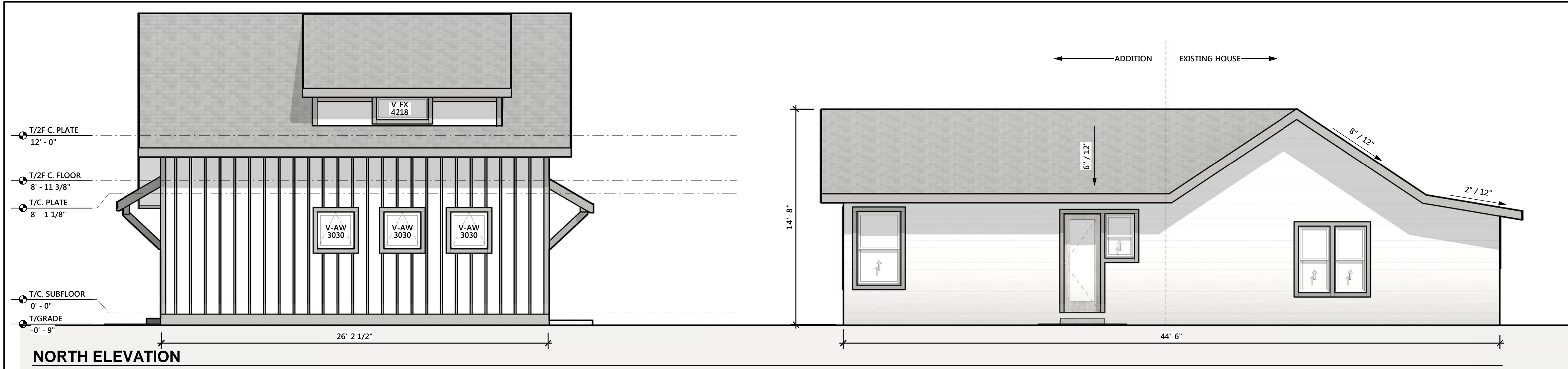
- ELECTRICAL PANEL
ELECTRIC METER

WINDOW TAG LEGEND:

- UNIT MATERIAL:
W=WOOD
F=FIBERGLASS
V=VINYL
WIDTH x HEIGHT
EGRESS
E=EXIST. OPG. (W+H)
EW=EXIST. OPG. WIDTH
- OPERATION:
AW=AWNING
SL=SLIDER
SH=HUNG
DH=DBL HUNG
SC=CASEMENT
DC=DBL CASEMENT
FX=FIXED
MU= MULLED UNIT
- T=TEMPERED

DOOR TAG LEGEND:

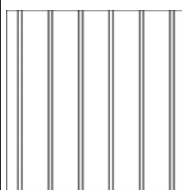

- DOOR STYLE- SEE
STYLE LEGEND
- DOOR HARDWARE- SEE
HARDWARE SCHEDULE
FOR QTY'S
- E=EXIST. OPG.



KEYNOTES	
2.04	ADDRESS SIGNAGE FOR CARRIAGE HOUSE TO BE PLACED ABOVE GARAGE DOOR, FACING THE STREET. SEE ADDRESS SIGNAGE NOTES.
5.02	5/4"x10" SMOOTH TEXTURE BELT BOARD-PAINTED
5.03	1x8 FASCIA-PAINTED
5.04	5/4"x4" SMOOTH TEXTURE CORNER TRIM-PAINTED
5.01	4x6 KICKER PER ENGINEERING
5.02	6x6 BEAM PER ENGINEERING

EXTERIOR FINISHES

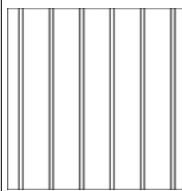
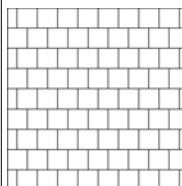
NOTE: SCHEDULE AREAS ARE INTENDED FOR ESTIMATING PURPOSES ONLY AND MAY NOT ACCURATELY REFLECT ACTUAL CONDITIONS 'IN THE FIELD'

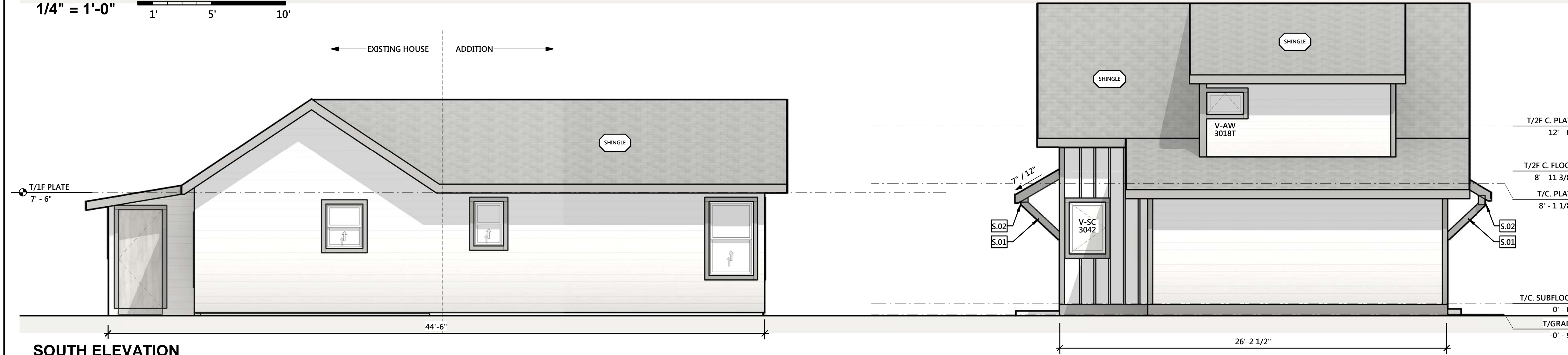
TAG	AREA	KEY	DESCRIPTION
B&B	929 SF		1x2 BATTENS @ 12" O/C, PAINTED WHITE
LAP	976 SF		SMOOTH TEXTURE HORIZONTAL LAP SIDING, 6" EXPOSURE-PAINTED LIGHT GREY

EXT. DOOR & WIN. TRIM	
1x4 SMOOTH TEXTURE-PAINTED DARK GREY	

ROOFING SCHEDULE

NOTE: SCHEDULE AREAS ARE INTENDED FOR ESTIMATING PURPOSES ONLY AND MAY NOT ACCURATELY REFLECT ACTUAL CONDITIONS 'IN THE FIELD.'

TAG	AREA	KEY	DESCRIPTION
METAL	123 SF		CLASSIC RIB COLOR: GALVALUME
SHINGLE	2439 SF		ASPHALT SHINGLES COLOR: BLACK



EXTERIOR FROM STREET

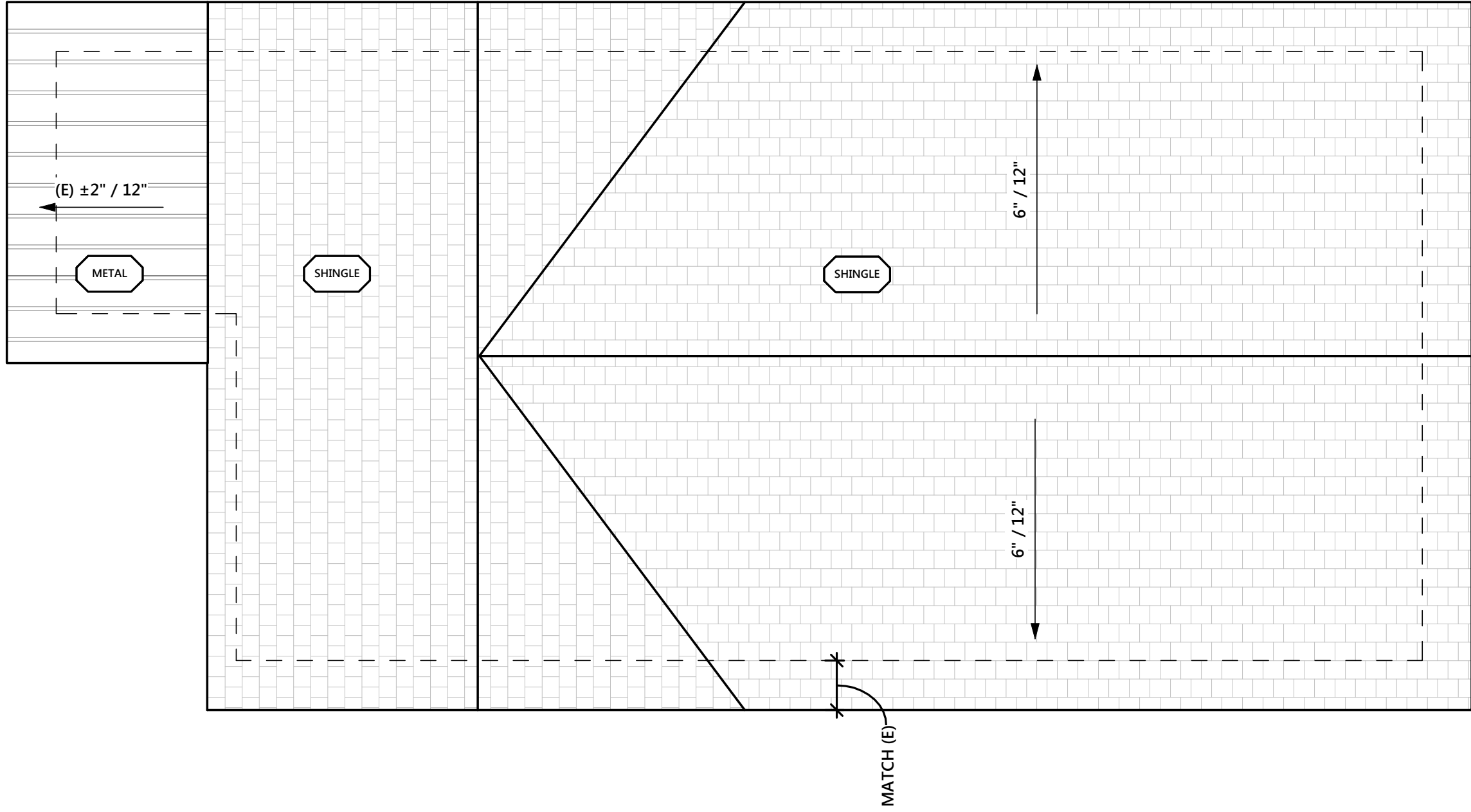


HIGHCRAFT BUILDERS
429 S. HOWES STREET
FORT COLLINS, CO 80521
970.472.8100

614 LESSER DRIVE CARRIAGE HOUSE
614 LESSER DRIVE, FORT COLLINS, 80524

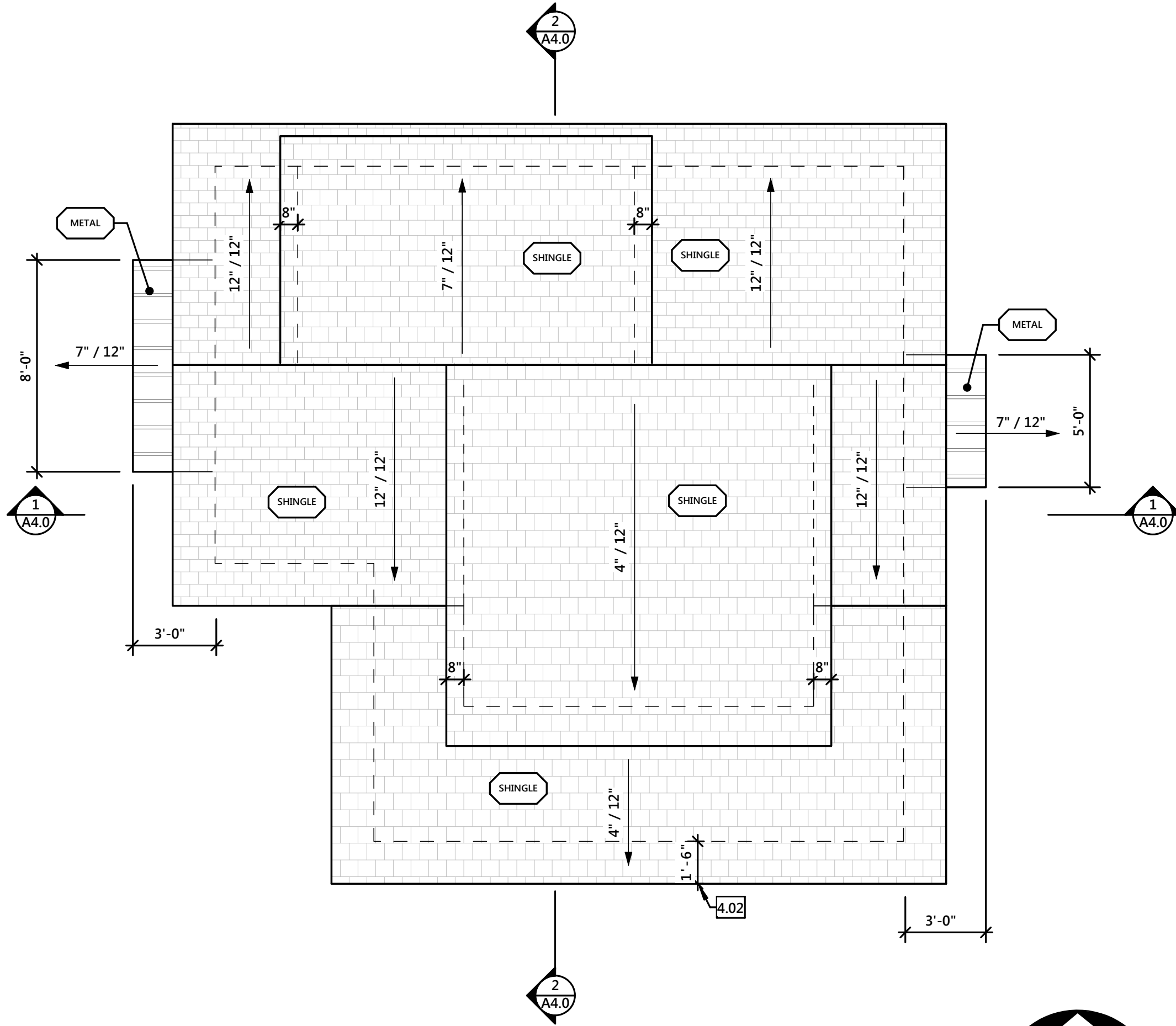
PDP/FDP DRAFT
SUBMITTAL ROUND 3

DRAWN: MH
INITIAL PREPARATION: 05/16/2019
CURRENT PREPARATION: 09/11/2019
A3.0
(N) ELEVATIONS



ROOF PLAN

1/4" = 1'-0"



KEYNOTES

4.02 TYPICAL OVERHANG U.N.O.

ROOF PLAN NOTES

LINESTYLES:

ROOF LINE: _____
ROOF LINE (BELOW): _____
OUTLINE OF STRUCTURE BELOW: _____
ROOF LINE (CHANGED): _____

SECTION LEGEND

	NEW WALL-2x6
	NEW WALL-2x4 U.N.O.
	2F AREA WITH CEILING HEIGHT ≥ 7'-6"

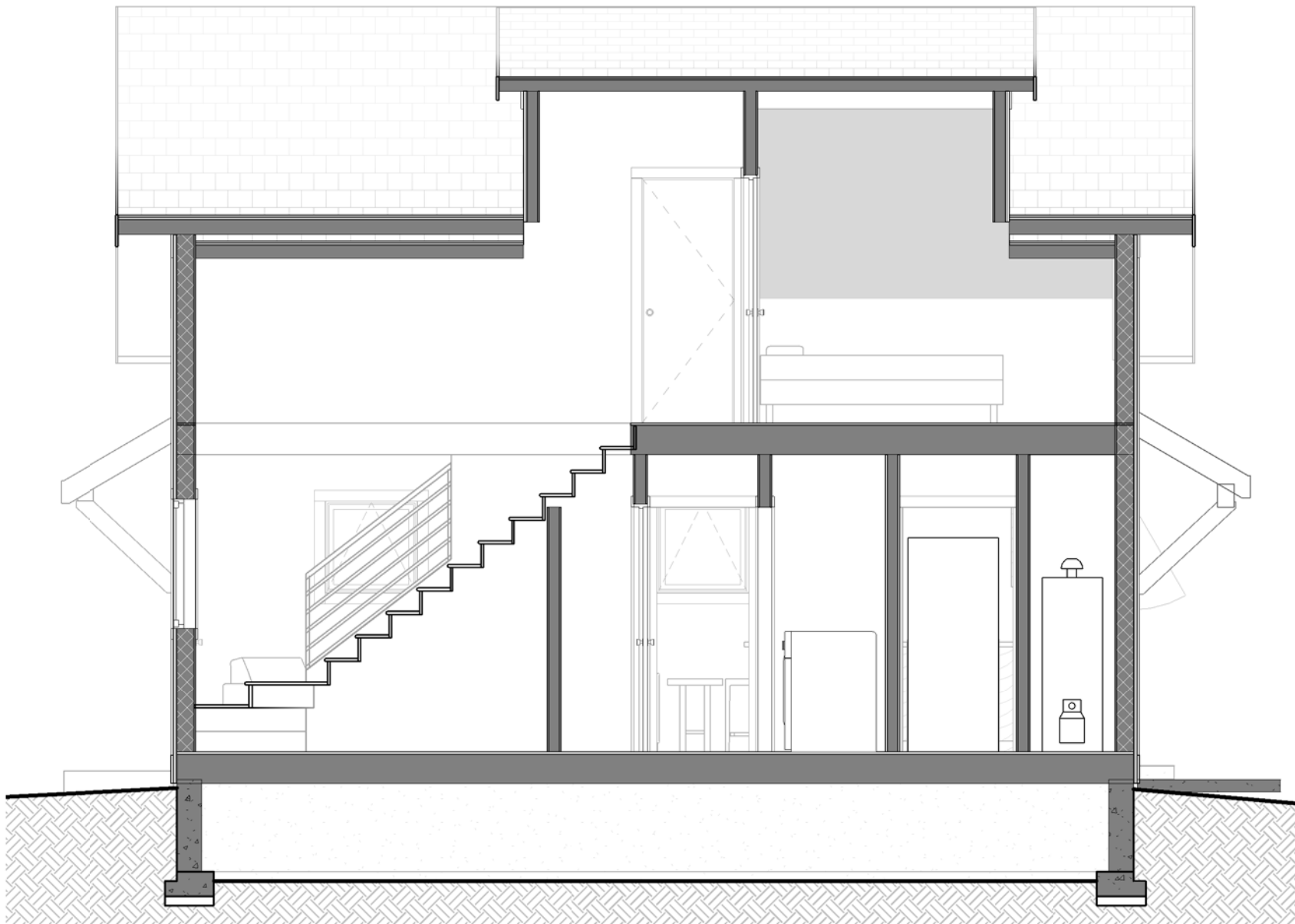
ROOFING SCHEDULE

NOTE: SCHEDULE AREAS ARE INTENDED FOR ESTIMATING PURPOSES ONLY AND MAY NOT ACCURATELY REFLECT ACTUAL CONDITIONS 'IN THE FIELD.'

TAG	AREA	KEY	DESCRIPTION
METAL	123 SF		CLASSIC RIB COLOR: GALVALUME
SHINGLE	2439 SF		ASPHALT SHINGLES COLOR: BLACK

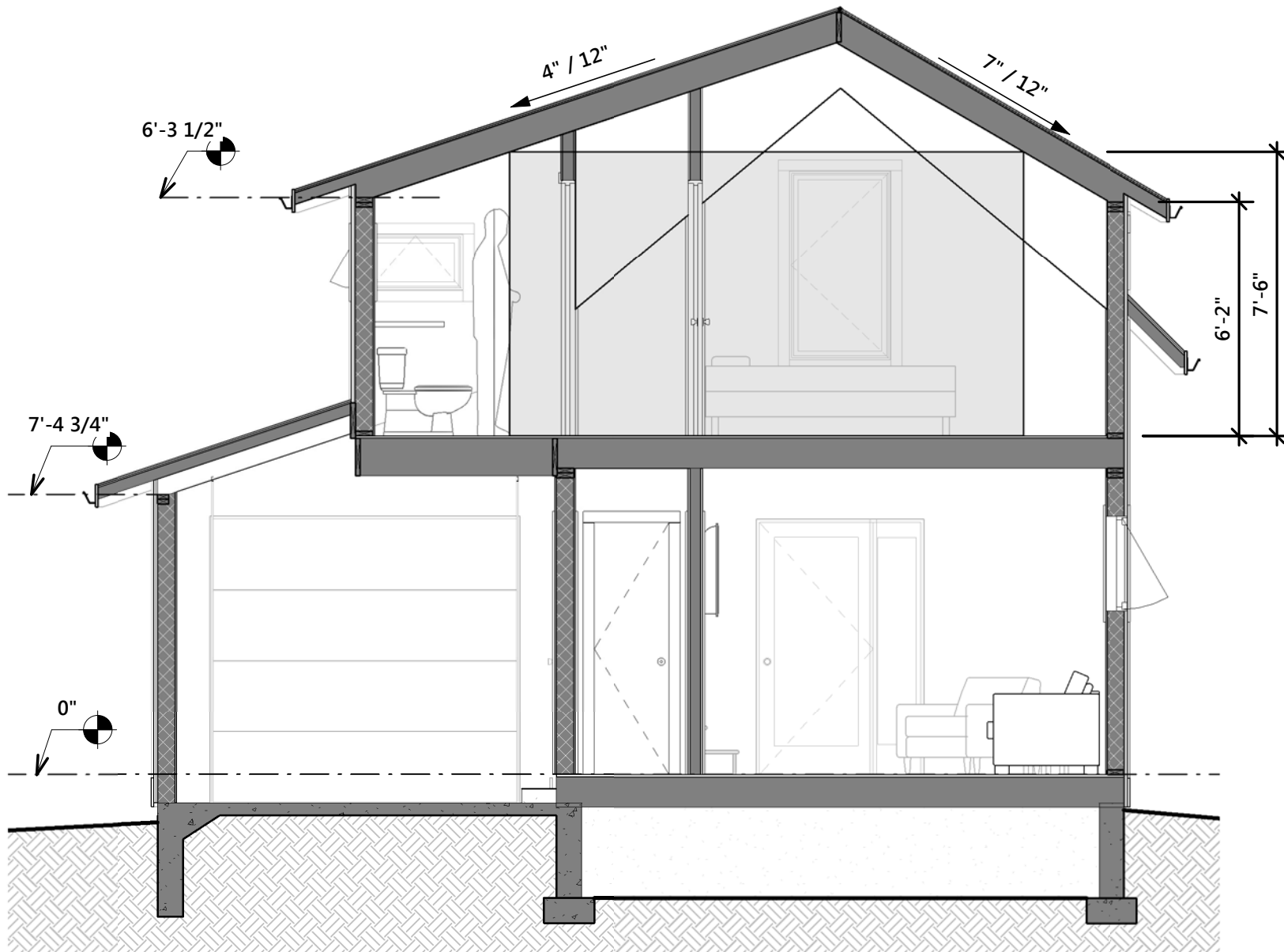
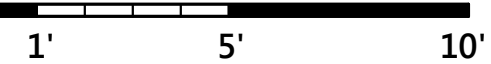
SECTION NOTE

REFER TO SHEET A1.0 'BUILDING ENVELOPE' FOR INSULATION REQUIREMENTS



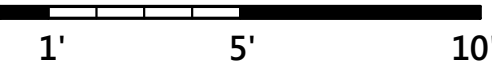
E/W SECTION THROUGH STAIR

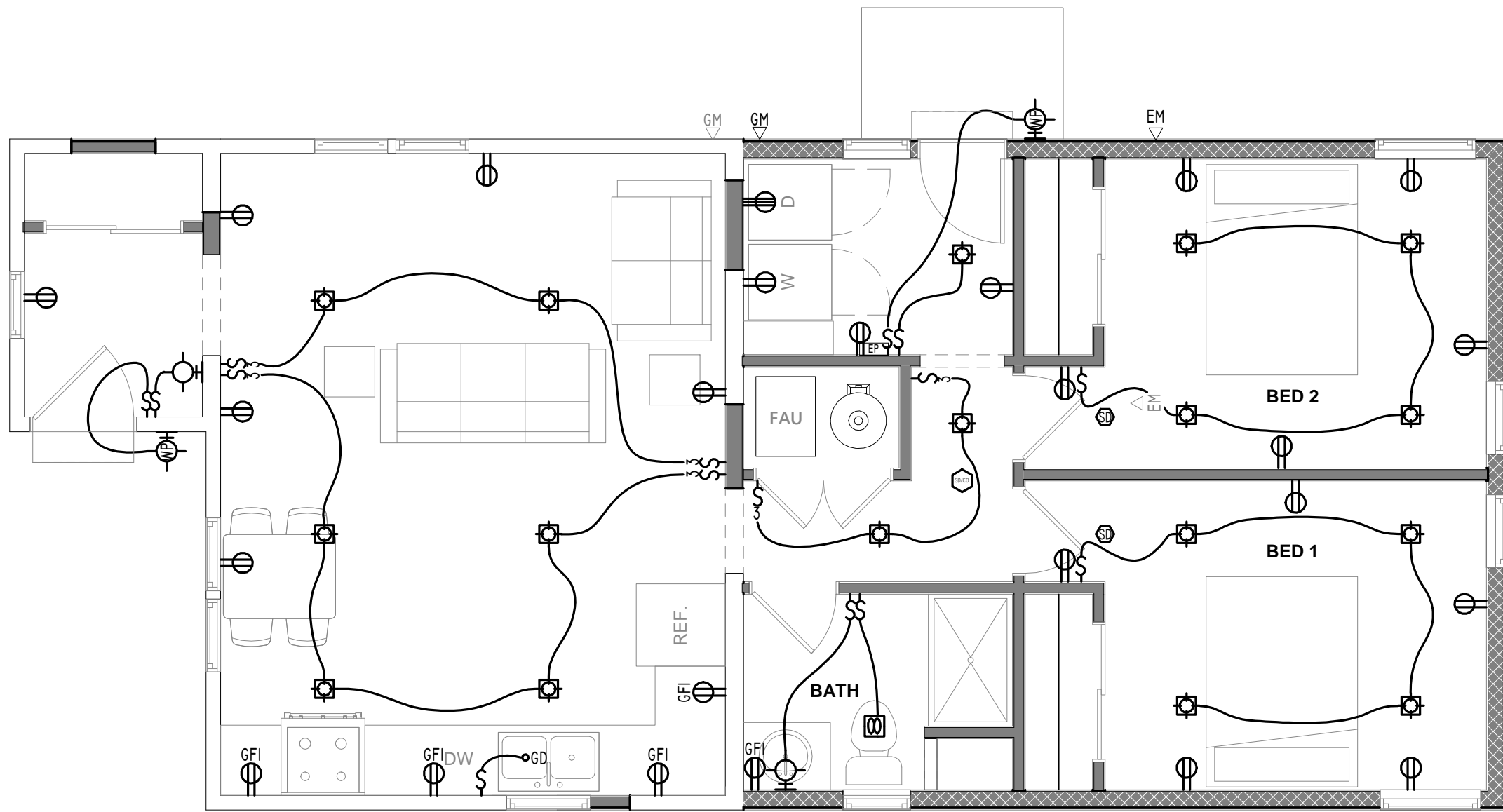
1/4" = 1'-0"



N/S SECTION THROUGH BATHROOM

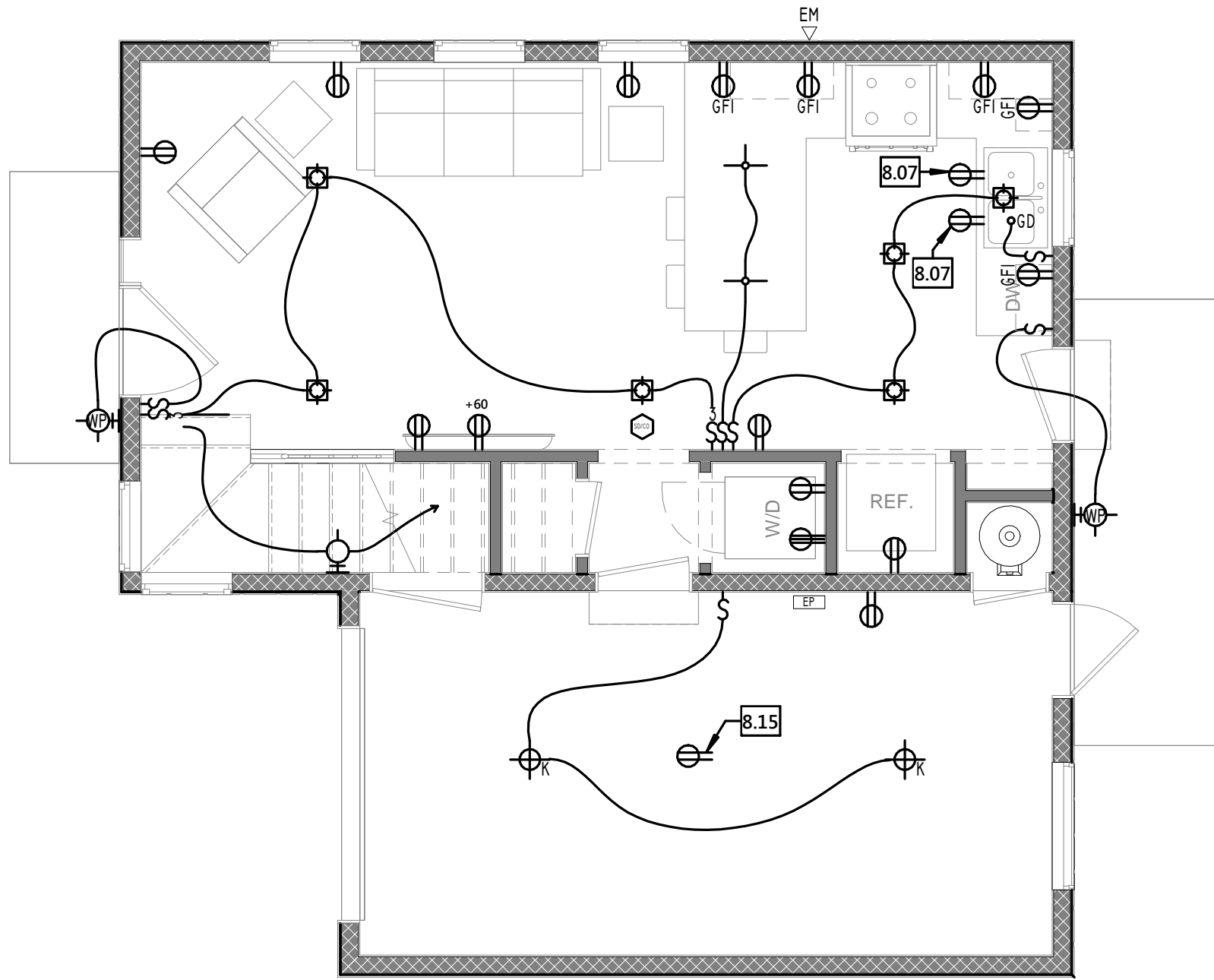
1/4" = 1'-0"





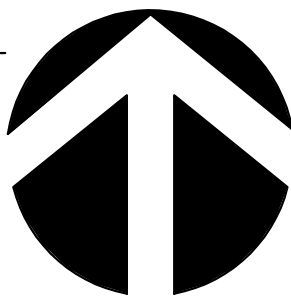
1F ELECTRICAL

1/4" = 1'-0" 1' 5' 10'



2F ELECTRICAL

1/4" = 1'-0" 1' 5' 10'



KEYNOTES

- 8.07 OUTLET FOR GARBAGE DISPOSAL
- 8.14 MOUNT HIGH ON WALL
- 8.15 OUTLET FOR GARAGE DOOR OPENER

ELECTRICAL LEGEND

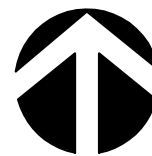
ELECTRICAL PLAN NOTES:
LOCATIONS MAY REQUIRE ADJUSTMENT DUE TO CONCEALED OR UNFORESEEN CONDITIONS
EXISTING FIXTURES LOCATED WITHIN THE PROJECT AREA AS SHOWN ON PLANS ARE TO BE RETROFITTED/ REPLACED AS REQUIRED FOR CONSISTENCY WITH NEW ELECTRICAL.
*+42" INDICATES A NON-STANDARD MOUNTING HEIGHT (INCHES)
*X6" INDICATES NUMBER OF FIXTURES STACKED AT SAME LOCATION
ELECTRICAL PLAN LINE-STYLE KEY:
EXISTING: _____
TO BE REMOVED: - - - - -
NEW: _____

(N) ELECTRICAL SCHED.

KEY	DESCRIPTION	NEW
	220V OUTLET	2
	DUPLEX OUTLET	43
	DUPLEX GFI OUTLET	10
	SWITCH	21
	SWITCH THREE WAY	10
	EXHAUST FAN	2
	LIGHT FLUSH MOUNT	2
	LIGHT FLUSH MOUNT KEYLESS	2
	LIGHT PENDANT	2
	RECESSED LIGHT FIXTURE	23
	RECESSED LIGHT FIXTURE ENCLOSED SLOPED	1
	RECESSED LIGHT FIXTURE SLOPED	1
	RECESSED LIGHT FIXTURE WATER PROOF SLOPED	1
	LIGHT FIXTURE WALL MOUNT	5
	LIGHT FIXTURE WALL MOUNT WATER PROOF	4
	GARBAGE DISPOSAL	2
	SMOKE ALARM W/ BATTERY BACKUP PER IRC REQ'S	4
	SMOKE/CARBON MONOXIDE ALARM W/ BATTERY BACKUP PER IRC REQ'S	3

FOR

09/09/2019



VICINITY MAP

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
2. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
3. THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY ENGINEER. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
4. THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY FOR THE LOCAL ENTITY, AS BENEFICIARY OF THESE PLANS, AND ANY WORK SHOWN THEREON, AND ANY VIOLATIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS BY THE LOCAL ENTITY ENGINEER SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE LOCAL ENTITY, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.
5. ALL SANITARY SEWER, STORM SEWER, AND WATER LINE CONSTRUCTION, AS WELL AS POWER AND OTHER "DRY" UTILITY INSTALLATIONS, SHALL CONFORM TO THE LOCAL ENTITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF APPROVAL OF THE PLANS BY THE LOCAL ENTITY ENGINEER.
6. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
7. THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCNC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. IF ANY UNREGISTERED UTILITY IS FOUND (I.E. DE GRASS/IRRIGATION COMPANY) ARE TO BE FOUND, THE ENGINEER SHALL ADVISE THE RESPECTIVE REPRESENTATIVE UTILITY SERVICE. OTHERS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
9. IF A CONFLICT EXISTS BETWEEN EXISTING AND PROPOSED UTILITIES AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.

10. THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
11. NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE DEVELOPER NOTIFIES THE UTILITY PROVIDER. NOTIFICATION SHALL BE A MINIMUM OF 2 WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
12. THE DEVELOPER SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHALL BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER MAINS AND DRY UTILITY.
13. THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.
14. A STATE CONSTRUCTION DOWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DOWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
15. THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, (303) 692-3590), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
16. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ONSITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).
17. PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE LOCAL ENTITY, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BE SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT.
18. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR SINGLE FAMILY UNITS. FOR COMMERCIAL PROPERTIES, CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT.
19. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES SUSTAINED IN THIS DEVELOPMENT AS A RESULT OF GROUNDWATER SEEPAGE, WHETHER RESULTING FROM GROUNDWATER FLOODING, STRUCTURAL DAMAGE OR OTHER DAMAGE UNLESS SUCH DAMAGE OR INJURIES ARE SUSTAINED AS A RESULT OF THE LOCAL ENTITY FAILURE TO PROPERLY MAINTAIN ITS WATER, WASTEWATER, AND/OR STORM DRAINAGE FACILITIES IN THE DEVELOPMENT.

21. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED WITHIN 24 HOURS BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
22. NO WORK MAY COMMENCE WITHIN ANY IMPROVED OR UNIMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE.
23. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEERING INSPECTOR (FORT COLLINS - 221-6605) AND THE LOCAL ENTITY EROSION CONTROL INSPECTOR (FORT COLLINS - 221-6270) AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC
- IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE DEVELOPER MAY COMMENCE WORK IN THE ENGINEER ABSENCE. HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
30. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 226, EXCAVATING AND TRENCHING.
31. THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY. (LOCAL ENTITY, COUNTY OR STATE). FOR APPROVAL. PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
34. THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.
35. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
36. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
37. THE DEVELOPER SHALL HAVE, ONSITE AT ALL TIMES, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
38. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.

39. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES. UPON COMPLETION OF THE WORK, THE CONTRACTOR(S) SHALL SUBMIT RECORD DRAWINGS TO THE LOCAL ENTITY ENGINEER.

41. ALL STATIONING IS BASED ON CENTERLINE/FLOWLINE (INSERT PROPER WORD) OF ROADWAYS UNLESS OTHERWISE NOTED.

42. DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DISCRETION OF THE LOCAL ENTITY ENGINEER. ANY ADDITIONAL IMPROVEMENTS, PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.

43. WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE LOCAL ENTITY CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ENTITY STREET REPAIR STANDARDS. THE FINISHED PATCH SHALL BLEND IN SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE LOCAL ENTITY ENGINEER.

AND/OR THE LOCAL ENTITY INSPECTOR AT THE TIME THE CUTS ARE MADE.

44. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.

45. STANDARD HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.

46. AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A MINIMUM PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.

PROJECT BENCHMARKS

PROJECT DATUM: NAVD88

BENCHMARK F136, 2.7 KM (1.7 MI) SOUTHEAST ALONG THE COLORADO AND SOUTHERN RAILROAD FROM THE STATION AT FORT COLLINS AND 0.1 KM (0.05MI) WEST FROM MILEPOST 76. IT IS 20.4 M (67 FT) NORTH OF THE NORTH CURB OF RIVERSIDE AVE, 14.9 M (49 FT) NORTH FROM THE CENTER OF THE UNION PACIFIC TRACKS AND 14.3 M (47 FT) SOUTH FROM THE CENTER OF THE COLORADO AND SOUTHERN RAILROAD TRACKS. IT IS IN THE NORTHEAST SIDE OF THE INTERSECTION OF RIVERSIDE AVE. AND LEMAY AVE. POINT IS THROUGH A 5-INCH LOGO CAP. THE MARK IS 0.3 METERS S FROM A WITNESS POST. THE MARK IS 0.3 M BELOW THE HIGHWAY.
ELEVATION: 4957.52

BENCHMARK 8-02, ON THE SOUTHEAST CORNER OF THE INTERSECTION OF LEMAY AVENUE AND MULBERRY STREET, IN THE CURB, ON THE SOUTHEAST SIDE OF A TRIANGULAR ISLAND THAT CONTAINS THE TRAFFIC SIGNAL.
ELEVATION: 4939.27

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.

IF NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 DATUM - 3.18'

PROJECT CONTACTS

OWNER/DEVELOPER - TALIESEN, LLC
429 S. HOWES STREET, FORT COLLINS, CO 80521
970-472-8100
dwight@highcraft.net

ARCHITECTURAL ASSOCIATE - MIKE HUTSELL, HIGHCRAFT BUILDERS
429 S. HOWES STREET, FORT COLLINS, CO 80521
970-472-8100 (OFFICE) 970-632-0029 (CELL)
mike@highcraft.net

SURVEYOR - STEVE PARKS, MAJESTIC SURVEYING, LLC
1111 DIAMOND VALLEY DRIVE, SUITE 104, WINDSOR, CO 80550
970-833-5698
stevenp@majesticsurveying.com

ENGINEER - JASON BAKER, ADVANCED ENGINEERING
229 12TH STREET SW LOVELAND, CO 80537
970-278-1909 (OFFICE) 970-690-4616 (CELL)
jason@advancedengineeringllc.com

STORM DRAINAGE NOTES

1. THE CITY OF FORT COLLINS SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ONSITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).

2. ALL RECOMMENDATIONS OF THE FINAL DRAINAGE AND EROSION CONTROL STUDY (NAME OF THE STUDY AND DATE) BY (ENGINEERING FIRM) SHALL BE FOLLOWED AND IMPLEMENTED.

3. PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BE SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR SINGLE FAMILY UNITS. FOR COMMERCIAL PROPERTIES, CERTIFICATION SHALL BY SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT.

WATERLINE NOTE

1. THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.

ENGINEER AFFIRMATION STATEMENT

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE CITY OF FORT COLLINS AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DESIGN, REVISIONS, AND RECORD CONDITIONS THAT I HAVE NOTED ON THESE PLANS.

NOTE

ENGINEER AFFIRMATION APPLIES ONLY TO GRADING
AND DRAINAGE PLAN ON SHEET U2.0

JASON E. BAKER, P.E.

DATE _____

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED BY:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

THESE PLANS HAVE NOT BEEN REVIEWED BY THE CITY OF FORT COLLINS FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE CITY OF FORT COLLINS ENGINEER, OR THE CITY OF FORT COLLINS FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED IN ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE CITY OF FORT COLLINS FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

UTILITY PLAN SHEET LIST

U1.0 COVERSHEET
U2.0 DRAINAGE PLAN
U3.0 UTILITY PLAN

HIGHCRAFT
BUILDERS
429 S. HOWES STREET
FORT COLLINS, CO 80521
970.472.8100

614 LESSER DRIVE CARRIAGE HOUSE

LEGAL DESCRIPTION: LOT 16, LESSER'S SUBDIVISION, CITY OF FORT COLLINS, BEING A PORTION OF THE NORTHEAST QUARTER (NE1/4) OF SECTION THIRTEEN (13), TOWNSHIP SEVEN NORTH (T.7N.), RANGE SIXTY NINE WEST (R.69W.) OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.).

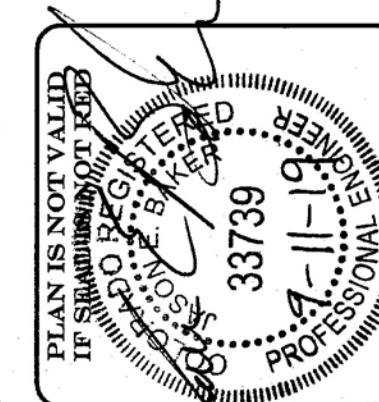
**PDP/FDP DRAFT
SUBMITTAL ROUND 3**

ENGINEER: JASON E. BAKER, P.E.
 INITIAL PREPARATION: 05/16/2019
 CURRENT PREPARATION: 09/11/2019

J1.0

OVERSHEET

APPROVED BY: _____	City Engineer	Date _____
CHECKED BY: _____	Water & Wastewater Utility	Date _____
CHECKED BY: _____	Stormwater Utility	Date _____
CHECKED BY: _____	Parks & Recreation	Date _____
CHECKED BY: _____	Traffic Engineer	Date _____
CHECKED BY: _____	Environmental Planner	Date _____



**ADVANCED
ENGINEERING, LLC**
STRUCTURAL DRAINAGE DRAFTING
2329 1 2TH STREET SW, LOVELAND, COLORADO 80537
TELEPHONE 970-278-1099

HIGHCRAFT BUILDERS
614 LESSER DRIVE, FORT COLLINS, COLORADO

SAS 8/2/19 REVISE PER STORMWATER
CPH 9/6/19 REVISE PER STORMWATER
CPH 9/11/19 ADDED HP @ DRIVE

PROJECT NUMBER:
1011-246-01D

DATE:
6/24/19

SCALE:
1" = 10'

CPH

JEB

SHEET NUMBER

OF

HIGHCRAFT
BUILDERS
429 S. HOWES STREET
FORT COLLINS, CO 80521
970.477.8100

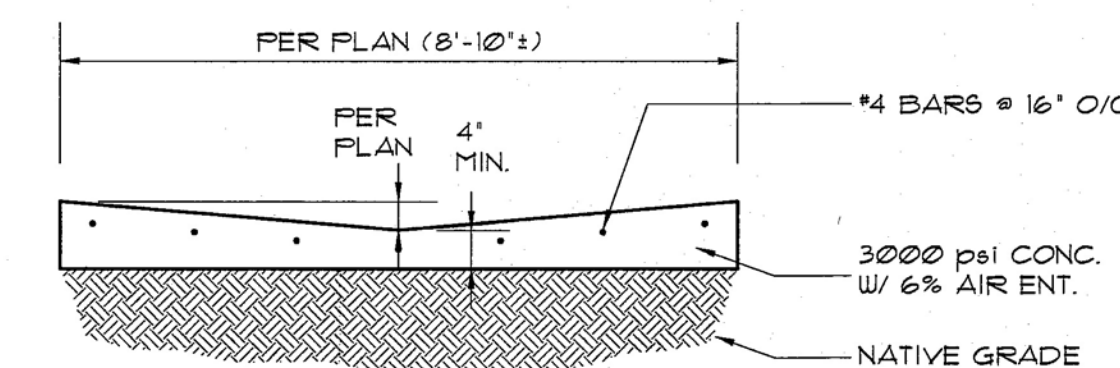
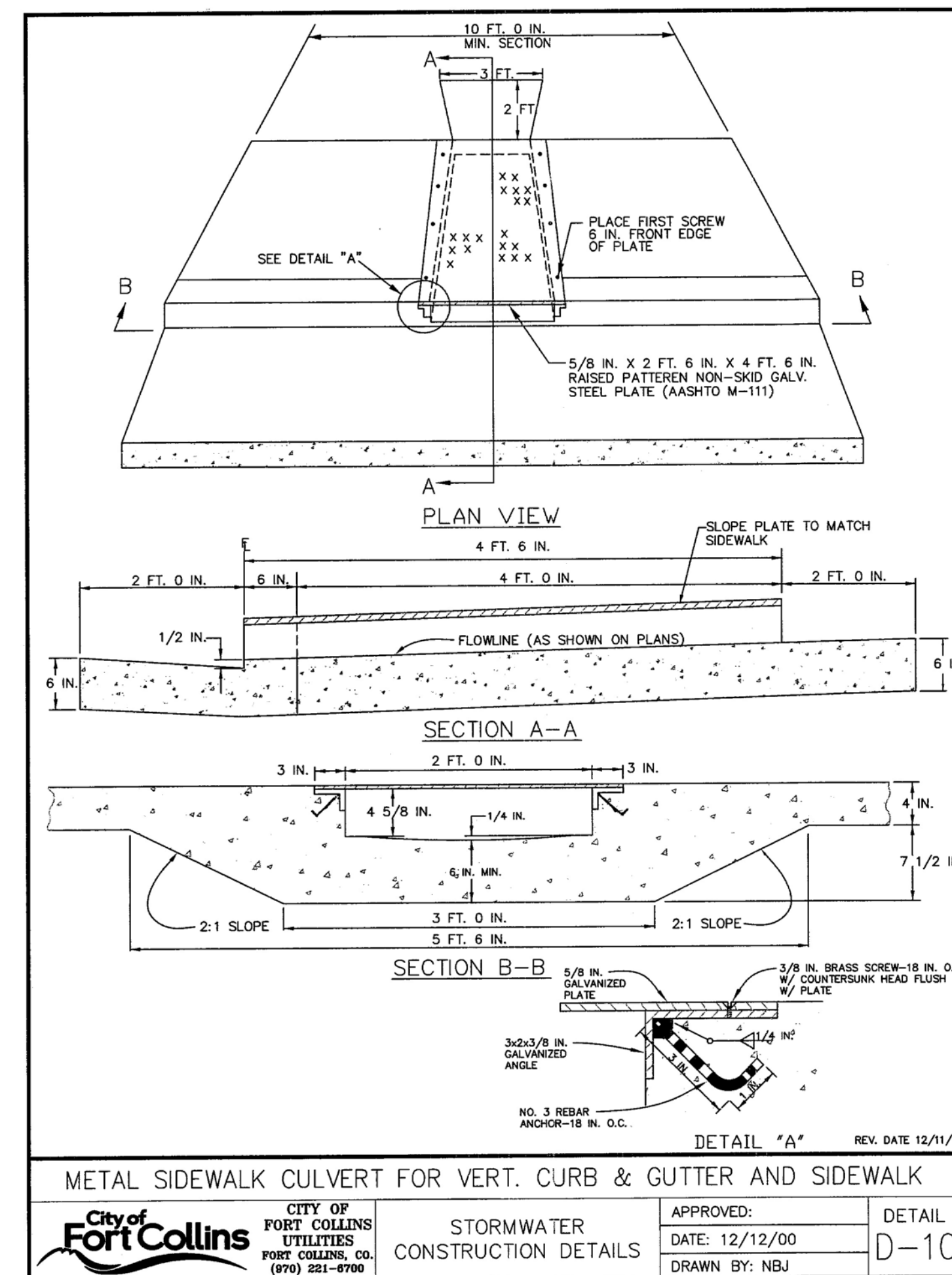
614 LESSER DRIVE CARRIAGE HOUSE

**PDP/FDP DRAFT
SUBMITTAL ROUND 3**

ENGINEER: JASON E. BAKER, P.E.
INITIAL PREPARATION: 05/16/2019
CURRENT PREPARATION: 09/11/2019

U2.0

DRAINAGE PLAN

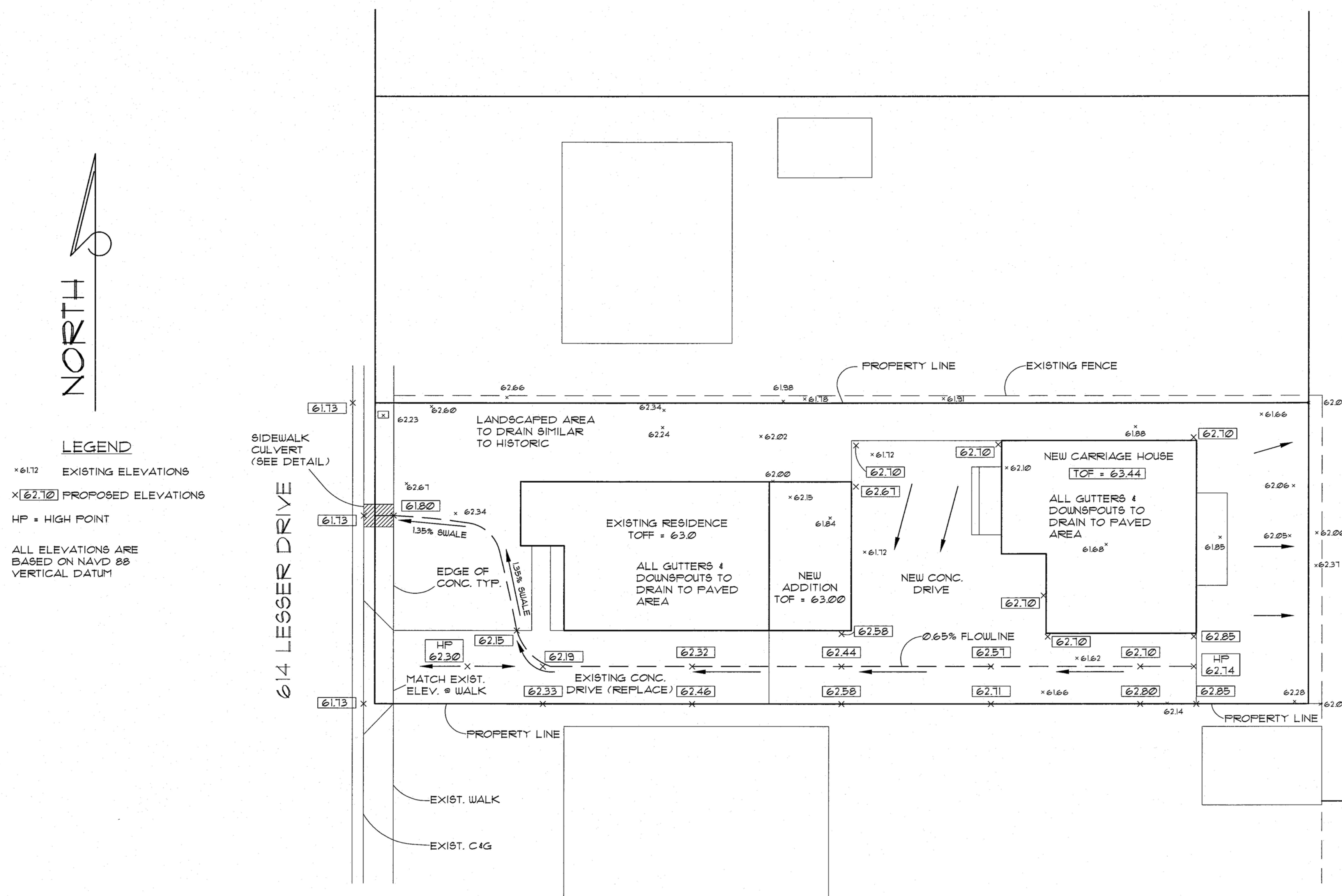


TYPICAL DRIVEWAY PAN SECTION

NOTE: CONTRACTOR IS
TO PROVIDE STANDARD
EROSION CONTROL
MEASURES AS REQUIRED

NOTE: PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING PAN / SWALE AND CHASE / CULVERT, EVEN IN THE EVENT THAT THE FRONTAGE IS BROUGHT UP TO CITY STANDARDS

PROPOSED GRADING & DRAINAGE PLAN



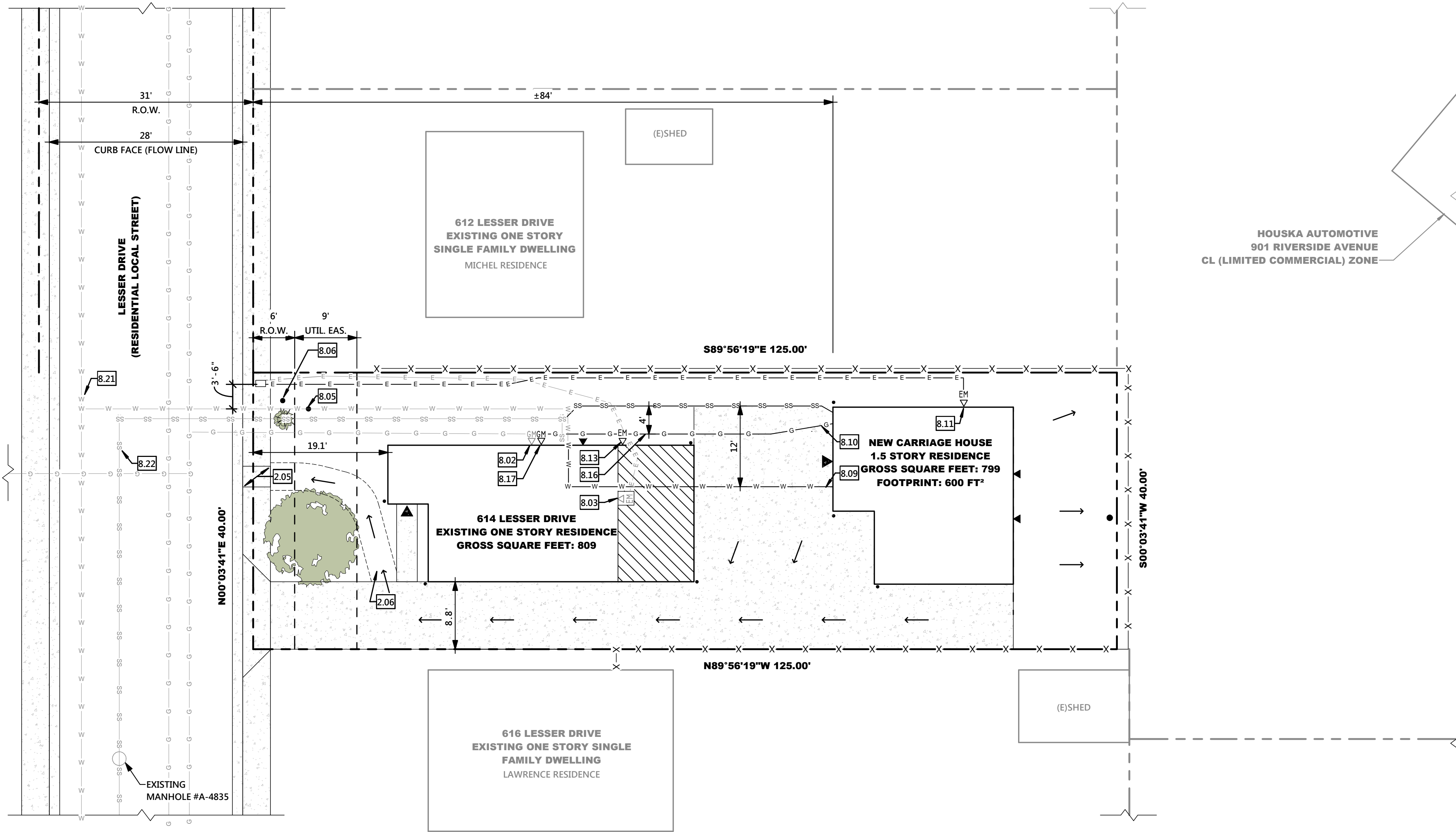
NORTH

LEGEND

x 61.72 EXISTING ELEVATIONS
 x 62.70 PROPOSED ELEVATIONS
 HP = HIGH POINT
 ALL ELEVATIONS ARE
 BASED ON NAVD 88
 VERTICAL DATUM

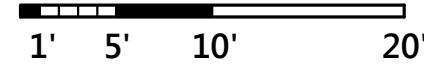
MAINTENANCE NOTE:

SIDEWALK CULVERT AND SWALE ARE IMPROVEMENTS TO BE MAINTAINED BY THE OWNER, AND MUST CONTINUE TO BE MAINTAINED BY THE OWNER IF LOT FRONTAGE IS IMPROVED TO ULTIMATE CONDITIONS.



UTILITY PLAN

1" = 10'-0"



KEYNOTES

- 2.05 SIDEWALK CULVERT. SEE DETAIL ON U2.0.
- 2.06 SWALE INDICATED HERE IS FOR STORMWATER QUALITY TREATMENT. SEE DRAINAGE PLAN ON U2.0
- 8.02 EXISTING GAS METER TO REMAIN
- 8.03 ABANDON EXISTING ELECTRIC METER
- 8.05 EXISTING WATER METER
- 8.06 EXISTING LIGHT POLE
- 8.09 EXTEND WATER SERVICE TO CARRIAGE HOUSE
- 8.10 EXTEND GAS SERVICE TO CARRIAGE HOUSE
- 8.11 EXTEND ELECTRIC SERVICE TO CARRIAGE HOUSE
- 8.13 NEW ELECTRIC METER LOCATION
- 8.16 METAL GAS PIPE REQUIRED FROM NEW GAS METER TO END OF NEW ADDITION
- 8.17 NEW GAS METER FOR CARRIAGE HOUSE
- 8.21 EXISTING 6 INCH WATER MAIN WITH AN EXISTING 3/4 INCH WATER SERVICE TO THE SITE
- 8.22 EXISTING 8 INCH SANITARY SEWER MAIN

UTILITY PLAN LEGEND

- PROPERTY LINE
- SETBACK/EASEMENT (N) ADDITION
- LANDSCAPED AREA
- MAIN BUILDING ENTRANCE
- SECONDARY ENTRANCE
- DOWNSPOUT
- INDICATES SLOPE/DIRECTION OF FLOW
- EXISTING UNDERGROUND ELECTRIC
- EXISTING WATER
- EXISTING GAS
- EXISTING SANITARY SEWER
- NEW SANITARY SEWER
- NEW UNDERGROUND ELECTRIC
- NEW WATER
- NEW GAS

FOR SURVEY INFORMATION, PLEASE REFER TO IMPROVEMENT SURVEY PLAT DATED 06-12-2019, BY MAJESTIC SURVEYING.

PLAN DESIGN CONTACT

ARCHITECTURAL ASSOCIATE - MIKE HUTSELL, HIGHCRAFT BUILDERS
429 S. HOWES STREET, FORT COLLINS, CO 80521
970-472-8100 (OFFICE) 970-632-0029 (CELL)
mike@highcraft.net

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

614 LESSER DRIVE CARRIAGE HOUSE

614 LESSER DRIVE, FORT COLLINS, 80524

PDP/FDP DRAFT
SUBMITTAL ROUND 3

ENGINEER: JASON E. BAKER, P.E.
INITIAL PREPARATION: 05/16/2019
CURRENT PREPARATION: 09/11/2019

U3.0

UTILITY PLAN



September 6, 2019

TO: City of Fort Collins Stormwater Staff

RE: Site Drainage at 614 Lesser Drive, Fort Collins, Colorado
Advanced Engineering, LLC Project Number 1011-246-01D.1

Dear City of Fort Collins Stormwater Staff:

We have consulted with HighCraft Builders regarding an addition and carriage house project that is proposed at the above referenced site. The existing home is to have an addition at the east side, over a crawlspace. Several existing sheds in the back yard (east side of lot) are to be removed. A detached carriage house with a garage will be constructed near the east end of the lot, the living space will be over a crawl space. Our office has visited the site and reviewed the existing and proposed drainage conditions. This review has included visual site observations, review of an elevation survey HighCraft provided (based on NAVD 88), area calculations based on the proposed site plan and the survey, and runoff calculations based on the Rational Method to verify flow in the proposed drainage pan (driveway) and the swale in the front yard. The purpose for this review was to evaluate the impact of the proposed project on existing drainage conditions and to provide a Proposed Grading & Drainage Plan, Project Number 1011-246-01D.

Existing drainage conditions at the site are very poor, similar to many homes in this area of town. The lot is generally very near flat, any areas with a slight slope are irregular, there are no defined drainage patterns. The site experiences ponding in many locations during precipitation events, and runoff flows onto neighboring properties in various locations. The neighboring properties to the north and south have generally similar drainage conditions. The neighboring property to the east is a large commercial lot with pavement. It does not appear that any substantial flows cross over the property lines, again there are no defined drainage patterns and the entire area would experience ponding. Currently almost none of the runoff flows to Lesser Drive.

Based on our review of the existing and proposed conditions, we found the following:

1. Existing impervious area (buildings + pavement) 1495 sf, 30.0 % of the site.
2. New impervious area (buildings + pavement) 2346 sf, 47.0 % of the site.
3. Final impervious area (existing - sheds + new) 3585 sf, 71.7 % of the site.

Our drainage plan indicates that the majority of the runoff from the buildings and paved areas will be conveyed to the Lesser Drive. This is accomplished via downspouts from the roof gutters at the buildings, surface drainage at the paved areas, a swale in the front yard, and a sidewalk culvert to the street. Small landscaped areas at the east end of the lot, as well as the north edge, will continue to have poor drainage and follow historic flow lines (ponding, with flow back and forth over property lines as occurs currently). There is no way to feasibly mitigate all of the drainage from these areas. However, by draining the areas of the buildings and pavement to the street as described above (and

September 6, 2019

TO: City of Fort Collins Stormwater Staff

RE: Site Drainage at 614 Lesser Drive, Fort Collins, Colorado

Advanced Engineering, LLC Project Number 1011-246-01D.1

Page 2 of 2

shown on the plan), ponding and flow across property lines to the neighbors will be substantially reduced from existing conditions. We have conservatively calculated that the proposed improvements will result in runoff from over 70 % of the entire lot area being conveyed to Lesser Drive. Furthermore, over 86 % of the final impervious area will drain to the street, and possibly close to 100 % depending on the as-built gutter configuration. Drainage calculations verifying the capacity of the drainage pan (driveway) and the swale in the front yard are attached.

Given these proposed conditions and improvements, it is our opinion the existing drainage areas that are unimproved will not be negatively impacted and will continue to function as they have historically or better, with likely reduced impact on the adjacent properties. Standard erosion control measures should be followed during construction as required, to limit erosion and impact of construction procedures on adjacent properties. New landscaping should be installed in the unpaved areas to provide continuous erosion control.

The recommendations and conclusions presented in this letter are based on a review of portions of the described site/structures, your plans and your directions. Our review was limited to the items described in this letter, and is not intended to cover structural, mechanical, electrical, environmental, mold, or architectural features of the site/buildings. Discrepancies or deficiencies revealed during construction should be brought to the attention of the engineer. Thank you for the opportunity to serve you. If you have any questions, please feel free to call.

I hereby attest that this letter for the final drainage design for the above referenced project at 614 Lesser Drive was prepared by me or under my direct supervision, in accordance with the provisions of the Fort Collins Stormwater Criteria Manual. I understand that the City of Fort Collins does not and will not assume liability for drainage facilities designed by others.

Sincerely,

Advanced Engineering, LLC


Jason E. Baker, P.E.
President



Site: 614 Lesser Drive, Ft. Collins, CO

Basin Areas

$$B1 = 0.073 \text{ AC}$$

$$B2 = 0.008 \text{ AC}$$

$$B3 = 0.034 \text{ AC}$$

Basin B1 Developed Runoff

$$C = 0.95 \quad T_c = 5 \text{ min} \rightarrow I_{100} = 10.0 \text{ in/hr.}$$

$$Q_1 = CIA = (0.95)(10.0)(0.073) = 0.694 \text{ cfs}$$

$$33\% \text{ S.F.} \rightarrow (0.649)(1.33) = \underline{0.92} \text{ cfs}$$

Basin B2 Developed Runoff

$$C = 0.20 \quad T_c = 5 \text{ min} \rightarrow I_{100} = 10.0 \text{ in/hr.}$$

$$Q_2 = CIA = (0.20)(10.0)(0.008) = 0.016 \text{ cfs}$$

$$33\% \text{ S.F.} \rightarrow (0.016)(1.33) = 0.021 \text{ cfs}$$

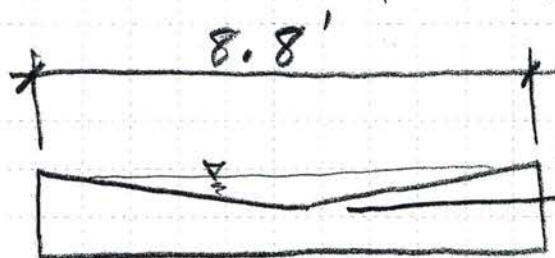
Basins B1 + B2 Developed Runoff (at 133%)

$$Q_{1+2} = 0.92 + 0.021 = \underline{0.941} \text{ cfs}$$

↓
S.F.

Total Runoff at Curb with S.F.

Concrete Driveway Pan



$$n_{\text{conc}} = 0.01$$

$$0.14' = 1.68''$$

$$\begin{aligned} \text{Slope FE} &= S \\ &= 0.65\% \\ &= 0.0065 \text{ ft/ft.} \end{aligned}$$

$$A = \frac{(0.14)(8.8)}{2} = 0.616'$$

$$P = 8.8'$$

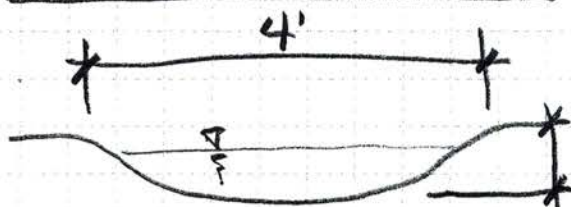
$$R_h = \frac{0.616}{8.8} = 0.07$$

$$Q = \left(\frac{1.486}{n} \right) A R_h^{\frac{2}{3}} S^{\frac{1}{2}} = \left(\frac{1.486}{0.01} \right) (0.616) (0.07)^{\frac{2}{3}} (0.0065)^{\frac{1}{2}}$$

$$Q = 1.25 \text{ cfs}$$

$$1.25 > 0.92 \checkmark$$

Grass Swale



$$n_{\text{grass}} = 0.025$$

$$3'' = 0.25'$$

$$\begin{aligned} \text{Slope FE} &= S \\ &= 1.35\% \\ &= 0.0135 \text{ ft/ft.} \end{aligned}$$

$$A = \frac{2}{3} (0.25) (4') = 0.67'$$

$$P = 4.04'$$

$$R_h = \frac{0.67}{4.04} = 0.166$$

$$Q = \left(\frac{1.486}{0.025} \right) (0.67) (0.166)^{\frac{2}{3}} (0.0135)^{\frac{1}{2}}$$

$$Q = 1.39 \text{ cfs}$$

$$1.39 > 0.941 \checkmark$$

DEED OF DEDICATION FOR RIGHT-OF-WAY

KNOW ALL MEN BY THESE PRESENTS: That the undersigned Taliesen LLC, being the owner of certain real property in Larimer County, Colorado legally described at Reception No. 20190009987 in the Larimer County Records, in consideration of Ten Dollars (\$10.00) in hand paid, receipt of which is hereby acknowledged, and other good and valuable consideration, does hereby dedicate, transfer, and convey to the City of Fort Collins, Colorado, a Municipal Corporation, whose mailing address for purposes of this Deed is P.O. Box 580, Fort Collins, CO 80522, for public use forever a permanent right-of-way for public street purposes in the City of Fort Collins, County of Larimer, State of Colorado, more particularly described on Exhibit "A" attached hereto and by this reference made a part hereof.

It is understood by the undersigned that, by acceptance of this dedication, the City of Fort Collins does not accept the duty of maintenance of such right-of-way until permanent improvements have been made and the City has accepted such improvements. Unless otherwise specifically agreed by the City, the City does not assume the duty of maintenance of sidewalks, curbs and gutters, or parkways.

Witness our hands and seals this ____ day of _____, 2019.

Grantor:

By: Taliesen, LLC

Title: Owner

Name and Address:

Taliesen, LLC

429 South Howes Street

Fort Collins, CO 80524

ATTEST:

By: _____

Title: _____

State of Colorado
County of Larimer

The foregoing instrument was acknowledged before me this ____ day of _____, 201__, by _____ as _____, and _____ as _____.

Witness my hand and official seal.

My commission expires: _____

Notary Public

ATTORNEY'S CERTIFICATION

I hereby certify that the foregoing Deed has been duly executed as required pursuant to Section 2.2.3 (C)(3)(a) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Deed on behalf of a corporation or other entity are duly authorized signatories under the laws of the State of Colorado. This Certification is based upon an examination of the records of the Clerk and Recorder of Larimer County, Colorado as of the date of execution of the deed and other information discovered by me through reasonable inquiry and is limited as authorized by Section 2.2.3(C)(3)(f) of the Land Use Code.

Attorney
Address _____

Registration No. _____
Date: _____

This Deed of Dedication is accepted by the Director of Planning, Development, and Transportation Service Unit pursuant to Section 2.1.5 of the Land Use Code of the City of Fort Collins this _____ day of _____, 201__.

Chad Crager
As delegee for the Director of Planning, Development,
and Transportation Service Unit

ATTEST:

City Clerk

EXHIBIT A

PARCEL DESCRIPTION
ROW

A parcel of land, being part of Lot 16, Lesser's Subdivision as recorded May 8, 1947 as Reception No. 580666 of the Records of the Larimer County Clerk and Recorder, located in the Northeast Quarter (NE1/4) of Section Thirteen (13), Township Seven North (T.7N.), Range Sixty-Nine West (R.69W.) of the Sixth Principal Meridian (6th P.M.), City of Fort Collins, County of Larimer, State of Colorado and being more particularly described as follows:

The West 6.00 feet of said Lot 16.

Said described parcel of land contains 240 Square Feet or, more or less (\pm).

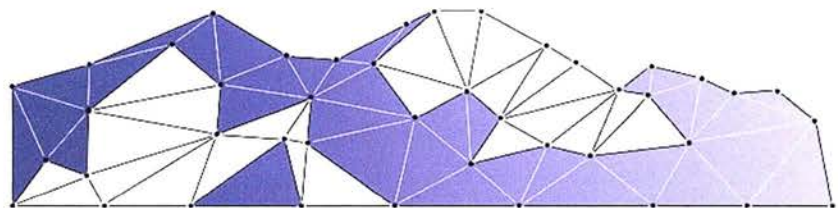
SURVEYORS STATEMENT

I, Steven Parks, a Colorado Licensed Professional Land Surveyor do hereby state that this Parcel Description was prepared under my personal supervision and checking, and that it is true and correct to the best of my knowledge and belief.



Steven Parks - on behalf of Majestic Surveying, LLC
Colorado Licensed Professional Land Surveyor #38348





MAJESTIC SURVEYING



DEED OF DEDICATION OF EASEMENT

KNOW ALL MEN BY THESE PRESENTS: That the undersigned Taliesen LLC (“Grantor”), being the owner of certain real property in Larimer County, Colorado legally described as Reception No. 20190009987 in the Larimer County Records, in consideration of Ten Dollars (\$10.00) in hand paid, receipt of which is hereby acknowledged, and other good and valuable consideration, does hereby dedicate, transfer, and convey to the City of Fort Collins, Colorado, a Municipal Corporation (“City”), whose mailing address for purposes of this deed is P.O. Box 580, Fort Collins, CO 80522, for public use forever a permanent easement for Utilities in the City of Fort Collins, County of Larimer, State of Colorado, more particularly described on Exhibit “A” attached hereto and by this reference made a part hereof (the “Easement”).

The City’s rights under the Easement include the right to install, operate, access, maintain, repair, reconstruct, remove and replace within the Easement public improvements consistent with the intended purpose of the Easement; the right to install, maintain and use gates in any fences that cross the Easement; the right to mark the location of the Easement with suitable markers; and the right to permit other public utilities to exercise these same rights. Grantor reserves the right to use the Easement for purposes that do not interfere with the full enjoyment of the rights hereby granted.

The City is responsible for maintenance of its own improvements and for repairing any damage caused by its activities in the Easement, but by acceptance of this dedication, the City does not accept the duty of maintenance of the Easement, or of improvements in the Easement that are not owned by the City. Grantor will maintain the surface of the Easement in a sanitary condition in compliance with any applicable weed, nuisance or other legal requirements.

Except as expressly permitted in an approved plan of development or other written agreement with the City, Grantor will not install on the Easement, or permit the installation on the Easement, of any building, structure, improvement, fence, retaining wall, sidewalk, tree or other landscaping (other than usual and customary grasses and other ground cover). In the event such obstacles are installed in the Easement, the City has the right to require the Grantor to remove such obstacles from the Easement. If Grantor does not remove such obstacles, the City may remove such obstacles without any liability or obligation for repair and replacement thereof, and charge the Grantor the City’s costs for such removal. If the City chooses not to remove the obstacles, the City will not be liable for any damage to the obstacles or any other property to which they are attached.

The rights granted to the City by this Deed inure to the benefit of the City’s agents, licensees, permittees and assigns.

[SIGNATURES ON FOLLOWING PAGE]

Witness our hands and seals this ____ day of _____, 201__.

Grantor:

By: Teliesen LLC

Title: Owner

Name and Address:

Taliesen LLC

429 South Howes Street

Fort Collins, CO 80521

ATTEST:

By: _____

Title: _____

State of Colorado,
County of Larimer.

The foregoing instrument was acknowledged before me this ____ day of _____, 201__, by
_____ as _____, and _____ as _____.

Witness my hand and official seal.

My commission expires: _____

Notary Public

This Deed of Dedication is accepted by the Director of Planning, Development, and Transportation Service Unit pursuant to Section 2.1.5 of the Land Use Code of the City of Fort Collins this _____ day of _____, 201__.

Chad Crager

As delegee for the Director of Planning, Development,
and Transportation Service Unit

ATTEST:

City Clerk

ATTORNEY'S CERTIFICATION

I hereby certify that the forgoing Deed has been duly executed as required pursuant to Section 2.2.3 (C)(3)(a) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Deed on behalf of a corporation or other entity are duly authorized signatories under the laws of the State of Colorado. This Certification is based upon an examination of the records of the Clerk and Recorder of Larimer County, Colorado as of the date of execution of the deed and other information discovered by me through reasonable inquiry and is limited as authorized by Section 2.2.3(C)(3)(f) of the Land Use Code.

Attorney
Address _____

Registration No. _____
Date: _____

EXHIBIT A

PARCEL DESCRIPTION
UTILITY EASEMENT

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The East 9.00 feet of the West 15.00 feet of said Lot 16.

Said described parcel of land contains 360 Square Feet or, more or less (\pm).

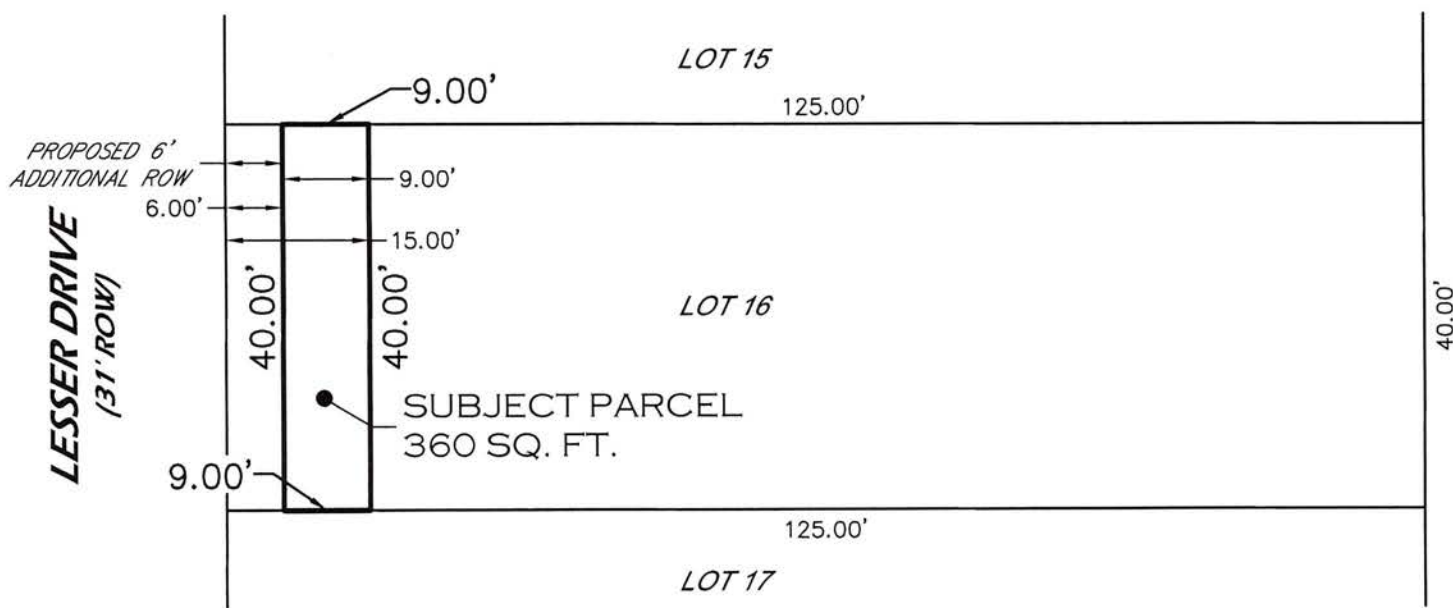
SURVEYORS STATEMENT

I, Steven Parks, a Colorado Licensed Professional Land Surveyor do hereby state that this Parcel Description was prepared under my personal supervision and checking, and that it is true and correct to the best of my knowledge and belief.



Steven Parks - on behalf of Majestic Surveying, LLC
Colorado Licensed Professional Land Surveyor #38348





Note: This drawing does not represent a monumented land survey. Its sole purpose is a graphic representation of the accompanying written description.

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (CRS 13-80-105)

