

Conceptual Review Agenda

Meetings hosted via Zoom Web Conferencing

Please use the URL and Meeting ID # listed below to join the Review Meeting

Review Date

2/1/2024 9:15 AM

Project Name

Single Family & Duplex Phased Development Emerson Acres
CDR240005

Applicant

Jim and Janine Kelly
(970) 481-5565
jkelly9@gmail.com

Planner: Arlo Schumann

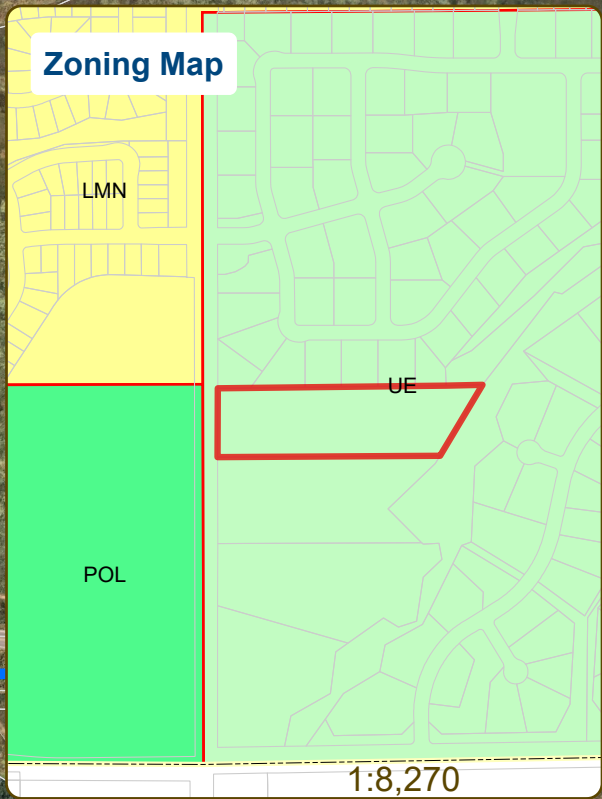
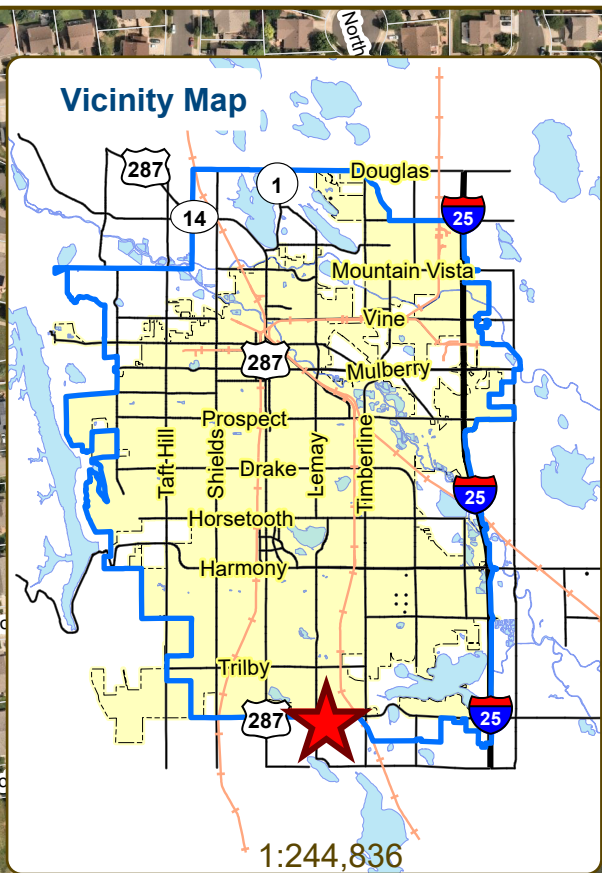
Engineer: John Gerwel

DRC: Todd Sullivan

Description

This is a multi-phase project to subdivide and develop a duplex and single family dwelling at 7312 S Lemay Ave (Parcel # 8618305001). The applicant proposes to replat the 5.03 acre lot into 5 lots and develop a duplex and single family dwelling. Access is taken directly from S Lemay Ave to the West. The site is directly East from S Lemay Ave and 0.75 mi South of E Trilby Rd. The property is within the Urban Estate District (U-E) zone district and is subject to a Type 2 (Planning & Zoning Commission) Review.

Single Family & Duplex Phased Development at Emerson Acres - 2-Family & Single Family Dwelling



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media. The applicant acknowledges that they are acting with the owner's consent.

Conceptual Reviews are scheduled on three Thursday mornings per month on a "first come, first served" basis and are a free service. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Thursday morning. A completed application must be submitted to reserve a Conceptual Review time slot. Complete applications and sketch plans must be submitted to City Staff on Thursday, no later than end of day, two weeks prior to the meeting date. Application materials must be e-mailed to preappmeeting@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Are you a small business? Yes No Business Name (if applicable) _____

Your Mailing Address _____

Phone Number _____ Email Address _____

Site Address or Description (parcel # if no address) _____

Description of Proposal (attach additional sheets if necessary) _____

Proposed Use _____ Existing Use _____

Total Building Square Footage _____ S.F. Number of Stories _____ Lot Dimensions _____

Age of any Existing Structures _____

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

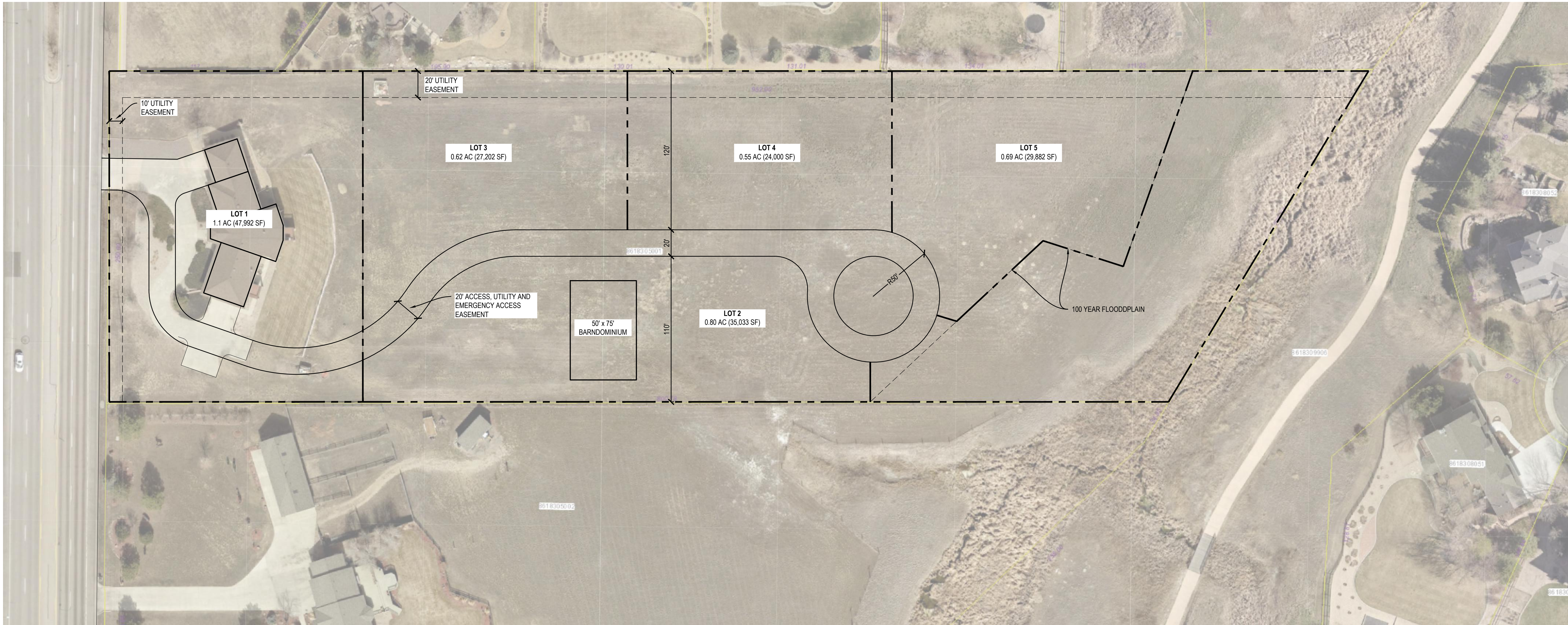
Is your property in a Flood Plain? Yes No If yes, then at what risk is it? _____

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area _____ S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

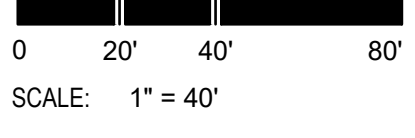
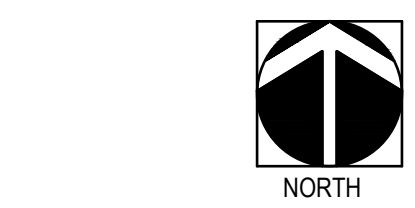
Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



PROJECT
EMERSON ACRES
SECOND SUBDIVISION

CLIENT

REVISIONS



DRAWING NAME:
SITE PLAN

PROJECT NUMBER:
SHEET DATE: 1.8.24
SHEET NUMBER:

L1



Conceptual Review Application

Emerson Acres, Lot One, First Replat
7312 S. Lemay Avenue, Fort Collins, CO 80525
5.03 Acres
Zone District: Urban Estate

Applicants:

Jim and Janine Kelley
Dave Jones

Request:

1. Convert the existing 4,965 sq. ft. home into an over-under duplex.
2. Construct a new building that combines a dwelling unit with a 3,750 sq. ft. personal storage building on a separate lot of approximately .80-acre. ("Barneminium")
3. Phase One - Replat the 5.03 acre lot as follows:
 - 1.1-acre lot for the existing house/proposed duplex. (Lot One).
 - .80-acre lot for a proposed dwelling unit to be combined with a 3,750 sq. ft. personal storage building. (Lot Two).
 - 3.13-acre open space Tract including 100-year floodplain along Stanton Creek.
 - Dedicate an Access Easement, Emergency Access Easement and Utility Easement.
4. Phase Two – Replat
 - Create three additional lots ranging in size between .55 and .69 acre.
 - Dedicate 1.27-acre open space Tract for the 100-year floodplain along Stanton Creek.

Existing House - Proposed Over-Under Duplex:

The existing house contains two levels which makes for an ideal duplex configuration. The upper level is approximately 2,849 sq. ft. with an attached, oversized, two-car garage on the north side of the house on the upper grade. The lower level is a full walk-out and contains approximately 2,116 sq. ft. It has two exterior entrances separate from the main level, and its own two-car attached garage on the south side of the house at the same lower-level grade. There would be no new construction or additions associated with this conversion.

Duplexes are permitted in the Urban Estate zone district. The applicants are aware that creating a new dwelling unit on the lower level will include paying the requisite building permit fees.

Proposed New Building:

The Proposed new building would combine a dwelling unit (approximately 1,000 – 1,500 square feet) with a personal storage building containing 3,750 sq. ft. This building would share the existing driveway cut on S. Lemay Avenue and be served by the necessary access, emergency access and utility easements. Access to this new lot would be via the southerly driveway. This building would have a barn-like architecture and would contribute to the Urban Estate character of Emerson Acres.

Planning and Zoning Commission Review:

The request for a conversion to a duplex, a new dwelling unit and a personal storage building that exceeds 2,500 square feet requires review by the Planning and Zoning Commission.

Replat of Lot One, Emerson Acres Subdivision:

As noted, a Replat would be included in the request. Phase One would create Lots One and Two. Phase Two would create three additional lots as a long-term scenario. In both scenarios, the 100-year floodplain for Stanton Creek would be preserved within a separate Tract.

Neighborhood Compatibility:

The proposed dwelling unit/personal storage building would be attractively designed to blend in with the Urban Estate character and located closer to the southern property line which adjoins the open area associated with a five-acre lot versus the north property line which adjoins four one-half acre lots. Please see the attached image. We are aware that a neighborhood information meeting will be required.

Urban Estate Zone – Density and Minimum Required Lot Size:

The U-E zone allows for a maximum allowable density of 2.00 dwelling units per gross acre. Our request for three units on 5.03 acres equals 0.6 dwelling units per acres thus staying below the maximum. As noted, the Replat will result in two new lots both of which exceed the required minimum size of .5 acre.

Long Term – Phase Two:

As with any real estate investment, our family is interested in the long-term potential of this property. Urban Estate zoning allows a maximum density of 2.00 dwelling units per acre resulting in a maximum of 10 dwellings. This is not what we envision.

Rather we have prepared a concept of creating only three additional lots that would face south and be served by a private drive with utilities and meeting emergency access requirements. The 100-year floodplain would be preserved and perhaps combined with additional open space. A spur could connect to the Power Trail across City-owned land, subject to the City's approval. This would result in a total of six dwellings and a density of 1.2 d.u./a. which is less than the maximum allowable density of 2.0 d.u./a.

We are aware that water is provided by the Fort Collins Loveland Water District and we have had a preliminary conversation with Sam Lowe, district engineer. And we know that sewer is provided by the South Fort Collins Sanitation District.

We would be interested in hearing from the Conceptual Review Team regarding this long-term scenario in addition to our immediate plans. And by long term, we mean 10 to 20 years out or leaving the future development as a legacy to the next generation.

Thank you for your consideration and we look forward to our Conceptual Review discussion.