

Conceptual Review Agenda

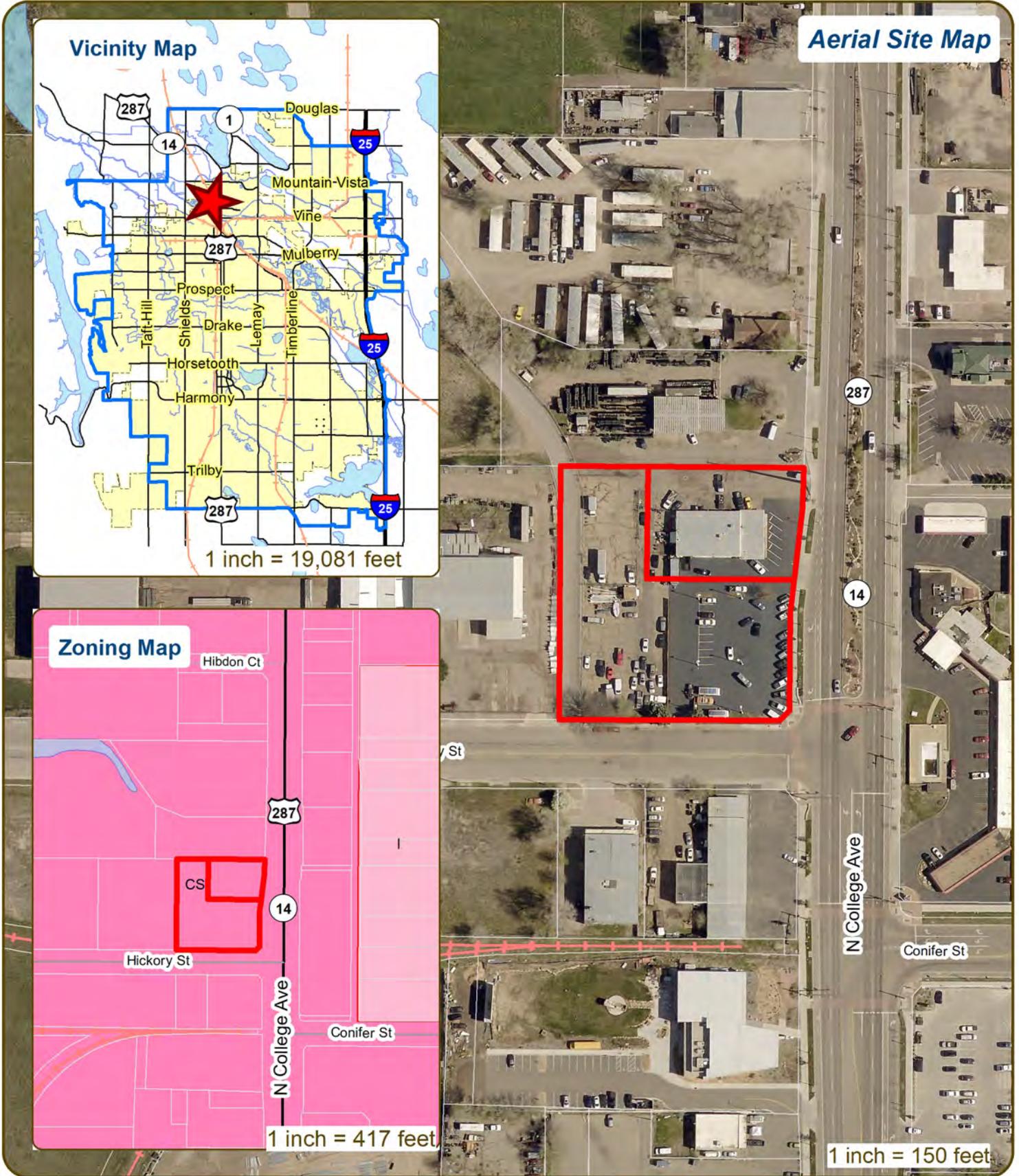
Schedule for 02/11/21

Meetings hosted via Zoom Web Conferencing

Thursday, February 11, 2021

Time	Project Name	Applicant Info	Project Description	
9:15	1235 N College Ave Commercial Addition CDR210010	Roger Hamacher 303-801-8440 rogerh.maverick@gmail.com	This is a request to construct a 4,750 square foot building addition at 1235 N College Ave (parcel # 9702109001). The project is located directly west of N College Avenue and 200 feet north of Hickory St. Access is taken from N College Ave to the east and Hickory St to the south. The property is within the Service Commercial (CS) zone district and is subject to a Major Amendment (MJA) process with an Administrative (Type 1) Review. PLEASE NOTE: A previous Conceptual Review for this proposal can be found under project number CDR200076.	Planner: Clark Mapes Engineer: Spencer Smith DRC: Tenae Beane
10:15	1034 W Vine Dr Wireless Telecommunication Facility CDR210011	Jeremy Underwood 623-271-4732 junderwood@tepgroup.net	This is a request to increase the height of an existing wireless telecommunication facility at 1034 W Vine Dr (parcel # 9702321001), formerly approved as "Verizon Wireless at 1052 W. Vine Dr". The proposed changes would increase the height of the existing facility from 70 feet to 95 feet. The site is directly north of W Vine Dr and directly east of N Shields St and is accessed via W Vine Dr. The site is within Limited Commercial (CL) zone district and is subject to a Major Amendment (MJA) process with an Administrative (Type 1) Review.	Planner: Ryan Mounce Engineer: Marc Virata DRC: Todd Sullivan
11:15	4000 Kechter Rd Single-Family Subdivision CDR210012	Mohsen Bagherian 719-321-0042 customvillasllc@aol.com	This is a request to develop a residential subdivision at 4000 Kechter Rd (parcel # 8604000014). The site is approximately 5 acres, and the proposal includes 11 half-acre lots. The existing home on the western edge of the property will remain in place and is not contemplated for redevelopment. Access to the subdivision would be from Strauss Cabin Rd directly to the east. The property is within the Urban Estate (UE) zone district and is subject to Administrative (Type 1) Review.	Planner: Kai Kleer Engineer: Dave Betley DRC: Brandy Bethurem Harras

1235 N College Ave Commercial Addition



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CONCEPTUAL REVIEW: APPLICATION

General Information

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At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Roger Hanacher (Owners Rep / Gr. C.)

Business Name (if applicable) Auto Trends (owner/Job site) Maverick Steel Inc. (Gr. C.)

Your Mailing Address 6490S East County Road 42 Byers, Co 80103

Phone Number 303-801-8440 Email Address rogerh.maverick@gmail.com

Site Address or Description (parcel # if no address) 1235 N College Ave Fort Collins, Co 80524

Description of Proposal (attach additional sheets if necessary) _____

addition of 4,750 sq. ft. P.E.M.B. Building

Proposed Use Shop Use Existing Use _____

Total Building Square Footage 4750 S.F. Number of Stories 1 Lot Dimensions N/A

Age of any Existing Structures N/A

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

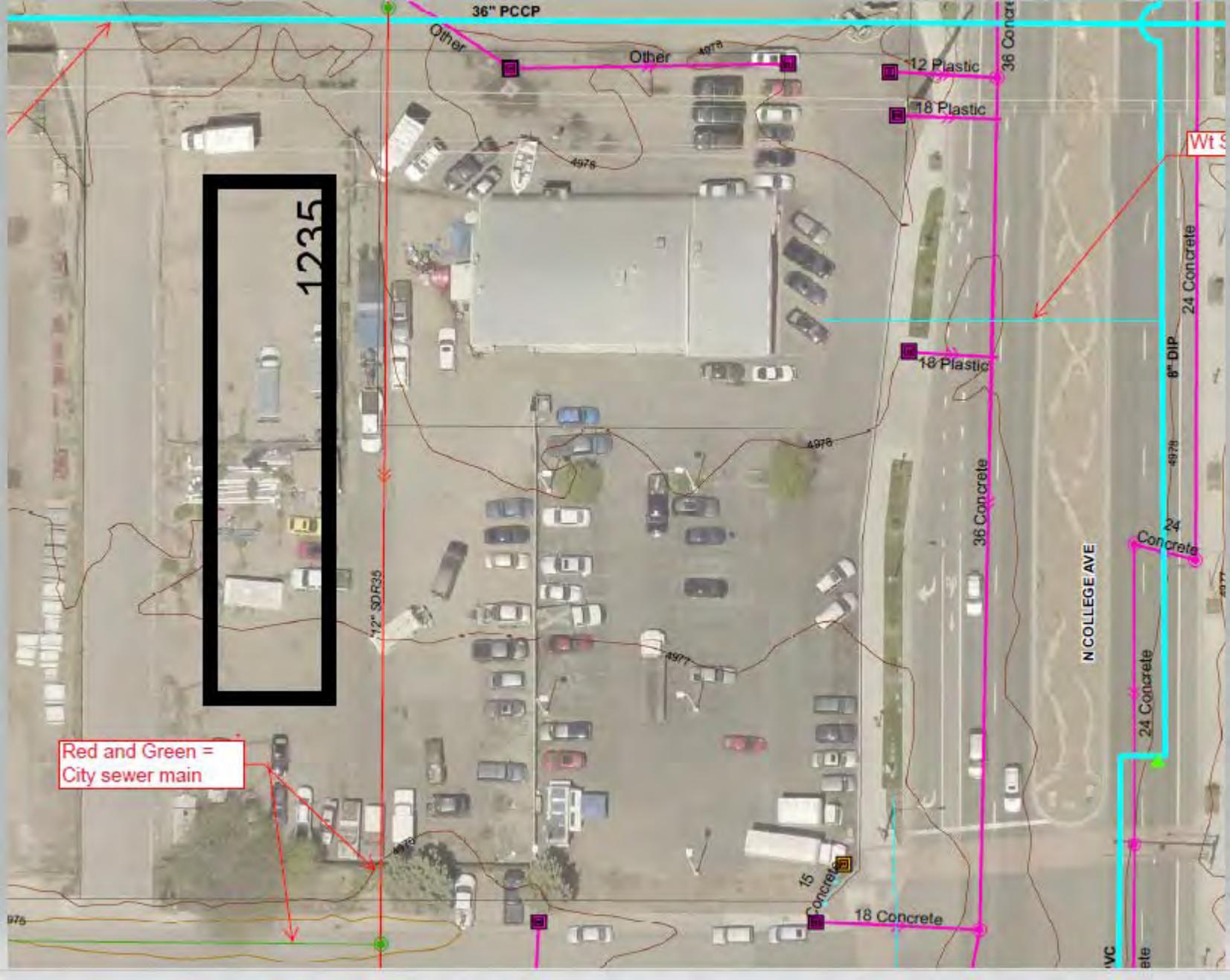
Is your property in a Flood Plain? Yes No If yes, then at what risk is it? N/A

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 4,750 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



1235

Red and Green =
City sewer main

36" PCCP

Other

Other

12 Plastic

18 Plastic

36 Concrete

Wt S

24 Concrete

4976

24

Concrete

4976

24

Concrete

N COLLEGE AVE

36 Concrete

18 Plastic

4976

15

Concrete

18 Concrete

12" SDR35

4976

Wt S

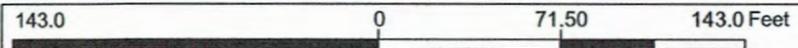
ete



Legend

- Parcels
- Growth Management Area
- Parks
- Schools
- Natural Areas
- City Limits

1: 857

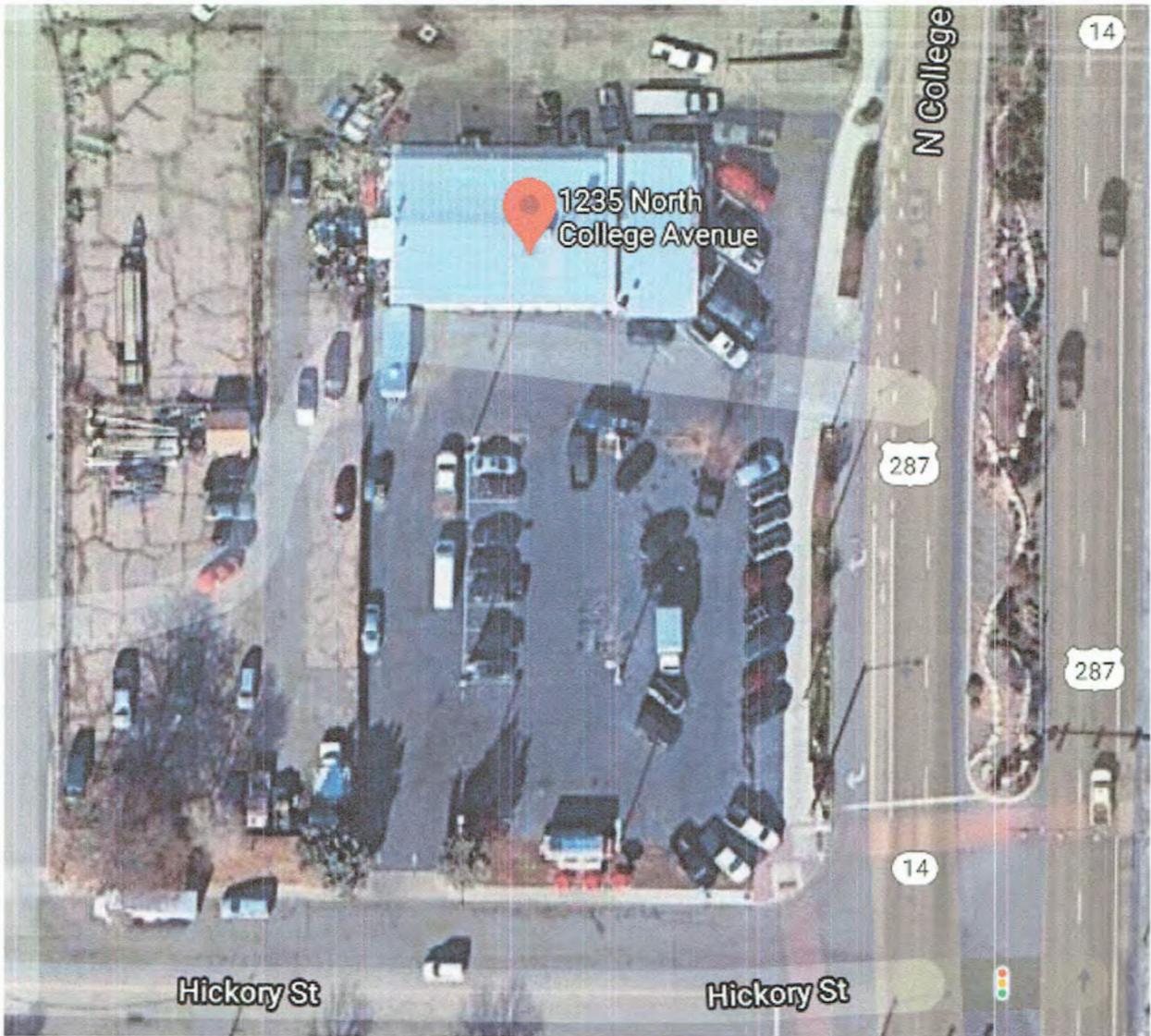


WGS_1984_Web_Mercator_Auxiliary_Sphere
City of Fort Collins - GIS

This map is a user generated static output from the City of Fort Collins FCMaps Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

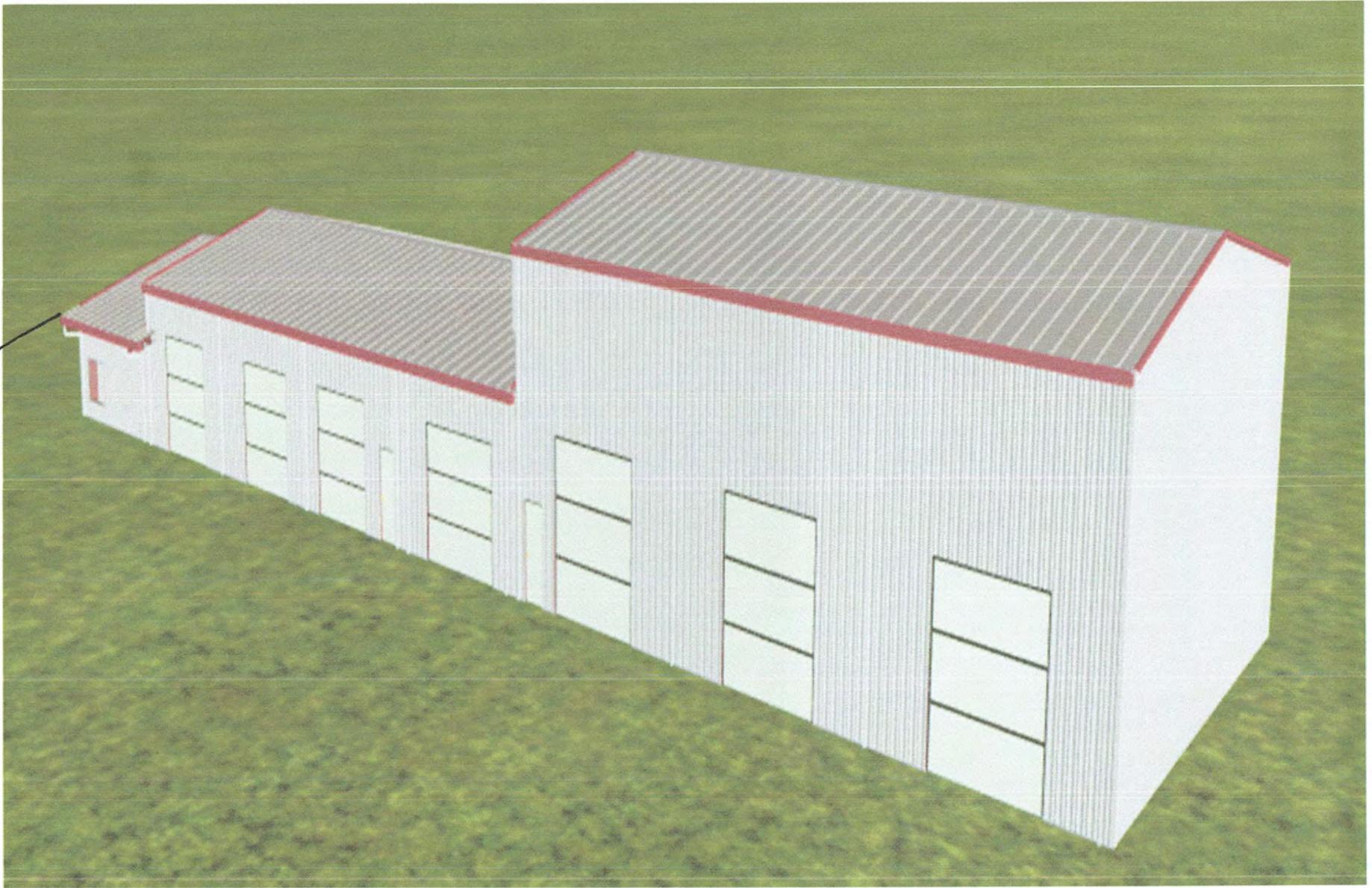
Notes
RIS Holdings LLC.
Account #: R0010561

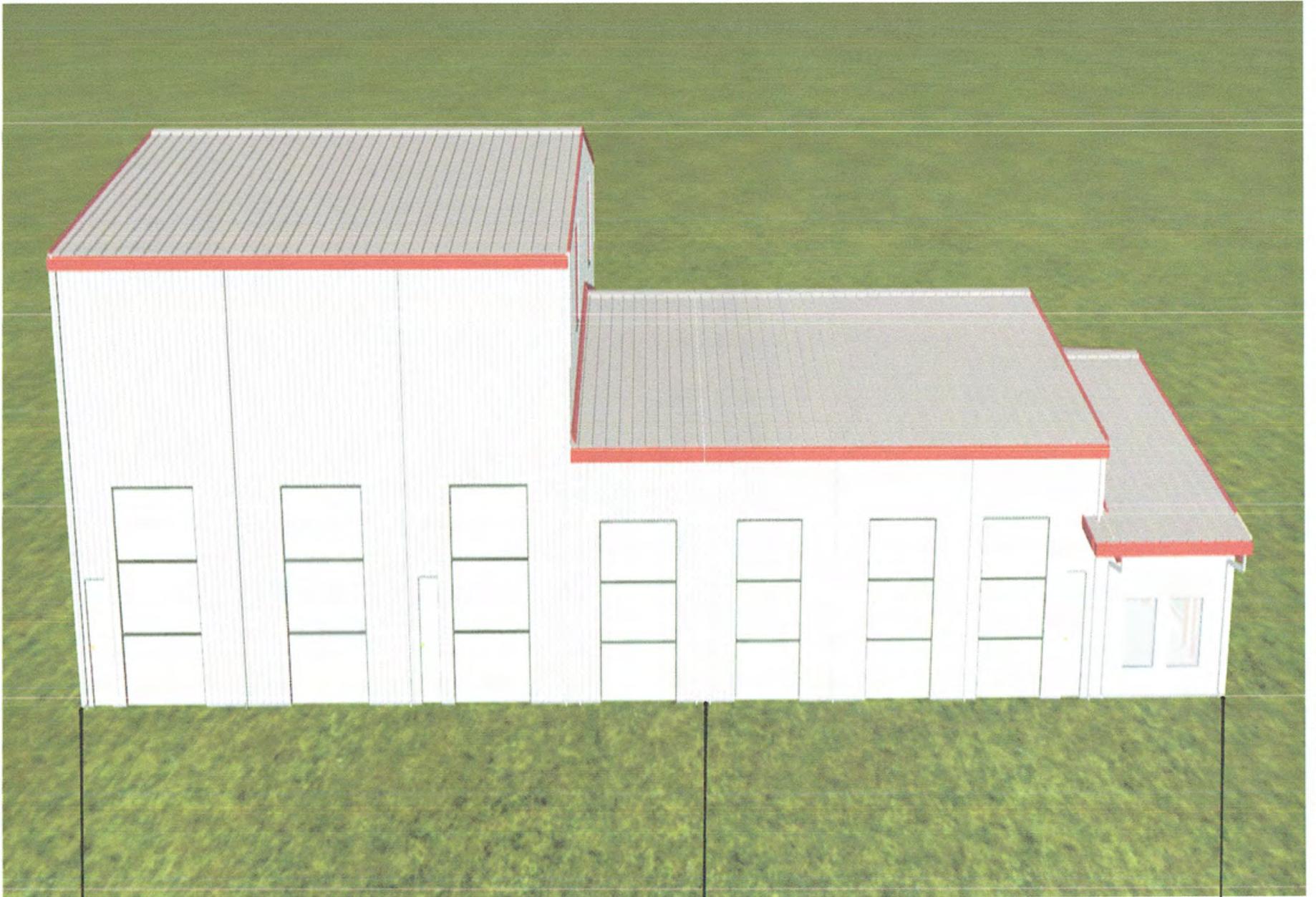




← Addition →
← Existing →

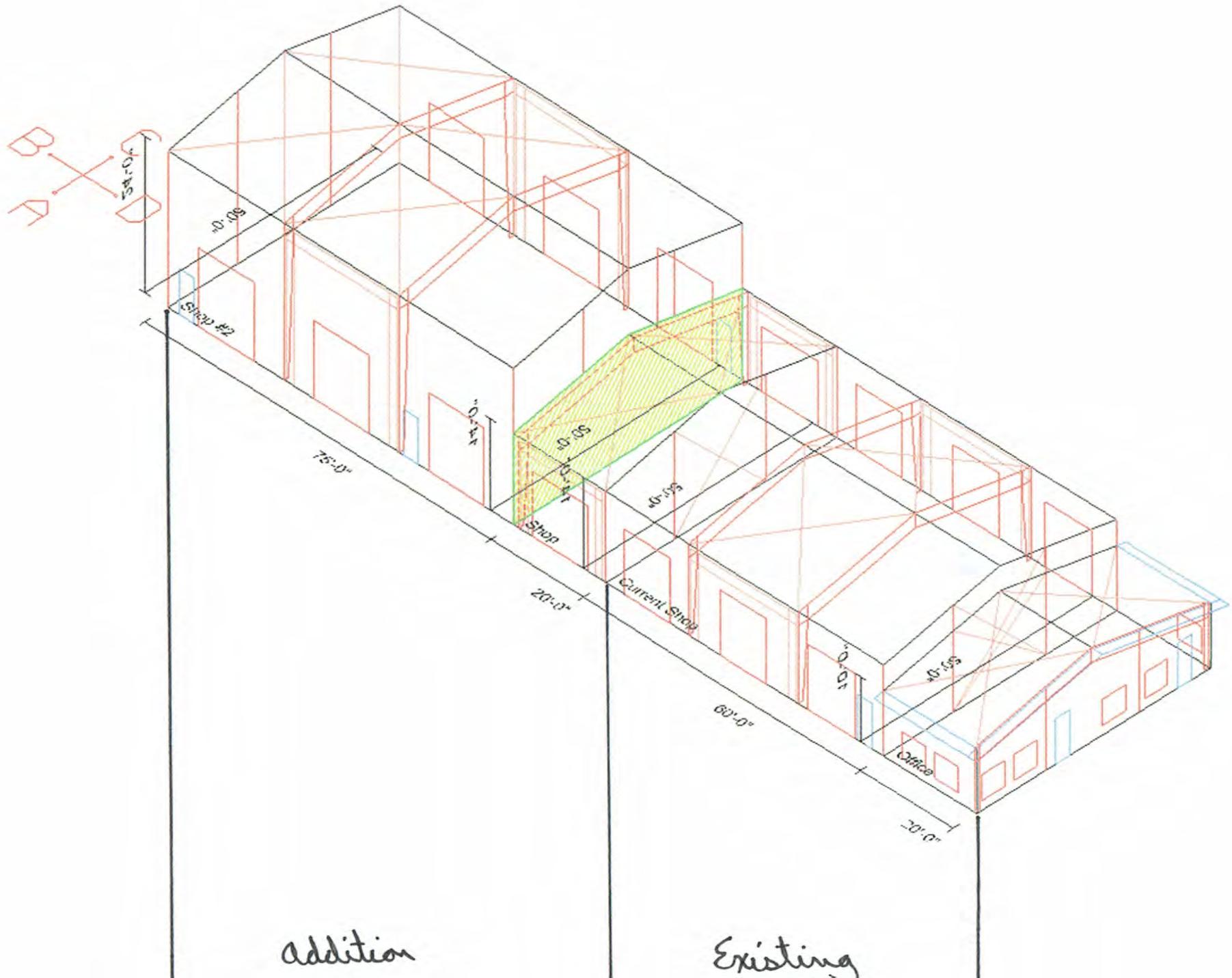


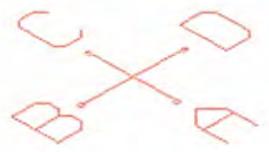
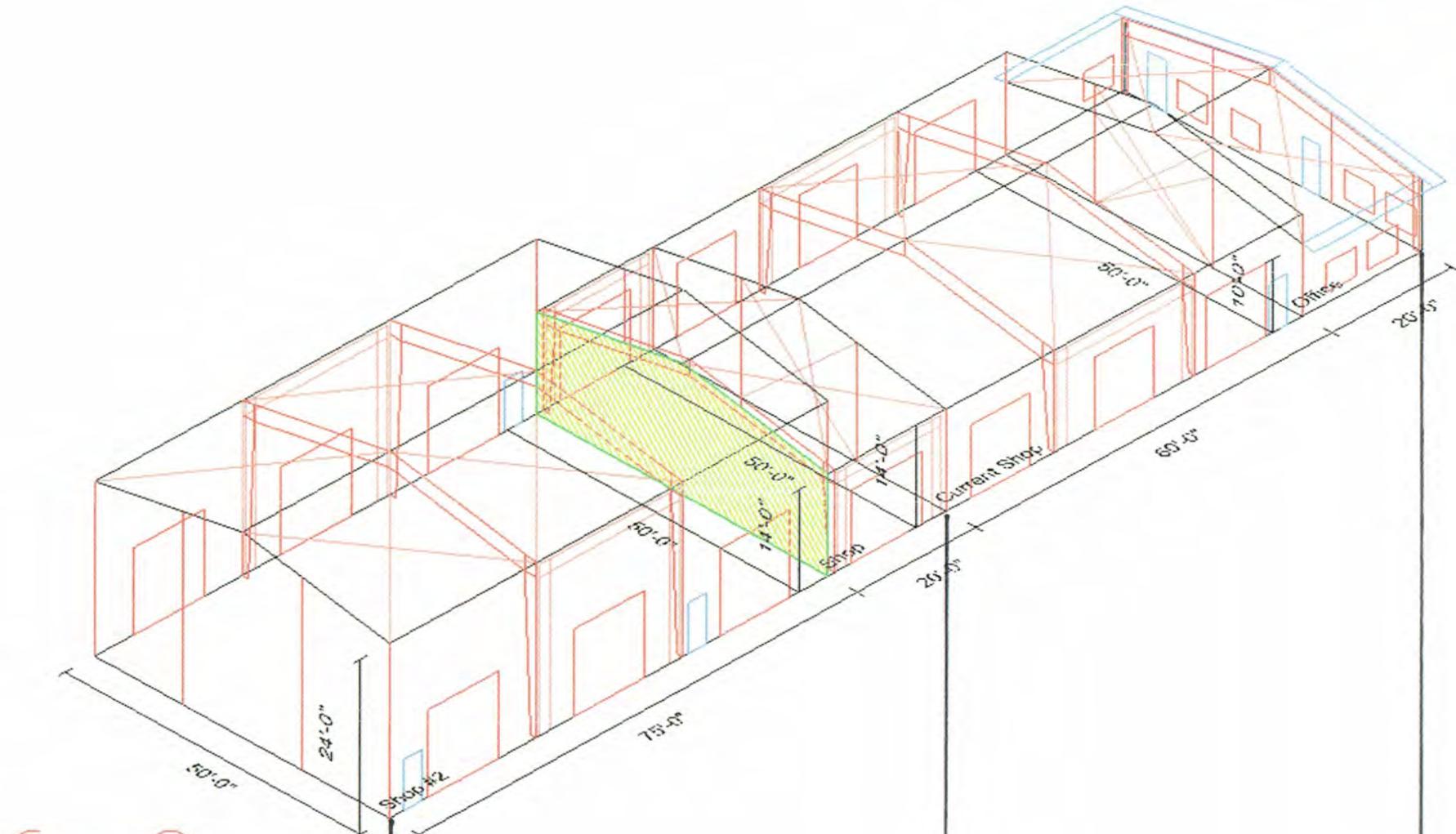




← Addition →

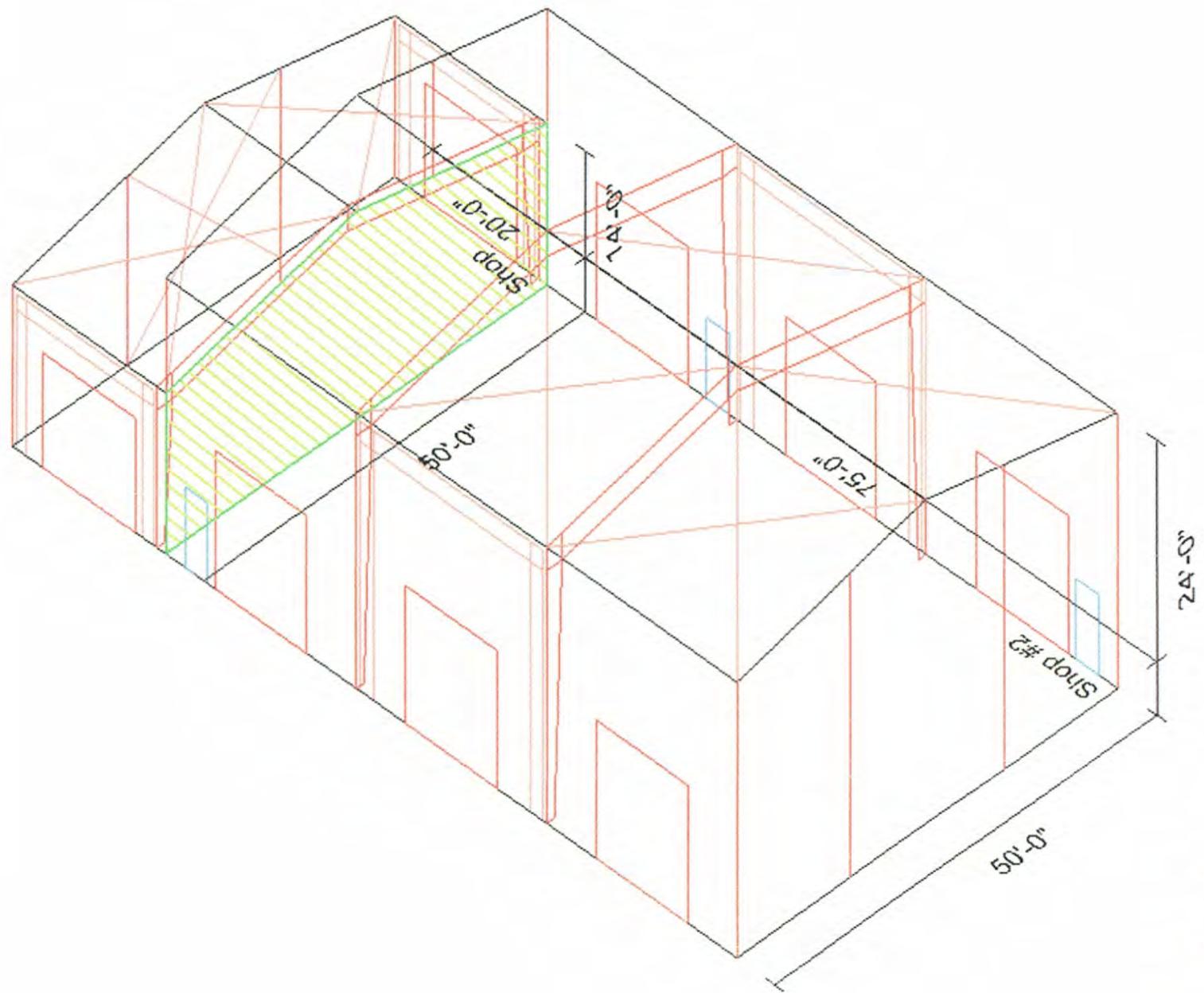
← Existing →



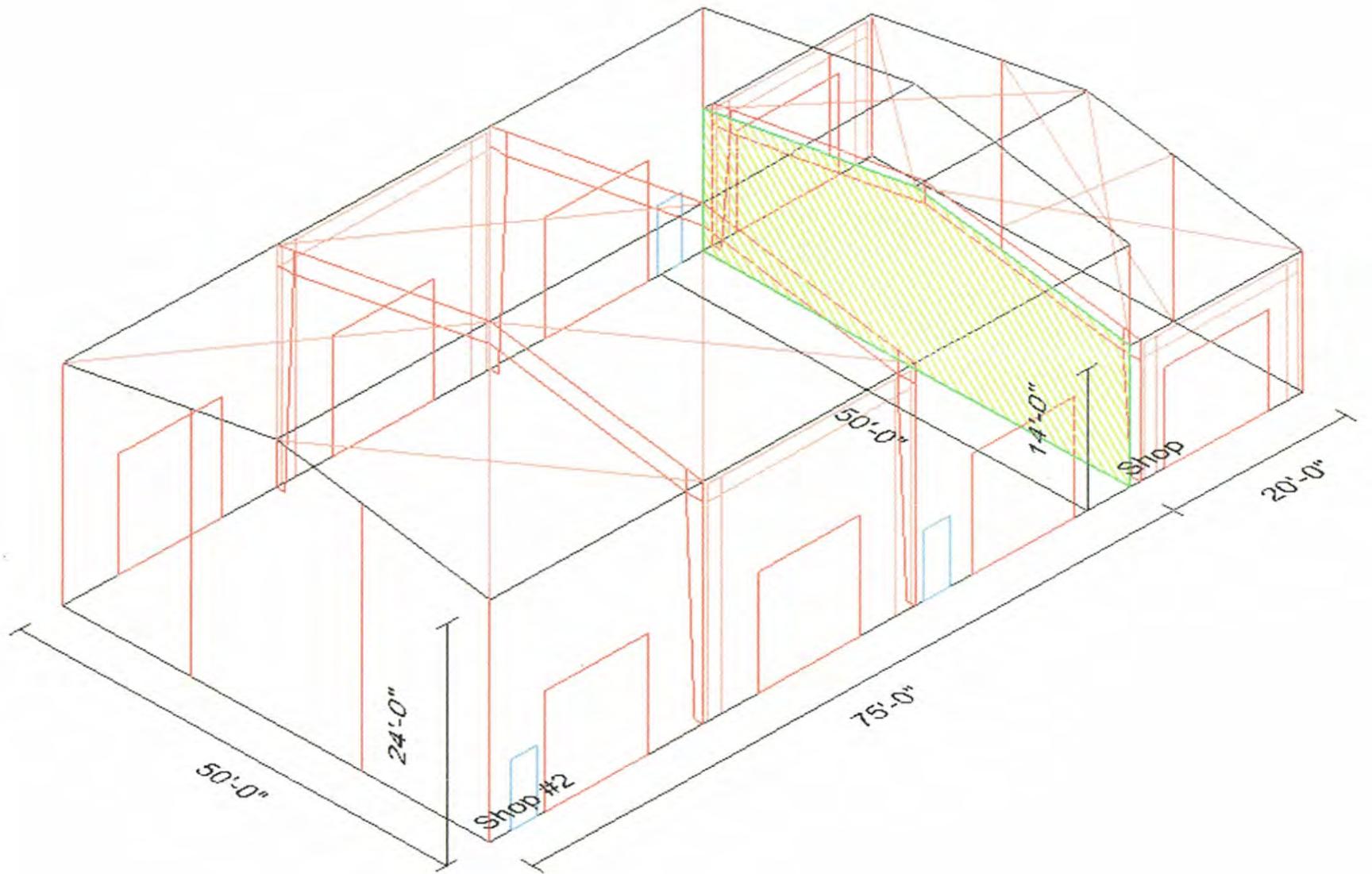


Addition

Existing

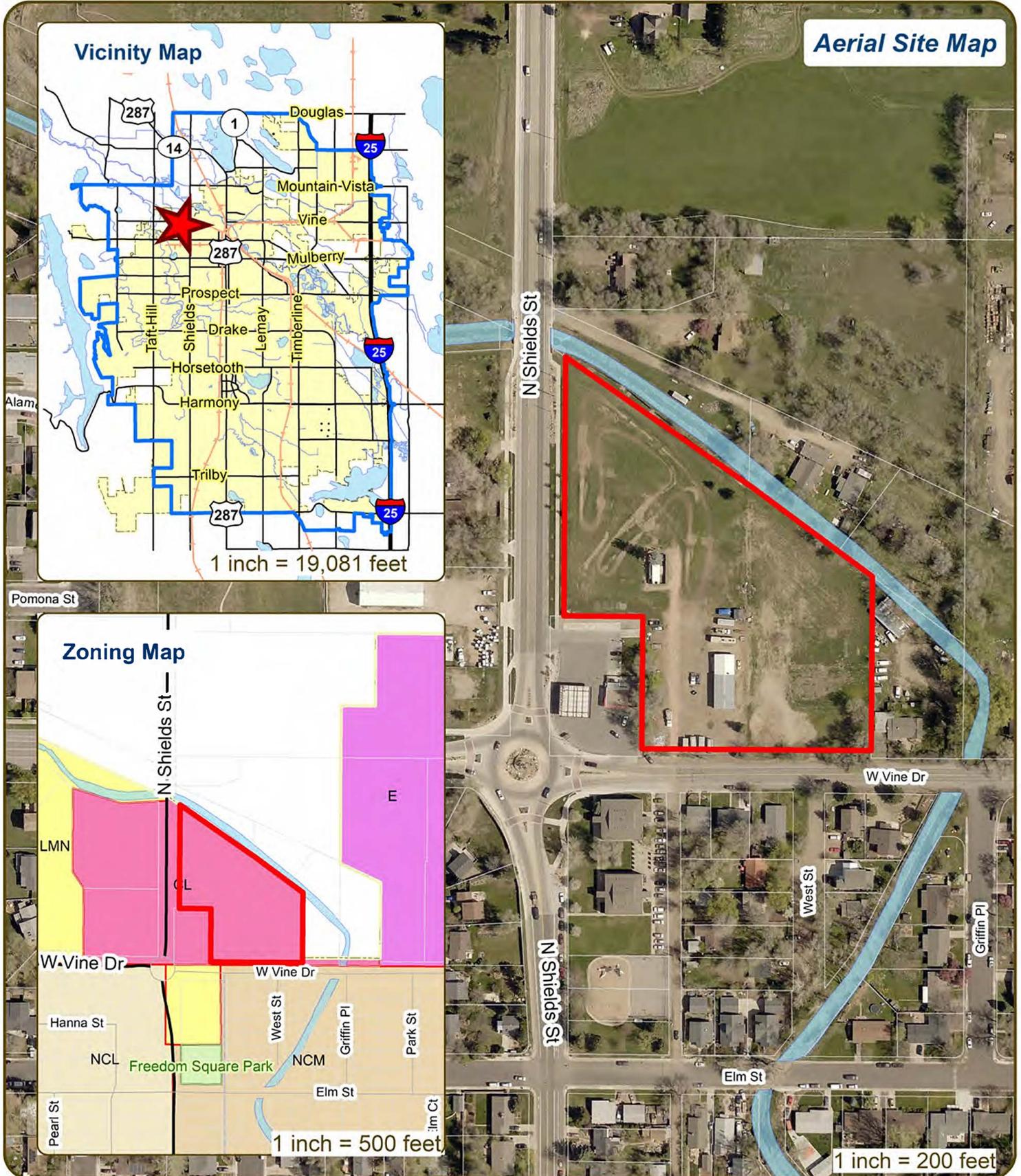


Addition



addition

1034 W Vine Dr Wireless Telecommunication Facility



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BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Business Name (if applicable) _____

Your Mailing Address _____

Phone Number _____ Email Address _____

Site Address or Description (parcel # if no address) _____

Description of Proposal (attach additional sheets if necessary) _____

Proposed Use _____ Existing Use _____

Total Building Square Footage _____ S.F. Number of Stories _____ Lot Dimensions _____

Age of any Existing Structures _____

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm
If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [] No If yes, then at what risk is it? _____

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area _____ S.F.
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

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161 INVERNESS DR W, 2ND FLOOR
ENGLEWOOD, CO 80112

AT&T SITE NAME: COL03271
AT&T SITE ID: COL03271
AT&T PACE NUMBER: MRUTH042446
AT&T FA CODE: 15312472
NSB - MONOPINE
LTE 1C/2C/3C/4C/5G NR 1SR/5C



ATC SITE NAME: FAT_TIRE CO
ATC SITE NUMBER: 420055
SITE ADDRESS: 1052 W VINE DR
FORT COLLINS, CO, 80521
(LARIMER COUNTY)



LOCATION MAP



161 INVERNESS DR W, 2ND FLOOR
ENGLEWOOD, CO 80112



19100 VON KARMAN AVE
SUITE 200
IRVINE, CA 92612



TOWER ENGINEERING PROFESSIONALS
4710 E ELWOOD ST, STE 9
PHOENIX, AZ 85040
OFFICE: (480) 285-0036
www.tepgroup.net

AT&T SITE ID: COL03271
AT&T FA CODE: 15312472
AT&T PACE #: MRUTH042446
ATC #: 420055
FAT_TIRE CO

1052 W VINE DR
FORT COLLINS, CO 80521
(LARIMER COUNTY)

EXISTING 70'-0"
MONOPINE TOWER
NSB - LTE - 1C/2C/3C/4C/
5G NR 1SR/5C

*LATITUDE N 40° 35' 49.59" (40.59711°)
*LONGITUDE W 105° 5' 42.07" (-105.09502°)

*GROUND ELEV. (AMSL) = 5,010'±

*INFORMATION PROVIDED BY ATC

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- INTERNATIONAL BUILDING CODE (2018 EDITION)
- INTERNATIONAL CODE COUNCIL ANSII/ISA/EIA-222-H
- NATIONAL ELECTRIC CODE (2020 EDITION)
- LOCAL BUILDING CODE
- CITY/COUNTY ORDINANCES

POWER COMPANY: CITY OF FORT COLLINS
CONTACT: CUSTOMER SERVICE
PHONE: (970) 221-6700
METER # NEAR SITE: 15 840 094

TELEPHONE COMPANY: QWEST CORPORATION
CONTACT: UNKNOWN
PHONE: (800) 244-1111
PHONE # NEAR SITE: (970) 482-5810
PEDESTAL # NEAR SITE: UNKNOWN

FROM DENVER: I-25 NORTH EXIT 289B (MULBERRYHWY 14), GO WEST ON MULBERRY APPROX 4.5 MILES TO SHIELDS ST. GO RIGHT (NORTH) APPROX 1 MILE. SITE IS ON THE NORTHEAST CORNER OF W.VINE DR AND SHIELDS. STEALTH TREE IS VISIBLE FROM THE ROAD.

TOWER COORDINATES

CODE COMPLIANCE

AT&T SITE NAME:	COL03271	PROJECT DESCRIPTION:	COLLOCATION
AT&T SITE ID:	COL03271	TOWER TYPE:	70' MONOPINE
FA:	15312472	JURISDICTION:	LARIMER COUNTY
PACE NUMBER:	MRUTH042446	LEASE AREA:	198 SQ FT
ATC SITE NAME:	FAT_TIRE CO	CURRENT ZONING:	FA
ATC SITE NUMBER:	420055		

UTILITY INFORMATION

DESIGN PACKAGE BASED ON RF DATA SHEET
RFDS NAME: COL03271
REVISION: V1.00
ISSUED: 09/21/2020 5:32:10 P.M.
DATE UPDATED: 10/14/2020 11:22:57 A.M.

NUMBER OF SECTORS: 3
NUMBER OF ANTENNAS: 6
NUMBER OF TMAs: 0
NUMBER OF RRRhs: 12
NUMBER OF FIBER/DC SQUIDS: 2
NUMBER OF FIBER TRUNK CABLES: 2
NUMBER OF DC TRUNK CABLES: 4
NUMBER OF RF CABLES: 0

RFDS DATA

THE PURPOSE OF THIS PROJECT IS AS FOLLOWS:

- TOWER SCOPE OF WORK:
- INSTALL (6) ANTENNAS
 - INSTALL (12) RRRhs
 - INSTALL (2) SQUIDS
 - INSTALL (2) FIBER TRUNKS
 - INSTALL (4) DC TRUNKS
 - INSTALL (4) 2" CONDUITS

GROUND SCOPE OF WORK:

- INSTALL (1) W.I.C. SHELTER PAD
- INSTALL (1) GENERATOR PAD
- INSTALL (1) W.I.C. SHELTER
- INSTALL (1) GENERATOR
- INSTALL (1) H-FRAME
- INSTALL METER
- INSTALL DISCONNECT
- INSTALL FIBER BOX

NSB - MONOPINE
LTE - 1C/2C/3C/4C/5G NR 1SR/5C

DRIVING DIRECTIONS

PROJECT INFORMATION

SITE CONSTRUCTION MANAGER:

NAME: AT&T
ADDRESS: 161 INVERNESS DR W, 2ND FLOOR
CITY, STATE, ZIP: ENGLEWOOD, CO 80112
CONTACT: REID POST
PHONE: (720) 838-4228

SITE APPLICANT:

NAME: AT&T
ADDRESS: 4393 S RIVERBOAT RD, 4TH FLOOR
CITY, STATE, ZIP: SALT LAKE CITY, UT 84123
CONTACT: JAN ROBINETTE
PHONE: (801) 281-4173

CIVIL ENGINEER:

NAME: TOWER ENGINEERING PROFESSIONALS
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603
CONTACT: GRANAM M. ANDRES, P.E.
PHONE: (919) 661-6351

ELECTRICAL ENGINEER:

NAME: TOWER ENGINEERING PROFESSIONALS
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603
CONTACT: MARK S. QUAKENBUSH, P.E.
PHONE: (919) 661-6351

PROPERTY OWNER:

NAME: VINE STREET STORAGE LLC
ADDRESS: 1052 W VINE DR
CITY, STATE, ZIP: FORT COLLINS, CO 80521

SHEET:	DESCRIPTION:	REV
T-1	TITLE SHEET	A
T-2	GENERAL NOTES	A
S-1	SITE SURVEY	A
C-1	COMPOUND DETAIL	A
C-2	EQUIPMENT & ANTENNA LAYOUTS	A
C-3	EXISTING AND FINAL ELEVATIONS	A
C-4	EQUIPMENT DETAILS	A
C-5	EQUIPMENT DETAILS	A
C-6	WC SHELTER DETAILS	A
C-7	GENERATOR DETAILS	A
C-8	FOUNDATION DETAILS	A
E-1	ELECTRICAL PANEL & GROUNDING PLANS	A
E-2	ONE-LINE DIAGRAM	A
E-3	DC SYSTEM DETAILS	A
G-1	GROUNDING DETAILS	A
G-2	GROUNDING DETAILS	A

PROJECT TEAM

SHEET INDEX

SCOPE OF WORK

GENERAL NOTES

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	QA
A	1-2-01-20	RRG	PRELIMINARY	EGG

SEAL:



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

REVISION:

A

TEP #:

200289.244015

GENERAL CONSTRUCTION NOTES:

- OWNER FURNISHED MATERIALS, AT&T "THE COMPANY" WILL PROVIDE AND THE CONTRACTOR WILL INSTALL.
 - BTS EQUIPMENT FRAME (PLATFORM AND ICEBERG) SHELTER (GROUND BUILD/CO-LOCATE ONLY)
 - AGTELCO INTERFACE BOX (PFC)
 - ICE BRIDGE (CABLE TRAY WITH COVER) (GROUND BUILD/CO-LOCATE ONLY, GC TO FURNISH AND INSTALL FOR ROOFTOP INSTALLATION)
 - TOWERS, MONOPOLES
 - TOWER LIGHTING
 - GENERATORS & LIQUID PROPANE TANK
 - ANTENNA STANDARD BRACKETS, FRAMES AND PIPES FOR MOUNTING
 - ANTENNAS (INSTALLED BY OTHERS)
 - TRANSMISSION LINE
 - TRANSMISSION LINE JUMPERS
 - TRANSMISSION LINE CONNECTORS WITH WEATHERPROOFING KITS
 - TRANSMISSION LINE GROUND KITS
 - HANGERS
 - HOISTING GRIPS
 - BTS EQUIPMENT
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL OTHER MATERIALS FOR THE COMPLETE INSTALLATION OF THE SITE INCLUDING, BUT NOT LIMITED TO, SUCH MATERIALS AS FENCING, STRUCTURAL STEEL SUPPORTING SUB-FRAME FOR PLATFORM, ROOFING LABOR AND MATERIALS, GROUNDING RINGS, GROUNDING WIRES, COPPER CLAD OR XIT CHEMICAL GROUND RODS), BUSS BARS, TRANSFORMERS AND DISCONNECT SWITCHES WHERE APPLICABLE, TEMPORARY ELECTRICAL POWER, CONDUIT, LANDSCAPING COMPOUND STONE, CRANES, CORE DRILLING, SLEEPERS AND RUBBER MATTING, REBAR, CONCRETE CASSIONS, PADS AND/OR AUGER MOUNTS, MISCELLANEOUS FASTENERS, CABLE TRAYS, NON-STANDARD ANTENNA FRAMES AND ALL OTHER MATERIAL AND LABOR REQUIRED TO COMPLETE THE JOB ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. IT IS THE POSITION OF AT&T TO APPLY FOR PERMITTING AND CONTRACTOR RESPONSIBLE FOR PICKUP AND PAYMENT OF REQUIRED PERMITS.
- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSEI/A222 AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE AT&T REP PRIOR TO REMEDIAL OR CORRECTIVE ACTION, ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE AT&T REP PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE AT&T REP, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE AT&T CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR SHALL NOTIFY THE AT&T REP AND ENGINEER OF RECORD IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH AMERICAN TOWER CORPORATION (ATC) AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH ##### AND AMERICAN TOWER CORPORATION (ATC) WITH A PDF MARKED UP AS-BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH AT&T REP TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED, ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH AT&T REP TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY CONTRACTOR, ALL REQUIRED PERMITS NOT OBTAINED BY AT&T MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH AT&T SPECIFICATIONS AND REQUIREMENTS.

- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO AT&T FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 - ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO AT&T SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
 - THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
 - CONTRACTOR SHALL NOTIFY AT&T REP A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL APPLICABLE OSHA STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY DEVICES INCLUDING PPE AND CONSTRUCTION DEVICES SUCH AS WELDING AND FIRE PREVENTION, TEMPORARY SHORING, SCAFFOLDING, TRENCH BOXES/SLOPING, BARRIERS, ETC.
 - CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE, ALL EXISTING FACILITIES AND SUCH OF HIS NEW WORK LIABLE TO INJURY DURING THE CONSTRUCTION PERIOD. ANY DAMAGE CAUSED BY NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS REPRESENTATIVES, OR BY THE ELEMENTS DUE TO NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS REPRESENTATIVES, EITHER TO THE EXISTING WORK, OR TO HIS WORK OR THE WORK OF ANY OTHER CONTRACTOR, SHALL BE REPAIRED AT HIS EXPENSE TO THE OWNER'S SATISFACTION.
 - ALL WORK SHALL BE INSTALLED IN A FIRST CLASS, NEAT AND WORKMANLIKE MANNER BY MECHANICS SKILLED IN THE TRADE INVOLVED. THE QUALITY OF WORKMANSHIP SHALL BE SUBJECT TO THE APPROVAL OF THE AT&T REP. ANY WORK FOUND BY THE AT&T REP TO BE OF INFERIOR QUALITY AND/OR WORKMANSHIP SHALL BE REPLACED AND/OR REWORKED AT CONTRACTOR EXPENSE UNTIL APPROVAL IS OBTAINED.
 - IN ORDER TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE, ALL TYPES OF MATERIALS LISTED HEREINAFTER BY MANUFACTURER'S NAMES AND/OR MANUFACTURER'S CATALOG NUMBER SHALL BE PROVIDED BY THESE MANUFACTURERS AS SPECIFIED.
 - AT&T FURNISHED EQUIPMENT SHALL BE PICKED-UP AT THE AT&T WAREHOUSE, NO LATER THAN 48HR AFTER BEING NOTIFIED INSURED, STORED, UNCRATE, PROTECTED AND INSTALLED BY THE CONTRACTOR WITH ALL APPURTENANCES REQUIRED TO PLACE THE EQUIPMENT IN OPERATION, READY FOR USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EQUIPMENT AFTER PICKING IT UP.
 - AT&T OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO REJECT ANY EQUIPMENT OR MATERIALS WHICH, IN HIS OWN OPINION ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, EITHER BEFORE OR AFTER INSTALLATION AND THE EQUIPMENT SHALL BE REPLACED WITH EQUIPMENT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO AT&T OR THEIR ARCHITECT/ENGINEER.
- STRUCTURAL STEEL NOTES:**
- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."
 - STRUCTURAL STEEL ROLLED SHAPES, PLATES AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:
 - ASTM A-372, GRADE 50 - ALL W SHAPES, UNLESS NOTED OR A992 OTHERWISE
 - ASTM A-36 - ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE.
 - ASTM A-500, GRADE B - HSS SECTION (SQUARE, RECTANGULAR, AND ROUND)
 - ASTM A-325, TYPE 3C OR N - ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS
 - ASTM F-1554 07 - ALL ANCHOR BOLTS, UNLESS NOTED OTHERWISE
 - ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A123. EXPOSED STEEL HARDWARE AND ANCHOR BOLTS SHALL BE GALVANIZED PER ASTM A153 OR B965.
 - ALL FIELD CUT SURFACES, FIELD DRILLED HOLES AND GROUND SURFACES WHERE EXISTING PAINT OR GALVANIZATION REMOVAL WAS REQUIRED SHALL BE REPAIRED WITH (2) BRUSHED COATS OF ZINC GALVALUME COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURER'S RECOMMENDATIONS.
 - DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
 - CONNECTIONS:
 - ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS WELDING CODE D1.1
 - ALL WELDS SHALL BE INSPECTED VISUALLY. 25% OF WELDS SHALL BE INSPECTED WITH DYE PENETRANT OR MAGNETIC PARTICLE TO MEET THE ACCEPTANCE CRITERIA OF AWS D1.1. REPAIR ALL WELDS AS NECESSARY.
 - INSPECTION SHALL BE PERFORMED BY AN AWS CERTIFIED WELD INSPECTOR.
 - IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE BURNING/WELDING PERMITS AS REQUIRED BY LOCAL GOVERNING AUTHORITY AND IF REQUIRED SHALL HAVE FIRE DEPARTMENT DETAIL FOR ANY WELDING ACTIVITY.
 - ALL ELECTRODES TO BE LOW HYDROGEN, MATCHING FILLER METAL, PER AWS D1.1, UNLESS NOTED OTHERWISE.
 - MINIMUM WELD SIZE TO BE 0.1675 INCH FILLET WELDS, UNLESS NOTED OTHERWISE.

- PRIOR TO FIELD WELDING GALVANIZING MATERIAL, CONTRACTOR SHALL GRIND OFF GALVANIZING "O" BEYOND ALL FIELD WELD SURFACES. AFTER WELD AND WELD INSPECTION IS COMPLETE, REPAIR ALL GROUND AND WELDED SURFACES WITH ZRC GALVALUME COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE REQUIRED DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.
- ANY FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE ENGINEER, AND AT&T PROJECT MANAGER IN WRITING

SPECIAL CONSTRUCTION ANTENNA INSTALLATION NOTES:

- WORK INCLUDED:
 - ANTENNA AND COAXIAL CABLES ARE FURNISHED BY AT&T UNDER A SEPARATE CONTRACT. THE CONTRACTOR SHALL ASSIST ANTENNA INSTALLATION CONTRACTOR IN TERMS OF COORDINATION AND SITE ACCESS. ERECTION SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONNEL AND
 - INSTALL ANTENNA AS INDICATE ON DRAWINGS AND AT&T SPECIFICATIONS.
 - INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED ON DRAWINGS
 - INSTALL FURNISHED GALVANIZED STEEL OR ALUMINUM WAVEGUIDE AND PROVIDE PRINTOUT OF THAT TEST.
 - CONTRACTOR SHALL PROVIDE FOUR (4) SETS OF SWEEP TESTS USING ANRZ121/PACKAGE 8718P RF SCALAR NETWORK ANALYZER. SUBMIT FREQUENCY DOMAIN REFLECTOMETER(DR) TESTS RESULTS TO THE PROJECT MANAGER. SWEEP TESTS SHALL BE AS PER ATTACHED RFS "MINIMUM FIELD TESTING RECOMMENDED FOR ANTENNA AND HELIX COAXIAL CABLE SYSTEMS" DATED 10/26/03. TESTING SHALL BE PERFORMED BY AN INDEPENDENT TESTING SERVICE AND BE BOUND AND SUBMITTED WITHIN ONE WEEK OF WORK COMPLETION.
 - INSTALL COAXIAL CABLES AND TERMINATING BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. WEATHERPROOF ALL CONNECTIONS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF ENTRY PORT LOCATION UNLESS OTHERWISE STATED.
 - ANTENNA AND COAXIAL CABLE GROUNDING:
 - ALL EXTERIOR REE GRID GROUND WIRE "DAISY CHAIN" CONNECTIONS ARE TO BE WEATHER SEALED WITH RFS CONNECTOR/SPLICE WEATHERPROOFING KIT R221213 OR EQUAL.
 - ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)

CONCRETE AND REINFORCING STEEL NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 117 "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY AT&T REP PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6 % AIR ENTRAINED (-1% to +1%) WITH A SLUMP RANGE OF 3-4" AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED.
- THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:	ASTM C150, TYPE 2
REINFORCEMENT:	ASTM A615, PLAIN STEEL WELDED WIRE FABRIC
REINFORCEMENT BARS:	ASTM A615, GRADE 60, DEFORMED
NORMAL WEIGHT AGGREGATE:	ASTM C33
WATER:	ASTM C 84C 54M
WELDED WIRE FABRIC:	ASTM A165
ADMIXTURES:	
-WATER-REDUCING AGENT:	ASTM C 484C 494M, TYPE A
-AIR-ENTRING AGENT:	ASTM C 260C 269M
SUPERPLASTICIZER:	ASTM C484, TYPE F OR TYPE G
-RETARDING:	ASTM C 484C 494M, TYPE B
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE NO LESS THAN "3".
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4, UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR APPROVAL FROM AN ATC ENGINEER WHEN DRILLING HOLES IN CONCRETE.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN "METHOD 1" OF ACI 301.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- FOR COLD-WEATHER (ACI 306) AND HOT-WEATHER (ACI 301M) CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT

BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS, MINIMUM.

- ALL CONCRETE SHALL HAVE A "SMOOTH FORM FINISH"
 - SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
 - DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 318).
 - ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
 - LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS.
 - SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 6".
 - BAR SUPPORTS SHALL BE ALL-GALVANIZED METAL WITH PLASTIC TIPS.
 - ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. THE WIRE SHALL BE OF SUFFICIENT STRENGTH FOR INTENDED PURPOSE, BUT NOT LESS THAN NO. 18 GAUGE.
 - SLAB ON GROUND- COMPACT STRUCTURAL FILL TO 95% DENSITY AND THEN PLACE 6" GRAVEL BENEATH SLAB.
- ELECTRICAL NOTES:**
- ELECTRICAL DESIGN SHALL BE PERFORMED BY ELECTRICAL CONTRACTOR. STRUCTURAL DESIGN SHALL BE PERFORMED BY GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL ENSURE THAT ALL WORK COMPLIES WITH ALL APPLICABLE LOCAL AND STATE CODES AND NATIONAL ELECTRICAL CODE.
 - ALL SUGGESTED ELECTRICAL ELEMENTS (SUCH AS BREAKER SIZES, WIRE SIZES, CONDUIT SIZES ARE FOR ZONING PURPOSES ONLY. IT IS THE RESPONSIBILITY TO OF THE ELECTRICAL CONTRACTOR TO CONFIRM COMPLIANCE WITH LOCAL ELECTRICAL CODES AND PASS ALL APPLICABLE AND NECESSARY INSPECTIONS. IN SOME EVENTS, IT MAY BE NECESSARY TO PERFORM AN ELECTRICAL LOAD STUDY TO VERIFY THE CAPACITY OF THE EXISTING SERVICE. THIS IS NOT THE RESPONSIBILITY OF CONCORDIA. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
 - CONTRACTOR SHALL FIELD LOCATE ALL BELOW GRADE GROUND LINES AND UTILITY LINES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES AND GROUND LINES THAT MAY BECOME DISTURBED OR CONFLICTING IN THE COURSE OF CONSTRUCTION.



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AT&T PACE #: MRUTH042446
ATC #: 420055
FAT_TIRE CO

1052 W VINE DR
FORT COLLINS, CO 80521
(LARIMER COUNTY)

EXISTING 70'-0"
MONOPINE TOWER
NSB - LTE - 1C/2C/3C/4C/
5G NR 15R/5C

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	QA
A	1.2.01.20	RFG	PRELIMINARY	EGG

SEAL:



ALL DISCREPANCIES FROM WHAT IS SHOWN ON THESE CONSTRUCTION DRAWINGS SHALL BE COMMUNICATED TO ATC ENGINEERING IMMEDIATELY FOR CORRECTION OR RE-DESIGN. FAILURE TO COMMUNICATE DIRECTLY WITH ATC ENGINEERING OR ANY CHANGES FROM THE DESIGN CONDUCTED WITHOUT PRIOR APPROVAL FROM ATC ENGINEERING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

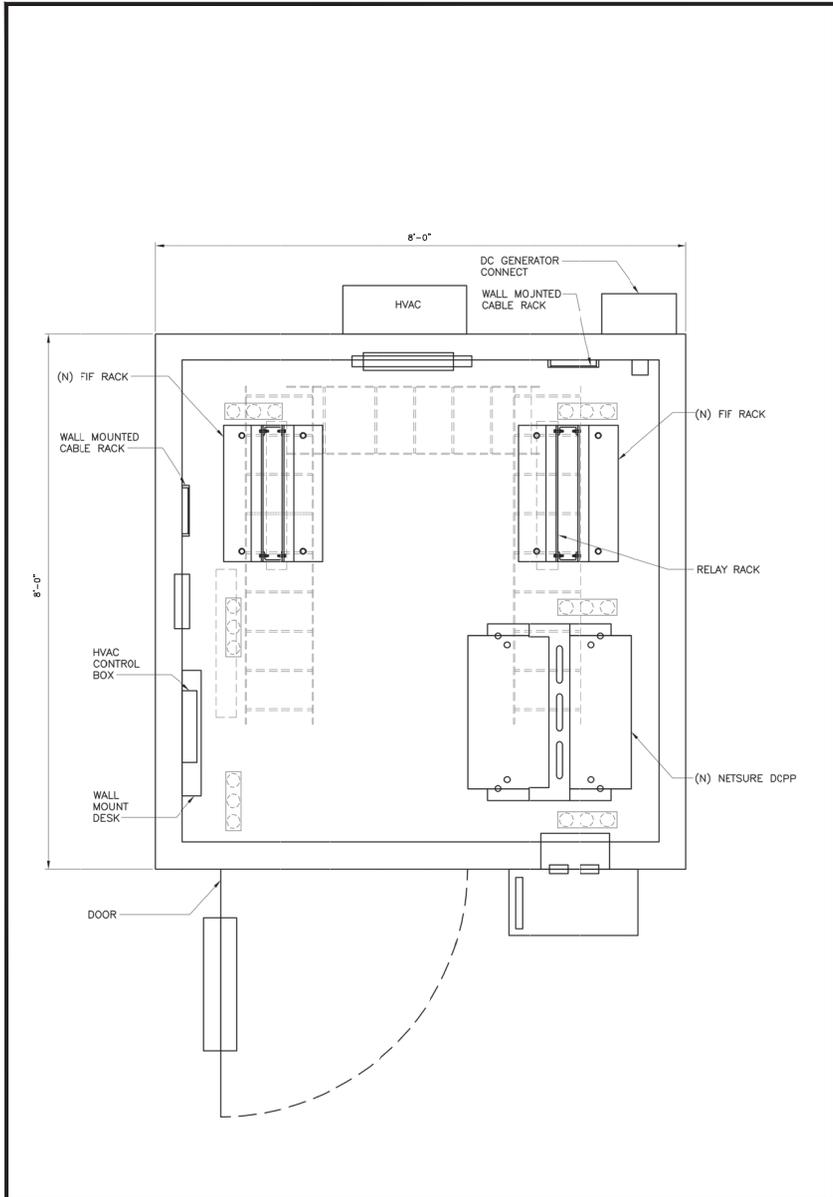
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SHEET TITLE:
GENERAL NOTES

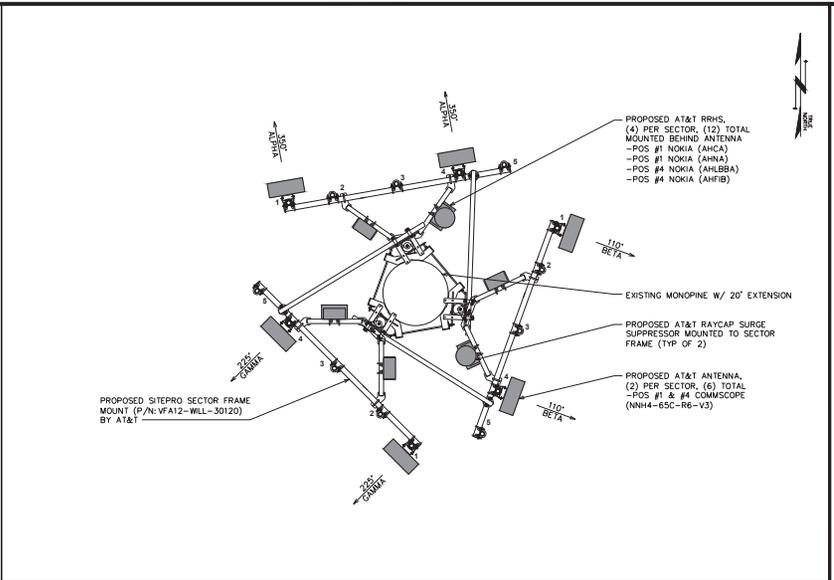
SHEET NUMBER:
T-2

REVISION:
A

TEP #: 200289, 244015



FINAL EQUIPMENT LAYOUT
SCALE: N.T.S.



FINAL ANTENNA LAYOUT

SCALE: 3/8" = 1'-0" (24+36)
SCALE: 3/16" = 1'-0" (11x17)
0 2 4
SCALE IN FEET

NOTE:
SCHEDULE EQUIPMENT SHOULD BE REFERENCED OFF RFDS LISTED ON SHEET T-1.
PROPOSED EQUIPMENT IN BOLD

FINAL ANTENNA/FEEDLINE SCHEDULE							
SECTOR	POS.	MANUFACTURER (MODEL #)	MOUNTING HEIGHT	AZIMUTH (TN)	CABLE SIZE	CABLE LENGTH	SQUID/RRHTM/DIPLXER [MODEL #]
ALPHA	1	COMMSCOPE (NNH4-65C-R6-V3)	91'-0"±	350°	(2) FIBER TRUNKS (4) DC TRUNKS (4) 2" CONDUITS	130'±	(1) RAYCAP SQUID [DC9-48-60-24-8C-EV] (1) NOKIA RRH [AIRSCALE RRH 414R B5 160W AHCA]
ALPHA	2	-	-	-			(1) NOKIA RRH [AIRSCALE RRH 414R B30 100W AHNA] (1) NOKIA RRH [AIRSCALE TRH RRH 414R B12/14/29 370W AHLBBA]
ALPHA	3	-	-	-			(1) NOKIA RRH [AIRSCALE DUAL RRH 414R B25/66 320W AHFB]
ALPHA	4	COMMSCOPE (NNH4-65C-R6-V3)	91'-0"±	350°			(1) RAYCAP SQUID [DC9-48-60-24-8C-EV] (1) NOKIA RRH [AIRSCALE RRH 414R B5 160W AHCA]
ALPHA	5	-	-	-			(1) NOKIA RRH [AIRSCALE RRH 414R B30 100W AHNA] (1) NOKIA RRH [AIRSCALE TRH RRH 414R B12/14/29 370W AHLBBA]
BETA	1	COMMSCOPE (NNH4-65C-R6-V3)	91'-0"±	110°	(2) FIBER TRUNKS (4) DC TRUNKS (4) 2" CONDUITS	130'±	(1) RAYCAP SQUID [DC9-48-60-24-8C-EV] (1) NOKIA RRH [AIRSCALE RRH 414R B5 160W AHCA]
BETA	2	-	-	-			(1) NOKIA RRH [AIRSCALE RRH 414R B30 100W AHNA] (1) NOKIA RRH [AIRSCALE TRH RRH 414R B12/14/29 370W AHLBBA]
BETA	3	-	-	-			(1) NOKIA RRH [AIRSCALE DUAL RRH 414R B25/66 320W AHFB]
BETA	4	COMMSCOPE (NNH4-65C-R6-V3)	91'-0"±	110°			(1) RAYCAP SQUID [DC9-48-60-24-8C-EV] (1) NOKIA RRH [AIRSCALE RRH 414R B5 160W AHCA]
BETA	5	-	-	-			(1) NOKIA RRH [AIRSCALE RRH 414R B30 100W AHNA] (1) NOKIA RRH [AIRSCALE TRH RRH 414R B12/14/29 370W AHLBBA]
DELTA	1	COMMSCOPE (NNH4-65C-R6-V3)	91'-0"±	225°	(2) FIBER TRUNKS (4) DC TRUNKS (4) 2" CONDUITS	130'±	(1) NOKIA RRH [AIRSCALE RRH 414R B5 160W AHCA]
DELTA	2	-	-	-			(1) NOKIA RRH [AIRSCALE RRH 414R B30 100W AHNA] (1) NOKIA RRH [AIRSCALE TRH RRH 414R B12/14/29 370W AHLBBA]
GAMMA	3	-	-	-			(1) NOKIA RRH [AIRSCALE DUAL RRH 414R B25/66 320W AHFB]
GAMMA	4	COMMSCOPE (NNH4-65C-R6-V3)	91'-0"±	225°			(1) RAYCAP SQUID [DC9-48-60-24-8C-EV] (1) NOKIA RRH [AIRSCALE RRH 414R B5 160W AHCA]
GAMMA	5	-	-	-			(1) NOKIA RRH [AIRSCALE RRH 414R B30 100W AHNA] (1) NOKIA RRH [AIRSCALE TRH RRH 414R B12/14/29 370W AHLBBA]

FINAL ANTENNA SCHEDULE
SCALE: N.T.S.

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ATC #: 420055
FAT_TIRE CO

1052 W VINE DR
FORT COLLINS, CO 80521
(LARIMER COUNTY)

EXISTING 70'-0" MONOPINE TOWER
NSB - LTE - 1C/2C/3C/4C/
5G NR 1SR/5C

REV	DATE	DRWN	DESCRIPTION	QA
A	1.2.01.20	RRG	PRELIMINARY	EGG

ISSUED FOR:

SEAL:

PRELIMINARY
Professional Engineer
No. 1000000000

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SHEET TITLE:
FINAL EQUIPMENT & ANTENNA LAYOUTS

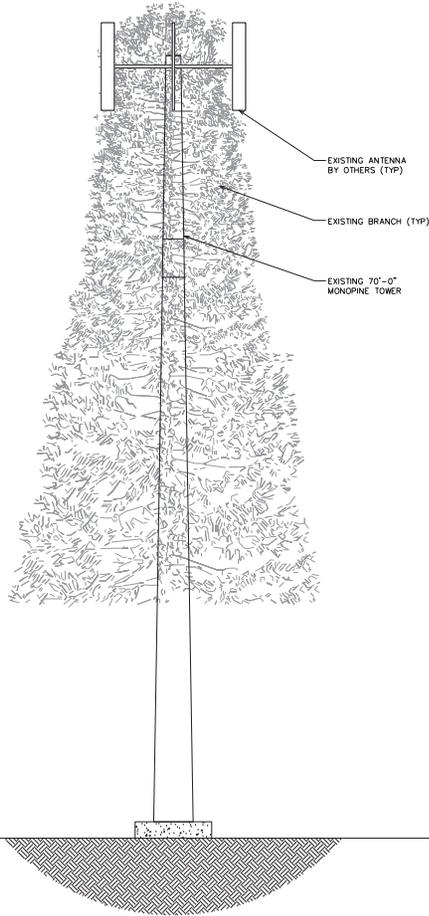
SHEET NUMBER: C-2	REVISION: A
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TEP #: 200289.244015

NOTE:

TOWER ELEVATION IS FOR SCHEMATIC PURPOSES ONLY. TEP DID NOT CONFIRM EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO ANTENNA HEIGHTS, ANTENNA AZIMUTHS, AND MOUNT CONFIGURATIONS.

70'-0" ±
1/TOWER

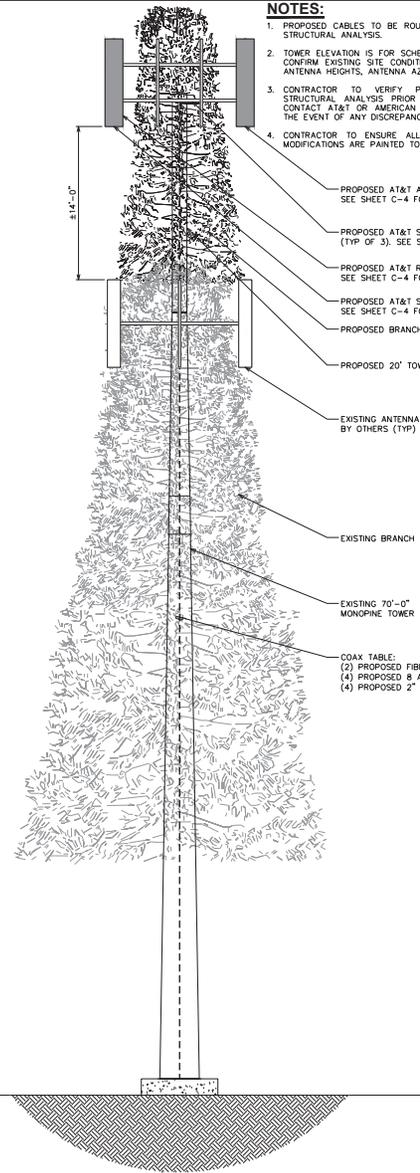


- 95'-0" ±
1/AT&T ANTENNA
- 91'-0" ±
1/AT&T ANTENNA
- 90'-0" ±
1/TOWER

NOTES:

1. PROPOSED CABLES TO BE ROUTED PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER ELEVATION IS FOR SCHEMATIC PURPOSES ONLY. TEP DID NOT CONFIRM EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO ANTENNA HEIGHTS, ANTENNA AZIMUTHS, AND MOUNT CONFIGURATIONS.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT AT&T OR AMERICAN TOWER CORPORATION IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES.
4. CONTRACTOR TO ENSURE ALL PROPOSED EQUIPMENT AND TOWER MODIFICATIONS ARE PAINTED TO MATCH THE EXISTING.

5'-4"-0"



- PROPOSED AT&T ANTENNA (TYP OF 6). SEE SHEET C-4 FOR DETAILS.
- PROPOSED AT&T SECTOR FRAME MOUNT (TYP OF 3). SEE SHEETS C-5 FOR DETAILS.
- PROPOSED AT&T BRN (TYP OF 12). SEE SHEET C-4 FOR DETAILS.
- PROPOSED AT&T SQUID (TYP OF 2). SEE SHEET C-4 FOR DETAILS.
- PROPOSED BRANCH (TYP)
- PROPOSED 20' TOWER EXTENSION
- EXISTING ANTENNA BY OTHERS (TYP)
- EXISTING BRANCH (TYP)
- EXISTING 70'-0" MONOPINE TOWER

COAX TABLE:
(2) PROPOSED FIBER TRUNKS
(4) PROPOSED 8 AWG & DC TRUNKS
(4) PROPOSED 2" CONDUITS

0'-0" (REF)
1/CONCRETE

0'-0" (REF)
1/CONCRETE

EXISTING TOWER ELEVATION

SCALE: 3/8" = 1'-0" (24x36)
SCALE: 3/32" = 1'-0" (11x17)



FINAL TOWER ELEVATION

SCALE: 3/8" = 1'-0" (24x36)
SCALE: 3/32" = 1'-0" (11x17)



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(LARIMER COUNTY)

EXISTING 70'-0"
MONOPINE TOWER
NSB - LTE - 1C/2C/3C/4C/
5G NR 1SR/5C

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	QA
A	1-2-01-20	RRG	PRELIMINARY	EGG

SEAL:



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SHEET TITLE:
EXISTING AND
FINAL ELEVATIONS

SHEET NUMBER: C-3
REVISION: A

TEP #: 200289,244015



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 (LARIMER COUNTY)

EXISTING 70'-0"
 MONOPINE TOWER
 NSB - LTE - 1C/2C/3C/4C/
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ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	QA
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SEAL:



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SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

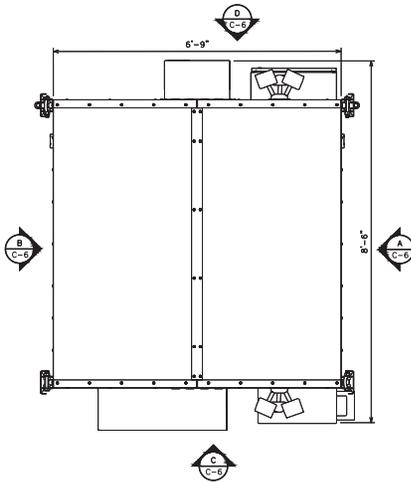
C-6

REVISION:

A

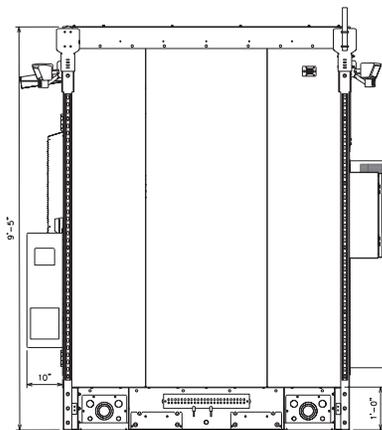
TEP #:

200289.244015



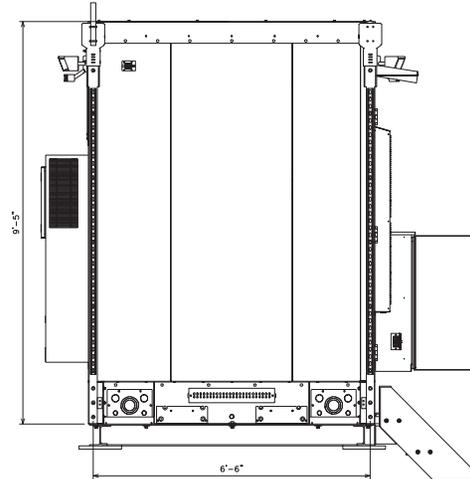
WIC SHELTER TOP ELEVATION

SCALE: N.T.S



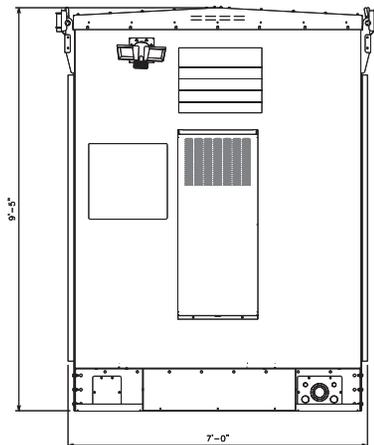
WIC SHELTER SIDE ELEVATION (A)

SCALE: N.T.S



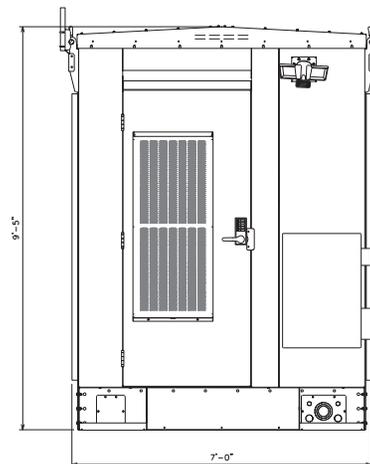
WIC SHELTER SIDE ELEVATION (B)

SCALE: N.T.S



WIC SHELTER BACK ELEVATION (C)

SCALE: N.T.S

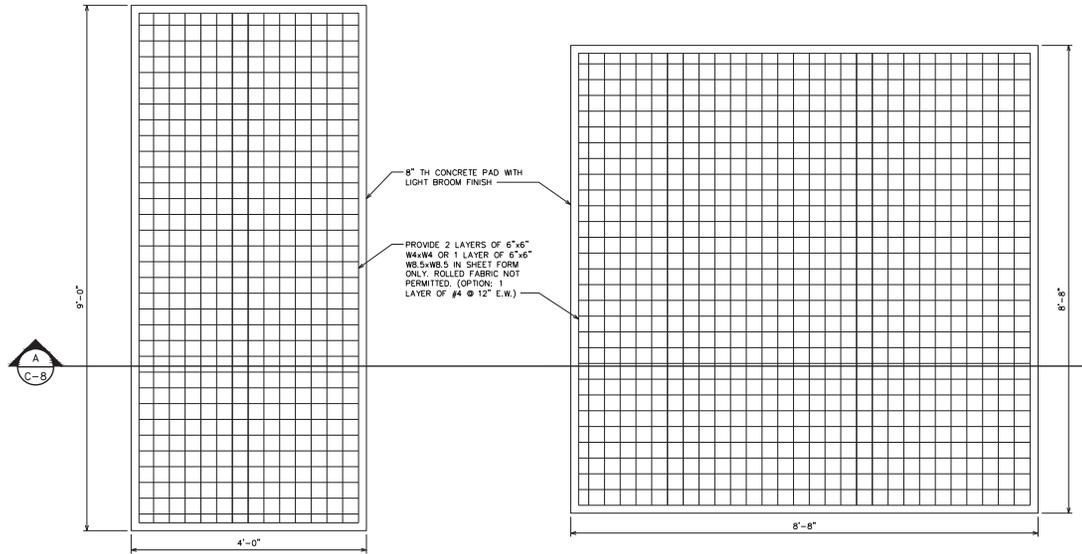


WIC SHELTER FRONT ELEVATION (D)

SCALE: N.T.S

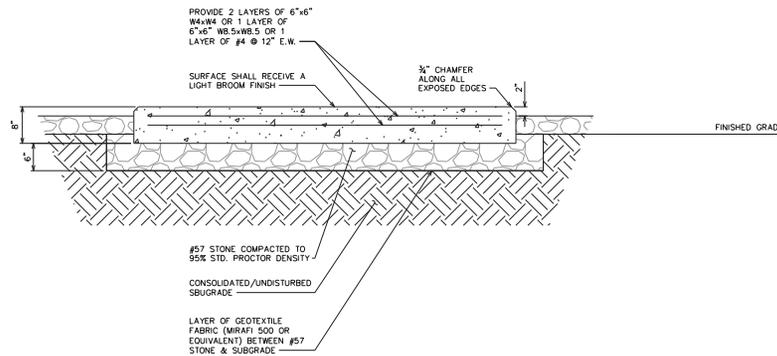
FOUNDATION NOTES:

1. FOUNDATION DESIGN BASED ON 2,000 PSF SOIL BEARING CAPACITY.
2. CONCRETE SHALL BE 4,000 PSI @ 28 DAYS.
3. REINFORCING STEEL $F_y = 60,000$ PSI.
4. ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTER METHOD.
5. SURFACE OF FINISHED SLAB SHALL BE LEVEL AND FLAT WITH "A".
6. CONTRACTOR SHALL VERIFY WITH MANUFACTURER ACTUAL DIMENSIONS OF EQUIPMENT PRIOR TO LAYING OUT FOUNDATION.
7. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACT 318-11.



WIC SHELTER & GENERATOR FOUNDATION PLAN

SCALE: N.T.S



PAD SECTION

SCALE: N.T.S

161 INVERNESS DR W, 2ND FLOOR
ENGLEWOOD, CO 80112

19100 VON KARMAN AVE
SUITE 200
IRVINE, CA 92612

4710 E ELWOOD ST, STE 9
PHOENIX, AZ 85040
OFFICE: (480) 285-0036
www.tepgroup.net

AT&T SITE ID: COL03271
AT&T FA CODE: 15312472
AT&T PACE #: MRUTH042446
ATC #: 420055
FAT_TIRE CO

1052 W VINE DR
FORT COLLINS, CO 80521
(LARIMER COUNTY)

EXISTING 70'-0"
MONOPINE TOWER
NSB - LTE - 1C/2C/3C/4C/
5G NR 1SR/5C

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	QA
A	1.2.01.20	RRG	PRELIMINARY	EGG

SEAL:

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SHEET TITLE:
FOUNDATION DETAILS

SHEET NUMBER:
C-8

REVISION:
A

TEP #: 200289.244015



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 AT&T FA CODE: 15312472
 AT&T PACE #: MRUTH042446
 ATC #: 420055
 FAT_TIRE CO
 1052 W VINE DR
 FORT COLLINS, CO 80521
 (LARIMER COUNTY)

EXISTING 70'-0"
 MONOPINE TOWER
 NSB - LTE - 1C/2C/3C/4C/
 5G NR 1SR/5C

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	QA
A	1.2.01.20	EPG	PRELIMINARY	EGG

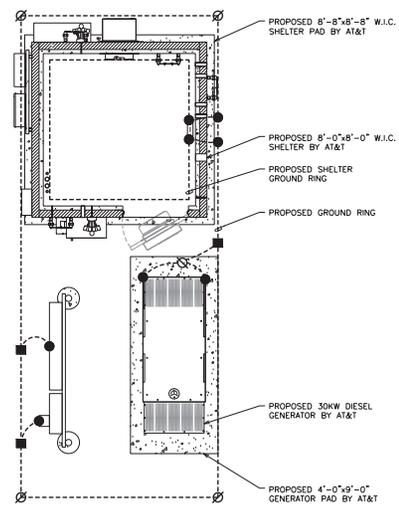


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SHEET TITLE:
ELECTRICAL PANEL & GROUNDING PLANS

SHEET NUMBER: **E-1** REVISION: **A**

TEP #: 200289.244015



LEGEND	
■	EXOTHERMIC CONNECTION
●	MECHANICAL CONNECTION
○	ANTENNA GROUND BAR
⊞	MASTER GROUND BAR

EQUIPMENT GROUNDING PLAN

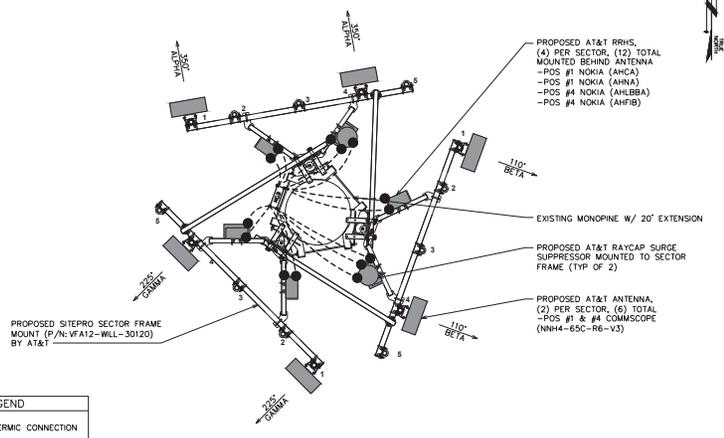
SCALE: 3/8" = 1'-0" (24x36)
 SCALE: 3/16" = 1'-0" (11x17)

NOTE:
 PROPOSED PANEL SCHEDULE VALUES WERE CALCULATED BASED ON MAXIMUM PULL FROM EACH CONNECTED BREAKER. ACTUAL VALUES WILL VARY BASED ON SITE CONDITIONS.

PROPOSED PANEL SCHEDULE											
120/240 VOLTS 1 PHASE			3 WIRE SURFACE MOUNTED						225A, 2 POLE MAIN BREAKER		
NO.	LOAD SERVED	OA VA	OB VA	AMP / POLE	L1	L2	AMP / POLE	OA VA	OB VA	LOAD SERVED	NO.
1	RECTIFIERS #1 & #2	2880	-	30/2	-	5760	-	2880	-	RECTIFIERS #3 & 4	2
3		-	2880	-	5760	-	30/2	-	2880		4
5	RECTIFIERS #5 & 6	2880	-	30/2	-	2880	-	0	-	SPARE/OFF	6
7		-	2880	-	2880	-	30/2	-	0		8
9	SPARE/OFF	0	-	30/2	0	-	0	-	0	SPARE/OFF	10
11		-	0	-	0	-	30/2	-	0	SPARE/OFF	12
13	SPARE/OFF	0	-	30/2	0	-	0	-	0	SPARE/OFF	14
15		-	0	-	0	-	30/2	-	0	SPARE/OFF	16
17	SPARE/OFF	0	-	30/2	0	-	0	-	0	SPARE/OFF	18
19		-	0	-	0	-	30/2	-	0	SPARE/OFF	20
21	SPARE/OFF	0	-	30/2	0	-	0	-	0	SPARE/OFF	22
23		-	0	-	0	-	30/2	-	0	SPARE/OFF	24
25	AC UNIT #1	1920	-	20/1	1920	-	-	-	-	BLANK	26
27	BLANK	-	-	-	0	-	-	-	-	BLANK	28
29	BLANK	-	-	-	0	-	-	-	-	BLANK	30
31	BLANK	-	-	-	0	-	-	-	-	BLANK	32
33	BLANK	-	-	-	0	-	-	-	-	BLANK	34
35	BLANK	-	-	-	0	-	-	-	-	BLANK	36
37	BLANK	-	-	-	0	-	-	-	-	BLANK	38
39	BLANK	-	-	-	0	-	-	-	-	BLANK	40
PHASE TOTALS (VA)				10560		8640					
CURRENT PER PHASE (A)				88		72					
PEAK TOTAL (VA)				10560		88				PEAK TOTAL (A)	
125% DEMAND (VA)				13200		110				125% DEMAND (A)	

PROPOSED A/C PANEL

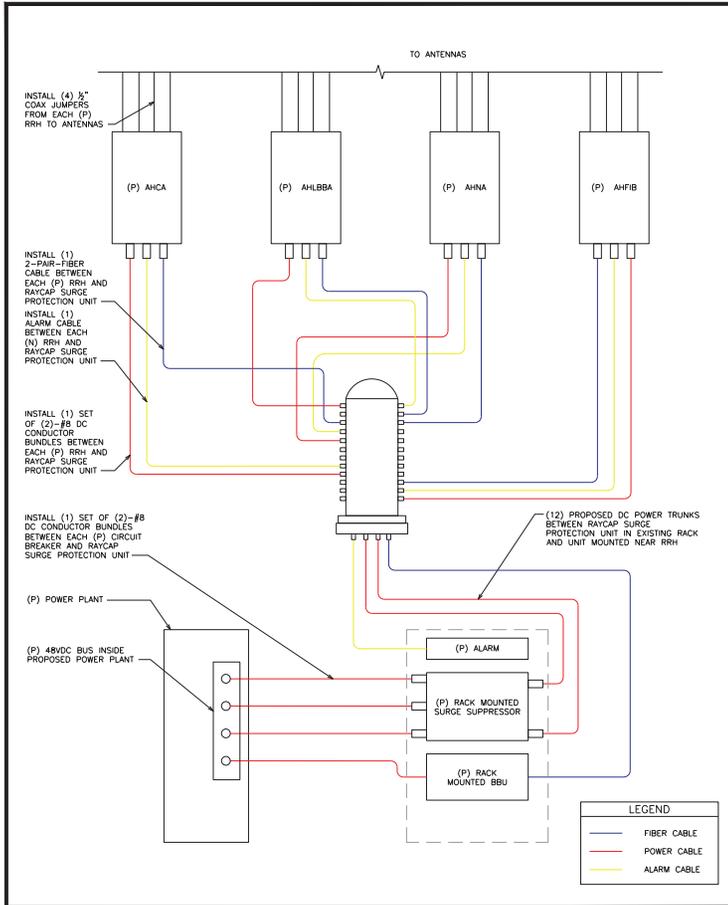
SCALE: N.T.S.



LEGEND	
■	EXOTHERMIC CONNECTION
●	MECHANICAL CONNECTION
○	ANTENNA GROUND BAR
⊞	MASTER GROUND BAR

ANTENNA GROUNDING PLAN

SCALE: 3/8" = 1'-0" (24x36)
 SCALE: 3/16" = 1'-0" (11x17)



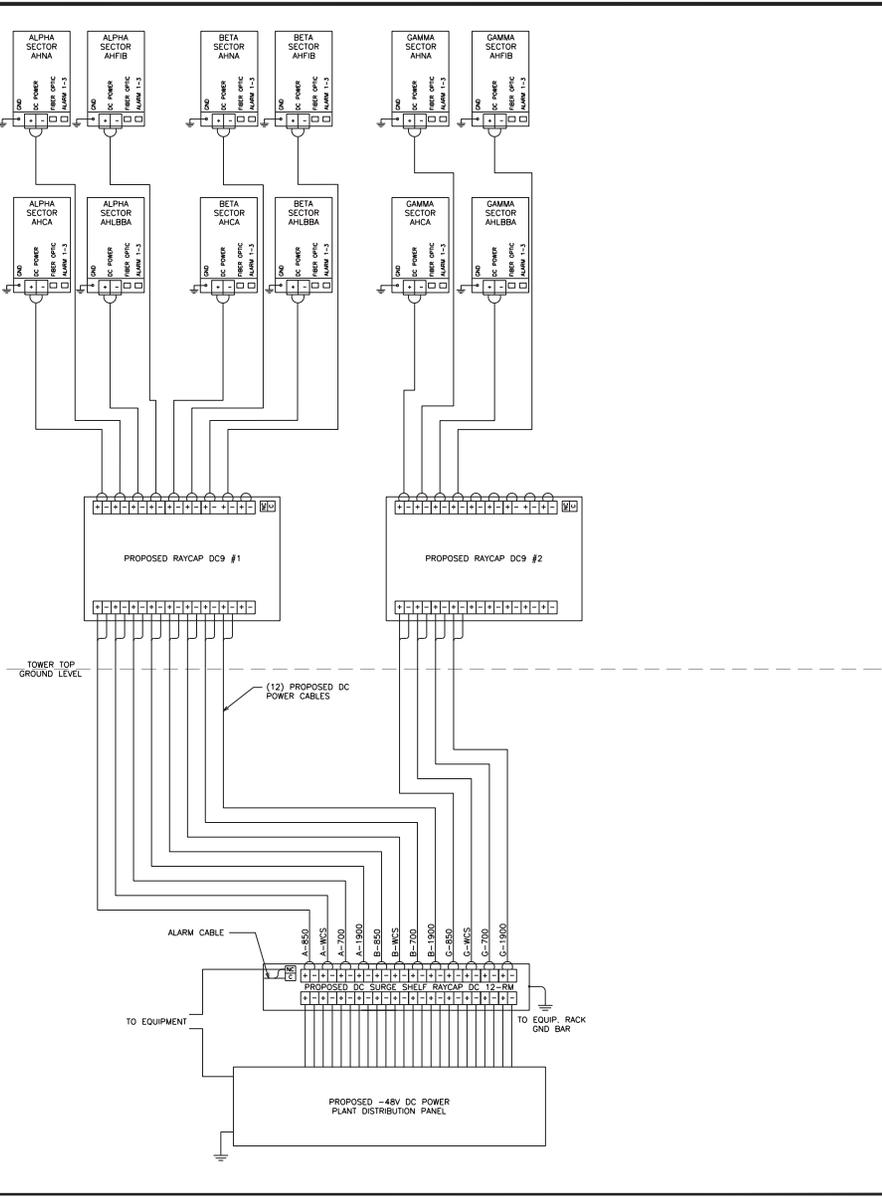
DC AND FIBER SYSTEM SCHEMATIC
SCALE: N.T.S.

PDF JUMPER DC-6 TRUNK SOLID JUMPER RRH

SECTOR	PDF	DISTANCE & CABLE TYPE		TOTAL CABLE LENGTH	FINAL VOLTAGE
		DC-6	RRH		
ALPHA	20'	#8 AWG	(2) #8 AWG	130'	42.2
		95'	(2) #8 AWG	130'	42.2
BETA	20'	#8 AWG	(2) #8 AWG	130'	42.2
		95'	(2) #8 AWG	130'	42.2
GAMMA	20'	#8 AWG	(2) #8 AWG	130'	42.2
		95'	(2) #8 AWG	130'	42.2

QTY	CABLE TYPE
2	FIBER TRUNKS
4	DC TRUNKS

LTE CONDUCTOR SIZES
SCALE: N.T.S.



DC WIRING DIAGRAM
SCALE: N.T.S.



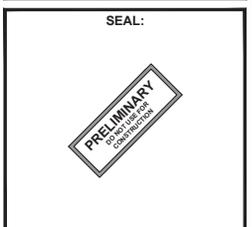
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 AT&T FA CODE: 15312472
 AT&T PACE #: MRUTH042446
 ATC #: 420055
 FAT_TIRE CO

1052 W VINE DR
 FORT COLLINS, CO 80521
 (LARIMER COUNTY)

EXISTING 70'-0"
 MONOPINE TOWER
 NSB - LTE - 1C/2C/3C/4C/
 5G NR 1SR/5C

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	QA
A	1.2.01.20	FRG	PRELIMINARY	EGG



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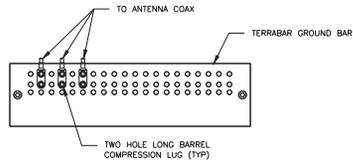
SHEET TITLE:
DC SYSTEM DETAILS

SHEET NUMBER: **E-3** REVISION: **A**

TEP #: 200289.244015

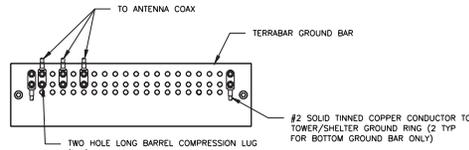
NOTES:

1. DOUBLING UP "OR STACKING" OF CONNECTIONS IS NOT PERMITTED.
2. EXTERIOR ANTIOXIDANT JOINT COMPOUND TO BE USED ON ALL EXTERIOR CONNECTIONS.
3. GROUND BAR SHALL NOT BE ISOLATED FROM TOWER. MOUNT DIRECTLY TO TOWER STEEL.



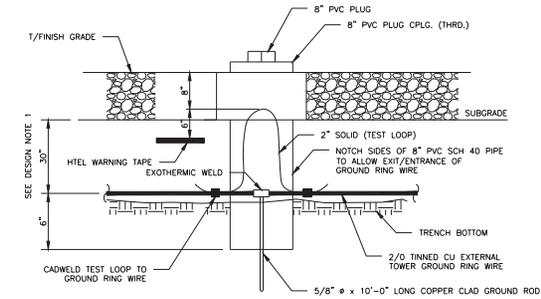
NOTES:

1. EXTERIOR ANTIOXIDANT JOINT COMPOUND TO BE USED ON ALL EXTERIOR CONNECTIONS.
2. GROUND BAR SHALL NOT BE ISOLATED FROM TOWER. MOUNT DIRECTLY TO TOWER STEEL (TOWER ONLY).
3. INSTALL GROUND BARS AT 75 FT. INTERVAL MAXIMUM.
4. GROUND BAR SHALL BE ISOLATED FROM BUILDING OR SHELTER.



NOTES:

1. GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.
2. GROUND WIRE SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE. (WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)



ANTENNA GROUND BAR DETAIL

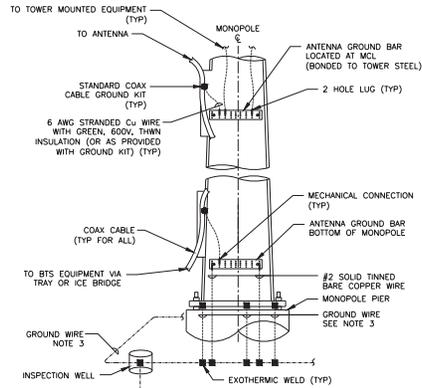
SCALE: N.T.S.

TOWER/SHELTER GROUND BAR DETAIL

SCALE: N.T.S.

TEST WELL DETAIL

SCALE: N.T.S.

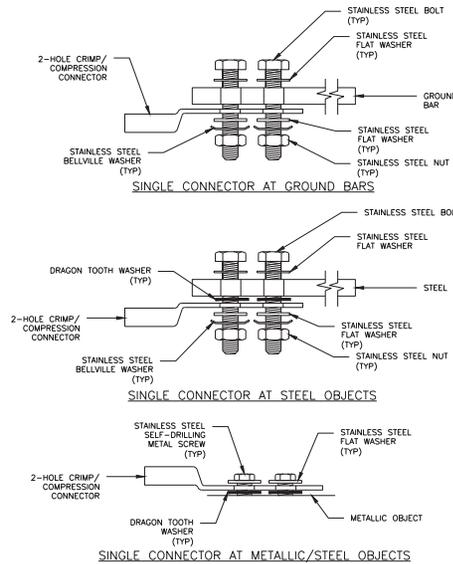


NOTES:

1. NUMBER OF GROUND BARS MAY VARY DEPENDING ON THE TYPE OF MONOPOLE, ANTENNA LOCATION AND CONNECTION ORIENTATION. COAXIAL CABLES EXCEEDING 200 FEET IN/ON THE POLE SHALL HAVE GROUND KITS AT THE MIDPOINT. PROVIDE AS REQUIRED.
2. ONLY MECHANICAL CONNECTIONS ARE ALLOWED TO BE MADE TO CROWN CASTLE TOWERS. ALL MECHANICAL CONNECTIONS SHALL BE TREATED WITH AN ANTI-OXIDANT COATING.
3. ALL TOWER GROUNDING SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF ANSI/TIA 222 AND NFPA 780. FOR TOWERS BEING BUILT TO REV G OF THE STANDARD, THE WIRE SIZE OF THE BURIED GROUND RING AND CONNECTIONS BETWEEN THE TOWER AND THE BURIED GROUND RING SHALL BE 2/0 AWG, STRANDED IN ADDITION, THE MINIMUM LENGTH OF THE GROUND RODS SHALL BE INCREASED FROM 8 FEET TO 10 FEET.

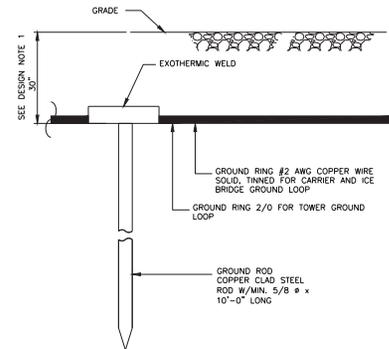
TYPICAL ANTENNA CABLE GROUNDING

SCALE: N.T.S.



HARDWARE DETAIL FOR EXTERIOR CONNECTIONS

SCALE: N.T.S.



NOTES:

1. GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.
2. GROUND WIRE SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE. (WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)

GROUND ROD

SCALE: N.T.S.

161 INVERNESS DR W, 2ND FLOOR
ENGLEWOOD, CO 80112

19100 VON KARMAN AVE
SUITE 200
IRVINE, CA 92612

4710 E ELWOOD ST, STE 9
PHOENIX, AZ 85040
OFFICE: (480) 285-0036
www.tepgroup.net

AT&T SITE ID: COL03271
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ATC #: 420055
FAT_TIRE CO
1052 W VINE DR
FORT COLLINS, CO 80521
(LARIMER COUNTY)

EXISTING 70'-0"
MONOPINE TOWER
NSB - LTE - 1C/2C/3C/4C/
5G NR 1SR/5C

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	QA
A	1.2.01.20	EPG	PRELIMINARY	EGG

SEAL:

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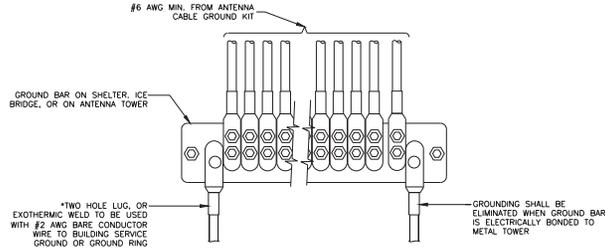
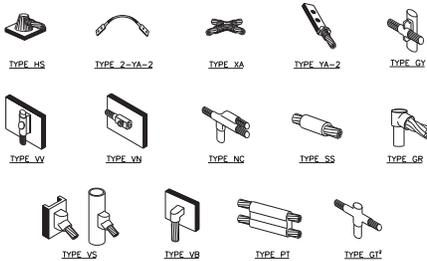
SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER: **G-1** REVISION: **A**

TEP #: 200289,244015

NOTE:

1. ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH CONSTRUCTION MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.
2. MOLD TYPE ONLY TO BE USED BELOW GRADE WHEN CONNECTING GROUND RING TO GROUND ROD.

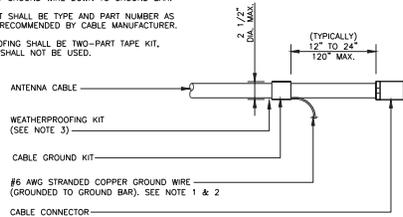


GROUNDWIRE INSTALLATION

SCALE: N.T.S.

NOTES:

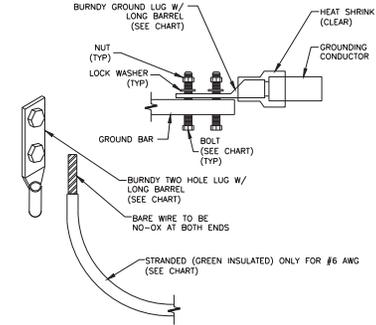
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.



NOTES:

1. ALL GROUNDING LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.

WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT

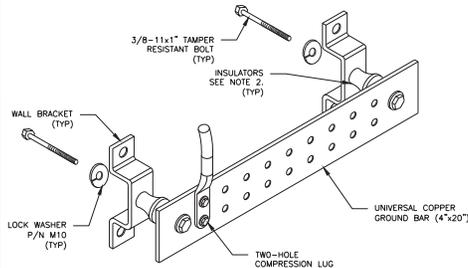


CADWELDED GROUNDING CONNECTIONS

SCALE: N.T.S.

NOTES:

1. DOWN LEAD (HOME RUN) CONDUCTORS ARE NOT TO BE INSTALLED ON CROWN CASTLE TOWER. PER THE GROUNDING DOWN CONDUCTOR POLICY (GAS-STO-1009), NO MODIFICATION OR DRILLING TO TOWER STEEL IS ALLOWED IN ANY FORM OR FASHION, CAD-WELDING ON THE TOWER AND/OR IN THE AIR ARE NOT PERMITTED.
2. OMIT INSULATOR WHEN MOUNTING TO TOWER STEEL OR PLATFORM STEEL. USE INSULATORS WHEN ATTACHING TO BUILDING OR SHELTERS.



GROUND BAR DETAIL

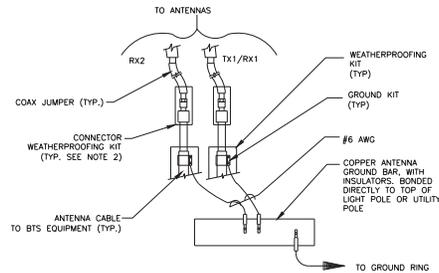
SCALE: N.T.S.

CABLE GROUND KIT CONNECTION

SCALE: N.T.S.

NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
2. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

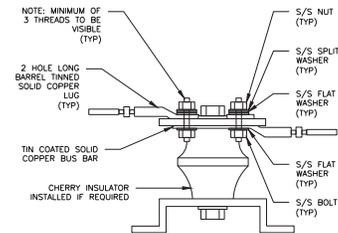


GROUND CABLE CONNECTION

SCALE: N.T.S.

MECHANICAL LUG CONNECTION

SCALE: N.T.S.



LUG DETAIL

SCALE: N.T.S.



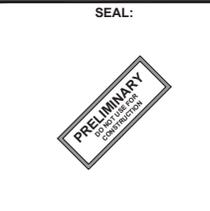
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1052 W VINE DR
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EXISTING 70'-0"
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ISSUED FOR:

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A	1.2.01.20	RFJ	PRELIMINARY	EGG

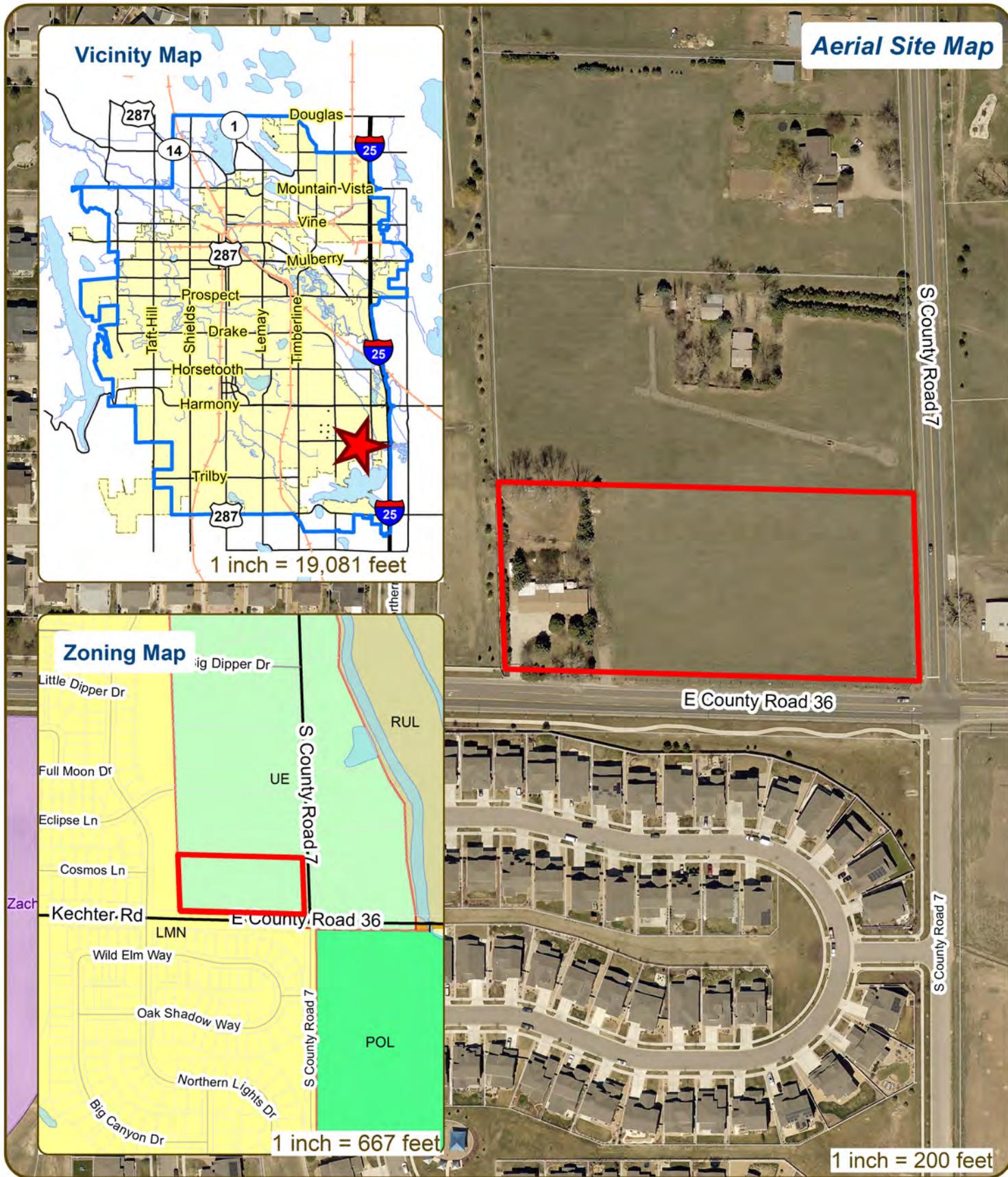


SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER: **G-2** REVISION: **A**

TEP #: 200289.244015

4000 Kechter Rd Single-Family Subdivision



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CONCEPTUAL REVIEW:
APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.** The applicant acknowledges that they are acting with the owner's consent.

Conceptual Reviews are scheduled on three Thursday mornings per month on a "first come, first served" basis and are a free service. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Thursday morning. A completed application must be submitted to reserve a Conceptual Review time slot. **Complete applications and sketch plans must be submitted to City Staff on Thursday, no later than end of day, two weeks prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.**

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Mohsen Bagherian

Business Name (if applicable) Peak Custom Villas of Colorado

Your Mailing Address 2265 La Montana Way, Colorado Springs, CO

Phone Number 719-321-0042 **Email Address** customvillasllc@aol.com

Site Address or Description (parcel # if no address) 4000 Kechter Rd

Description of Proposal (attach additional sheets if necessary) 11 1/2 acre residential lots

Proposed Use 1/2 acre residential lots **Existing Use** house with 5 acre lot

Total Building Square Footage _____ **S.F.** **Number of Stories** N/A **Lot Dimensions** _____

Age of any Existing Structures Around 50 years

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? Yes No **If yes, then at what risk is it?** N/A

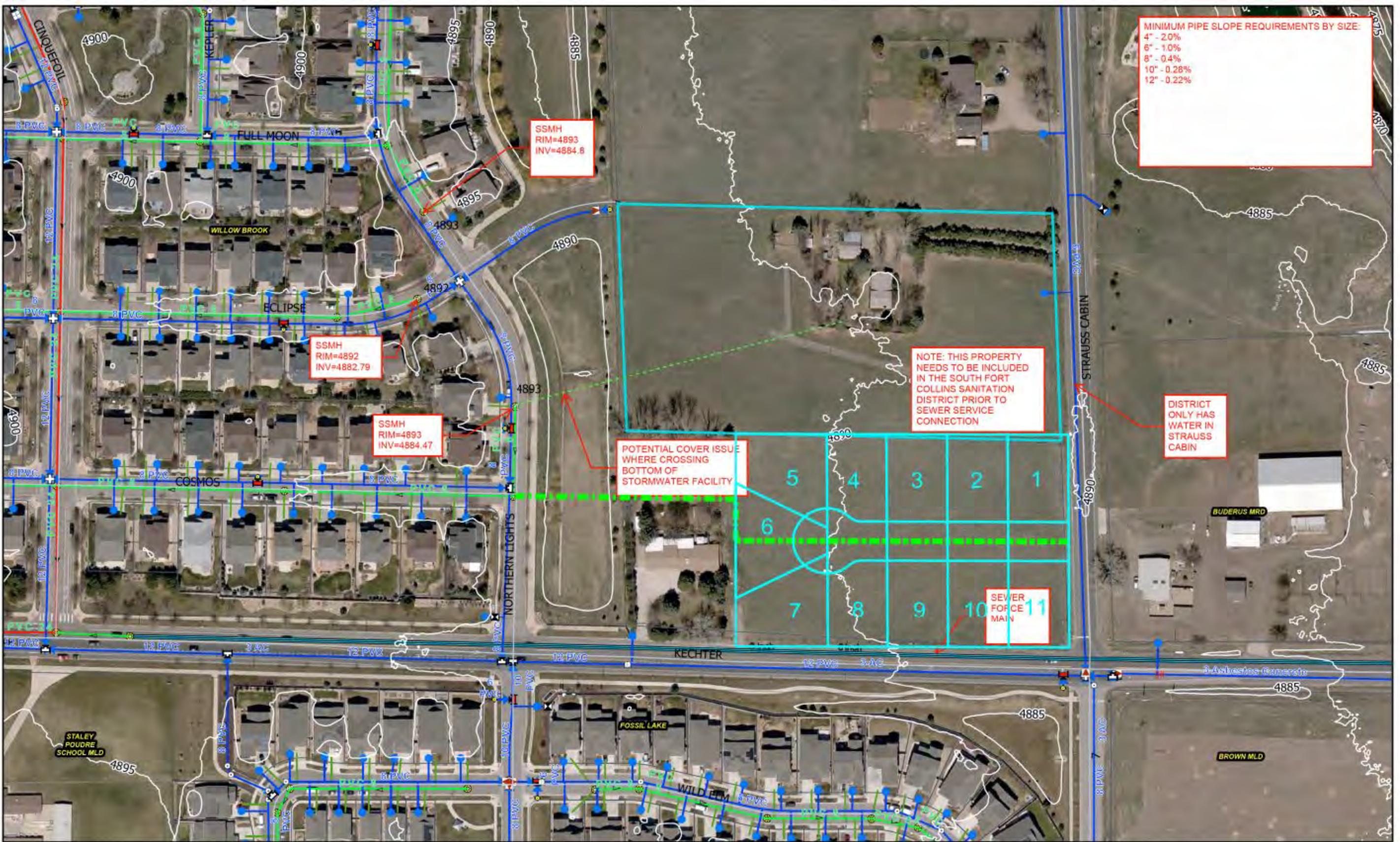
Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

Increase in Impervious Area Not sure at this time _____ **S.F.**
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?





MINIMUM PIPE SLOPE REQUIREMENTS BY SIZE:

4"	- 2.0%
6"	- 1.0%
8"	- 0.4%
10"	- 0.28%
12"	- 0.22%

NOTE: THIS PROPERTY NEEDS TO BE INCLUDED IN THE SOUTH FORT COLLINS SANITATION DISTRICT PRIOR TO SEWER SERVICE CONNECTION

POTENTIAL COVER ISSUE WHERE CROSSING BOTTOM OF STORMWATER FACILITY

DISTRICT ONLY HAS WATER IN STRAUSS CABIN

SEWER FORCE MAIN

GIS Disclaimer:
The map information shown on this map is for informational purposes only and is not intended to be used as a legal document. The user assumes all responsibility for the accuracy and completeness of the information shown on this map. The user agrees to hold the City of Fort Collins and the South Fort Collins Sanitation District harmless from any and all claims, damages, and expenses, including reasonable attorneys' fees, arising from the use of this map.



Engineering Dept
Date: 7/13/2020

South Fort Collins Sanitation District
Fort Collins - Loveland Water District