

Conceptual Review Agenda

Meetings hosted via Zoom Web Conferencing

Please use the URL and Meeting ID # listed below to join the Review Meeting

Review Date

1/18/2024 9:15 AM

Project Name

Offices at 232 E Vine

CDR240004

Applicant

Olexa Tkachenko, Consultant

970-443-5289

Planner: Clark Mapes

Engineer: Tim Dinger

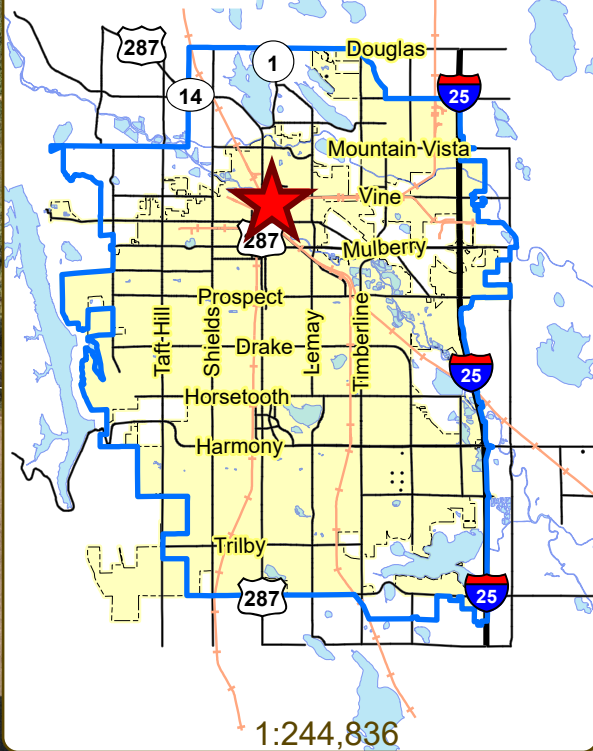
DRC: Brandy Bethurem Harras

Description

This is a request to develop offices at 232 E Vine Dr (parcel# 9701300002). The applicant proposed site improvements to include paved parking, demolition of existing structure, renovation of existing landmark structure, and proposed (2) story structure for commercial office use. Access is taken from Jerome St from the west. The site is directly north of E Vine and approximately 0.17 mi east of N College Ave. The property is within the Downtown - Innovation/ River District (DIR) zone district and is subject to an Administrative (Type 1) Review.

Offices at 232 E Vine- Offices

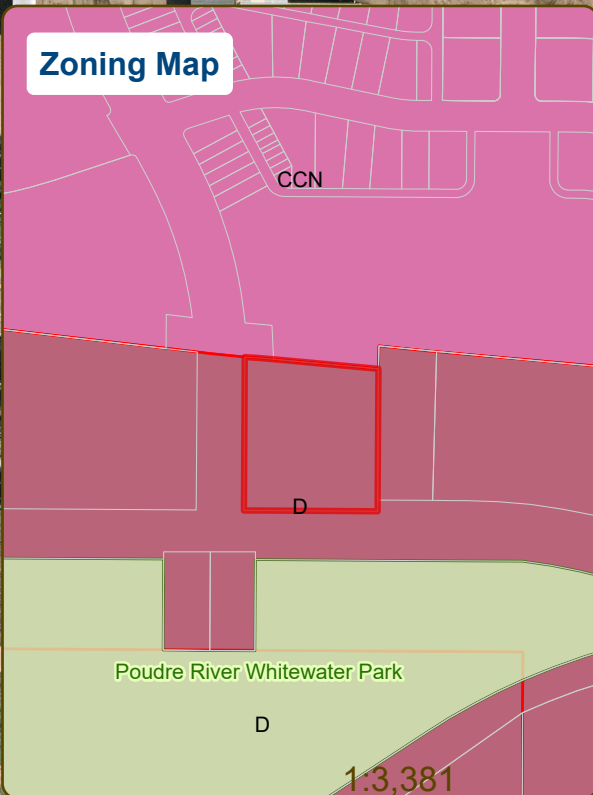
Vicinity Map



Aerial Site Map



Zoning Map



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Mondays per month. One half-hour meeting is allocated per applicant. Please call the Community Development and Neighborhood Services Office at 221-6750 to schedule a Conceptual Review meeting. Conceptual Review is a free service. Applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials can be dropped off in person to 281 N College Ave., emailed to emcardle@fcgov.com or faxed to (970)224-6134.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Business Name (if applicable) _____

Phone Number _____ Fax Number _____

Mailing Address _____ Email Address _____

Site Address or Description (parcel # if no address) _____

Description of Proposal (attach additional sheets if necessary) _____

Proposed Use _____ Existing Use _____

Total Building Square Footage _____ S.F. Number of Stories _____ Lot Dimensions _____

Age of any Existing Structures _____

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required.

Increase in Impervious Area _____ S.F.

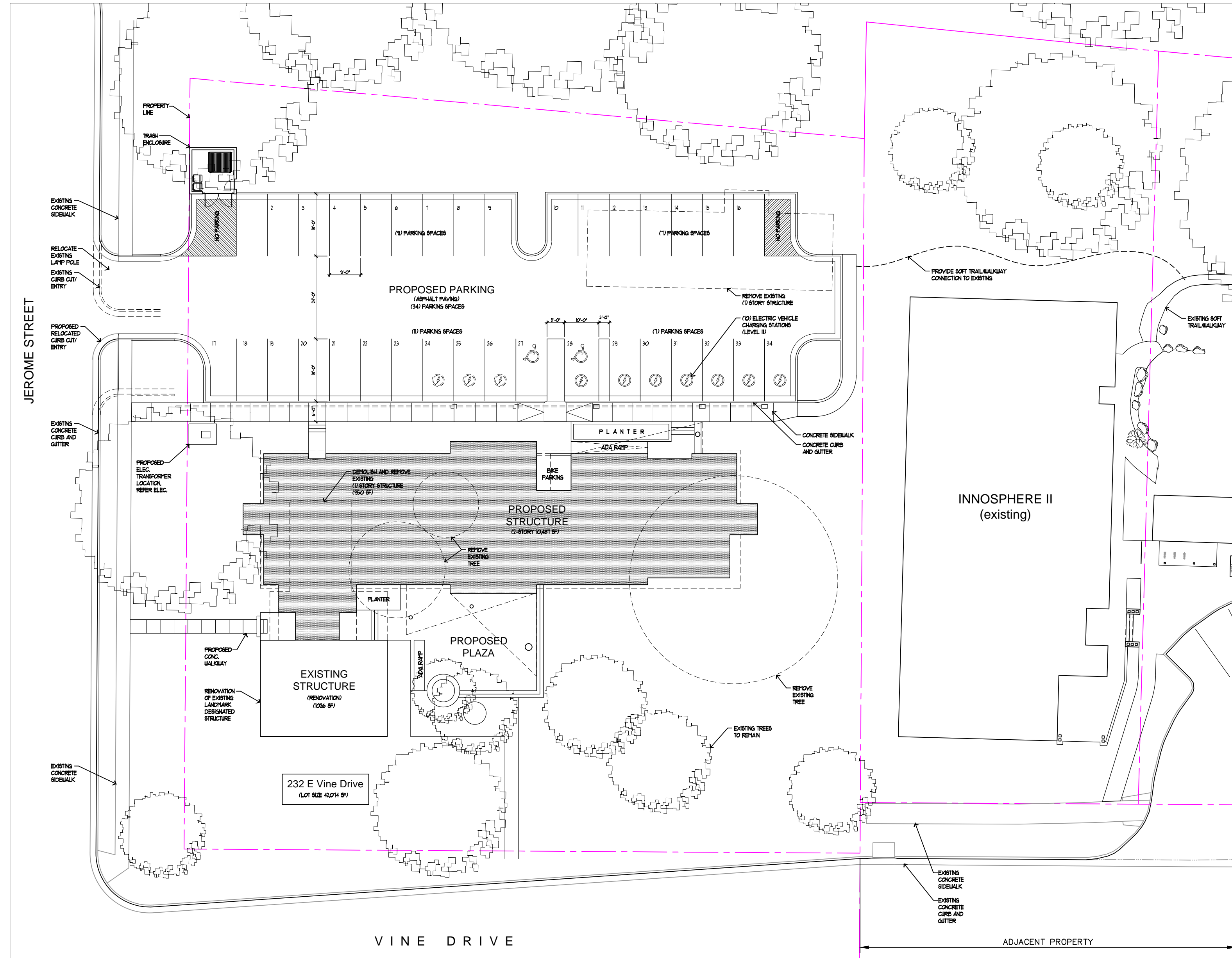
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Things to consider when making your proposal:

- Is water detention being provided? If so, where?
• How does the site drain now? Will it change? If so, what will change?
• What is being proposed to treat run-off?
• Where will access and parking for the site be located?

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required).



1/SP1.0 site plan

SCALE: NOT TO SCALE

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 PH: 970.449.5839

PROJECT:
INNOSPHERE PHASE III
 232 EAST VINE DRIVE
 FORT COLLINS, CO. 80524

GENERAL CONTRACTOR:

NO.	DESCRIPTION	DATE
1.	CONCEPT REVIEW	05/05/24
2.	DESIGN DEVELOPMENT	06/03/24
3.	PERMIT CONSTRUCTION	06/03/24
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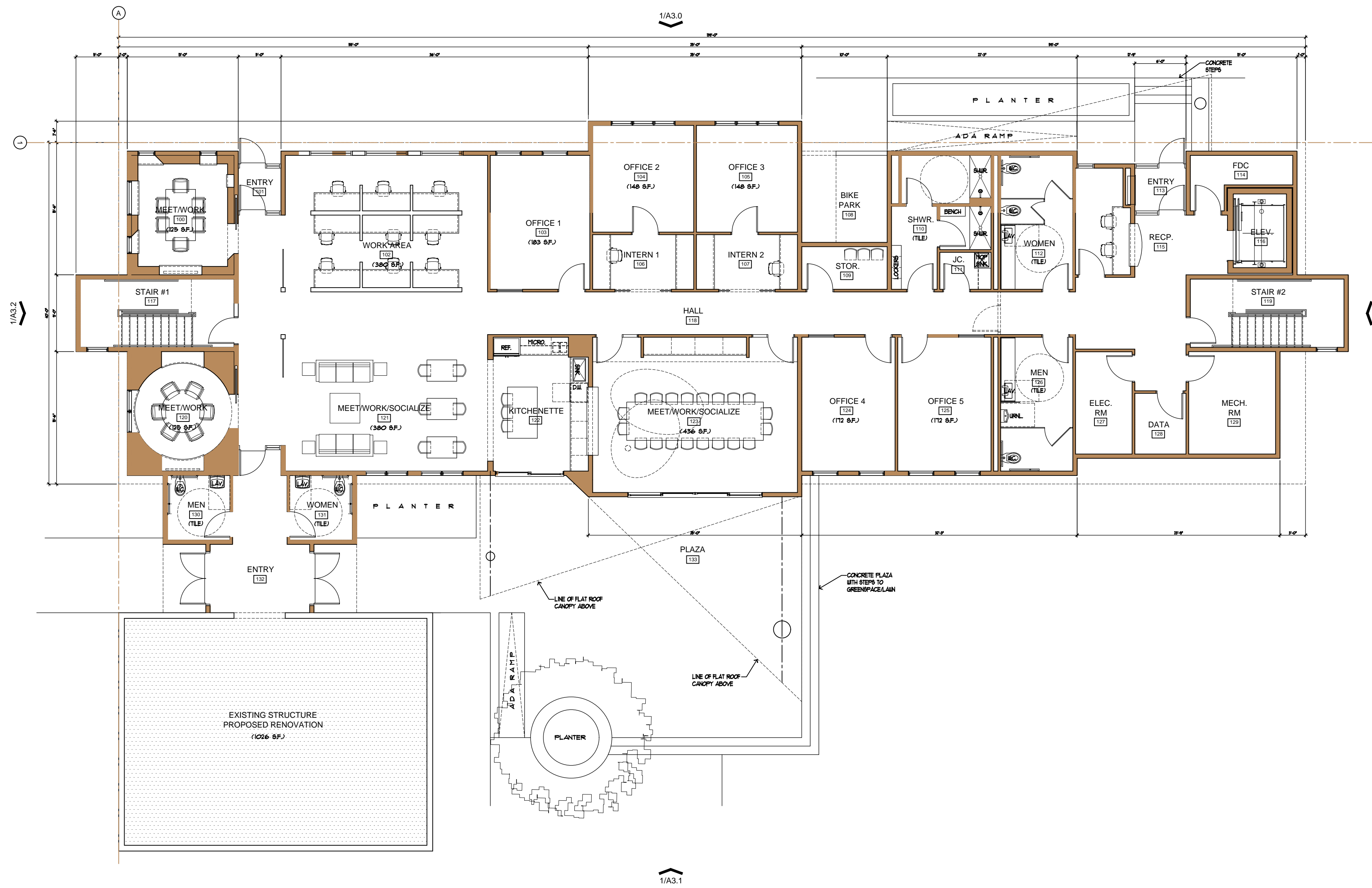
SHEET TITLE:
SITE PLAN

PROJECT NUMBER:
 2023-102

DESIGNED BY:
 OT

CHECKED BY:
 OT

SHEET NUMBER:
SP 1.0



1/A2.0 floor plan - main level

MAIN LEVEL: 5970 SF
UPPER LEVEL: 492 SF
TOTAL: 6462 SF

SCALE: 3/16" = 1'-0"

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PROJECT:
INNOSPHERE
PHASE III

232 E VINE DRIVE
FORT COLLINS, CO.
80524

GENERAL CONTRACTOR:

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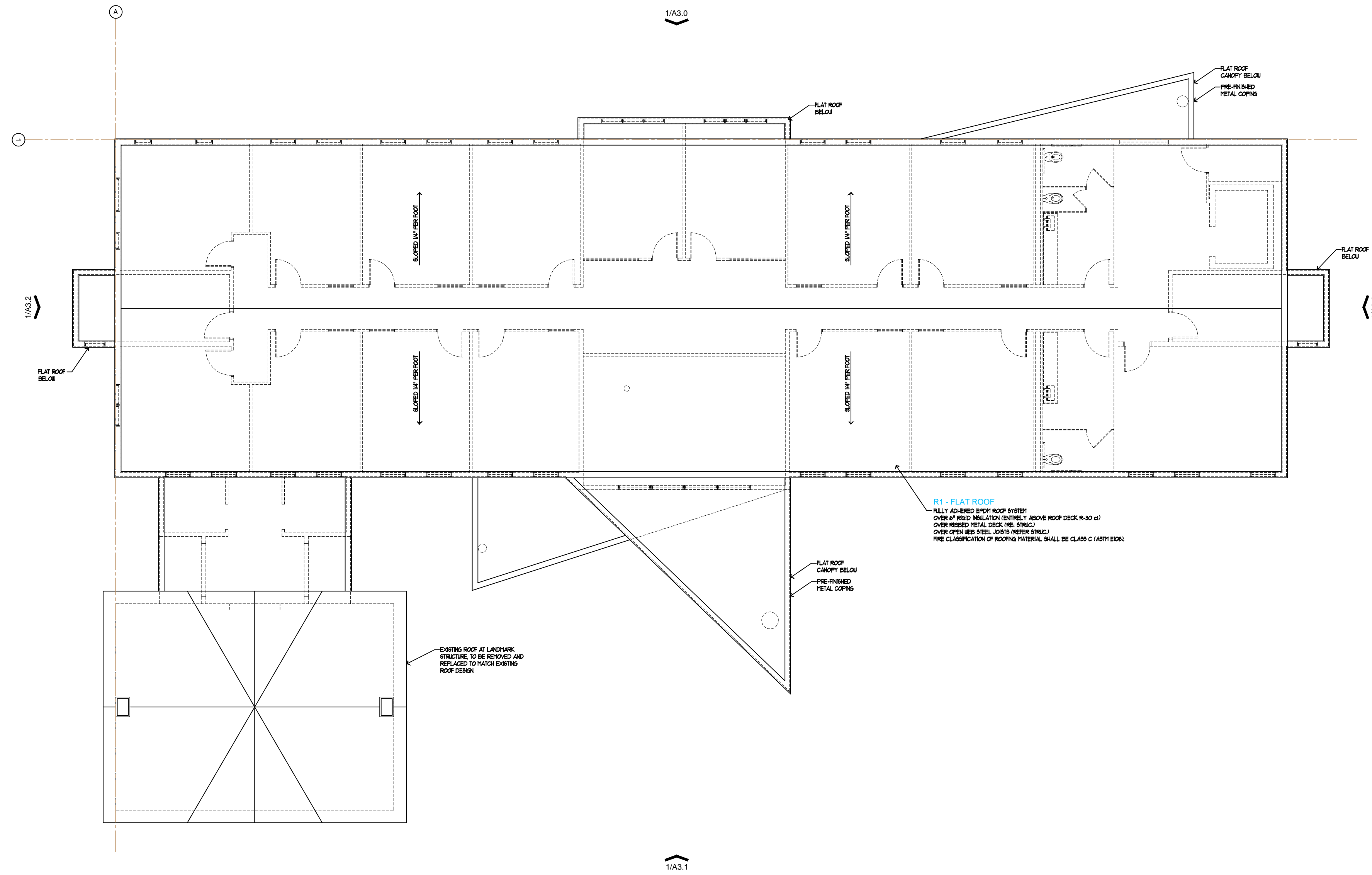
SHEET TITLE:
FLOOR PLAN

PROJECT NUMBER:
2023-102

DRAWN BY:
OT

CHECKED BY:
OT

SHEET NUMBER:
A 2.0



1/A2.2 roof plan

SCALE: 3/16" = 1'-0"

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PROJECT:
**INNOSPHERE
PHASE III**

232 E VINE DRIVE
FORT COLLINS, CO.
80524

GENERAL CONTRACTOR:

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SHEET TITLE:
**FLOOR
PLAN**

PROJECT NUMBER:
2023-102

DRAWN BY:

CHECKED BY:
OT

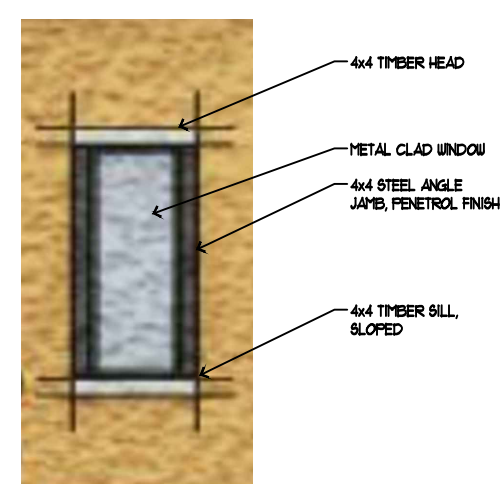
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A 2.2



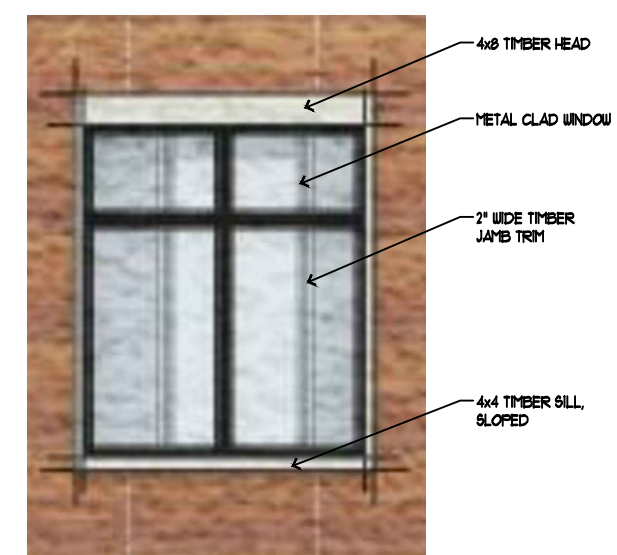
1/A3.0 building elevation - north

SCALE: 3/16" = 1'-0"



2/A3.0 window trim - main level

SCALE: 3/8" = 1'-0"



3/A3.0 window trim - upper level

SCALE: 3/8" = 1'-0"

material legend

- ① W1-METAL PANEL SIDING WALL
W1- LONGBOARD METAL SIDING SYSTEM
OVER 1/2" METAL HAT CHANNEL
OVER EXPOSED THERMAL BREAKER (2) AT 18" SPAC. (R-10)
WITH EXPOSED LIQUID APPLIED FLASING AND SEALANT
OVER LIGHT GAUGE METAL WALL FRAMING # 16 G (R-5) WITH 4" ROCKWOOL COPPERBATT BATT INSULATION (R-25)
WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
- ② W2-STUCCO SIDING WALL
BRUCCO HARDCOAT BRUCCO SYSTEM
OVER EXPOSED THERMAL BREAKER (2) AT 18" SPAC. (R-10)
OVER EXPOSED THERMAL BREAKER (2) AT 18" SPAC. (R-10)
WITH EXPOSED LIQUID APPLIED FLASING AND SEALANT
OVER LIGHT GAUGE METAL WALL FRAMING # 16 G (R-5) WITH 4" ROCKWOOL COPPERBATT BATT INSULATION (R-25)
WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
- ③ W3-THERMALLY MODIFIED WOOD SIDING WALL
THERMALLY MODIFIED WOOD SIDING IN T&G GAP
OVER 1/2" METAL HAT CHANNELS
OVER EXPOSED THERMAL BREAKER (2) AT 18" SPAC. (R-10)
WITH EXPOSED LIQUID APPLIED FLASING AND SEALANT
OVER LIGHT GAUGE METAL WALL FRAMING # 16 G (R-5) WITH 4" ROCKWOOL COPPERBATT BATT INSULATION (R-25)
WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
- ④ W4-CONCRETE MASONRY UNIT WALL
8" CONCRETE MASONRY UNIT WALL (R-8) WITH 1/2" CONTINUOUS RIGID INSULATION (R-5) WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
- ⑤ W5-FOUNDATION WALL
FOUNDATION INTERLOCKING
OVER 7" CONTINUOUS RIGID INSULATION
OVER FINISHED CONCRETE WALL (R-5)
- ⑥ R1- FLAT ROOF
FULLY ADHESIVE EPDM ROOF SYSTEM
OVER 4" RIGID INSULATION (ENTIRE) ABOVE ROOF DECK (R-30) WITH OVER EXPOSED METAL FLASHING (R-5) WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
OVER OPEN WEB STEEL JOISTS (REFER SHEET)
FIRE CLASSIFICATION OF ROOFING MATERIAL SHALL BE CLASS C (ASTM E84)
- ⑦ PRE-FINISHED METAL CEILING
- ⑧ METAL CLAD WINDOWS
- ⑨ ALUMINUM STOREFRONT SYSTEM
- ⑩ LOG COLUMN WITH EXPOSED STEEL CONNECTIONS
- ⑪ STEEL WINDOW MADE

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PROJECT:
INNOSPHERE
 PHASE III

233 E VINE DRIVE
 FORT COLLINS, CO.
 80524

NO.	DESCRIPTION	ISSUED	DATE

SHEET TITLE:
BUILDING ELEVATION

PROJECT NUMBER:
 2023-102

DRAWN BY:

CHECKED BY:
 OT

SHEET NUMBER:
A 3.0



1/A3.1 building elevation - south

SCALE: 3/16" = 1'-0"

material legend

- 1 W1-METAL PANEL SIDING WALL
 1/8" LONGBOARD METAL SIDING SYSTEM
 OVER 1/8" METAL LUT CHANNEL
 OVER CURBOT THERMAL BREAKER (2) AT 1/8" THICK (R-10)
 OVER CURBOT THERMAL BREAKER (2) AT 1/8" THICK (R-10)
 WITH CURBOT LIQUID APPLIC FLASING & SEALANT
 OVER LIGHT GAUGE METAL WALL FRAMING #10 (R-5) (R-5) (R-5) (R-5)
 WITH 4" ROCKWOOL COPPERBATE BATT INSULATION (R-20)
 SIP SYSTEM BOARD TAPED AND SPACKLED
- 2 W2-STUCCO SIDING WALL
 STUCCO MURCOAT SIDING SYSTEM
 OVER CURBOT THERM STUCCO WRAP
 OVER CURBOT THERMAL BREAKER (2) AT 1/8" THICK (R-10)
 WITH CURBOT LIQUID APPLIC FLASING & SEALANT
 OVER LIGHT GAUGE METAL WALL FRAMING #10 (R-5) (R-5) (R-5) (R-5)
 WITH 4" ROCKWOOL COPPERBATE BATT INSULATION (R-20)
 SIP SYSTEM BOARD TAPED AND SPACKLED
- 3 W3-THERMALLY MODIFIED WOOD SIDING WALL
 THERMALLY TREATED WOOD SIDING, 1/4" T&G GAP
 OVER 1/4" T&G CHANNELS
 OVER CURBOT THERMAL BREAKER (2) AT 1/8" THICK (R-10)
 WITH CURBOT LIQUID APPLIC FLASING & SEALANT
 OVER LIGHT GAUGE METAL WALL FRAMING #10 (R-5) (R-5) (R-5) (R-5)
 WITH 4" ROCKWOOL COPPERBATE BATT INSULATION (R-20)
 SIP SYSTEM BOARD TAPED AND SPACKLED
- 4 W4-CONC. MASONRY UNIT WALL
 IF CONCRETE MASONRY UNIT WALL (R-5) (R-5)
 OVER LIGHT GAUGE METAL WALL FRAMING #10 (R-5) (R-5) (R-5) (R-5)
 WITH 4" ROCKWOOL COPPERBATE BATT INSULATION (R-20)
 SIP SYSTEM BOARD TAPED AND SPACKLED
- 5 W5-FOUNDATION WALL
 FOUNDATION UNDERPINNING
 OVER 2" CONTINUOUS RIGID INSULATION
 OVER POURED CONC. WALL (R-5) (R-5)
- 6 R1 - FLAT ROOF
 R-15 FINISHED SIPH ROOF SYSTEM
 OVER 4" RIGID INSULATION (R-15) (R-15) ABOVE ROOF DECK R-30 (2)
 OVER RIGID METAL DECK (R-5) (R-5)
 OVER OPEN WEB STEEL (R-5) (R-5) (R-5) (R-5)
 FIRE CLASSIFICATION OF ROOFING MATERIAL SHALL BE CLASS C (ASH) EDEL
- 7 PRE-FINISHED METAL COPING
- 8 METAL CLAD WINDOWS
- 9 ALUMINUM STOREFRONT SYSTEM
- 10 LOG COLUMN WITH EXPOSED STEEL CONNECTIONS
- 11 STEEL WINDOW BRACE

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PROJECT:
**INNOSPHERE
PHASE III**
232 E VINE DRIVE
FORT COLLINS, CO.
80524

GENERAL CONTRACTOR:

1	CONCEPT REVIEW	ISSUED
2	SCHEMATIC DESIGN	DATE:
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SHEET TITLE:
**BUILDING
ELEVATION**

PROJECT NUMBER:
2023-102

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OT

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OT

SHEET NUMBER:
A 3.1



1/A3.2 building elevation - east

SCALE: 3/16" = 1'-0"



2/A3.2 building elevation - west

SCALE: 3/16" = 1'-0"

material legend

- ① W1-METAL PANEL SIDING WALL
 1/8" LONGBOARD METAL SIDING SYSTEM
 OVER 1/2" FIBERGLASS CHANNEL
 OVER EXISTING TYPICAL SHEATHING (S) AT 1/8" THICK (R 100)
 OVER EXISTING LIGED APPROX FLASING & SEALANT
 OVER LIGHT GAUGE METAL WALL FRAMING # 16x16 (R 2) (R 3) (R 4)
 WITH # 16x16 WOOD STUDS, COPPER/STAINLESS STEEL INSULATION (R 20)
 WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
- ② W2-STRUCTO SIDING WALL
 STRUCTO WAREHOUSE SIDING SYSTEM
 OVER EXISTING TYPICAL SHEATHING (S) AT 1/8" THICK (R 100)
 OVER EXISTING LIGED APPROX FLASING & SEALANT
 OVER LIGHT GAUGE METAL WALL FRAMING # 16x16 (R 2) (R 3) (R 4)
 WITH # 16x16 WOOD STUDS, COPPER/STAINLESS STEEL INSULATION (R 20)
 WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
- ③ W3-THERMALLY MODIFIED WOOD SIDING WALL
 THERMALLY TREATED WOOD SIDING 1/2" THICK GAP
 OVER 1/2" FIBERGLASS CHANNEL
 OVER EXISTING TYPICAL SHEATHING (S) AT 1/8" THICK (R 100)
 OVER EXISTING LIGED APPROX FLASING & SEALANT
 OVER LIGHT GAUGE METAL WALL FRAMING # 16x16 (R 2) (R 3) (R 4)
 WITH # 16x16 WOOD STUDS, COPPER/STAINLESS STEEL INSULATION (R 20)
 WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
- ④ W4-CONC. MASONRY UNIT WALL
 8" CONCRETE MASONRY UNIT WALL (R 8) (R 12)
 OVER LIGHT GAUGE METAL WALL FRAMING # 16x16 (R 2) (R 3) (R 4)
 WITH # 16x16 WOOD STUDS, COPPER/STAINLESS STEEL INSULATION (R 20)
 WITH 5/8" GYPSUM BOARD TAPED AND SPACKLED
- ⑤ W5-FOUNDATION WALL
 FOUNDATION WATERPROOFING
 OVER 2" CONTINUOUS RIGID INSULATION
 OVER Poured CONC. WALL (R 8) (R 12)
- ⑥ R1 - FLAT ROOF
 FULLY FINISHED EPDM ROOF SYSTEM
 OVER 4" RIGID INSULATION (R 20) (R 24) (R 28) (R 32) (R 36)
 OVER INSULATED METAL DECK (R 8) (R 12)
 OVER OPEN WEB STEEL JOISTS (R 8) (R 12) (R 16) (R 20)
 FIRE CLASSIFICATION OF ROOFING MATERIAL SHALL BE CLASS C (AEM EDR)
- ⑦ PRE-FINISHED METAL COPING
- ⑧ METAL CLAD WINDOWS
- ⑨ ALUMINUM STOREFRONT SYSTEM
- ⑩ LOG COLUMN WITH EXPOSED STEEL CONNECTION
- ⑪ STEEL WINDOW SHADE

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PROJECT:

**INNOSPHERE
 PHASE III**
 232 E VINE DRIVE
 FORT COLLINS, CO.
 80524

GENERAL CONTRACTOR:

NO.	CONTRACTOR	DATE
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SHEET TITLE:

**BUILDING
 ELEVATION**

PROJECT NUMBER:
 2023-102

DRAWN BY:

CHECKED BY:
 OT

SHEET NUMBER:

A 3.2



1/A3.3 building perspective - view from south/east

NOT TO SCALE



2/A3.3 building perspective - view from north/west

NOT TO SCALE

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PROJECT:
INNOSPHERE
PHASE III

232 E VINE DRIVE
FORT COLLINS, CO.
80524

GENERAL CONTRACTOR:

NO.	DESCRIPTION	DATE
1	CONCEPT REVIEW	JAMES

SHEET TITLE:
BUILDING
ELEVATION

PROJECT NUMBER:
2023-102

DRAWN BY:
OT

CHECKED BY:
OT

SHEET NUMBER:

A 3.3



1/A3.4 building perspective - view from north/west

NOT TO SCALE



2/A3.4 building perspective - view from north/east

NOT TO SCALE

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PROJECT:

**INNOSPHERE
 PHASE III**

232 E VINE DRIVE
 FORT COLLINS, CO.
 80524

GENERAL CONTRACTOR:

NO.	DESCRIPTION	DATE
1	CONCEPT REVIEW	08/01/24
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SHEET TITLE:

**BUILDING
 ELEVATION**

PROJECT NUMBER:

2023-102

DRAWN BY:

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