

Planning & Zoning Commission Hearing: November 17, 2022

**PDP210019, The Savoy**

**Summary of Request**

This is a request for a Project Development Plan to construct a 243-unit multi-family development. The proposal includes nine buildings, and a centrally located clubhouse with fitness center, pool amenity area. Primary vehicular access will be taken from Le Fever Drive to the north and Brookfield Drive to the east. This parcel (#8604127001) is in the Harmony Corridor (HC) zone district and is subject to a Type 2, Planning & Zoning Commission review.

**Zoning Map**



**Next Steps**

If approved by the decision maker, the applicant will be eligible to apply for a Final Development Plan (FDP).

**Site Location**

The project is located on Parcel M of the Harmony Technology Park ODP. This parcel is bound by Le Fever Drive, Cinquefoil Lane, Brookfield Drive, and Precision Drive.

**Zoning**

Harmony Corridor (H-C)

**Property Owner**

Imago Enterprises Inc.  
140 Palmer Drive  
Fort Collins, CO 80525

**Applicant/Representative**

Blaine Mathisen  
Northern Engineering  
301 N Howes Street, Unit 100  
Fort Collins, CO 80521

**Staff**

Kai Kleer, City Planner

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**Staff Recommendation**

Staff recommends approval of one Modification of Standard and the Project Development Plan, with conditions.

## 1. Project Introduction

### A. PROJECT DESCRIPTION

- The project is located within the Harmony Corridor and is classified as a Secondary Use. Secondary uses include hotels/motels; sit-down restaurants; neighborhood convenience shopping centers; childcare centers; athletic clubs; and a mix of single family and multi-family housing. These uses are intended to support and complement Base Industries (such as Intel or Broadcom) within the Harmony Corridor.
- This proposal would utilize the last remaining portion of secondary-use land area within the 273-acre Harmony Technology Park Overall Development Plan.
- The applicant is proposing to develop nine multi-family buildings which contain 243 units. Units will consist of studio, one bedroom, and two-bedroom variants.
- The project is surrounded by existing multi-family, condos, and single-family attached developments known as Milestone Apartments (aka The Vibe Apartments), Presidio Apartments (aka Terra Vida Apartments), and Brookfield (aka Morningside Village).
- Primary vehicular access to the site is taken from La Fevre Drive with a secondary access point along Brookfield Drive. Pedestrian access is provided into the site through a series of 14 walkway connections that connect into the street sidewalk system in logical areas between and near buildings.
- The 27,000 square foot central feature and gathering space features a leasing office, gym, pool, hot tub, coffee shop w/ outdoor seating area, grill area, and flex room.
- The proposal includes a modification request to allow the project to exceed the maximum block size of 7-acres for multi-family developments.

## B. DEVELOPMENT BACKGROUND & CONTEXT

This site was annexed as part of the 50-acre Brookfield Annexation in 1999 and added, along with several other properties, to the Harmony Technology Park ODP in 2001. This project represents the last remaining portion of secondary use within the 273-acre Harmony Technology Park ODP. The following is a history of annexations and master plan amendments previously approved by the City of Fort Collins:

Year	Project Name	Description	Acres
1994	<a href="#">Harmony Farm Annexation</a>	The original annexation and zoning that contains the Intel campus.	155
1997	<a href="#">Harmony Technology Park ODP</a>	The original master plan for the area that overlays the Harmony Farm Annexation.	155
1999	<a href="#">Brookfield Annexation</a>	A 50-acre annexation that included the subject land area. The Brookfield Subdivision is included within this land area and was constructed in 199	50
2001	<a href="#">Harmony Technology Park ODP, First Amendment</a>	The first amendment added 112-acres of land area to the master plan. The area added is generally comprised of everything between Harmony Road and Rock Creek Drive and Lady Moon and the Fossil Creek Inlet Ditch.	267
2004	<a href="#">Harmony Technology Park ODP, Second Amendment</a>	The second amendment added three residential properties and increased the total acreage of the ODP from 267.19 acres to 270.19 acres. This amendment also included consolidating Tracts 2, G, H and I into a single Tract G, and slightly increasing the amount of land area for secondary uses from 7.5 to 8.25 acres.	270
2008	<a href="#">Harmony Technology Park ODP, Third Amendment</a>	The third amendment added approximately 3-acres to the master plan area and adjusted the location of primary and secondary uses.	273
2012	<a href="#">Harmony Technology Park ODP, Fourth Amendment</a>	The fourth amendment shifted the primary uses from Parcel I in exchange for secondary uses from Parcel K. The remaining difference in secondary uses result in a slight adjustment to Parcel G to keep an overall balance.	273
2013	<a href="#">Harmony Technology Park ODP, Fifth Amendment</a>	The fifth amendment shifted the primary uses to Parcel G from Parcel M in exchange for secondary uses shifting to Parcel M from Parcel G. There was no net change in the acreage of primary or secondary uses.	273
2013	<a href="#">Harmony Technology Park ODP, Sixth Amendment</a>	The sixth amendment consolidated the location of secondary uses to Parcels C, D and S and return Timberwood Drive back to its original approved location.	273
2014	<a href="#">Harmony Technology Park ODP, Seventh Amendment</a>	The seventh amendment relocated the east/west road connection between Ziegler Road and Technology Parkway from Intel's south boundary to align with Precision Drive.	273
2022	Harmony Technology Park ODP, Eight Amendment	The eighth amendment removes the primary use area from Parcel M and reduces primary use land area from 190.795-acres to 189.57-acres or 69.7% to 69.2%. The secondary use mix conversely increases from 68.285-acres to 69.15-acres or 24.9% to 25.2% with the remaining portion of land area being calculated as open space.	273



### Surrounding Zoning and Land Uses

	North	South	East	West
<b>Zoning</b>	Harmony Corridor	Harmony Corridor	Harmony Corridor	Harmony Corridor
<b>Land Use</b>	Vacant	Single-family Attached and 6/8-plex Multi-family Dwellings (Brookfield)	Single-family Attached and 6/8-plex Multi-family Dwellings (Brookfield)	24 and 36-plex Multi-family Dwellings. (Milestone Apartments aka The Vibe Apartments)

View from south looking north. PDP area in shown in red.



### C. OVERVIEW OF MAIN CONSIDERATIONS

The plans were developed through three rounds of review and continued discussion with the applicant. Staff's primary considerations during the review of the project were creating three distinctly different multi-family building designs, creating recognizable entryways, and creating a comprehensive system of internal walkways in lieu of a street.



#### **D. HARMONY CORRIDOR PLAN**

The site is located within the Harmony Corridor Plan subarea and within a specifically defined area designated as “Basic Industrial Non-Retail Employment Activity Center.” Multi-family dwellings are permitted as secondary uses as designated in the Harmony Corridor Plan. The project is surrounded by public streets and is fully integrated and designated to function in coordination with the Harmony Corridor district.

##### **Compliance with Harmony Corridor Plan Standards**

Since the project does not front on Harmony Road, nor located in a shopping center, there are very few applicable Harmony Corridor Plan Standards. If the proposed development were part of an office/business park, the design would need to be fully integrated both functionally and in appearance to match the surrounding context. Because this project is not part of an office/business park, those standards do not apply.

#### **E. CITY PLAN**

City Plan is the City’s comprehensive plan for land use, transportation, and transit. Several principles and policies are relevant to the evaluation of the current proposal. While the Harmony Corridor Plan and its companion Standards and Guidelines are the primary guiding documents for this area of the community, the proposal for development of this site also aligns with the guidance contained in City Plan:

- Principle LIV 4 – Enhance neighborhood livability. This principle encourages projects that demonstrate creativity in design, incorporation of unique site conditions, and expand housing options (including higher density buildings as in the current PDP proposal). It also emphasizes interconnected frameworks of streets and walkways.

City Plan designates the site of the current PDP as a “mixed employment” place type on the Structure Plan Map. Multi-family residential is considered a supporting land use in this place type. The primary land uses are planned to be a range of employment uses including offices, hospitals, research and development facilities, and similar. Much of the existing HC zoning has this mixed employment place type designation.

## 2. Public Outreach

A neighborhood meeting was held on June 21, 2021, notes from this meeting can be found attached to this report.

Main Topics discussed at the meeting included:

1. Issues with narrow streets and on-street parking along Precision.
2. Details about rent cost, building setback and unit size.
3. Questions about the bicycle and pedestrian network and what would be completed as part of the project.
4. Concerns with additional traffic congestion on surrounding streets.

## 3. Land Use Code Article 2 – Applicable Standards

### A. PROJECT DEVELOPMENT PLAN PROCEDURAL OVERVIEW

#### 1. Conceptual Review – CDR210013

A conceptual review meeting was held on February 18, 2021.

#### 2. First Submittal – PDP210019

The Project Development Plan was submitted on December 3, 2021

#### 3. Neighborhood Meeting

Pursuant to *LUC Section 2.2.2 – Step 2: Neighborhood Meetings*, a neighborhood meeting is required for Planning and Zoning Commission (Type 2) projects. A neighborhood meeting was held virtually on November 4, 2021.

#### 4. Notice (Posted, Written and Published)

Posted Notice: June 9, 2021, Sign #628.

Written Hearing Notice: November 3, 2022, 399 addresses mailed.

Published Coloradoan Hearing Notice: Scheduled for November 6, 2022

## B. DIVISION 2.8 – MODIFICATION OF STANDARDS

The applicant requests one modification of standard to 3.8.30(D)(2) – Block Size which limits the maximum size of a multi-family block to 7-acres.

The Land Use Code is adopted with the recognition that there will be instances where a project would support the implementation of City Plan, but due to unique and unforeseen circumstances would not meet a specific standard of the Land Use Code as stated. Accordingly, code standards include provisions for modifications. The modification process and criteria in Land Use Code Division 2.8.2(H) provide for evaluation of these instances on a case-by-case basis, as follows:

### **Land Use Code Modification Criteria:**

“The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

(1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or

(2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or

(3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

Any finding made under subparagraph (1), (2), (3) or (4) above shall be supported by specific findings showing how the plan, as submitted, meets the requirements and criteria of said subparagraph (1), (2), (3) or (4).



## 1. Modification to 3.8.30(D)(2) Block Size

This standard relates to the multi-family requirement that limits the maximum block size of any proposed development:

**“Section 3.8.30(D)(2) Block Size. All blocks shall be limited to a maximum size of seven (7) acres.”**

### Overview

This modification is necessary because the proposed project exceeds the maximum block size by 1.13-acres.

### Summary of Applicant Justification

The applicant’s modification request is attached and provides their complete justification. The applicant contends the following:

- The alternative design provided enables the project to meet parking/unit count requirements
- Introduction of an internal public or private street would severely limit the developability of the site.
- The proposal incorporates pedestrian corridors that run north/south and east/west through the site that provide enhanced pedestrian connectivity through the use of 8-foot walkways, enhanced crosswalks, pedestrian portals and bollard lighting.
- The plan provides enhanced landscaping.
- The east/west connection meets the definition of Major Walkway Spine as defined in Section 5.1.
- Other developments in the area did not provide an internal street system (The Vibe & Terra Vida) while developments that did (Brookfield) complained of inadequate off-street parking.

### Staff Findings

The general purpose of the standard is to create a short block and street pattern. In turn, this small block size and connected pattern of streets creates a compact and walkable urban form for multi-family buildings to front on.

For the project to comply with the standard a local street would need to extend through the site north/south or east/west. Generally, the local street would need to be approximately 57 feet in width and likely occupy around 36,822 square feet (.84-acres) of the site, effectively splitting the property into two 3.73-acre blocks.

Staff finds that the requested Modification of Standard to Section 3.8.30(D)(2) – Block Size to allow the project to exceed the 7-acre block maximum would not be detrimental to the public good based on the mitigating elements of the plan which are described next.

Staff finds that the requested Modification addresses Criterion 1, “equal to or better than” a plan meeting the standard because of several elements that include:

- An enhanced internal network of pedestrian walkways which include:
  - A clearly defined 35-foot pedestrian corridor that provides a direct and clearly visible pedestrian connection between Brookfield Drive and Cinquefoil. The walkway is 8’ in width and provides expanded landscape islands in parking areas, enhanced pedestrian crossings, generous landscaping, entryway portals, pedestrian lighting, and direct line of site through the project, much like a street system would provide.
  - An enhanced north/south pedestrian connection that provides a walkway connection from Precision Drive to Le Fevre Drive. This walkway is enhanced by pedestrian portals, pedestrian crosswalks, landscaping, bollard lighting, and provides a direct connection to the north and south side of the clubhouse which is central to the site.
- A 4,830 square foot pocket park between Buildings 7&8.

- If a street was constructed it would effectively reduce the block size into two 3.73-acre blocks that would not provide any greater level of pedestrian walkability than what is proposed. Further, the internal street would be lined by parking and not buildings which would require additional considerations regarding building frontage standards.
- The framework of streets has been previously set by surrounding development. None of the three surrounding developments have local streets that could extend into the site to provide greater connectivity to the surrounding neighborhood (see image below).

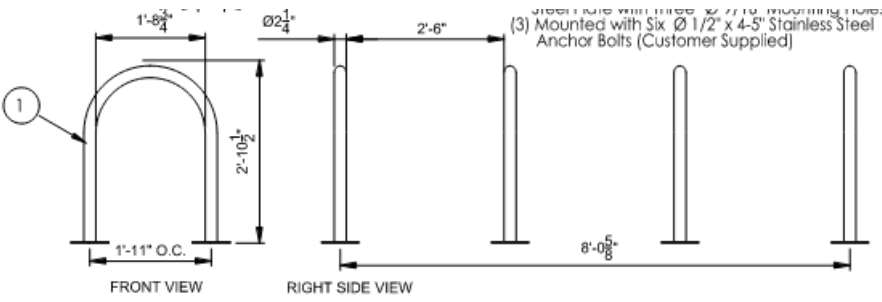
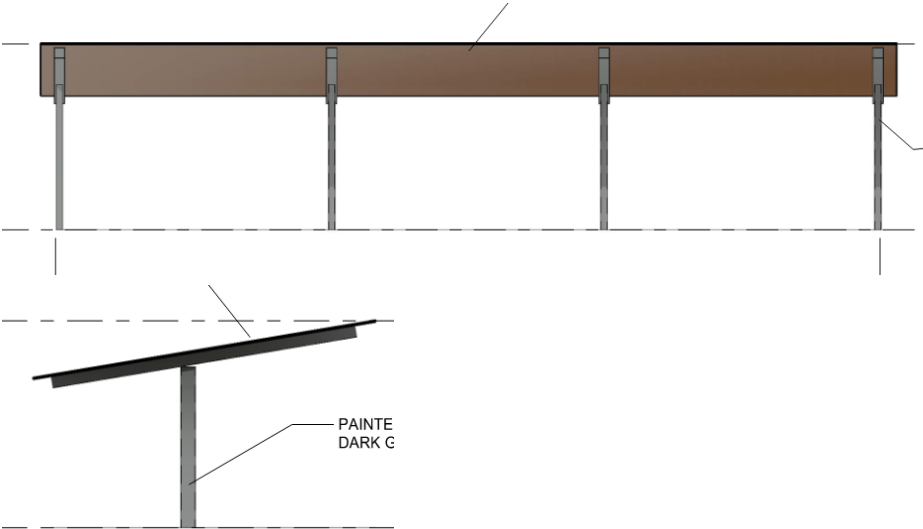


**4. Land Use Code Article 3 – General Development Standards**

**A. DIVISION 3.2 - SITE PLANNING AND DESIGN STANDARDS**

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.2.1 – Landscaping and Tree Protection</b></p>	<p>The standards of this section require that a development plan demonstrate a comprehensive approach to landscaping that enhances the appearance and function of the neighborhood, parking lots, buildings, and pedestrian environment. The proposed plan provides the following:</p> <ul style="list-style-type: none"> <li>• The plan provides a comprehensive landscape plan that includes landscaping around the entire perimeter of each building. Special attention has been given to landscaping around ground mounted air condensers which pair with low screen fence that is in character with the architecture of the site.</li> <li>• The plan offers a diverse palette of shrubs, grasses, and perennials in the following quantities:</li> <li>• 1,711 shrubs</li> <li>• 2,230 perennials and ornamental grasses</li> <li>• Full tree stocking is provided within 50 feet of all high-use or high-visibility sides of the building.</li> <li>• In total, 390 trees are provided in all areas of the site.</li> <li>• Trees meet maximum spacing requirements of 30-40 foot spacing for canopy shade trees and 20-40 foot spacing for evergreen or ornamental trees.</li> <li>• Species diversity limits do not exceed the 15% max of any one species.</li> <li>• At least 50% of the trees proposed must be canopy shade trees.</li> </ul>	<p>Complies</p>
<p><b>3.2.1(E)(3) – Water Conservation</b></p>	<p>Landscape plans are required to be designed in a way that employs water efficient techniques, such as using low water use plants, limiting high water-use turf to areas of high traffic, efficient irrigation design and use of mulch to conserve moisture. Landscape plans may not exceed an average of fifteen gallons per square foot of landscape.</p> <p>The landscape plan demonstrates high, moderate, low and very low water zones. Combined, all landscape areas within the site are calculated to average 8.1 gallons per square foot, in compliance with the Maximum allowance of 15 gallons/square foot.</p>	<p>Complies</p>
<p><b>3.2.1(F) – Tree Preservation Mitigation</b></p>	<p>This standard requires that developments provide on-site mitigation in the form of a defined number of replacement trees if existing significant trees are removed. The number of mitigation trees is determined by City Forestry staff based off existing tree species, breast diameter, and health/condition. Mitigation values can range between 1 and 6 for a tree that is removed. Dead, dying, and certain invasive species are exempt from this standard.</p> <p>The subject parcel does not contain any existing trees.</p>	<p>Complies</p>
<p><b>3.2.2 – Access, Circulation and Parking – General Standard</b></p>	<p>This standard requires that development projects accommodate the movement of vehicles, bicycles, pedestrians, and transit throughout the project and to and from surrounding areas safely and conveniently and contribute to the attractiveness of the neighborhood. In compliance, the PDP includes the following:</p> <ul style="list-style-type: none"> <li>• Detached street sidewalk system along all local street frontages.</li> <li>• A series of 4 and 8 foot walkways internal to the site.</li> <li>• Curb cuts, ramps, and enhanced crossings in safe and convenient locations.</li> </ul>	<p>Complies</p>

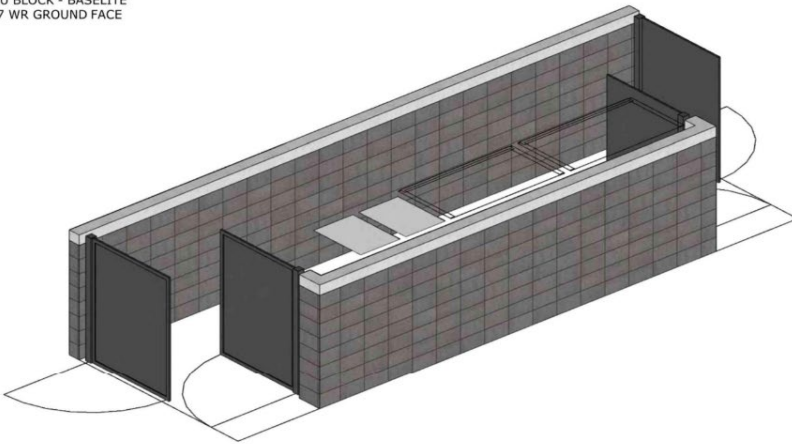
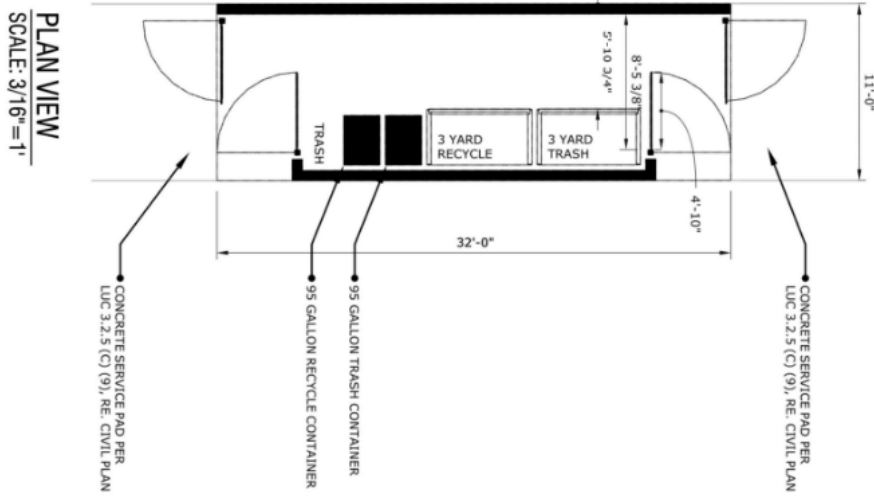


Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.2.2(C)(4) – Bicycle Parking Space Requirements</b></p>	<p>This standard requires one bicycle space per bedroom, for a total of 339 bicycle spaces required. To meet the minimum bicycle parking requirements, the development must provide bicycle parking for both “enclosed bicycle parking” and “fixed bicycle racks”, as defined in the Land use Code. 60% of the spaces must be enclosed (covered) and 40% must be fixed. Fixed spaces may be uncovered, and the placement of the bicycle facilities must be adequately convenient and easily accessible to building entrances and walkways.</p> <ul style="list-style-type: none"> <li>The PDP provides 168 (64%) enclosed bicycle spaces and 96 (36%) fixed spaces for a total of 264 spaces. Bicycle rack locations are distributed along key sidewalk circulation routes to provide convenient access for residents entering and exiting the buildings.</li> <li>To meet the minimum requirements of this section, staff is recommending that before prior to the recording of the Final Development Plan that the project provide required 339 (75 additional bicycle parking spaces) in compliance with the standards of this section.</li> </ul> <p><b>Fixed Bike Parking Details</b></p>  <p>FRONT VIEW by SiteScapes Note: Four AP2-02-SM per concrete pad as shown on the landscape plan.</p> <p><b>APEX BIKE RACK</b></p> <p><b>Enclosed Bike Parking Details</b></p>  <p>PAINTED DARK G</p>	<p>Condition of Approval Recommended</p>

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings																				
<b>3.2.2(C)(6,7) – Direct On/Off-Site Access to Pedestrian and Bicycle Destinations</b>	<p>These standards require that the on-site/off-site pedestrian and bicycle circulation system be designed to provide for direct connections to major pedestrian and bicycle destinations, including, trails, parks, schools, Neighborhood Centers, Neighborhood Commercial Districts, and transit stops that are located either within the development or adjacent to the development.</p> <ul style="list-style-type: none"> <li>The most notable pedestrian and bicycle destinations within the vicinity are Fossil Ridge High School and the commercial retail businesses that front along Harmony Road. The Plan provides multiple direct connection into the street sidewalk system and on-street bike facilities. Each of these elements provide connection into the greater network of sidewalks and bike lanes that connect with the aforementioned destinations.</li> </ul>	Complies																				
<b>3.2.2(C)(8) – Transportation Impact Study</b>	<p>The Transportation Impact Study finds that all level of service requirements for the City of Fort Collins are met.</p> <p>Traffic Engineering Staff has reviewed the report and in general the conclusions have been accepted.</p>	Complies																				
<b>Section 3.2.2(K)(2)(a,b,c) – Parking</b>	<p>The minimum number of required parking spaces for multifamily dwellings is based the parking ratios in the table below.</p> <table border="1" data-bbox="440 919 1357 1251"> <thead> <tr> <th><i>Number of Bedrooms/Dwelling Unit</i></th> <th><i>Parking Spaces Per Dwelling Unit</i></th> <th><i>Proposed Unit Count</i></th> <th><i>Required Spaces</i></th> <th><i>Proposed Spaces</i></th> </tr> </thead> <tbody> <tr> <td><i>One or less</i></td> <td><i>1.5</i></td> <td><i>147</i></td> <td><i>221</i></td> <td></td> </tr> <tr> <td><i>Two</i></td> <td><i>1.75</i></td> <td><i>96</i></td> <td><i>168</i></td> <td></td> </tr> <tr> <td><i>Total</i></td> <td></td> <td><i>243</i></td> <td><i>389</i></td> <td><i>389</i></td> </tr> </tbody> </table> <p>The plan provides adequate parking in compliance with this standard.</p>	<i>Number of Bedrooms/Dwelling Unit</i>	<i>Parking Spaces Per Dwelling Unit</i>	<i>Proposed Unit Count</i>	<i>Required Spaces</i>	<i>Proposed Spaces</i>	<i>One or less</i>	<i>1.5</i>	<i>147</i>	<i>221</i>		<i>Two</i>	<i>1.75</i>	<i>96</i>	<i>168</i>		<i>Total</i>		<i>243</i>	<i>389</i>	<i>389</i>	Complies
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<b>3.2.2(K)(5) – Handicap Parking</b>	<p>All handicap-accessible dimensional requirements are met. Parking standards require a minimum amount of 8 handicap spaces based on the total spaces in the parking areas provided. A total of 8 accessible spaces are provided.</p>	Complies																				

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.2.4 – Site Lighting</b></p>	<p>The purpose of this Section is to ensure adequate exterior lighting for the safety, security, enjoyment, and function of the proposed land use; conserve energy and resources; reduce light trespass, glare, artificial night glow, and obtrusive light; protect the local natural ecosystem from damaging effects of artificial lighting; and encourage quality lighting design and fixtures.</p> <p>The updated lighting standards require compliance with the applicable Lighting Context Area which determines the limitations for exterior artificial lighting. The Lighting Context Area for the Low-Density Mixed-Use Neighborhood zone district is LC1. Compliance is based on the specific requirements for the LC1 context area:</p> <ul style="list-style-type: none"> <li>• Light Trespass Limitations. The project complies with the light trespass levels along all measurement boundaries. The maximum illumination values permitted along site boundary is 0.1 measured 10 feet from the property line. The proposed lighting plan is in compliance with this maximum.</li> <li>• Based on the LC1 context area, the project is also reviewed for maximum allowable BUG ratings (Backlight, Uplight and Glare). All BUG ratings are met for the project.</li> <li>• All proposed lighting is fully shielded and down-directional, meeting color temperature requirements of 3,000K or less.</li> </ul> <p>The photometric plan demonstrates compliance with minimum and maximum lighting requirements for the LC1 context area and will ensure the site is in compliance with the updated lighting standards.</p>	<p>Complies</p>



Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>Section 3.2.5 – Trash and Recycling Enclosures</b></p>	<p>The purpose of this standard is to ensure the provision of areas, compatible with surrounding land uses, for the collection, separation, storage, loading and pickup of trash, waste cooking oil, compostable and recyclable materials.</p> <p>Adequately sized, conveniently located, accessible and fully screened trash and recycling enclosures are provided within the parking lots. A trash and recycling detail can be seen below and is also located within the plan set attached to the staff report. Walk-in access is provided for each enclosure.</p> <p>CMU BLOCK - BASELITE 807 WR GROUND FACE</p>  <p><b>FRONT RIGHT CORNER ISO</b> SCALE: NTS</p>  <p><b>PLAN VIEW</b> SCALE: 3/16"=1'</p> <p>CONCRETE SERVICE PAD PER LUC 3.2.5 (C) (9), RE: CIVIL PLAN</p> <p>95 GALLON TRASH CONTAINER</p> <p>95 GALLON TRASH CONTAINER</p> <p>3 YARD RECYCLE</p> <p>3 YARD TRASH</p> <p>CONCRETE SERVICE PAD PER LUC 3.2.5 (C) (9), RE: CIVIL PLAN</p>	<p>Complies</p>

**B. DIVISION 3.3 - ENGINEERING STANDARDS**

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.3.1(C) – Public Sites, Reservations and Dedications</b></p>	<p>This standard requires the applicant to dedicate rights-of-way for public streets, drainage easements and utility easements as needed to serve the area being developed. In cases where any part of an existing street is abutting or within the property being developed, the applicant must dedicate such additional rights-of-way to meet the minimum width required by Larimer County Urban Area Street Standards and the City of Fort Collins Land Use Code. The PDP complies with this standard by:</p> <p>Because the existing street network was dedicated under prior standards additional ROW dedications were required and include the following:</p> <ul style="list-style-type: none"> <li>• 6 feet of additional public ROW along Le Fever Drive and relocation of a 9-foot utility easement.</li> <li>• 4 feet of additional public ROW along Cinquefoil Lane and relocation of a 9-foot utility easement behind the ROW.</li> <li>• 2 feet of additional public ROW along Precision Drive and relocation of a 9-foot utility easement.</li> <li>• 2 feet of additional public ROW along Brookfield Drive and relocation of a 9-foot utility easement.</li> </ul> <p>Within the site, appropriate utility and emergency access easements have been depicted on the subdivision plat.</p>	<p>Complies</p>
<p><b>3.3.5 – Engineering Design Standards</b></p>	<p>The project must comply with all design standards, requirements and specifications related to water supply, sanitary sewer, mass transit, fire protection, flood hazard areas, telephone, walks/bikeways, irrigation companies, electricity, natural gas, storm drainage, cable television, streets/pedestrians, and broadband/fiber optics.</p> <p>With respect to streets, the City Engineering department has reviewed and approved variances to drive spacing requirements and street cross sections design requirements for Precision Drive and Brookfield Drive. Information about the approved variances can be found attached to this report.</p>	<p>Complies</p>

### C. DIVISION 3.4 - ENVIRONMENTAL, NATURAL AREA, RECREATIONAL AND CULTURAL RESOURCE PROTECTION STANDARDS

The purpose of this Section is to ensure that when property is developed consistent with its zoning designation, the way in which the proposed physical elements of the development plan are designed and arranged on the site will protect the natural habitats and features both on the site and in the vicinity of the site.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.4.1 – Natural Habitats</b></p>	<p>This Section applies if any portion of the development site is within five hundred (500) feet of an area or feature identified as a natural habitat or feature on the City's Natural Habitats and Features Inventory Map, or if any portion of the development site contains natural habitats or features that have significant ecological value, and such natural habitats or features are discovered during site evaluation and/or reconnaissance associated with the development review process.</p> <p>Environmental Planning staff initially reviewed the project and determined that a buffer standard would apply to existing prairie dog colonies on site. Staff have since reviewed and found that prairie dogs were euthanized without prior notice. At present, Staff does not believe that any prairie dogs are present on the site and the site has been fenced to prevent any new colonization. Prior to the Development Construction Permit (DCP) being released, a qualified wildlife biologist must be retained to determine the presence of prairie dogs and burrowing owls on the project site.</p> <p>Because euthanization of prairie dogs occurred without prior notification, the total acres of prairie dog colony lost is uncertain. Staff are requiring payment-in-lieu of \$1,637 per acre of Prairie Dog Colony lost and the applicant has agreed to pay the fee equivalent to the entire property size (8.336 acres) given that euthanization occurred without properly documenting the total area of the Prairie Dog Colony.</p>	<p>Complies</p>

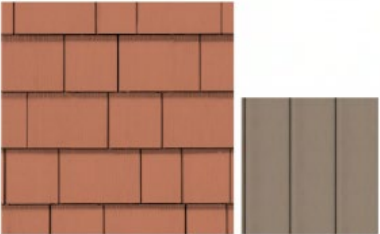




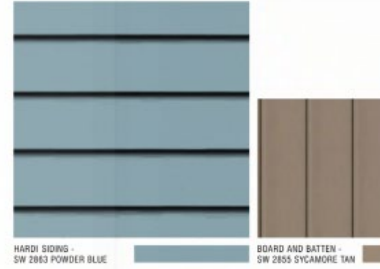




## D. DIVISION 3.5 - BUILDING STANDARDS

The purpose of this Section is to ensure that the physical and operational characteristics of proposed buildings and uses are compatible when considered within the context of the surrounding area. Building design requirements are discussed again related to additional code language in Section 3.8.30 which is covered later in this staff report.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.5.1(A) and (B) – Building Project and Compatibility, Purpose and General Standard</b></p>	<p>This section is designed to ensure compatibility of new buildings with the surrounding context. Absent any established character, the standard requires that new buildings set an enhanced standard of quality for future projects or redevelopment in the area. The standards in this section are intended to complement the more specific requirements in Article 4, which are addressed in Section 6 of this report. For reference, the Land Use Code definition of “compatibility” in Article 5 has been included below:</p> <p><i>Compatibility shall mean the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include height, scale, mass and bulk of structures. Other characteristics include pedestrian or vehicular traffic, circulation, access and parking impacts. Other important characteristics that affect compatibility are landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, compatibility refers to the sensitivity of development proposals in maintaining the character of existing development.</i></p> <p>Overall, staff finds that the design of the PDP is compatible with the existing context surrounding the site.</p> <p><b>Height, Scale, and Mass</b></p> <ul style="list-style-type: none"> <li>• The site is surrounded by a similar form of 3-story multi-family residential development to the west and transitions into 2-story 6 and 8-plex units to the east and south.</li> </ul> <p><b>Traffic</b></p> <ul style="list-style-type: none"> <li>○ According to the Trip Generation table found in the Traffic Impact Study, the proposal will add an estimated 1,114 weekday vehicle trip ends to the area. The additional traffic will share the same traffic characteristics of the surrounding area.</li> </ul> <p><b>Landscaping, Lighting, Noise, and Architecture</b></p> <ul style="list-style-type: none"> <li>• Landscaping along the site perimeter contributes to the transition between the project and nearby developments.</li> <li>• Lighting is in compliance with the newly adopted lighting standards and should eliminate all off-site impacts to adjacent developments.</li> <li>• Noise will be similar to those surrounding residential uses and not create any noticeable impacts to the surrounding neighborhood.</li> <li>• Architecture is unique and provides a variation in design when compared to the neighboring residential blocks. Architectural design is inspired by the mid-century modern style.</li> </ul>	<p>Complies</p>

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.5.1 (C)– Building Size, Height, Bulk, Mass, Scale</b></p>	<p>Buildings shall either be similar in size and height, or, if larger, be articulated and subdivided into massing that is proportional to the mass and scale of other structures, if any, on the same block face, abutting or adjacent to the subject property, opposing block face or cater-corner block face at the nearest intersection.</p> <ul style="list-style-type: none"> <li>• The project proposes the following building lengths and heights:               <ul style="list-style-type: none"> <li>○ 36-Plex: L=170' H=42'4" (3-Stories)</li> <li>○ 24-Plex: L=130' H=37'9" (3-Stories)</li> <li>○ Clubhouse: 33' 11" (1.5-Stories)</li> <li>○ 3-Plex: L=70' H=30'5" (2 stories)</li> </ul> </li> <li>• Brookfield, which is located to the east and south of the proposal, feature the following:               <ul style="list-style-type: none"> <li>○ 6-unit multi-family with 35' heights (2-stories)</li> <li>○ 8-unit multi-family with 35' heights (2-stories)</li> </ul> </li> <li>• Milestone Apartments, which is located to the west of the proposal, features the following:               <ul style="list-style-type: none"> <li>○ 24 and 36-plex: 39'10" (3-stories)</li> </ul> </li> <li>• Various building elements help articulate and subdivide the buildings using wall plane projections, recesses, varying roof forms, and window groupings that help the buildings relate to a pedestrian scale. Together these elements provide building designs that are proportional to the mass and scale of existing development in the vicinity.</li> <li>• In terms of overall building height and eave height, these are not significantly different than the Milestone (The Vibe) apartments to the west.</li> </ul>	<p>Complies</p>
<p><b>3.5.1 (D)– Privacy Considerations</b></p>	<p>Elements of the development plan shall be arranged to maximize the opportunity for privacy by the residents of the project and minimize infringement on the privacy of adjoining land uses.</p> <ul style="list-style-type: none"> <li>• The plan is arranged in a traditional sense where buildings face streets. In all areas of the plan the nearest existing residential unit is across a the local street network. Building to building measurements range between 80 and 100 feet and include an overall landscaping scheme that provides privacy and softens the transition between developments.</li> </ul>	<p>Complies</p>
<p><b>3.5.1 (E)– Building Materials</b></p>	<p>This section addresses building materials, glare, and windows. Building materials shall either be similar to the materials already being used in the neighborhood or, if dissimilar materials are being proposed, other characteristics such as scale and proportions, form, architectural detailing, color and texture, shall be utilized to ensure that enough similarity exists for the building to be compatible, despite the differences in materials.</p> <ul style="list-style-type: none"> <li>• Primary building materials cement-board lap siding, shake siding and cultured stone.</li> <li>• The proposed materials are in character of the materials found in other developments in the vicinity of the site.</li> </ul>	<p>Complies</p>

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.5.1 (F)– Building Color</b></p>	<p>Color shades shall be used to facilitate blending into the neighborhood and unifying the development. The color shades of building materials shall draw from the range of color shades that already exist on the block or in the adjacent neighborhood.</p> <ul style="list-style-type: none"> <li>The project proposes four muted body colors that will be distributed throughout the site. Secondary colors are identical between buildings and feature neutral shades of tan and grey that blend into the surrounding area.</li> </ul> <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;">  <p>HARDI SHINGLE SIDING - SW 2854 CARIBBEAN CORAL BOARD AND BATTEN - SW 2855 SYCAMORE TAN</p> </div> <div style="width: 50%;">  <p>HARDI SIDING - SW 2858 HARVEST GOLD BOARD AND BATTEN - SW 2855 SYCAMORE TAN</p> </div> <div style="width: 50%;">  <p>SUNSET STONE - BLACK RUNDLE FIELD STONE TRIM - SW 0054 TWILIGHT GRAY PANEL - SW 7673 PEWTER CAST</p> </div> <div style="width: 50%;">  <p>SUNSET STONE - BLACK RUNDLE FIELD STONE TRIM - SW 0054 TWILIGHT GRAY PANEL - SW 7673 PEWTER CAST</p> </div> </div> <ul style="list-style-type: none"> <li> <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;">  <p>HARDI SHINGLE SIDING - SW 2852 PLYMOUTH GREEN BOARD AND BATTEN - SW 2855 SYCAMORE TAN</p> </div> <div style="width: 50%;">  <p>HARDI SIDING - SW 2863 POWDER BLUE BOARD AND BATTEN - SW 2855 SYCAMORE TAN</p> </div> <div style="width: 50%;">  <p>SUNSET STONES - CAPE COD LEDGE TRIM - SW 0054 TWILIGHT GRAY PANEL - SW 7673 PEWTER CAST</p> </div> <div style="width: 50%;">  <p>SUNSET STONES - CAPE COD LEDGE TRIM - SW 0054 TWILIGHT GRAY PANEL - SW 7673 PEWTER CAST</p> </div> </div> </li> </ul>	<p>Complies</p>

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
	<p>The purpose of this Section is to establish a special process to review buildings or structures that exceed forty (40) feet in height. Its intent is to encourage creativity and diversity of architecture and site design within a context of harmonious neighborhood planning and coherent environmental design, to protect access to sunlight, to preserve desirable views and to define and reinforce downtown and designated activity centers.</p> <ul style="list-style-type: none"> <li>Light and Shadow: A shadow analysis showing impacts throughout the year was conducted for this project and is included as an attachment to this report. Buildings or structures greater than forty feet in height shall be designed so as not to have a substantial adverse impact on the distribution of natural and artificial light on adjacent public and private property. Shadowing impacts are minimal and are cast onto street right-of-way. This may require that increased measures be taken to clear snow and ice along the street and sidewalk frontages during portions of the winter months.</li> </ul> <p>While this represents a change in current conditions for these areas, this change in shadowing is not a unique street situation that would represent a substantial adverse impact.</p> <p>Additionally, the only buildings which activate this standard is the 36-plex which measures 42'4" in height. Further, the placement of the four 36-plex buildings are adjacent to undeveloped land and a future street to the north, along the south block face which would shadow internal driveways and parking, or the western edge of the site where the abutting development is a 3-story multi-family that is similar in character.</p> <ul style="list-style-type: none"> <li>Privacy: The site is surrounded by public streets, with multi-family uses adjacent to the site. There are no unusual or significant privacy concerns given the context of the site.</li> <li>Neighborhood Scale: The project provides appropriate design elements to address neighborhood scale within the surrounding context. This is achieved through a combination of design elements discussed in this staff report, including building setbacks, Juliet balconies, and landscaping.</li> </ul>	
<p><b>3.5.2- Residential Building Standards</b></p>	<p>These standards are intended to promote variety, visual interest and pedestrian-oriented streets in residential development. Development projects containing residential buildings shall place a high priority on building entryways and their relationship to the street. Pedestrian usability shall be prioritized over vehicular usability. Buildings shall include human-scaled elements, architectural articulation, and in projects containing more than one (1) building, design variation.</p> <p>The project complies with the general standards of this section with exception of placing a high priority on building entryways and their relationship to the street. A related condition of approval is recommended under section 3.8.30(F)(4) – Entrances.</p>	<p>Complies – See more specific standard under 3.8.30(F)(4) for condition of approval.</p>
<p><b>3.5.2(D)(1) Orientation to a Connecting Walkway.</b></p>	<p>This section requires that every front facade with a primary entrance to a dwelling unit face a connecting walkway with no primary entrance more than two hundred (200) feet from a street sidewalk. A primary entrance may be up to three hundred fifty (350) feet from a street sidewalk if the primary entrance faces and opens directly onto a connecting walkway that qualifies as a major walkway spine. Additionally, each multifamily building shall have at least one entrance facing the adjacent local street.</p> <ul style="list-style-type: none"> <li>Each of the proposed multi-family buildings has a primary entrance which faces a connecting walkway with no entrance being more than 200 linear feet from the street sidewalk.</li> </ul>	<p>Complies</p>

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.5.2.(D)(2) Street-Facing Facades.</b></p>	<p>Every building containing four (4) or more dwelling units shall have at least one (1) building entry or doorway facing any adjacent street that is smaller than a full arterial or has on-street parking.</p> <ul style="list-style-type: none"> <li>• The 3-plex building features a canopy feature on the east side of the building that overhangs the primary stairwell entrance to the three 2<sup>nd</sup> floor units.</li> <li>• The 24-plex features two ground-floor entryways (sliding doors) that connect to the street sidewalk system through a connecting walkway.</li> <li>• The 36-plex features three ground-floor entryways (sliding doors) that connect to the street sidewalk system through a connecting walkway.</li> </ul> <p>A condition related to this standard is proposed and can be found under section 3.80.30(F)(4) - Entrances of this report.</p>	<p>Complies – See more specific standard under 3.8.30(F)(4) for condition of approval.</p>

## E. DIVISION 3.6 - TRANSPORTATION AND CIRCULATION

This Section is intended to ensure that the transportation network of streets, alleys, roadways, and trails is in conformance with adopted transportation plans and policies established by the City.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.6.3(A-F) – Street Pattern and Connectivity Standards</b></p>	<p>This Section is intended to ensure that the local street system is well designed with regard to safety, efficiency and convenience for automobile, bicycle, pedestrian and transit modes of travel.</p> <ul style="list-style-type: none"> <li>The project proposes a local block system that measures 570 feet x 630 feet in size.</li> <li>The project proposes to build within an existing block system that has designed and constructed by previous development within the area. The project would continue La Fevre along the northern edge of the site to complete the overall block system of the area.</li> <li>Sidewalks are provided as required by Larimer County Urban Area Street Standards.</li> </ul>	<p>Complies</p>
<p><b>3.6.4 – Transportation Level of Service Requirements</b></p>	<p>A Transportation Impact Study was submitted with this PDP and is attached. The TIS analyzed the anticipated traffic for the development and concluded that the impact from the added traffic is nominal and meets city standards.</p> <p>The TIS provides the following conclusions and recommendations that can be found on page 25 of the report:</p> <ul style="list-style-type: none"> <li>The development of The Savoy site is feasible from a traffic engineering standpoint. With development of The Savoy, the site will generate approximately 1,114 weekday vehicle trip ends, 95 morning peak hour vehicle trip ends, and 95 afternoon peak hour vehicle trip ends.</li> <li>Currently, the Lady Moon/Precision, Lady Moon/Le Fevre, Cinquefoil/Precision, Cinquefoil/Le Fevre, Precision/Brookfield, and Brookfield/East Access Driveway intersections meet the Fort Collins operational criteria during the peak hours.</li> <li>The key stop sign controlled intersections do not meet the signal warrant criteria.</li> <li>The short range (2026) and long range (2040) geometry is shown in Figure 11.</li> <li>In the short range (2026) future, given development of The Savoy and an increase in background traffic, the Lady Moon/Precision, Lady Moon/Le Fevre, Cinquefoil/Precision, Cinquefoil/Le Fevre, Le Fevre/North Access, Precision/Brookfield, Le Fevre/Brookfield, and Brookfield/East Access-Driveway intersections will meet the Fort Collins operational criteria during the peak hours.</li> <li>In the long range (2040) future, given development of The Savoy and an increase in background traffic, the Lady Moon/Precision, Lady Moon/Le Fevre, Cinquefoil/ Precision, Cinquefoil/Le Fevre, Le Fevre/North Access, Precision/Brookfield, Le Fevre/Brookfield, and Brookfield/East Access-Driveway intersections will meet the Fort Collins operational criteria during the peak hours.</li> <li>Acceptable level of service is achieved for pedestrian, bicycle, and transit modes based upon the measures in the multi-modal transportation guidelines</li> </ul>	<p>Complies</p>



Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.6.6 – Emergency Access</b></p>	<p>This standard states, “all developments shall provide adequate access for emergency vehicles and for those persons rendering fire protection and emergency services by complying with Article 9, Fire Department Access and Water Supply, of the Uniform Fire Code as adopted and amended pursuant to Chapter 9 of the City Code. All emergency access ways, easements, rights-of-way or other rights required to be granted pursuant to the Uniform Fire Code must include not only access rights for fire protection purposes, but also for all other emergency services.”</p> <p>The project has been reviewed by Poudre Fire Authority (PFA) and currently meets the needs and requirements of PFA regulations. Emergency access easements are provided with the project and a turning movement exhibit can be found attached to this project.</p>	<p>Complies</p>

### F. 3.8.30 MULTI-FAMILY AND SINGLE-FAMILY ATTACHED DWELLING DEVELOPMENT STANDARDS

The standards in this section apply to all multi-family developments that contain at least four (4) dwelling units and single-family attached developments that contain at least four (4) dwelling units where there is no reasonably sufficient area for outdoor activities and useable outdoor space on an individual per lot basis. This section is intended to promote variety in building form and product, visual interest, access to parks, pedestrian-oriented public or private streets and compatibility with surrounding neighborhoods.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<b>3.8.30(C) – Access to a Park, Central Feature or Gathering Place</b>	<p>At least ninety (90) percent of the dwellings in all development projects containing two (2) or more acres shall be located within 1,320 feet (¼ mile) of either a neighborhood park, a privately owned park or a central feature or gathering place that is located either within the project or within adjacent development, which distance shall be measured along street frontage without crossing an arterial street.</p> <p>The project provides a neighborhood support/recreation facility which is defined as “recreation/pool facilities and/ or meeting rooms intended for the use and enjoyment of residents and guests of the neighborhood.” The neighborhood facility is approximately 27,000-square feet in size a leasing office, gym, pool, hot tub, coffee shop w/ outdoor seating area, grill area, and flex room.</p>	Complies
<b>3.8.30(D) – Block Requirements</b>	<p>Each multi-family project must be developed as a series of complete blocks bounded by public or private streets. Natural areas, irrigation ditches, high-voltage power lines, operating railroad tracks and other similar substantial physical features may form up to two (2) sides of a block. Blocks must be 7 acres or less in size. Buildings, plazas, or other functional open space must comprise 40% of each block side <i>or</i> 50% of the block faces of the total block.</p> <ul style="list-style-type: none"> <li>The proposed project is located within an 8-acre block that was established by the previous alignment of local streets. The applicant is seeking a modification of standard and proposes to meet the intent of the standard in an equal to or better than way using a series of enhanced internal walkways. A detailed analysis can be found earlier in this report.</li> </ul>	Modification requested
<b>3.8.30(E) – Buildings</b>	<p>This section mainly discusses multifamily building setbacks from streets. A minimum setback from the right-of-way along an arterial street must be fifteen (15) feet and along a nonarterial street must be nine (9) feet.</p> <ul style="list-style-type: none"> <li>The nine multi-family buildings each exceed the minimum setbacks required by this section by providing a 15-19 foot setback from the street.</li> </ul>	Complies

**3.8.30(F)(2) – Variation Among Buildings**

For any development containing at least three (3) and not more than five (5) buildings (excluding clubhouses/leasing offices), there shall be at least two (2) distinctly different building designs. For any such development containing more than five (5) buildings (excluding clubhouses/leasing offices), there shall be at least three (3) distinctly different building designs. For all developments, there shall be no similar buildings placed next to each other along a street, street-like private drive or major walkway spine. Building designs shall be considered similar unless they vary significantly in footprint size and shape. Building designs shall be further distinguished by including unique architectural elevations and unique entrance features within a coordinated overall theme of roof forms, massing proportions and other characteristics. Such variation among buildings shall not consist solely of different combinations of the same building features.

Complies

The project proposes three distinctly different building designs that can be seen below.

**Front Elevation (faces parking lot) – 24 Plex**

- This building design provides a flat roof, 3-panel window system, entryway overhang, and unique fenestration pattern. Projections of the wall plane measure at approximately a foot.



1 FRONT ELEVATION - 24-PLEX  
1/8" = 1'-0"

**Front Elevation (faces parking lot) – 36-Plex**

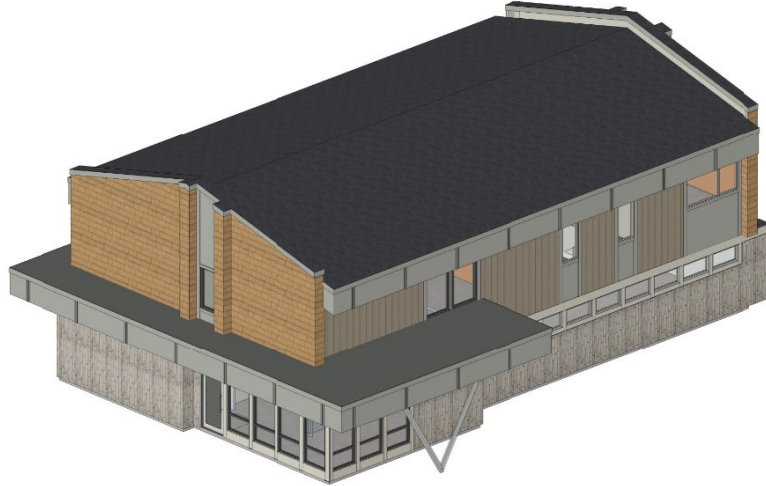
- This building design features a pitch roof design with long sloping gable ends and an overhang feature. The building utilizes a two-pane window system and breaks creates recognizable modules using varied siding materials, colors and small projections and recesses in the façade. Primary entrances have a balcony overhang with an accompanying block wall to define the entryway area.



1 FRONT ELEVATION - 36-PLEX  
1/8" = 1'-0"

**Ortho – 3-Plex**

- The 3-plex building provides a unique design, by providing a unique fenestration pattern, ground floor window system, use of stone along the entire base of the building, entry features and roof form.



⑤ MAIL LOUNGE/3-PLEX ORTHO

**3.8.30(F)(3) – Variation of Color**

The project meets the color variation requirements for multi-family buildings, which shall feature a palette of muted colors, earth tone colors, natural colors found in surrounding landscape or colors consistent with the adjacent neighborhood.

For any such development containing more than 56 dwelling units, there shall be at least 3 distinct color schemes used on structures throughout the development. For all developments, there shall be no more than 2 similarly colored structures placed next to each other along a street or major walkway spine.

The project provides four color schemes that are made distinct through the use of the primary body colors which includes Caribbean Coral, Harvest Gold, Plymouth Green, and Powder Blue. Two types of stone are used. No two similarly colored structure are placed next to one another.



Complies

**3.8.30(F)(4) – Entrances**

This section requires entrances to be made clearly visible from the streets and public areas through the use of architectural elements and landscaping.

Though the project provides entryway features through the use of an entry canopy or overhanging stairwell/railing system, block walls, and landscaping. These entry points face the parking area and are not clearly visible from the street (see images from plan below).

**Parking-lot Facing Façade ‘Front Elevation’**



1 FRONT ELEVATION - 24-PLEX  
1/8" = 1'-0"

**Street Facing ‘Rear Elevation’**

Condition of Approval



1 REAR ELEVATION - 24-PLEX  
1/8" = 1'-0"

**Parking-lot Facing Façade 'Front Elevation'**



FRONT ELEVATION - 36-PLEX  
1/8" = 1'-0"

**Street Facing 'Rear Elevation'**



REAR ELEVATION - 36-PLEX  
1/8" = 1'-0"

For this reason staff is recommending a condition of approval to require that the street facing façade contain a minimum of one primary entryway, similar to what is found on the opposing side of the building. This feature should be emphasized through the use of landscaping, roof forms, balcony overhangs, block wall features, and shall be a primary entrance to at least one or more units of each building.



**3.8.30(F)(5) –  
Roofs**

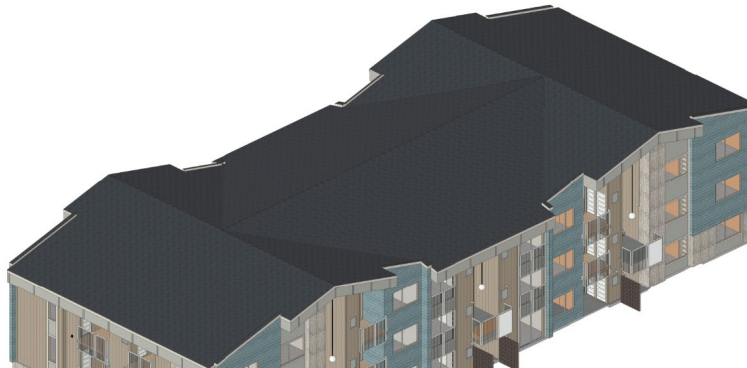
Roofs. Roof lines may be either sloped, flat or curved, but must include at least two (2) of the following elements:

- (a) The primary roof line shall be articulated through a variation or terracing in height, detailing and/or change in massing.
- (b) Secondary roofs shall transition over entrances, porches, garages, dormers, towers or other architectural projections.
- (c) Offsets in roof planes shall be a minimum of two (2) feet in the vertical plane.
- (d) Termination at the top of flat roof parapets shall be articulated by design details and/or changes in materials and color.
- (e) Rooftop equipment shall be hidden from view by incorporating equipment screens of compatible design and materials.


For the flat roof building design, this standard is met by incorporating elements (a) which changes the massing in the primary roof line through the use of an overhanging cornice/fascia element which is juxtaposed to a colored wall module without an overhang. The second roof element is (d) the termination of the roof parapet is articulated in changes to material and color.



For the pitch roof building design, this standard is met by changing roof ridge/massing over two portions of the building, one, that extend over the primary entrances, and the other, with an overhanging eave/fascia in between the gable elements. While The second element is achieved through a variation in cornice massing between façade modules.



Complies

	<p>For the third multi-family building design, the building design provides a secondary roof element over the buildings entrance. The second element is a change in massing to the overhang/fascia when comparing the end to the sides of the building.</p> 	
<p><b>3.8.30(F)(6) – Facades and Walls</b></p>	<p>Each multi-family dwelling shall be articulated with projections, recesses, covered doorways, balconies, covered box or bay windows and/or other similar features, dividing large facades and walls into human-scaled proportions similar to the adjacent single- or two-family dwellings, and shall not have repetitive, undifferentiated wall planes. Building facades shall be articulated with horizontal and/or vertical elements that break up blank walls of forty (40) feet or longer. Facade articulation may be accomplished by offsetting the floor plan, recessing or projection of design elements, change in materials and/or change in contrasting colors. Projections shall fall within setback requirements.</p> <ul style="list-style-type: none"> <li>• Façade articulations includes the following elements: <ul style="list-style-type: none"> <li>○ 12-inch recesses and projections that correlate with each building module.</li> <li>○ Changes in horizontal and vertical elements that include changes in materials and colors.</li> </ul> </li> <li>• Distinct window systems are used effectively and add articulation and interest to all sides of the buildings.</li> </ul>	<p>Complies</p>
<p><b>3.8.30(F)(7) – Colors and Materials</b></p>	<p>Colors of non-masonry materials shall be varied from structure to structure to differentiate between buildings and provide variety and individuality. Colors and materials shall be integrated to visually reduce the scale of the buildings by contrasting trim, by contrasting shades or by distinguishing one (1) section or architectural element from another. Bright colors, if used, shall be reserved for accent and trim.</p> <ul style="list-style-type: none"> <li>• The project provides at least three distinct color schemes that are distributed across the site in a way so that no two colors are next to one another.</li> <li>• The project utilizes lap, shake and board and batten siding and board and batten siding as the primary non-masonry materials. These materials carry the primary body color which provides a color distinction between each building while trim and secondary colors are reused in each building design.</li> </ul>	<p>Complies</p>

**Land Use Code Article 4 – Applicable Standards:**

**G. DIVISION 4.26 – HARMONY CORRIDOR DISTRICT (H-C)**

The Harmony Corridor District is intended to implement the design concepts and land use vision of the Harmony Corridor Plan - that of creating an attractive and complete mixed-use area with a major employment base.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
4.26(B) - Permitted Uses	The proposal is for multi-family dwellings, which is a permitted use in the HC zone district, subject to Planning and Zoning Board (Type 2) review.	Complies
4.26(D) – Land Use Standards	<p>Standards in this section include a range of land use requirements:</p> <ul style="list-style-type: none"> <li>• Secondary uses are limited to a maximum of 25% total gross area</li> <li>• Maximum building height of 3 stories for residential buildings</li> <li>• Minimum density of 7 dwelling units per net acre</li> <li>• Access to a park, central feature or gathering place within ¼ mile for 90% of the dwellings</li> </ul> <p>The plan complies by providing the following:</p> <ul style="list-style-type: none"> <li>• 100% secondary use is permitted by the amended Overall Development Plan (ODP),</li> <li>• Building heights are 3 stories for the multi-family buildings, 2 stories for the three-plex building, and 1 story for the amenity center/clubhouse.</li> <li>• Density exceeds the required minimum at 29.9 dwelling units per net acre</li> <li>• A 27,000 square foot central feature and gathering space provides the development with a community room, coffee shop, leasing office, gym, hot tub, and pool. This area totals approximately 27,000 square feet, which exceeds the 10,000 square foot requirement. 100% of the dwellings are located within ¼ mile (1,320 feet) of the amenity area.</li> </ul>	Complies

## 5. Findings of Fact/Conclusion

In evaluating the request for The Savoy, PDP210019, Staff makes the following findings of fact and conclusions:

1. The Project Development Plan complies with the applicable procedural and administrative requirements of Article 2 of the Land Use Code.
2. The Project Development Plan is consistent with the Harmony Technology Park, Eight Amendment Overall Development Plan.
3. Staff supports the request for Modification to 3.8.30(D)(2) Block Size to allow the project to exceed the 7-acre maximum block size. Staff finds that the granting of the modification would not detrimental to the public good and that the request satisfies criteria 2.8.2(H)(1). Staff's finding of no detriment to the public good is based on the facts that the development plan creates a direct internal pedestrian network that shares similar characteristics that a public street would by providing a 35' pedestrian corridor connecting Brookfield Drive to Cinquefoil. Staff's findings for criterion (1), "equal to or better than" is based on the following considerations: the 35-foot corridor provides an 8 foot walkway, is tree lined, gives priority to pedestrians when crossing internal drive aisles, provides bollard lighting, and entryway portals.
4. The Project Development Plan complies with relevant standards located in Article 3 – General Development Standards, subject to approval of a Modification of Standard and two Conditions.
5. Staff recommends a Condition of Approval regarding compliance with 3.2.2(C)(4) that prior to Final Plan approval, the project provide 75 additional bicycle parking spaces to meet the minimum bicycle parking required standards of this section.
6. Staff recommends a Condition of Approval regarding compliance with 3.8.30(F)(4) – Entrances, to require that the street facing façade contain a minimum of one primary entryway, similar to what is found on the opposing side of the building. This feature should be emphasized through the use of landscaping, roof forms, balcony overhangs, block wall features, and shall be a primary entrance to at least one or more units of each building.
7. The Project Development Plan complies with relevant standards located in Division 4.26 Harmony Corridor District of Article 4 – Districts.

## 6. Recommendation

Staff recommends approval of the Modification of Standard and approval of The Savoy PDP (PDP210019), subject to the following two conditions:

- Prior to Final Plan approval, the project shall provide 75 additional bicycle parking spaces to meet the minimum bicycle parking required standards of section 3.2.2(C)(4).
- Prior to Final Plan approval, the street facing façade shall contain a minimum of one primary entryway, similar to what is found on the opposing side of the building. This entryway shall be emphasized using landscaping, roof forms, balcony overhangs, block wall features, and shall be a primary entrance to at least one or more units of each building in a manner acceptable to City staff.

## 7. Attachments

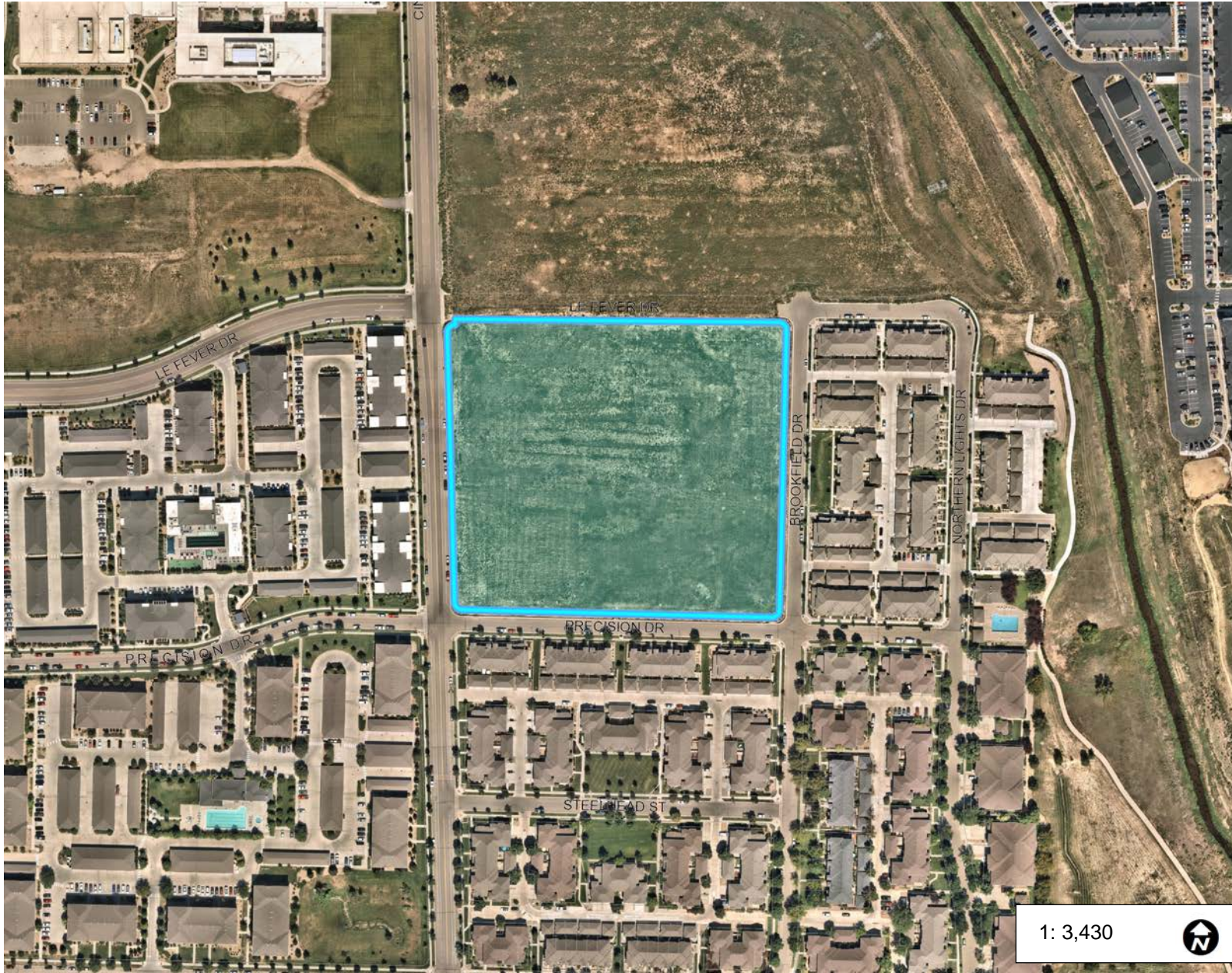
### A. ATTACHED DOCUMENTS

1. Vicinity Map
2. Project Narrative
3. Site, Landscape and Elevation Plan
4. Utility Plan
5. Plat
6. Modification request #2 -- 3.8.30(D)(2)
7. Harmony Technology Park, Eighth Amendment Overall Development Plan
8. Prairie Dog Mitigation and Removal Plan
9. Neighborhood Meeting Notes
10. Shadow Analysis

### B. DOCUMENT HYPERLINKS

1. [Traffic Study](#)
2. [Drainage Report](#)
3. [Prairie Dog Relocation Phone Log](#)
4. [Drive Spacing Administrative Variance](#)
5. [Poudre Fire Authority Turning Exhibit](#)





Legend

-  Parcels
-  Growth Management Area
-  Parks
-  Schools
-  Natural Areas
-  City Limits

1: 3,430



572.0 0 286.00 572.0 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
City of Fort Collins - GIS

This map is a user generated static output from the City of Fort Collins FCMaps Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Notes

The Savoy



# PRELIMINARY DEVELOPMENT PLAN FOR THE SAVOY

A REPLAT OF TRACT A, BROOKFIELD FIRST REPLAT, LOCATED IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 6 NORTH, RANGE 68 WEST OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

## LAND USE CHART

EXISTING ZONING		NET	H-C
GROSS			
GROSS AREA	422,448 SF (9.69 AC)	NET AREA	354,003 SF (8.13 AC)
TOTAL DWELLING UNITS	243	TOTAL DWELLING UNITS	243
GROSS DENSITY	25.1 DU/AC	NET DENSITY	29.9 DU/AC

DWELLING UNIT BREAKDOWN			
UNIT TYPE	DWELLING UNITS	TOTAL BEDROOMS	PERCENTAGE
STUDIO	39	39	16%
ONE BEDROOM	108	108	44%
TWO BEDROOM	96	192	40%
TOTALS	243	339	100%

PROJECT PARKING		
	REQUIRED*	PROVIDED
STANDARD SPACES	389 SPACES	258 SPACES
COMPACT SPACES		155 SPACES (39.9% OF TOTAL)
ACCESSIBLE SPACES**	8 SPACES	8 SPACES

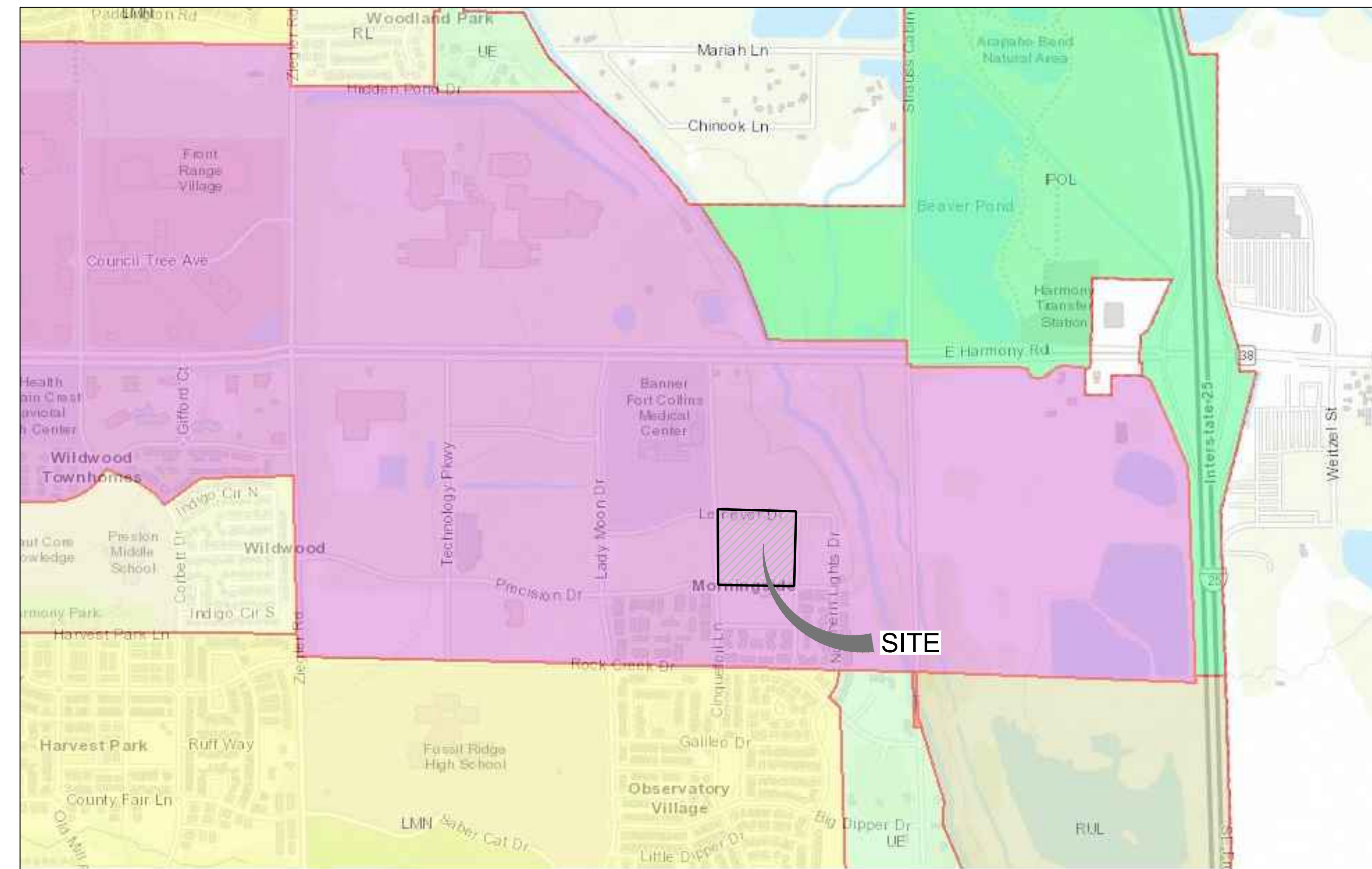
\*REQUIRED SPACES CALCULATED AS FOLLOWS:  
 STUDIO/1 BED: 144 DU X 1.5 SPACES = 216 SPACES  
 2 BED: 96 X 1.75 SPACES = 168 SPACES  
 \*\*ACCESSIBLE SPACES ARE INCLUDED IN THE OVERALL PROVIDED TOTAL

BUILDING HEIGHT	
36 PLEX	42'-4" (3 STORIES)
24 PLEX	37'-9" (3 STORIES)
CLUBHOUSE	33'-11" (1.5 STORIES)
3 PLEX/MAIL LOUNGE	30'-5" (2 STORIES)

## AREA COVERAGE

GROSS			NET		
	AREA (SF)	%		AREA (SF)	%
RESIDENTIAL BUILDING COVERAGE	83,644	19.80	RESIDENTIAL	83,644	23.63
MIXED-USE BUILDING COVERAGE	7,982	1.89	MIXED-USE	7,982	2.25
DRIVES AND PARKING (EXCLUDES PUBLIC ROW)	113,698	26.91	DRIVES AND PARKING	113,698	32.12
OPEN SPACE AND LANDSCAPE (EXCLUDES PUBLIC ROW)	104,321	24.69	OPEN SPACE AND LANDSCAPE HARDSCAPES (WALKS & PLAZAS)	104,321	29.47
HARDSCAPE (EXCLUDES PUBLIC ROW)	44,388	10.51		44,388	12.54
PUBLIC STREET RIGHT-OF-WAY		0.00	<b>TOTAL NET COVERAGE</b>	<b>354,033</b>	<b>100.00</b>
HARDSCAPE	9,868	2.34			
DRIVES AND PARKING	31,813	7.53			
LANDSCAPE	26,734	6.33			
<b>TOTAL GROSS COVERAGE</b>	<b>422,448</b>	<b>100.00</b>			

## VICINITY MAP



## SHEET INDEX

1	SP-1	COVER SHEET
2	SP-2	SITE PLAN
3	L-1	LANDSCAPE COVER SHEET / OVERALL LANDSCAPE PLAN
4 - 6	L-2 - L-4	LANDSCAPE PLAN
7	L-5	PLANT SCHEDULE
8	L-6	HYDROZONE PLAN
9	L-7	AMENITY LAYOUT PLANS
10 - 12	L-8 - L-10	LANDSCAPE DETAILS
13 - 14	L-11 - L-12	WALKWAY SPINE PERSPECTIVES
15 - 16	A-1 - A-2	24 PLEX ELEVATIONS - CARRIBEAN CORAL
17 - 18	A-3 - A-4	24 PLEX ELEVATIONS - HARVEST GOLD
19 - 20	A-5 - A-6	36 PLEX ELEVATIONS - POWDER BLUE
21 - 22	A-7 - A-8	36 PLEX ELEVATIONS - PLYMOUTH GREEN
23 - 24	A-9 - A-10	CLUBHOUSE ELEVATIONS
25	A-11	MAIL LOUNGE/3-PLEX ELEVATIONS
26	A-12	CARPOR/PORTAL ELEVATIONS
27	A-13	TRASH ENCLOSURE ELEVATIONS
28	A-14	EXTERIOR MATERIALS BOARD
29 - 33	A-15 - A-19	ARCHITECTURAL PERSPECTIVES
34 - 35	A-20 - A-21	ARCHITECTURAL SITE PERSPECTIVES
36	PH1	SITE PHOTOMETRIC PLAN
37	PH2	SITE LIGHTING FIXTURES

## SITE PLAN NOTES

- REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
- REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
- ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
- ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
- ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
- SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
- FIRE HYDRANTS MUST MEET OR EXCEED POUDDRE FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
- ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
- ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY THE PROPERTY OWNER OF THE COMMON AREA. THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
- DESIGN AND INSTALLATION OF ALL PARKWAY/TREE LAWN AND MEDIAN AREAS IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY STANDARDS. UNLESS OTHERWISE AGREED TO BY THE CITY WITH THE FINAL PLANS, ALL ONGOING MAINTENANCE OF SUCH AREAS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
- PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&R'S), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF XERISCAPE LANDSCAPING, SOLAR/PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), ODOR-CONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
- PREMISE IDENTIFICATION: AN ADDRESSING PLAN IS REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY AND POUDDRE FIRE AUTHORITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. UNLESS THE PRIVATE DRIVE IS NAMED, MONUMENT SIGNAGE MAY BE REQUIRED TO ALLOW WAY FINDING. ALL BUILDINGS SHALL HAVE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE, VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, AND POSTED WITH A MINIMUM OF SIX INCH NUMERALS ON A CONTRASTING BACKGROUND. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

## PLANNING CERTIFICATE

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

Director Signature

## OWNER'S CERTIFICATE

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER (SIGNED)

DATE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_ BY

(PRINT NAME)

AS \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

ADDRESS

Revisions:   
 No.   
 Date:   
 Description:   
 9/17/2022

These drawings are instruments of service provided by Northern Engineering and are not to be used for any type of construction without the approval of a Professional Engineer in the employ of Northern Engineering Services, Inc.

**NORTHERN ENGINEERING**  
 970.221.4188  
 northernengineering.com  
 FORT COLLINS: 301 North Howe Street, Suite 100, 80521  
 GREELEY: 820 8th Street, 80631

PROJECT: 514-003  
 DATE: 09/14/2022  
 DESIGNED BY: B. MATHISEN  
 SCALE: N/A  
 DRAWN BY: B. MATHISEN  
 MANAGER: B. MATHISEN

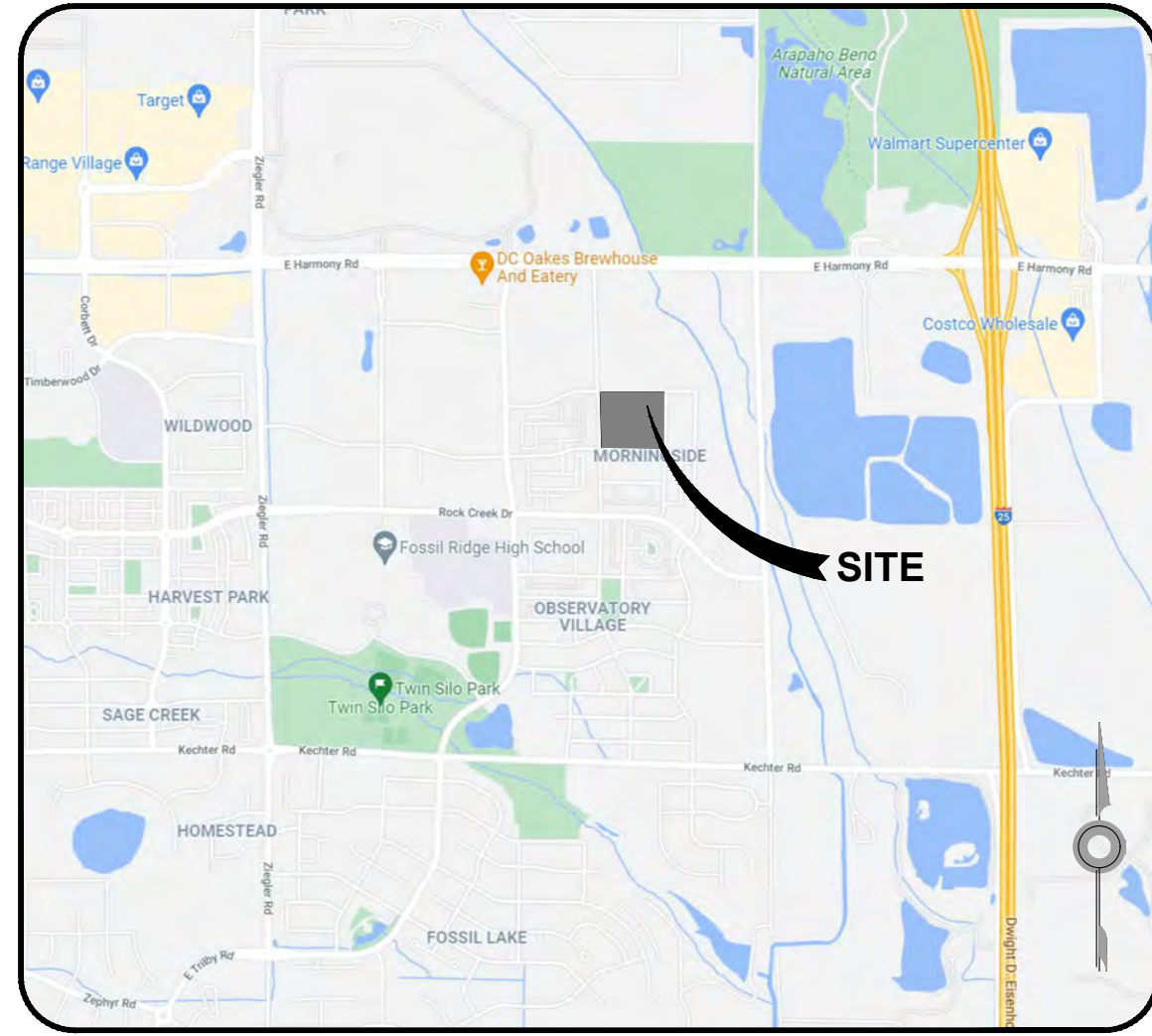
THE SAVOY  
 COVER SHEET

Sheet  
**SP-1**  
 1 of 37









VICINITY MAP

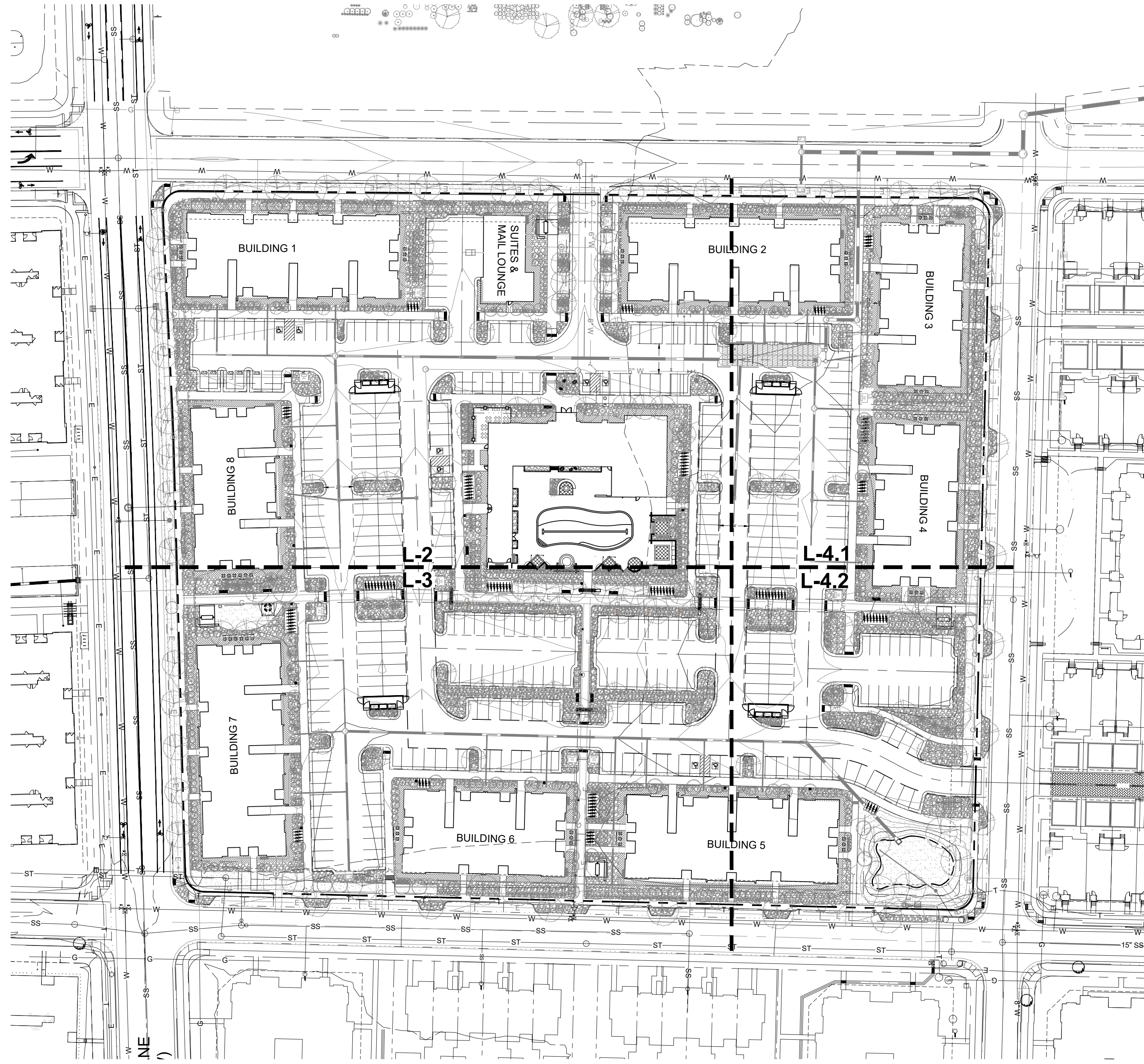
NTS

**LANDSCAPE NARRATIVE**

SAVOY APARTMENTS HELPS DEFINE THE CITY AS A HIGH QUALITY, CONNECTED RESIDENTIAL DEVELOPMENT. THE LANDSCAPE INTENT FOR THE PROPOSED SAVOY DEVELOPMENT IS TO ENHANCE THE OVERALL SITE PLAN, ARCHITECTURE AND ADJACENT DEVELOPMENTS WHILE ALSO FOCUSING ON LANDSCAPING TECHNIQUES SPECIFIC TO RELEVANT CONDITIONS OCCURRING IN COLORADO'S FRONT RANGE.

LANDSCAPING SHALL BE USED TO ENCLOSE STREET CORRIDORS HELPING TO CREATE A SENSE OF PLACE, ENHANCE ENTRIES INTO THE SITE, PROVIDE SCREENING FOR PRIVACY AND PARKING, ACCENT AND ANCHOR ARCHITECTURAL FEATURES AND REINFORCE PEDESTRIAN CIRCULATION PATHS.

PLANTS WILL BE SELECTED AND ARRANGED ACCORDING TO THE CITY OF FORT COLLINS RECOMMENDED PLANT LIST BASED ON WATER USAGE AND PHYSICAL CONDITIONS OF THE SITE. WATER USAGE FOR THE ENTIRE SITE WILL NOT EXCEED 15 GAL/SF/SEASON.



OVERALL LANDSCAPE PLAN

**LANDSCAPE AREA CALCULATIONS**

TOTAL LANDSCAPE AREA	
TOTAL AREA:	363,116 SQFT / 8.336 ACRES
TOTAL LANDSCAPED AREA PROVIDED:	96,016 SQFT
TREES PROVIDED:	390
SHRUBS PROVIDED:	1,711
GRASSES AND PERENNIALS:	2,230

**PARKING LOT LANDSCAPE**

AREA	# OF PARKING SPACES	TREES / SHRUBS PROVIDED
SURFACE PARKING LOT	389	40 TREES & 389 SHRUBS

**PUBLIC STREET RIGHT OF WAY LANDSCAPE**

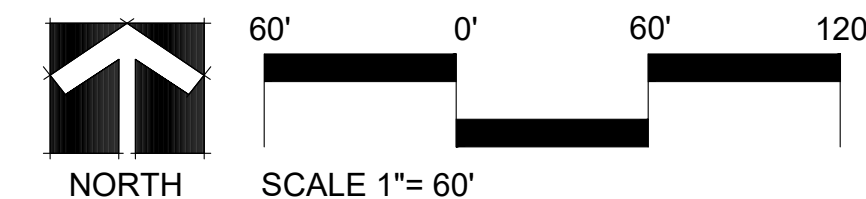
AREA	REQUIREMENT	LINEAR FEET	TREES REQUIRED	TREES PROVIDED
PERIMETER DRIVE	1 TREE PER 40 LINEAR FEET	2400	60	60

**GENERAL LANDSCAPE NOTES:**

- PLANT QUALITY:** ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
- IRRIGATION:** ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. IRRIGATION SYSTEMS TO BE TURNED OVER TO THE CITY PARKS DEPARTMENT FOR MAINTENANCE MUST BE APPROVED BY THE PARKS MANAGER AND MEET PARKS IRRIGATION STANDARDS. DESIGN REVIEW SHALL OCCUR DURING UTILITIES DEPARTMENT IRRIGATION REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND CONSTRUCTION OBSERVATION AND INSPECTION BY PARKS SHALL BE INCORPORATED INTO THE CONSTRUCTION PROCESS.
- TOPSOIL:** TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- SOIL AMENDMENTS:** SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, A WRITTEN CERTIFICATION MUST BE SUBMITTED TO THE CITY THAT ALL PLANTED AREAS, OR AREAS TO BE PLANTED, HAVE BEEN THOROUGHLY LOOSENED AND THE SOIL AMENDED, CONSISTENT WITH THE REQUIREMENTS SET FORTH IN SECTION 12-132.
- INSTALLATION AND GUARANTEE:** ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- MAINTENANCE:** TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- REPLACEMENT:** ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
- THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:**
  - 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
  - 15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS
  - 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
  - 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES
  - 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
  - 4 FEET BETWEEN TREES AND GAS LINES
- ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 32.1KD(2)(a).
- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
- THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
- ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.

**SHEET INDEX:**

3	L-1	LANDSCAPE COVER SHEET / OVERALL LANDSCAPE PLAN
4	L-2	LANDSCAPE PLAN
5	L-3	LANDSCAPE PLAN
6	L-4	LANDSCAPE PLAN
7	L-5	PLANT SCHEDULE
8	L-6	HYDROZONE PLAN
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10	L-8	LANDSCAPE DETAILS
11	L-9	LANDSCAPE DETAILS
12	L-10	LANDSCAPE DETAILS
13	L-11	WALKWAY SPINE PERSPECTIVES
14	L-12	WALKWAY SPINE PERSPECTIVES



No.	Revisions:	By:	Date:
1	Revised per City Comments (01-07-2022)	SA	04/26/2022
2	Revised per City Comments (05-27-2022)	SA	09/06/2022

**REVIEW SET**  
NOT FOR CONSTRUCTION

**henry design group**  
Landscape Architecture • Planning • Entitlements  
1501 Wazee Street Suite 1-C Denver, Colorado 80202  
303.444.2268 • henrydesigngroup.com

PROJECT:	514-603	DATE:	09-16-2022	SCALE:	N/A	P. MANAGER:	SA
DESIGNED BY:	SA	DRAWN BY:	SA				

**THE SAVOY**  
PROJECT DEVELOPMENT PLAN  
LANDSCAPE PLAN



No.	1	Revised per City Comments (01-07-2022)	SA	04/26/2022
Revisions:	2	Revised per City Comments (05-27-2022)	SA	09/06/2022

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DATE:	09-16-2022
SCALE:	1"=20'
DESIGNED BY:	SA
PROJECT:	514-003
P. MANAGER:	SA
DRAWN BY:	SA

**THE SAVOY**  
PROJECT DEVELOPMENT PLAN  
LANDSCAPE PLAN

**LEGEND**

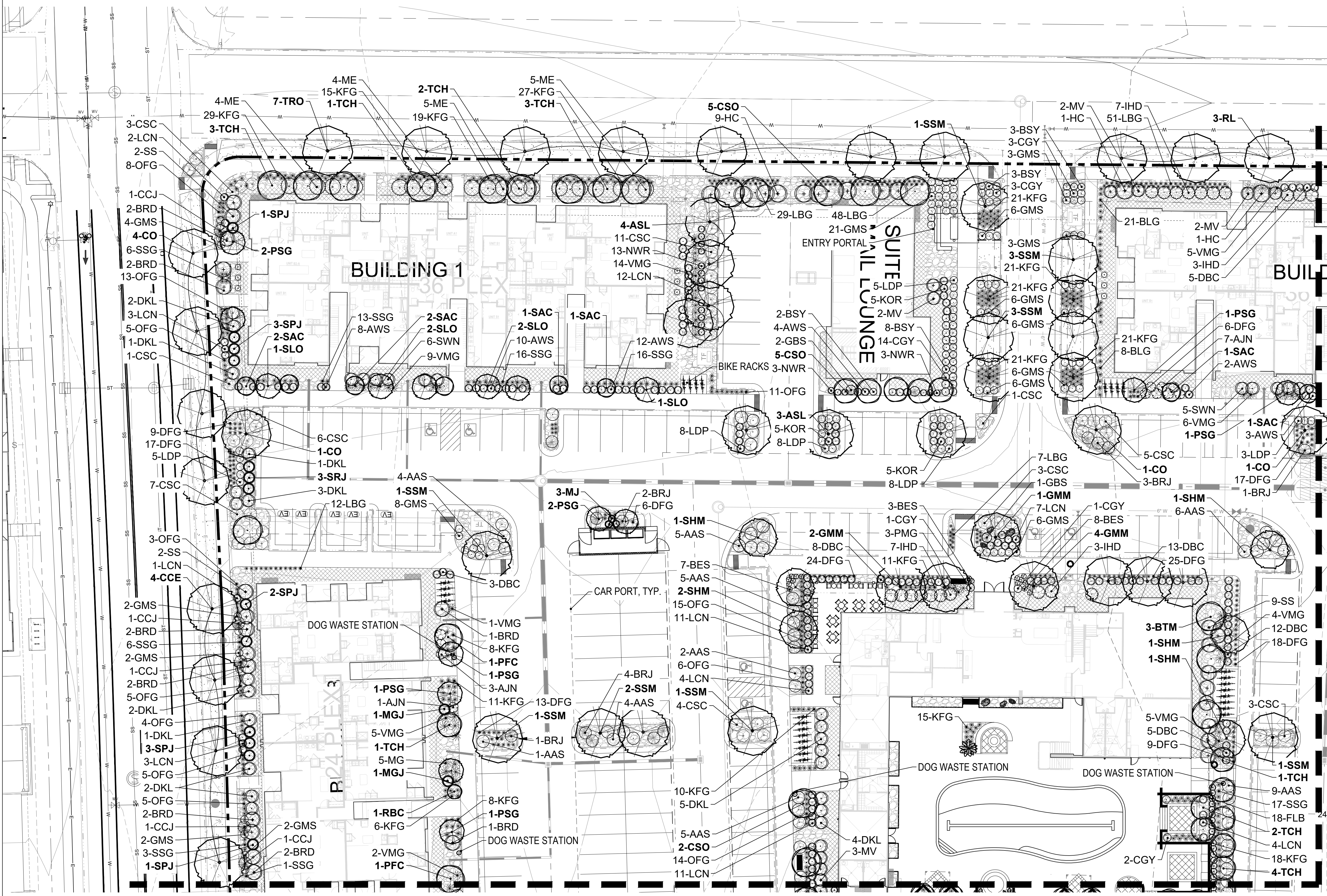
- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUBS
- SOD
- 5' NO IRRIGATION
- ROCK MULCH
- WALL
- FENCE
- BIKE RACK
- BENCH
- TRASH RECEPTACLE
- DOG WASTE STATION

**NOTES**

THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES, SHRUBS AND UTILITIES.

- 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS.
- 15 FEET BETWEEN ORNAMENTAL TREES AND STREET LIGHTS.
- 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES.
- 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES.
- 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES.
- 4 FEET BETWEEN TREES AND GAS LINES.

1. ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 32(KD)(2)(a).
2. PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
3. THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.



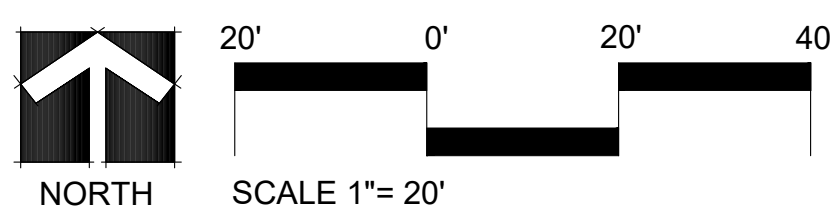
SEE LP-1

SEE LP-1

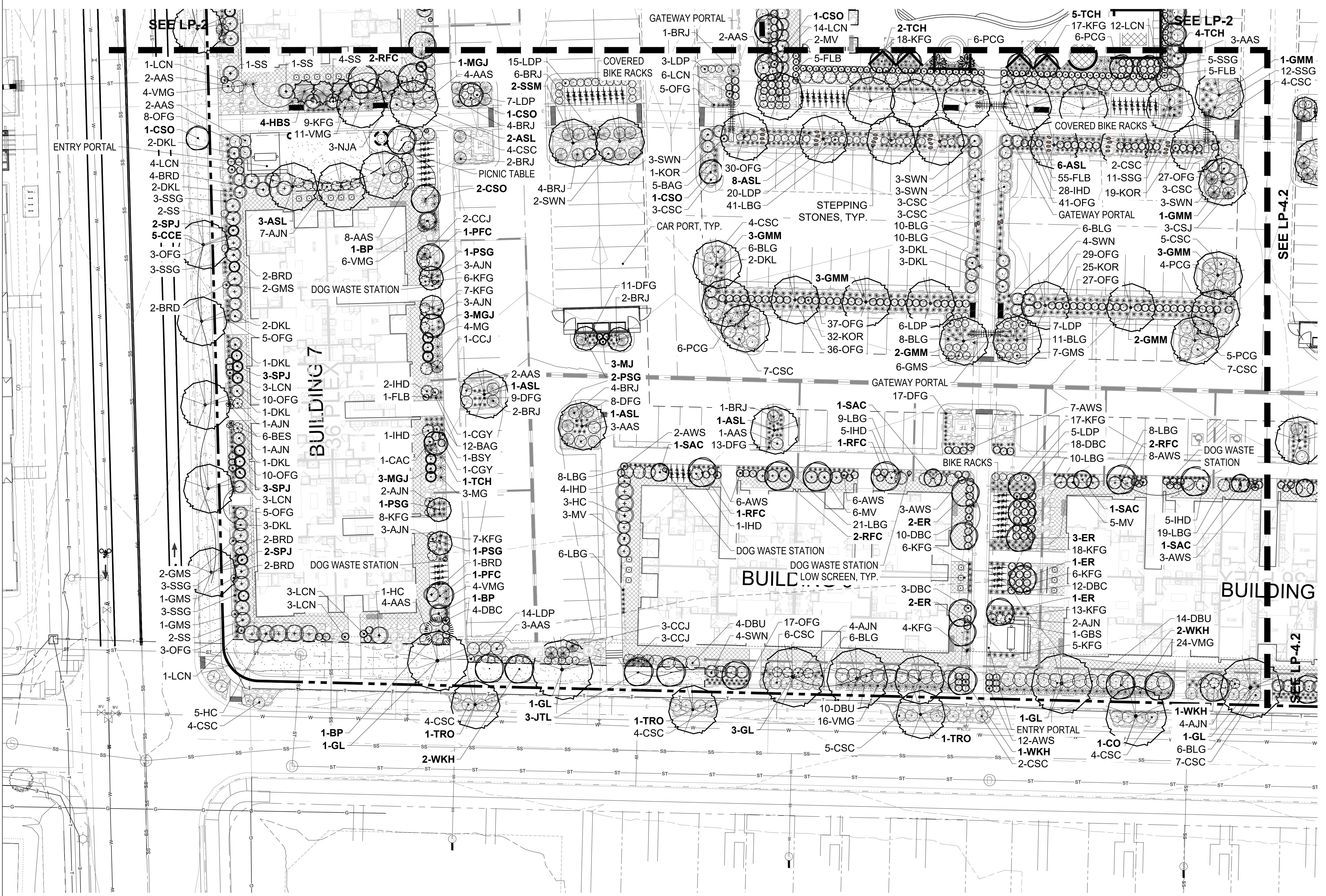
SEE LP-3

SEE LP-3

**LANDSCAPE PLAN 2**







**LEGEND**

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUBS
- SOD
- 5' NO IRRIGATION
- ROCK MULCH
- WALL
- FENCE
- BIKE RACK
- BENCH
- TRASH RECEPTACLE
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Revisions:	Date:
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2 Revised per City Comments (05-27-2022)	SA 09/06/2022

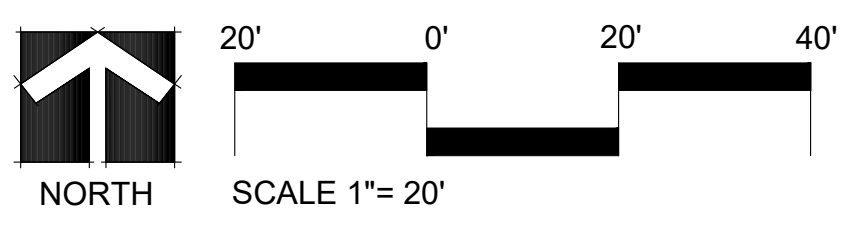
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514-603	09-16-2022	1/4" = 1'-0"	SA
DESIGNED BY:	DATE:	SCALE:	P. MANAGER:
SA			SA
DRAWN BY:	DATE:	SCALE:	P. MANAGER:
SA			SA

**THE SAVOY**  
PROJECT DEVELOPMENT PLAN  
LANDSCAPE PLAN

LANDSCAPE PLAN - 3









PLANT LIST

QUANTITY	SYMBOL	COMMON NAME	LATIN NAME	SIZE	MATURE SIZE (HxW)	CONTAINER	WATER USE	% ON SITE
<b>SHADE TREES</b>								
41	ASL	AMERICAN SENTRY LINDEN	TILIA AMERICANA 'McKSENTRY'	2" CAL.	35' x 30'	B4B	LOW/MOD	10.512821 %
11	SLO	SCARLET LETTER OAK	QUERCUS X 'SCARLET LETTER'	2" CAL.	40' x 15'	B4B	LOW/MOD	2.820513 %
2	CH	WESTERN HACKBERRY	CELTIS OCCIDENTALIS 'PRAIRIE SENTINEL'	2" CAL.	50' x 20'	B4B	LOW/MOD	0.512821 %
12	CO	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	2" CAL.	55' x 45'	B4B	LOW	3.076923 %
10	TRO	TEXAS RED OAK	QUERCUS BUCKLEYI	2" CAL.	30' x 20'	B4B	LOW/MOD	2.564103 %
8	GL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2" CAL.	35' x 30'	B4B	LOW/MOD	2.051282 %
13	KC	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICA 'ESPRESSO'	2" CAL.	55' x 45'	B4B	LOW/MOD	3.333333 %
9	CCE	CITY CHOICE ELM	ULMUS DAVIDIANA 'CHOICE CITY'	2" CAL.	30' x 20'	B4B	LOW/MOD	2.307692 %
23	F&G	FRINCETON SENTRY GINGKO	GINGKO BILOBA 'FRINCETON SENTRY'	2" CAL.	35' x 15'	B4B	LOW/MOD	5.897436 %
7	RL	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2" CAL.	35' x 35'	B4B	LOW/MOD	1.784812 %
22	GMM	GREEN MOUNTAIN MAPLE	ACER ACER SACCHARUM 'GREEN MOUNTAIN'	2" CAL.	30' x 20'	B4B	LOW/MOD	5.641026 %
6	SHM	SHANTUNG MAPLE	ACER TRUNCATUM	2" CAL.	20' x 15'	B4B	LOW/MOD	1.538462 %
21	SSM	STATE STREET MAPLE	ACER MIYABEI 'MORTON'	2" CAL.	35' x 25'	B4B	LOW/MOD	5.384615 %
2	TF	TURKISH FILBERT	CORYLUS COLUMA	2" CAL.	35' x 20'	B4B	LOW	0.512821 %
<b>ORNAMENTAL TREES</b>								
8	BTM	BIGTOOTH MAPLE	ACER GRANDIDENTATUM	2" CAL.	20' x 20'	B4B	LOW/MOD	2.051282 %
19	CSO	CRIMSON SPIRE OAK	QUERCUS CRIMSON SPIRE	2" CAL.	35' x 12'	B4B	LOW	4.871795 %
9	ER	EASTERN REDBUD	CERCIS CANADENSIS	2" CAL.	20' x 20'	B4B	MEDIUM	2.307692 %
2	GRT	GOLDEN RAIN TREE	KOELREUTERIA PANICULATA	2" CAL.	25' x 25'	B4B	LOW	0.512821 %
3	JTL	JAPANESE TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	2" CAL.	15' x 15'	B4B	LOW	0.769231 %
2	MGM	MESA GLOW MAPLE	ACER GRANDIDENTATUM 'Jfs-Numex3'	2" CAL.	25' x 15'	B4B	LOW/MOD	0.512821 %
1	RBC	RED BARON CRABAPPLE	MALUS 'RED BARON'	2" CAL.	15' x 6'	B4B	LOW/MOD	0.25641 %
11	RFC	RADIANT FLOWERING CRABAPPLE	MALUS RADIANT	2" CAL.	20' x 25'	B4B	LOW/MOD	2.820513 %
6	FFC	PRAIRIE FIRE CRABAPPLE	MALUS					
16	SAC	SARGENT CRABAPPLE	MALUS SARGENTII	2" CAL.	10' x 10'	B4B	LOW/MOD	4.102564 %
26	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI VAR. INERMIS	2" CAL.	20' x 18'	B4B	LOW/MOD	6.666667 %
32	WKH	WINTER KING HAWTHORN	CRATAEGUS VIRIDIS	2" CAL.	18' x 18'	B4B	LOW/MOD	8.205128 %
<b>EVERGREEN TREES</b>								
3	AP	AUSTRIAN PINE	PINUS NIGRA	6'	50' x 35'	B4B	LOW	0.769231 %
5	BP	BOSNIAN PINE	PINUS HELDREICHII	6'	20' x 12'	B4B	LOW	1.282051 %
5	HBS	HOOPSII COLORADO SPRUCE	PICEA FUNGENS 'HOOPSII'	6'	45' x 15'	B4B	LOW/MOD	1.282051 %
20	MGJ	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM 'MOONGLOW'	6'	5' x 15'	B4B	LOW	5.128205 %
12	MJ	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	6'	10' x 3'	B4B	LOW	3.076923 %
23	SPJ	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	6'	15' x 5'	B4B	LOW/MOD	5.897436 %
390								100 %

QUANTITY	SYMBOL	COMMON NAME	LATIN NAME	MATURE SIZE (HxW)	CONTAINER	WATER USE
<b>SHRUBS</b>						
125	AA8	AUTUMN AMBER SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	1.5' x 7'	5 GALLON	LOW
63	AJN	AMBER JUBILEE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'JEFAM'	5' x 5'	5 GALLON	LOW/MOD
123	AWS	ANTHONY WATERER SPIREA	SPIRAEA JAPONICA 'ANTHONY WATERER'	2.5' x 3'	5 GALLON	LOW/MOD
46	BRD	BAILEY REDTWIG DOGWOOD	CORNUS STOLONIFERA 'BAILEY'	8' x 8'	5 GALLON	LOW
65	BRJ	BLUE RUG JUNIFER	JUNIPERUS HORIZONTALIS 'WILTONII'	5' x 7'	5 GALLON	LOW/MOD
11	CCJ	CALGARY CARPET JUNIFER	JUNIPERUS SABINA 'CALGARY CARPET'	1' x 7'	5 GALLON	LOW/MOD
252	C&C	CREEPING WESTERN SAND CHERRY	FRUNUS BESSEYI FAUNEE BUTTES	3' x 3'	5 GALLON	LOW
145	DBC	DWARF BLACK CHOKEBERRY	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	3' x 3'	5 GALLON	LOW/MOD
74	DBU	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	7' x 7'	5 GALLON	LOW/MOD
0	DGN	DARTS GOLD NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DARTS GOLD'	5' x 5'	5 GALLON	LOW/MOD
47	DKL	DWARF KOREAN LILAC	SYRINGA MEYERI 'FALIBIN'	4.5' x 6'	5 GALLON	LOW/MOD
4	GBS	GLOBE BLUE SPRUCE	PICEA FUNGENS 'GLOBOSA'	4' x 6'	5 GALLON	LOW/MOD
136	GMS	GOLD MOUND SPIREA	SPIRAEA JAPONICA 'GOLDMOUND'	3' x 3'	5 GALLON	LOW
23	HC	HEDGE COTONEASTER	COTONEASTER LUCIDUS	7' x 7'	5 GALLON	LOW/MOD
101	IHD	IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO'	5' x 5'	5 GALLON	LOW/MOD
93	KOR	KNOCK OUT ROSE	ROSA X KNOCK OUT	3.5' x 3.5'	5 GALLON	LOW/MOD
113	LCN	LEMON CANDY NINEBARK	PHYSOCARPUS OPULIFOLIUS 'PODARAS 3'	3' x 3'	5 GALLON	LOW/MOD
115	LDP	LODENSE PRIVET	LIGUSTRUM VULGARE 'LODENSE'	2.5' x 3.5'	5 GALLON	LOW/MOD
18	ME	MANHATTAN EUONYMUS	EUONYMUS KIATSCHOVICA 'MANHATTAN'	5' x 7'	5 GALLON	LOW/MOD
52	MY	MOHICAN VIBURNUM	VIBURNUM LANTANA 'MOHICAN'	5' x 5'	5 GALLON	LOW
19	NWR	NEARLY WILD ROSE	ROSA X 'NEARLY WILD'	2.5' x 2.5'	5 GALLON	LOW/MOD
1	RS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3.5' x 3.5'	5 GALLON	LOW
22	SS	SASKATOON SERVICEBERRY	AMERLANCHIER ALINFOLIA	8' x 8'	5' B4B	LOW/MOD
59	SUN	SUMMER WINE NINEBARK	PHYSOCARPUS X SUMMER WINE	5' x 5'	5 GALLON	LOW/MOD
4	THB	TALL HEDGE BUCKTHORN	RHAMNUS FRANGULA 'COLUMNARIS'	8' x 3'	5' B4B	LOW/MOD
1711						

QUANTITY	SYMBOL	COMMON NAME	LATIN NAME	MATURE SIZE (HxW)	CONTAINER	WATER USE
<b>PERENNIALS / ORNAMENTAL GRASSES</b>						
42	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	2.5' x 2'	5 GALLON	LOW/MOD
10	BC	BLUE CATMINT	NEPETA FAASSENII 'SELECT BLUE'	1.5' x 1.5'	1 GALLON	LOW
36	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	2.0' x 2.0'	1 GALLON	LOW
94	BLG	BLONDE AMBITION GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	2.5' x 2.5'	5 GALLON	LOW/MOD
370	DFG	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECURAIDES 'HAMELIN'	1.5' x 1.5'	5 GALLON	LOW/MOD
464	KFG	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	4.5' x 2'	5 GALLON	LOW/MOD
408	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	3' x 1.5'	5 GALLON	LOW
446	OFG	OVERDAM VARIEGATED FEATHER REED GRASS	CALAMAGROSTIS OVERDAM	4' x 2'	5 GALLON	LOW/MOD
6	MB	MEADOW BLAZINGSTAR	LIATRIS LIGULISTYLUS	3' x 1.5'	1 GALLON	LOW
11	MNS	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	2' x 1.5'	1 GALLON	LOW
27	PCG	PORCUPINE GRASS	MISCANTHUS SINENSIS 'STRICTUS'	6' x 3.5'	5 GALLON	LOW/MOD
3	PMG	PINK MUHLY GRASS	MUHLBERGIA REVERCHONII	3.5' x 3.5'	5 GALLON	LOW/MOD
119	SSG	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH'	4.5' x 3.5'	5 GALLON	LOW/MOD
194	VMG	VARIEGATED MAIDEN GRASS	MISCANTHUS SINENSIS 'VARIEGATUS'	4.5' x 3.5'	5 GALLON	LOW/MOD
2230						

By:	Date:
SA	04/26/2022
SA	09/06/2022
SA	05-27-2022
SA	05-27-2022

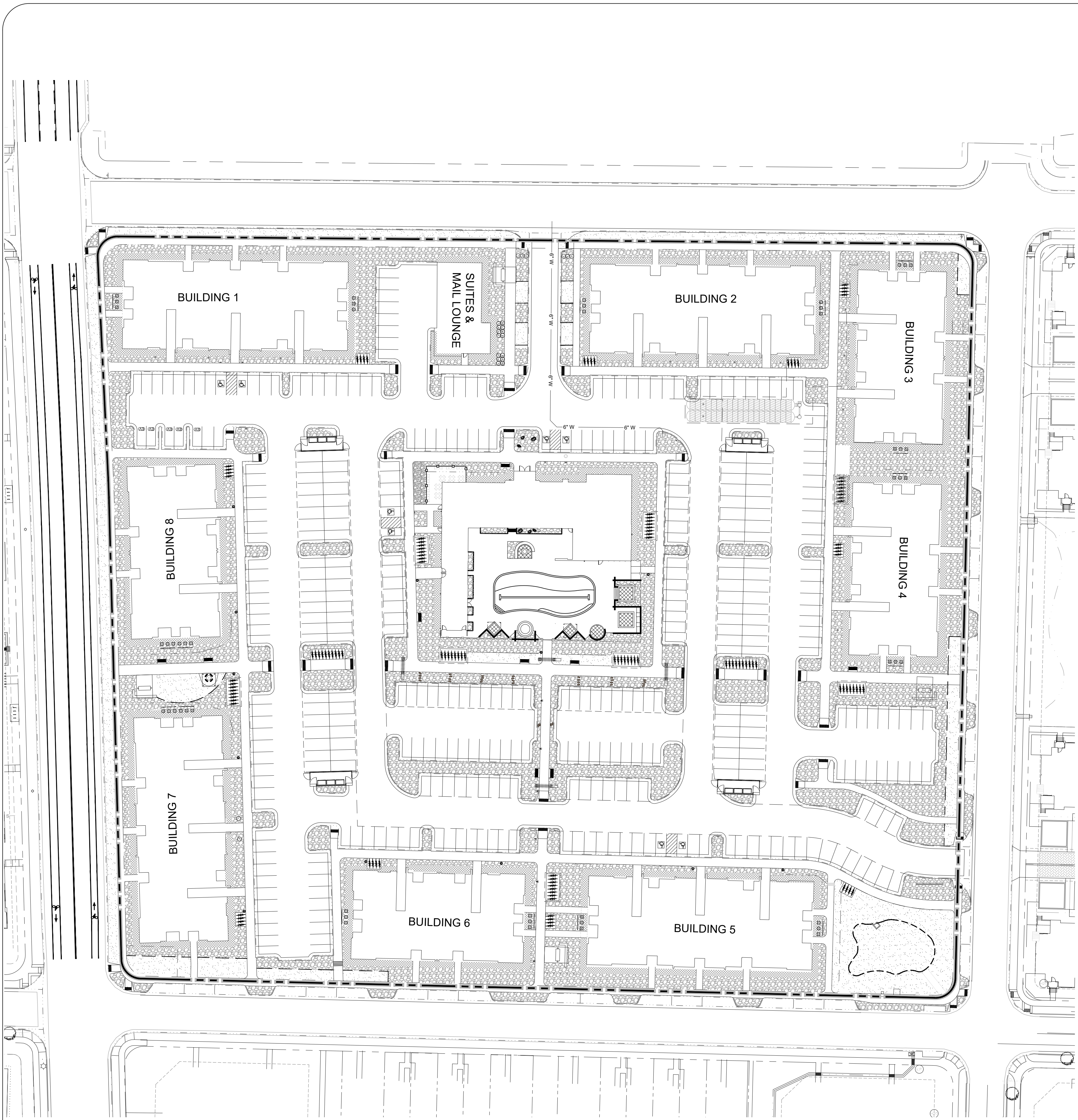
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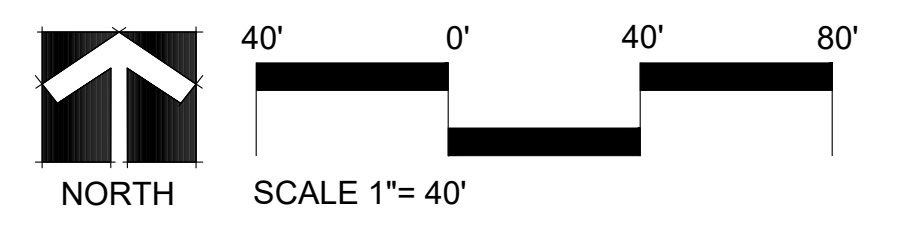
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THE SAVOY  
PROJECT DEVELOPMENT PLAN  
LANDSCAPE PLAN





**HYDROZONE PLAN**



**HYDROZONE WATER CALCULATIONS**

SYMBOL	SURFACE AREA	HYDROZONE	GALLONS / SQUARE FOOT / SEASON	SQUARE FOOT	TOTAL GALLONS PER SEASON	WATER NEED GAL/6F/ SEASON
		HIGH WATER ZONE	18	0		
	ENVIROTURF SOD	MODERATE WATER ZONE	14	26222	367108	
	SHRUB BED	LOW WATER ZONE	8	50744	405952	
		VERY LOW WATER ZONE	3	0	0	
	NON-IRRIGATED ROCK MULCH		0	13050	0	
	TOTAL			96016	773060	8.1

Revisions:

No.	By	Date
1	SA	04/26/2022
2	SA	09/06/2022

Revised per City Comments (01-07-2022)  
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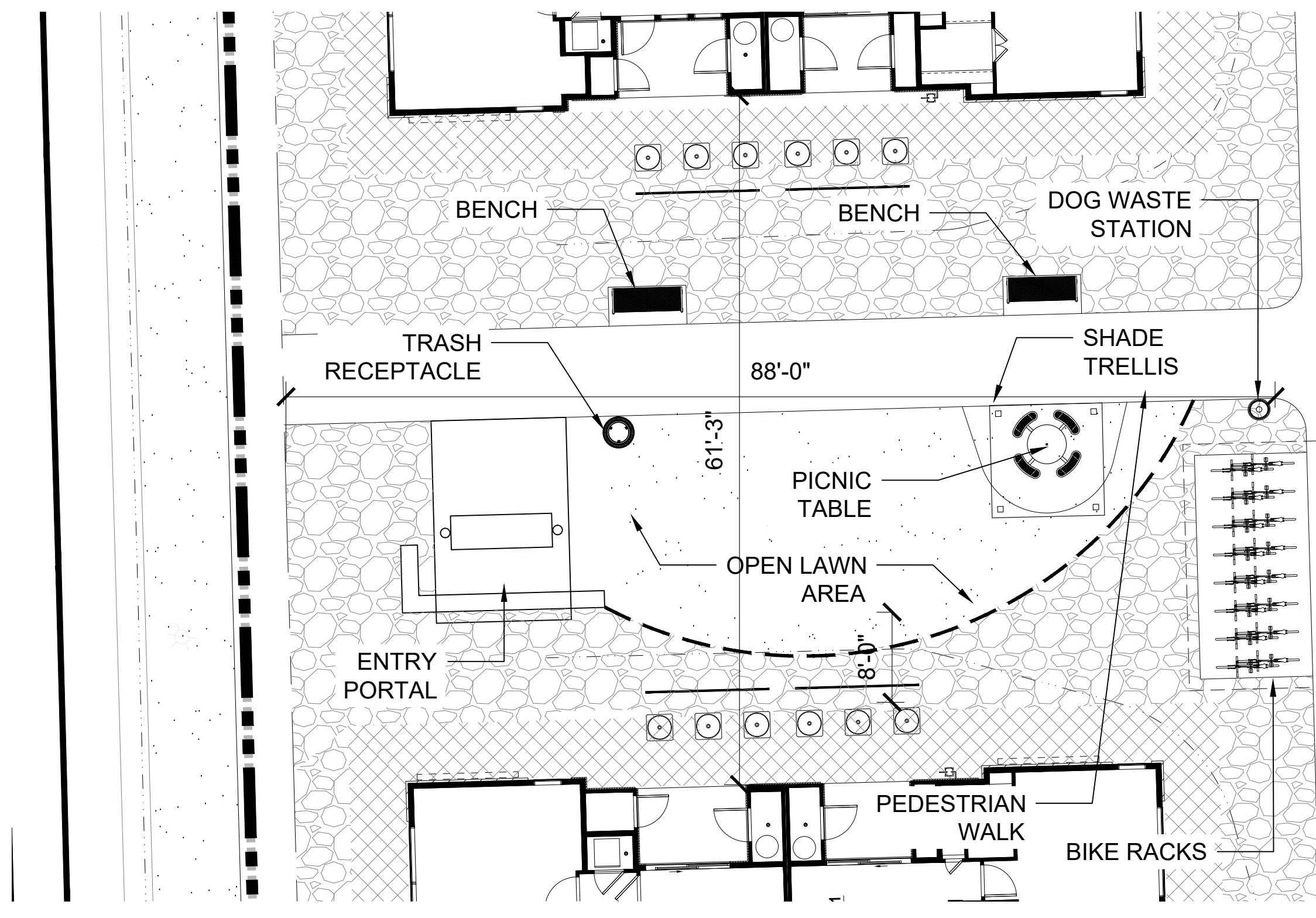
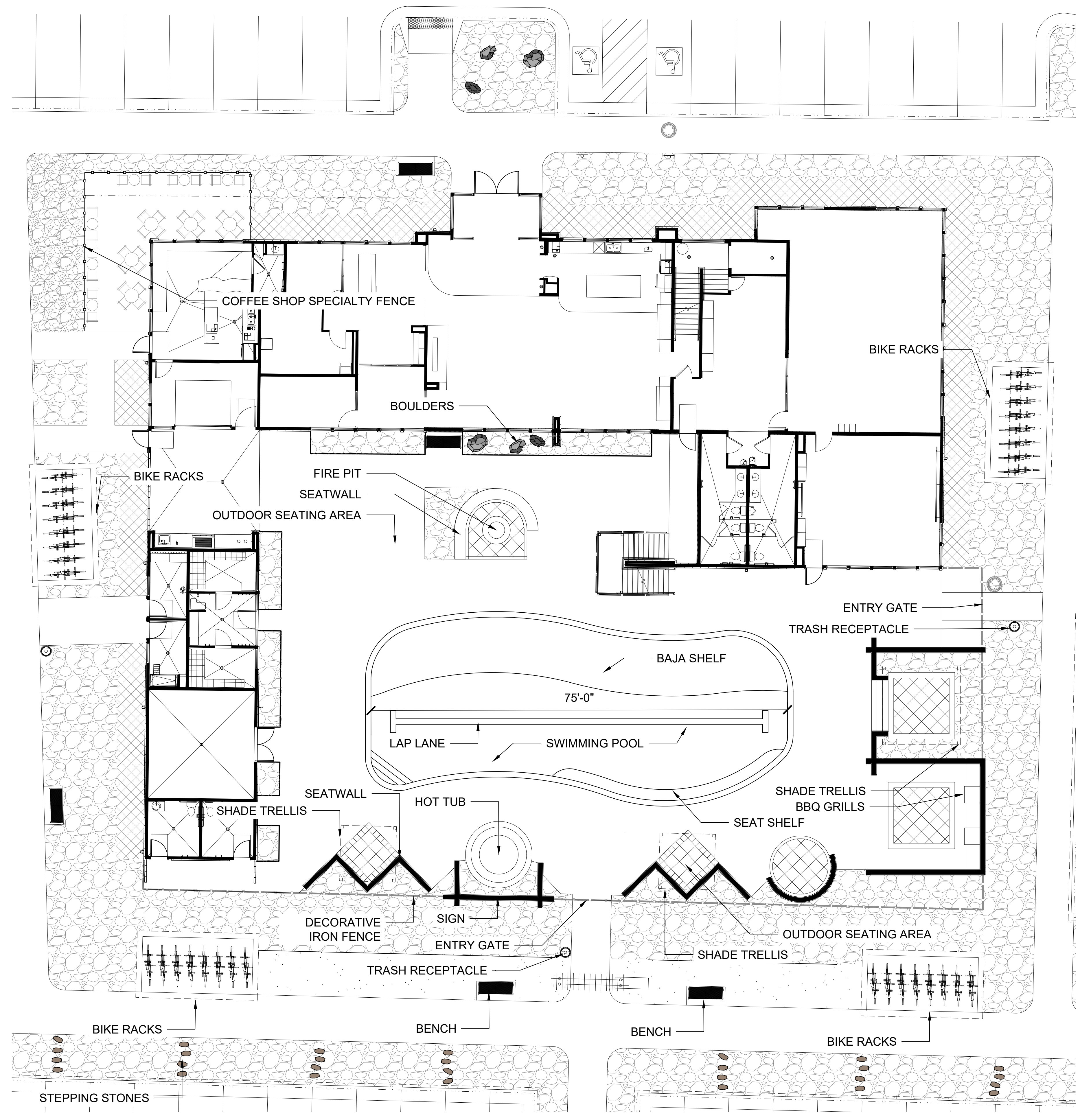
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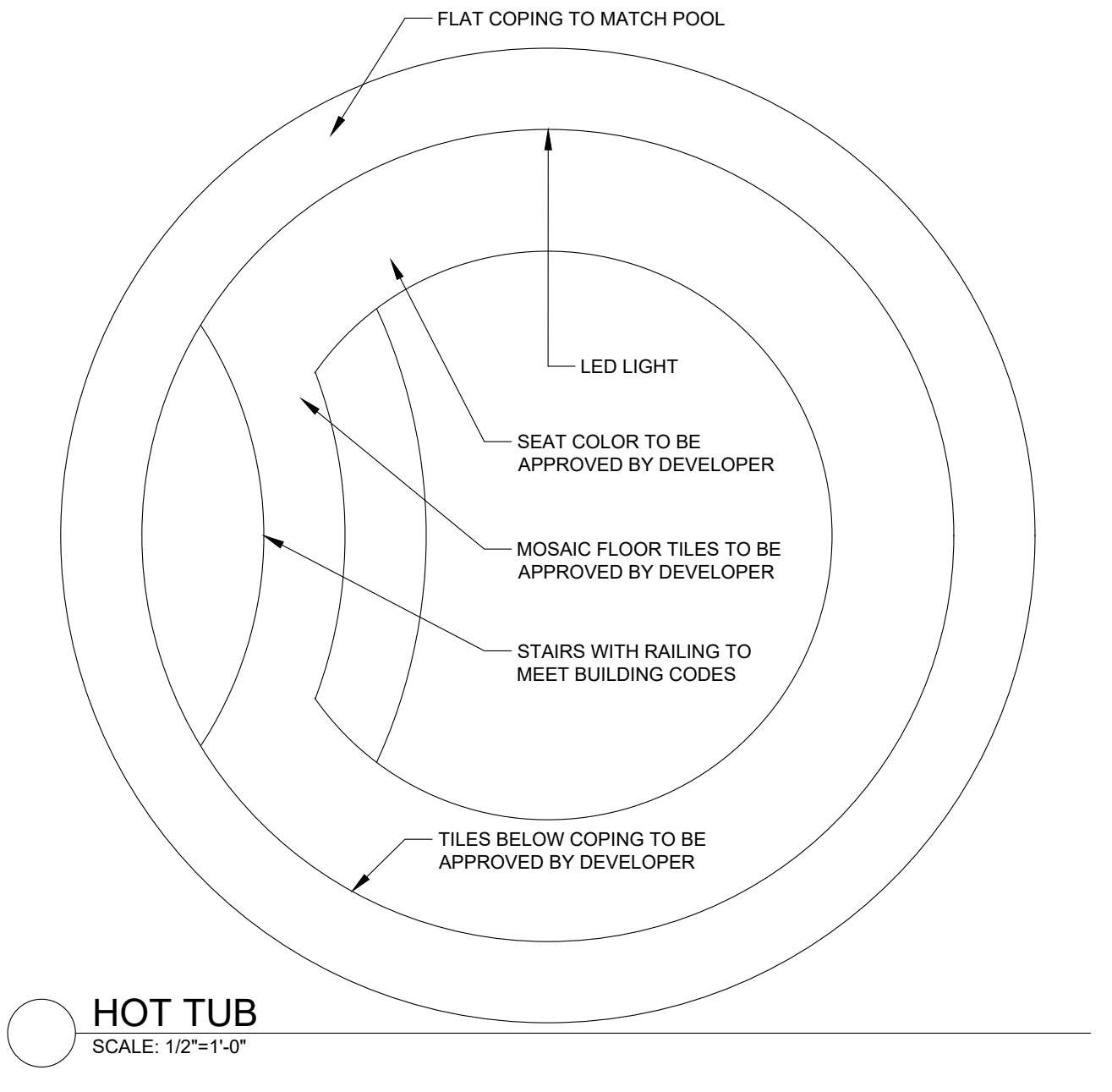
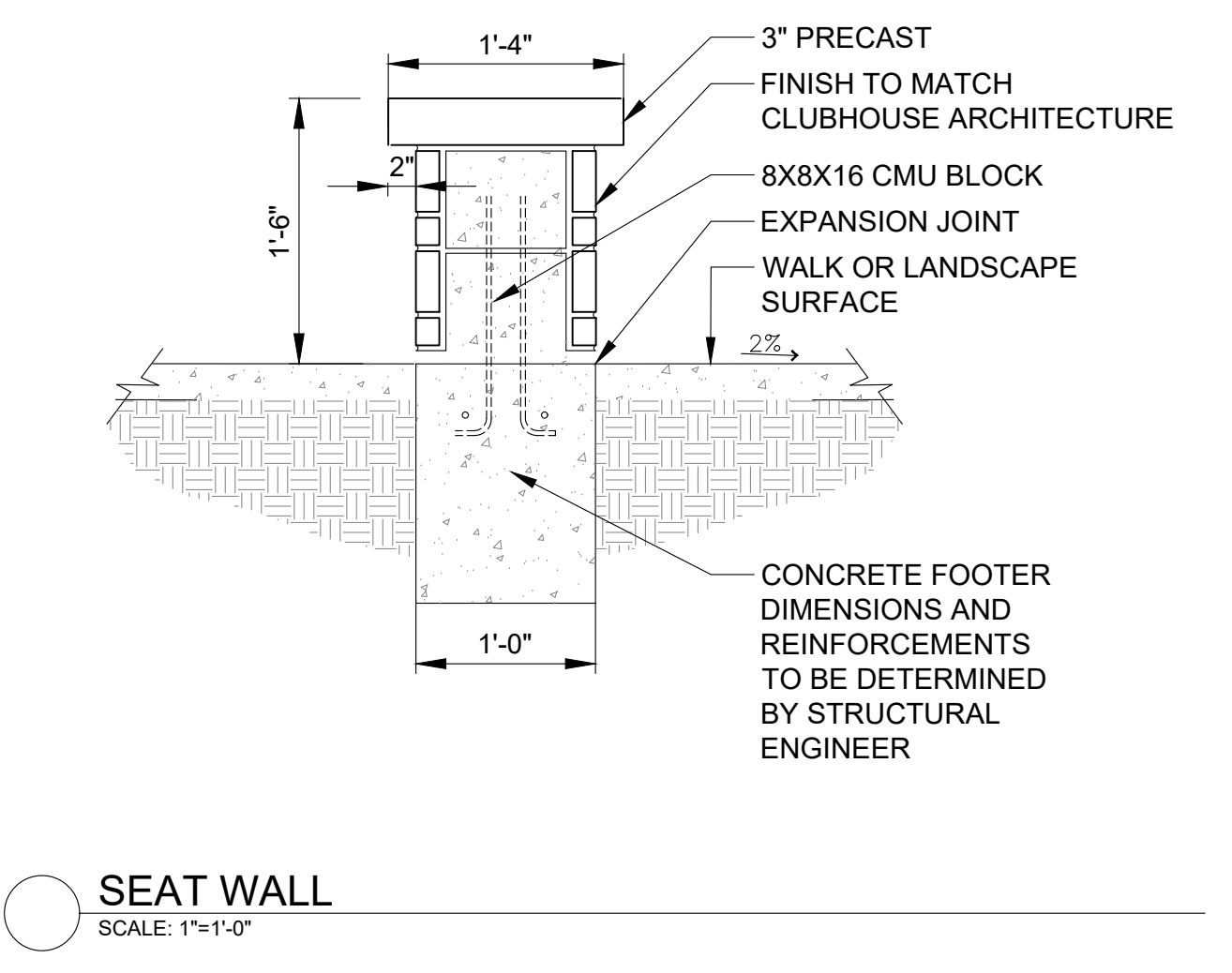
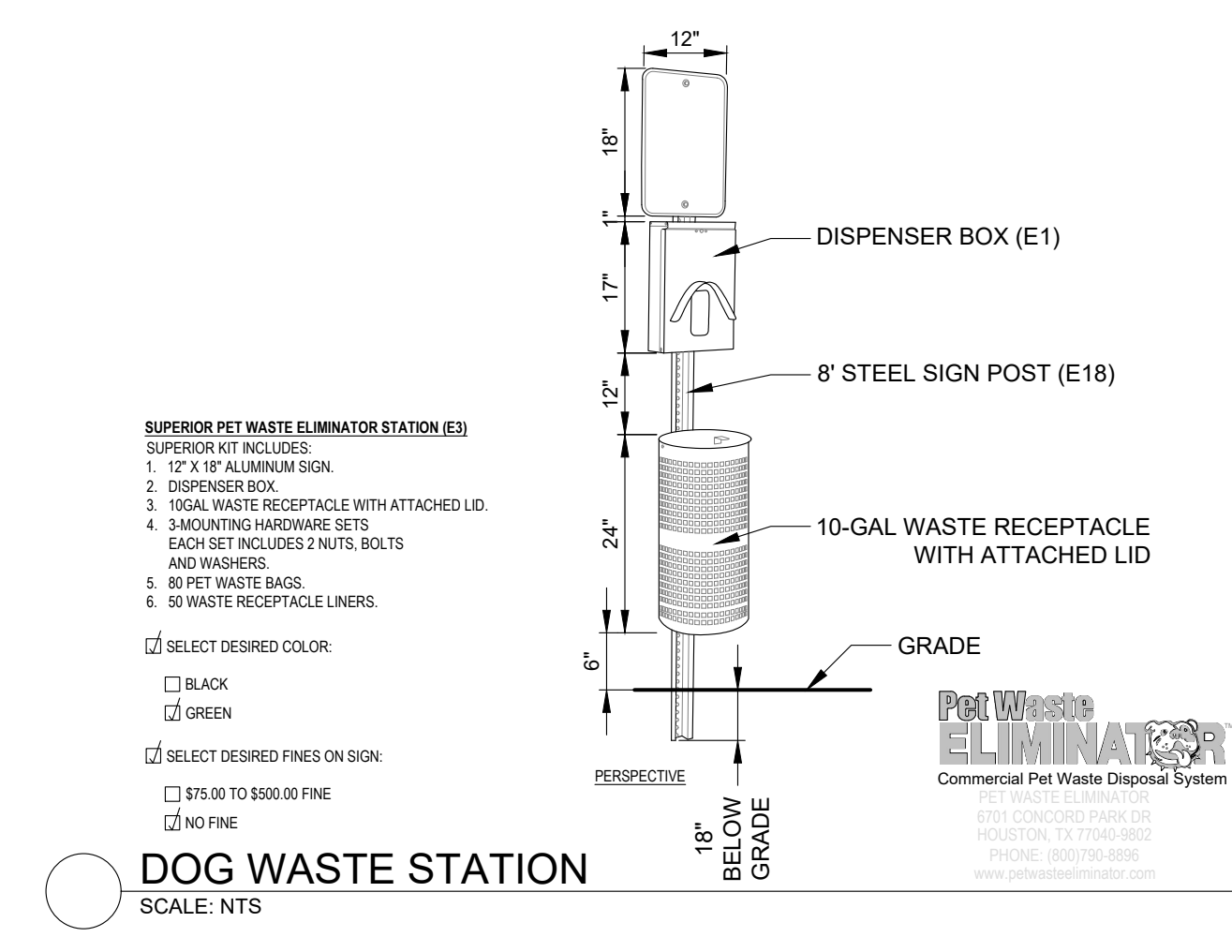
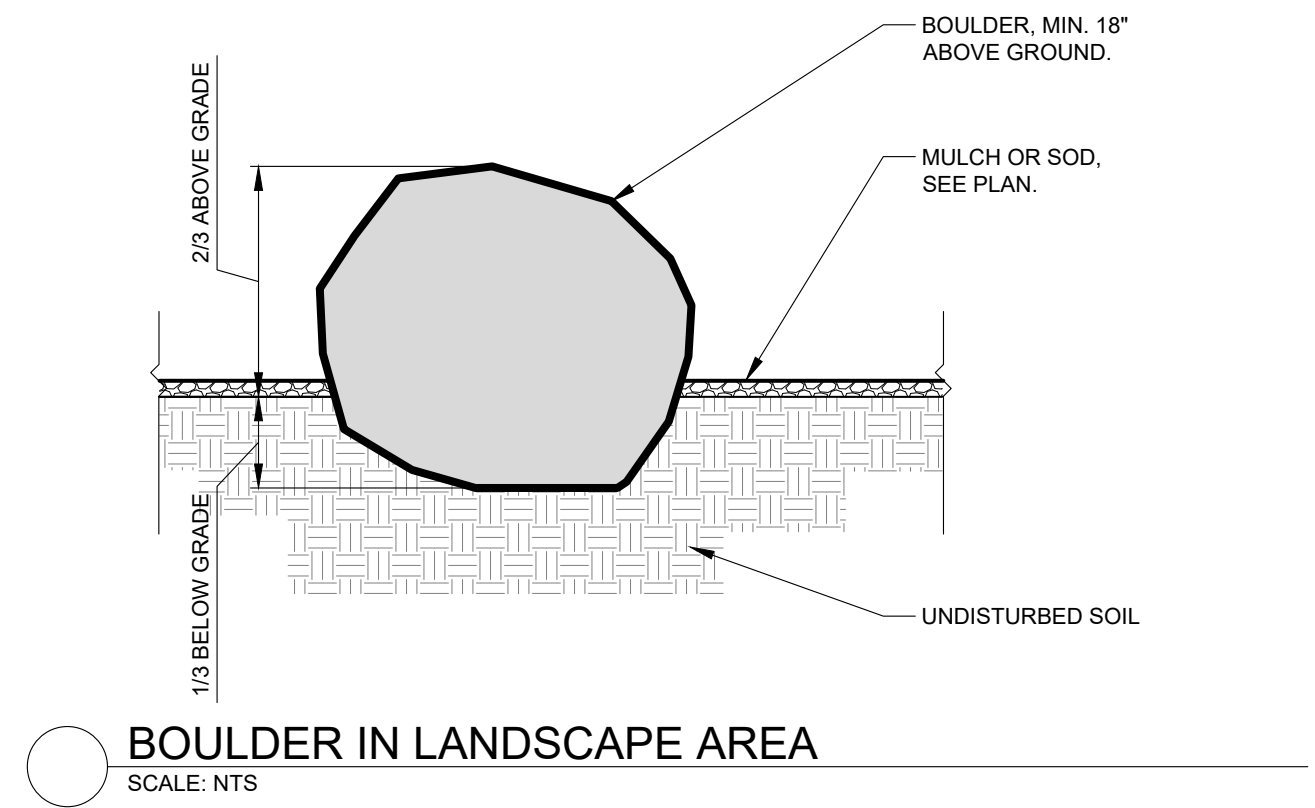
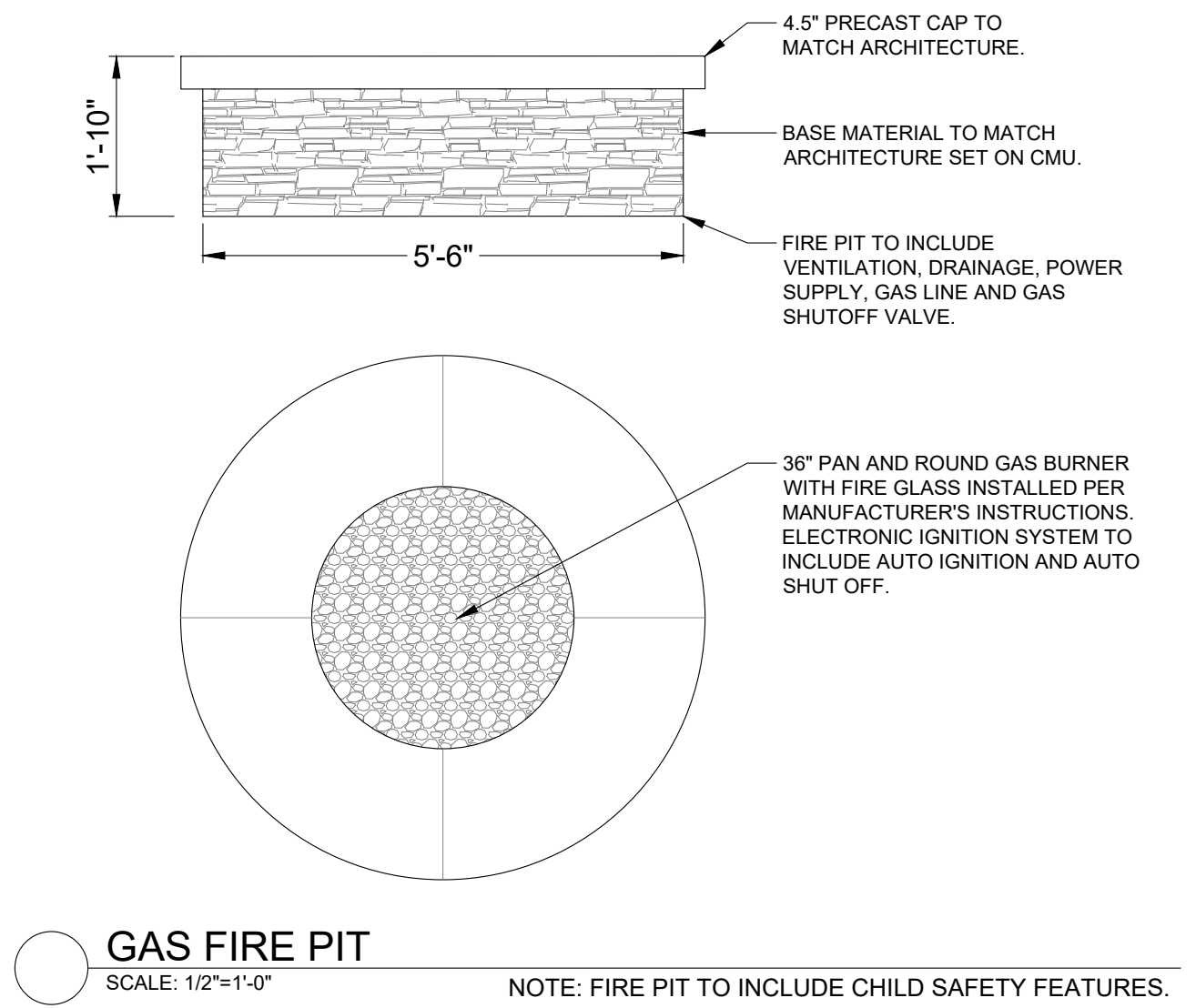
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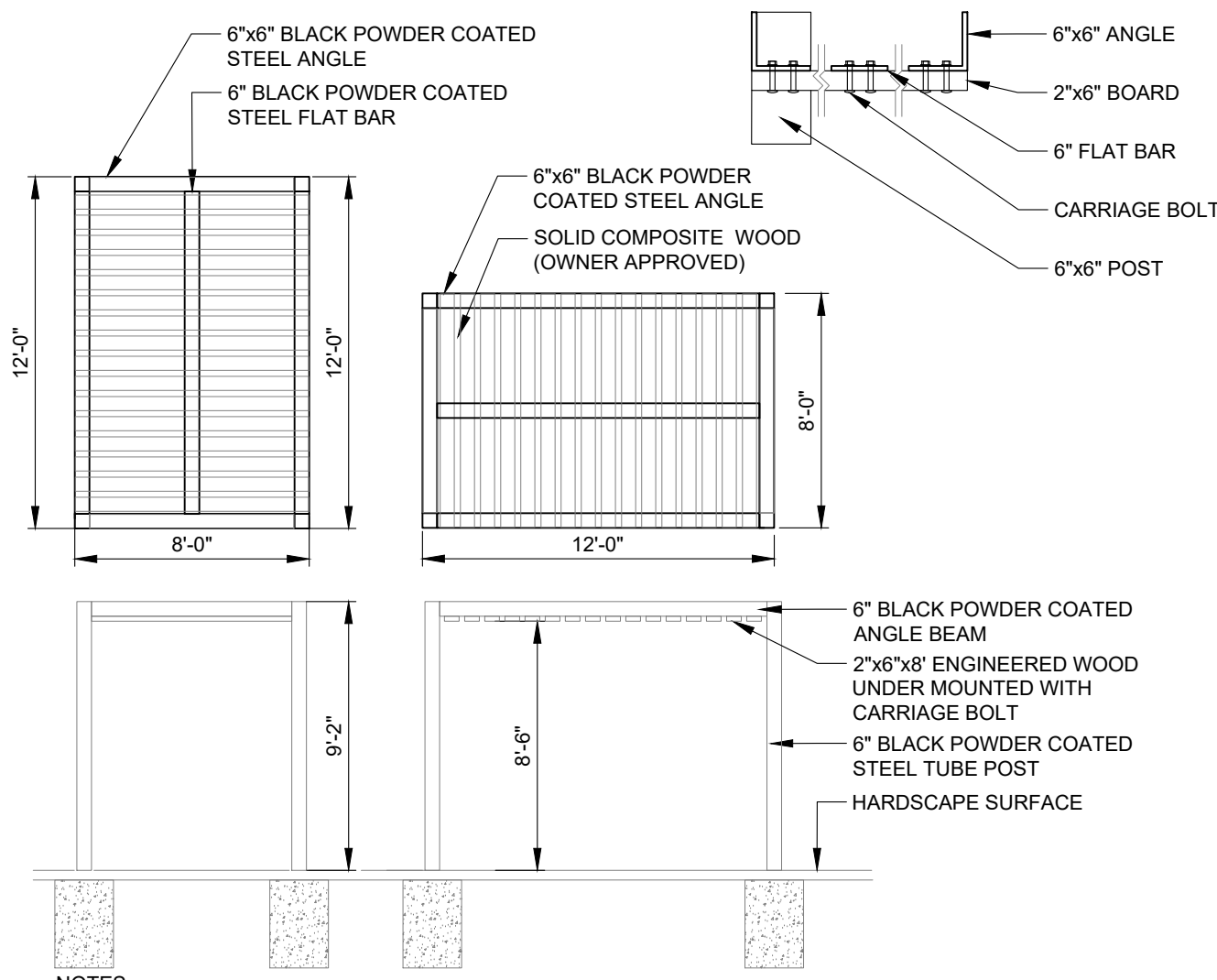
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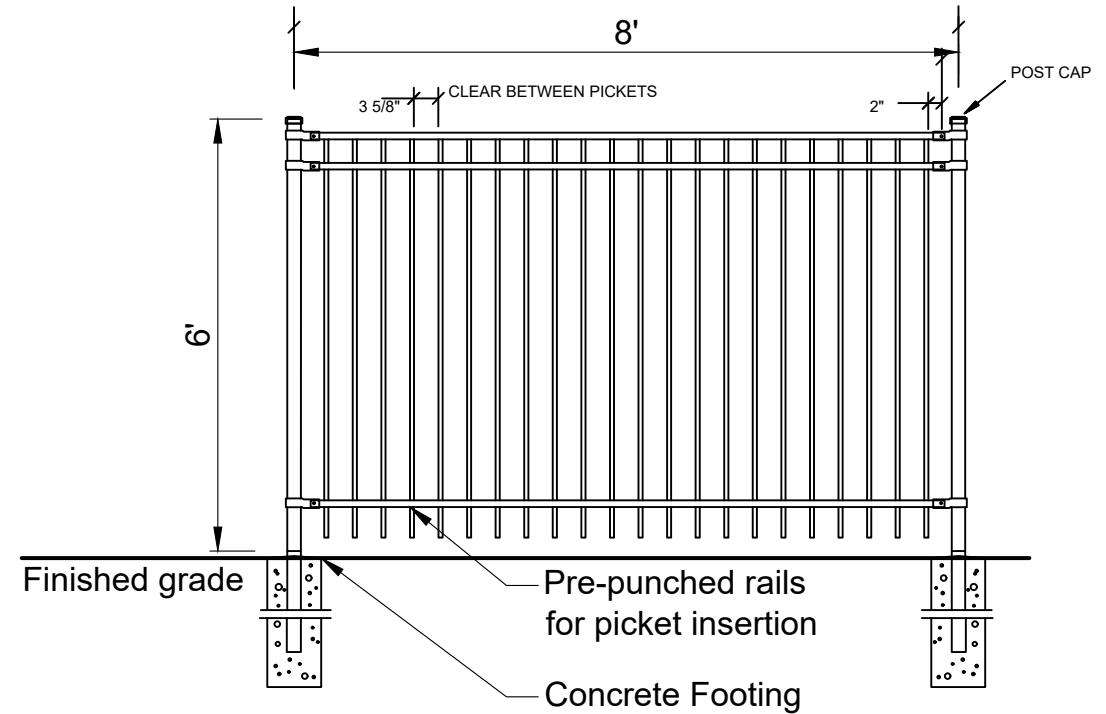
**THE SAVOY**  
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LANDSCAPE PLAN





- NOTES:
- DETAIL IS CONCEPTUAL AND SHOWN FOR DESIGN INTENT ONLY.
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS INCLUDING STRUCTURAL ENGINEERING FOR CONNECTIONS AND FOOTINGS.
  - TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION

**SHADE TRELLIS**  
SCALE: 3/16"=1'-0"

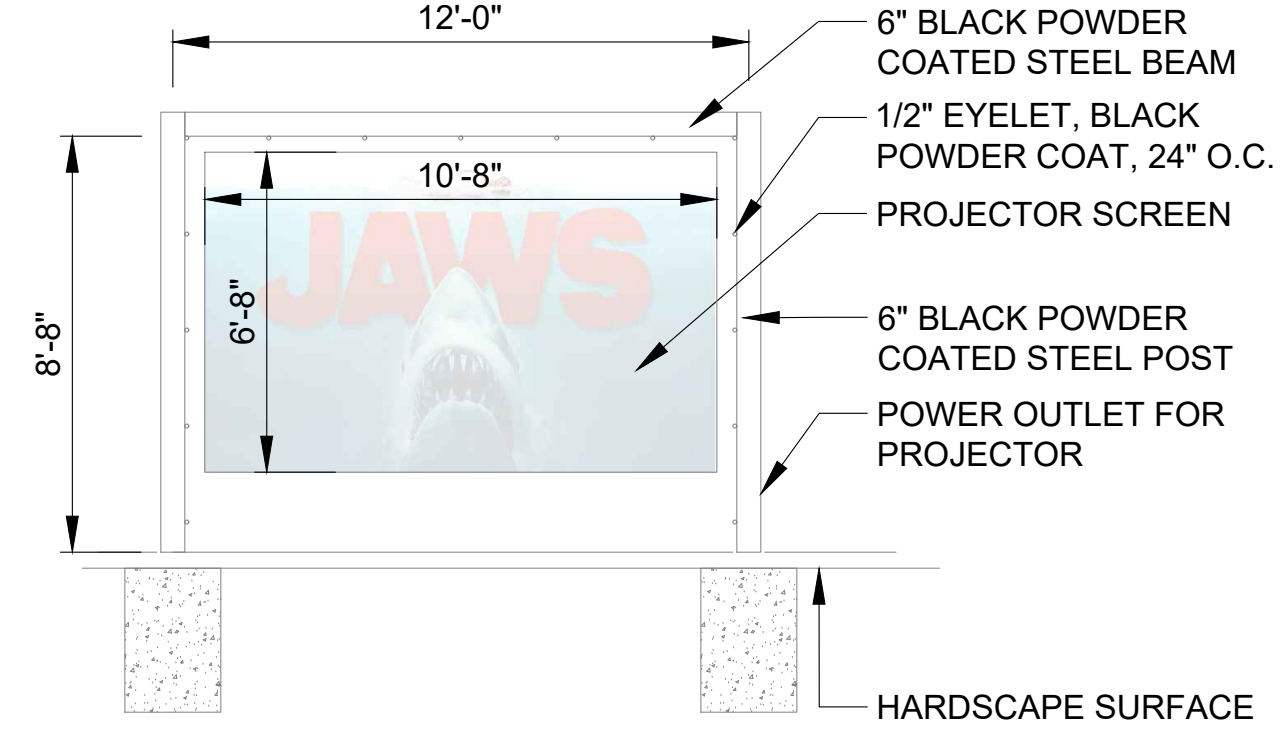


Iron Eagle Industries 2110 Series  
Black powder coat to match apartment balconies.

**DECORATIVE IRON POOL FENCE**  
SCALE: 3/8"=1'-0"

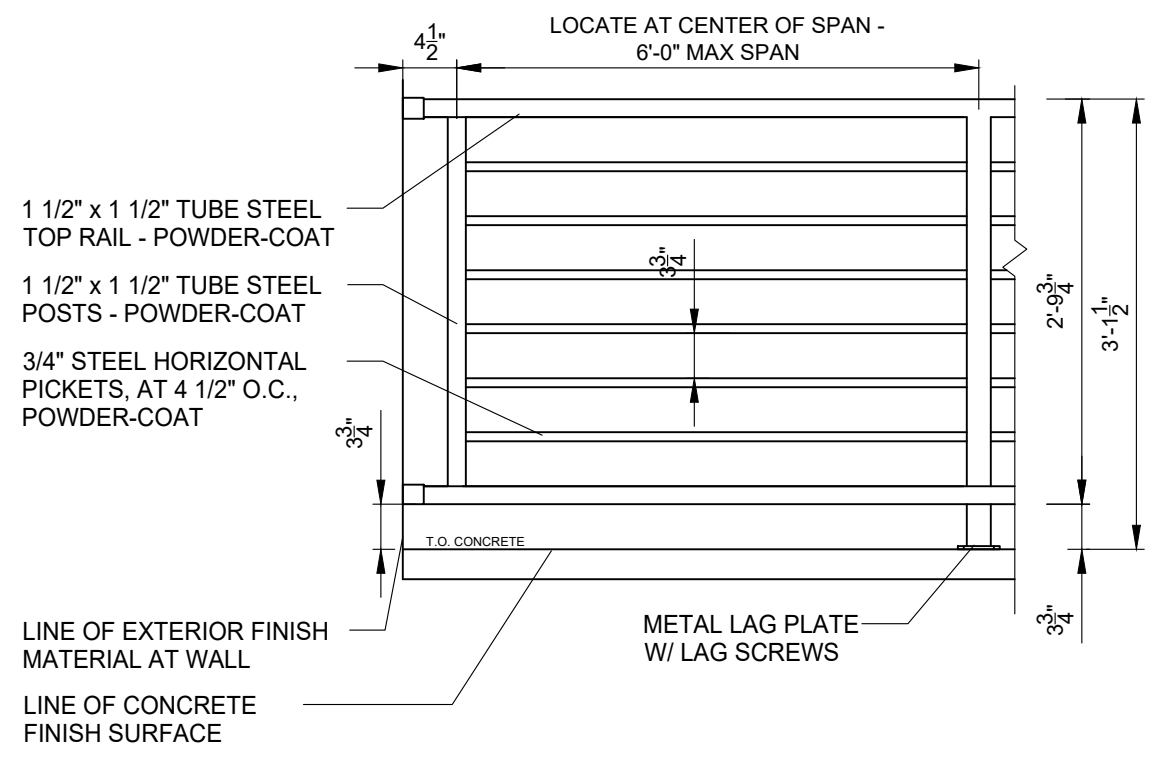


**LIFEGUARD STAND**  
DESIGN BUILD BY CONTRACTOR WITH OWNER'S APPROVAL

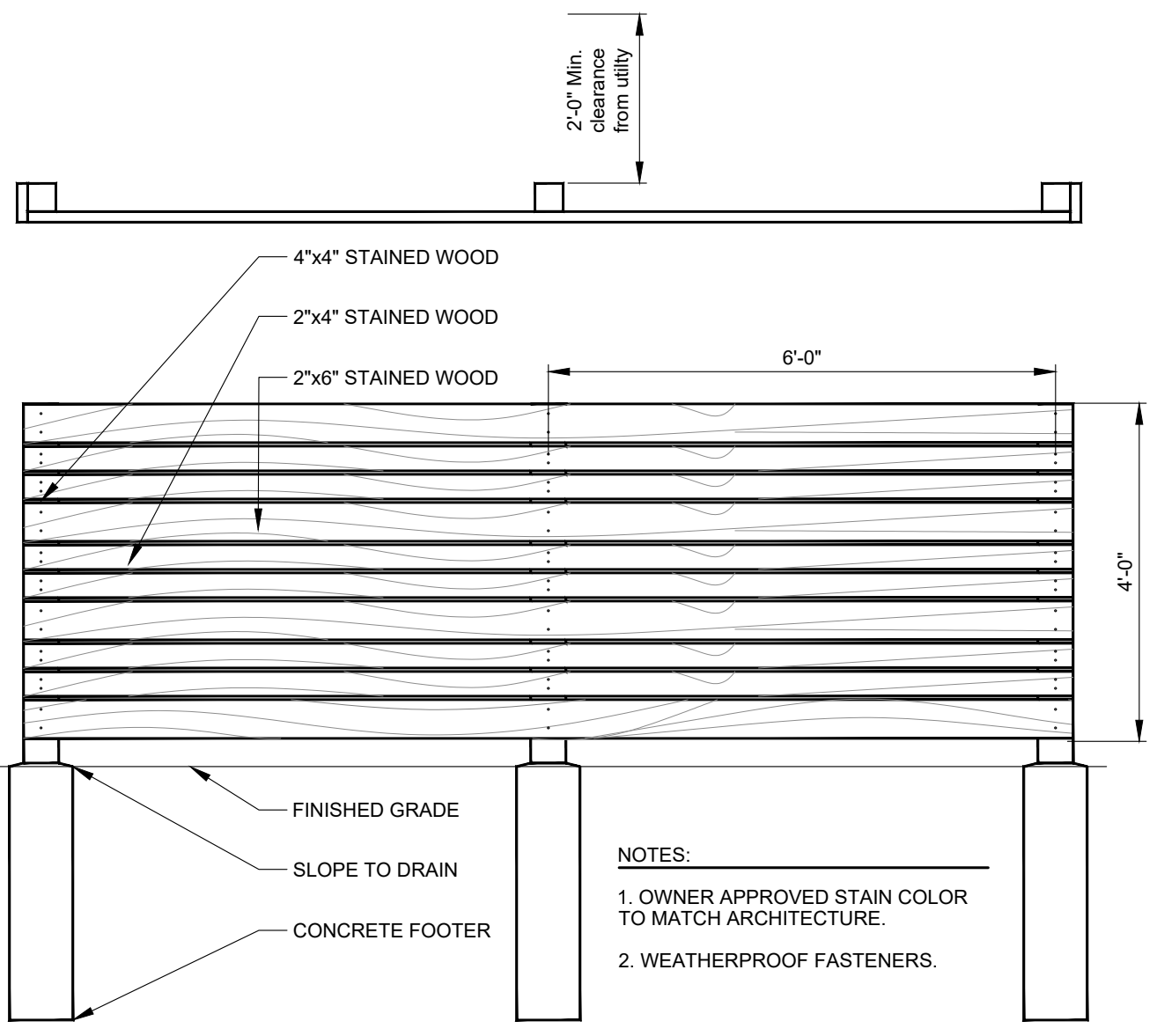


- NOTES:
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  - CONTRACTOR TO SUBMIT SHOP DRAWINGS INCLUDING STRUCTURAL ENGINEERING FOR CONNECTIONS AND FOOTINGS.

**DIVE IN THEATER - PROJECTOR SCREEN FRAME**  
SCALE: 1/4"=1'-0"

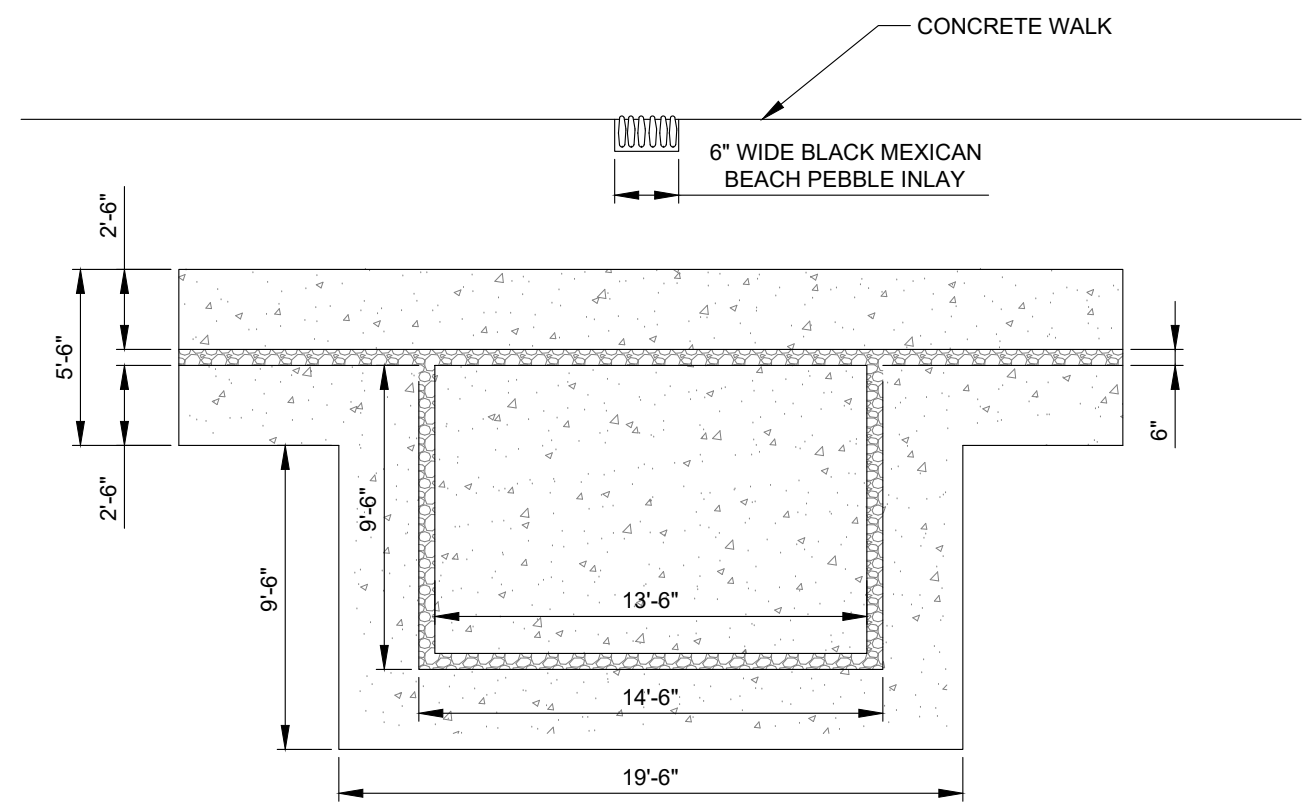


**COFFEE SHOP FENCE (at clubhouse)**  
SCALE: 3/4"=1'-0"

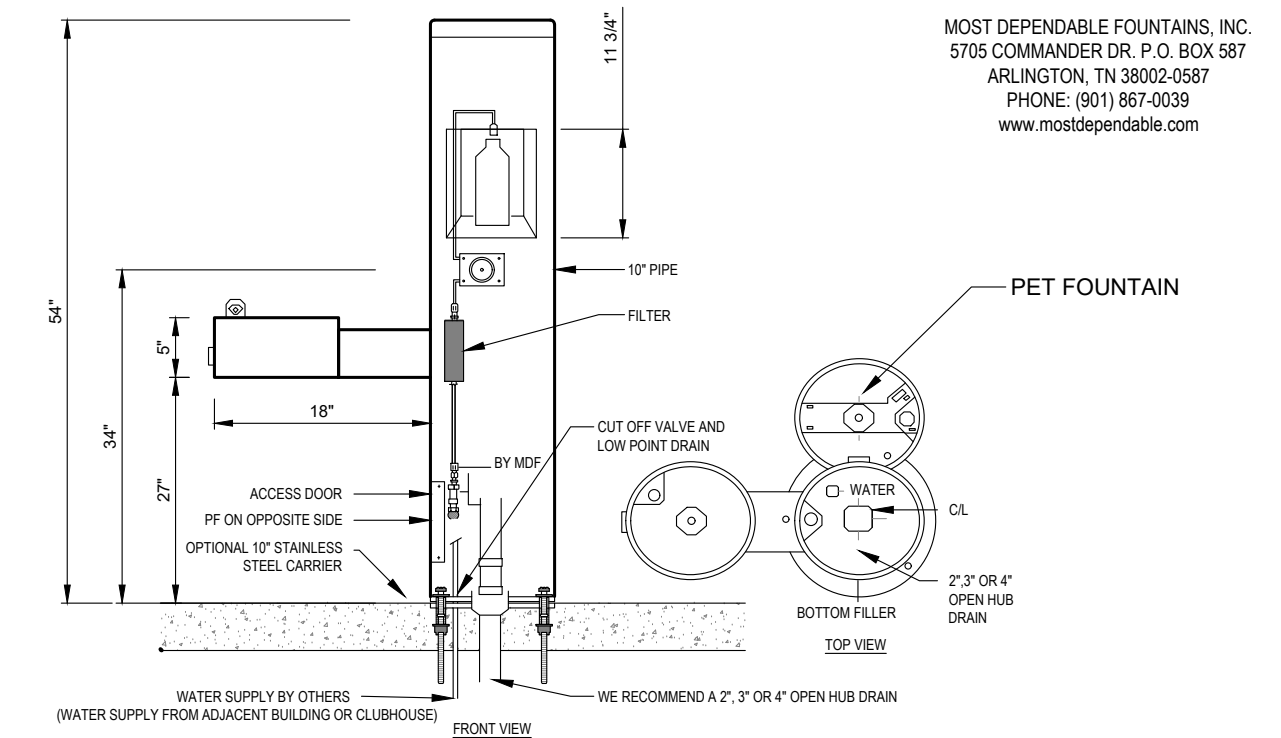


- NOTES:
- OWNER APPROVED STAIN COLOR TO MATCH ARCHITECTURE.
  - WEATHERPROOF FASTENERS.

**UTILITY SCREEN LOW FENCE**  
SCALE: 1/2"=1'-0"



**STONE INLAY IN CONCRETE**  
SCALE: 3/16"=1'-0"



- NOTES:
- OPTIONAL STAINLESS STEEL SURFACE CARRIER RECOMMENDED.
  - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - DO NOT SCALE DRAWING.
  - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

**WATER FOUNTAIN**  
SCALE: 3/4"=1'-0"

MODEL 10155SM  
10155SM SHOWN WITH OPTIONAL 1" SS SURFACE CARRIER

No.	Revisions:	By:	Date:
1	Revised per City Comments (01-07-2022)	SA	04/26/2022
2	Revised per City Comments (05-27-2022)	SA	09/06/2022

**REVIEW SET**  
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henry design group  
Landscape Architecture • Planning • Entitlements  
1501 Waze Street Suite 1-C, Denver, Colorado 80202  
303.444.2268 • henydesigngroup.com

PROJECT:	DATE:	SCALE:	P. MANAGER:
514-003	09-16-2022	N/A	SA
DESIGNED BY:			
SA			
DRAWN BY:			
SA			

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ARLINGTON, TN 38002-0587  
PHONE: (901) 867-0039  
www.mostdependable.com

**THE SAVOY**  
PROJECT DEVELOPMENT PLAN  
LANDSCAPE PLAN





**A-1 WALKWAY SPINE**  
WEST ENTRY AT CINQUEFOIL LANE - PRIMARY PORTAL



**A-2 WALKWAY SPINE**  
ENHANCED CROSSWALK - LOOKING EAST



**A-3 WALKWAY SPINE**  
GATEWAY PORTAL - LOOKING EAST



**A-4 WALKWAY SPINE**  
SEATING NODE - LOOKING EAST

No.	Revisions:	By:	Date:
1	Revised per City Comments (01-07-2022)	SA	04/26/2022
2	Revised per City Comments (05-27-2022)	SA	09/06/2022

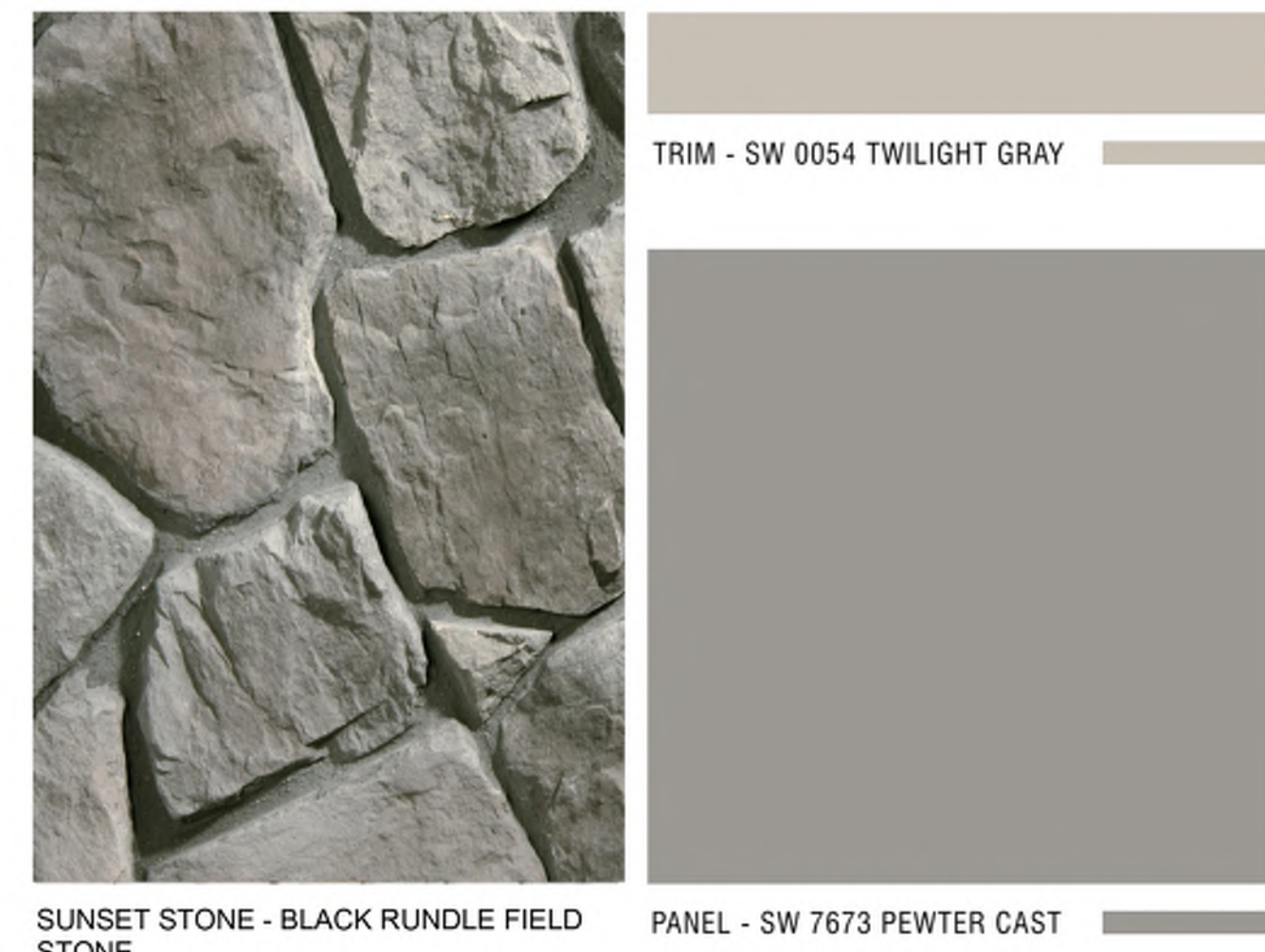
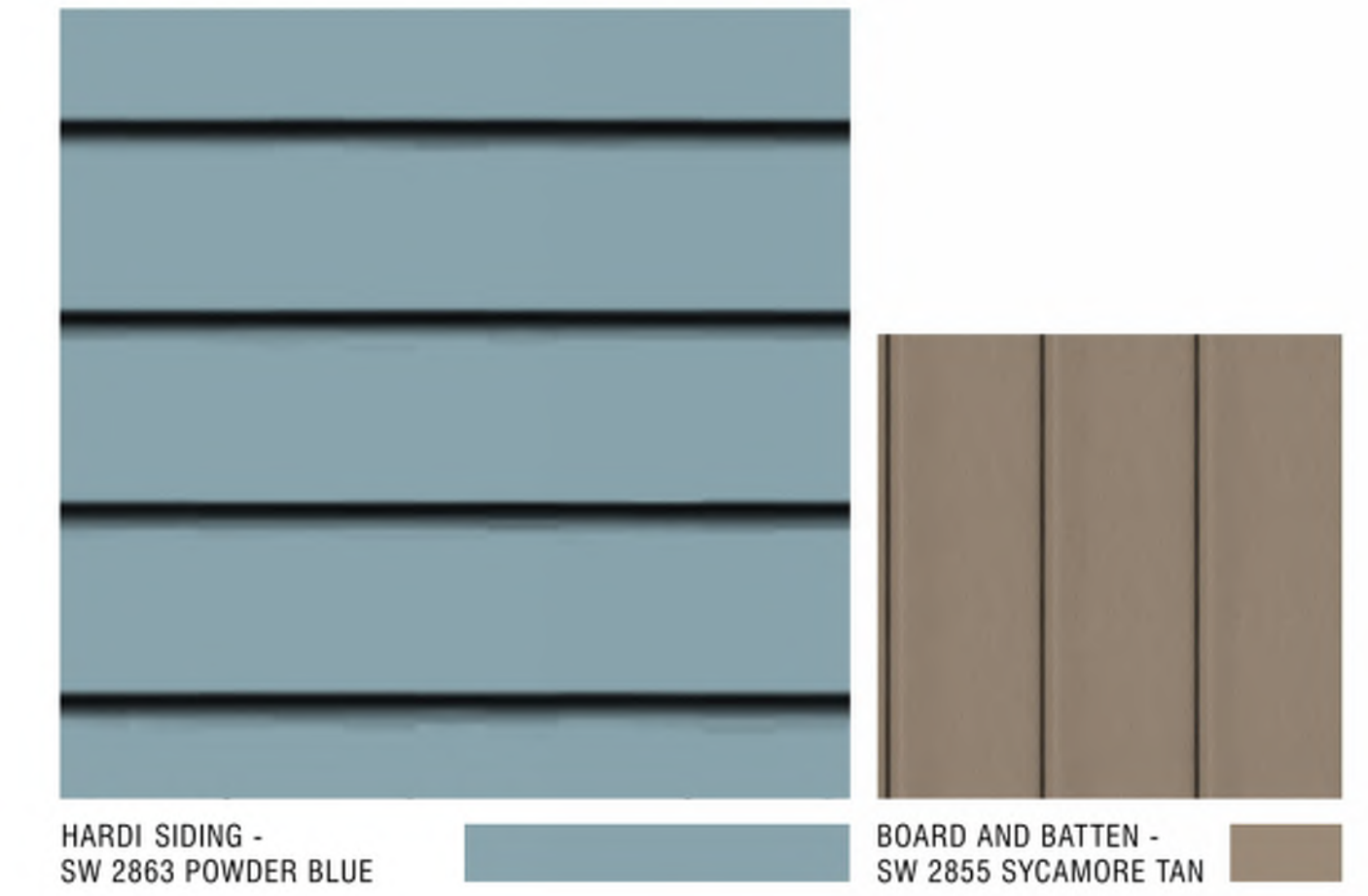
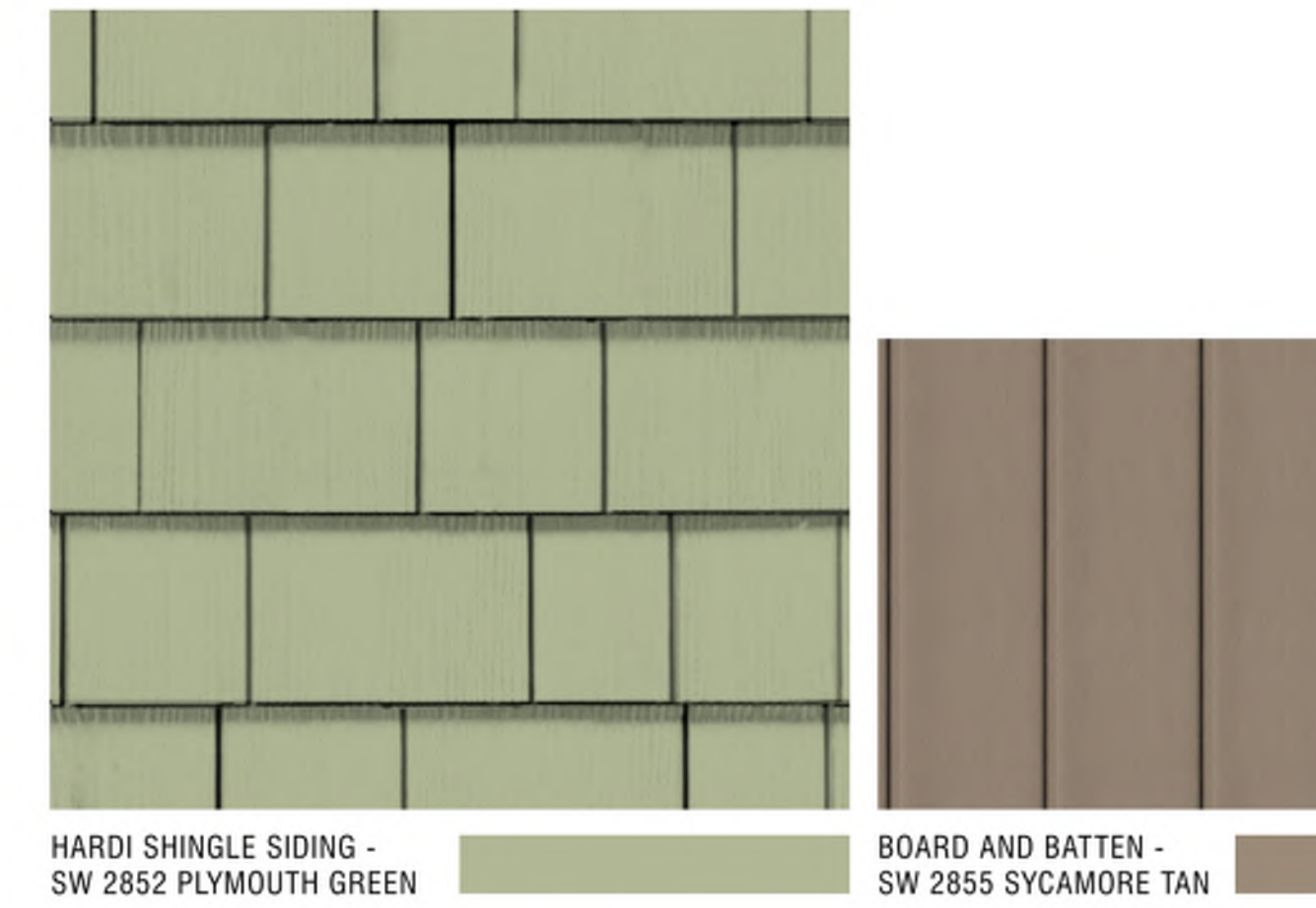
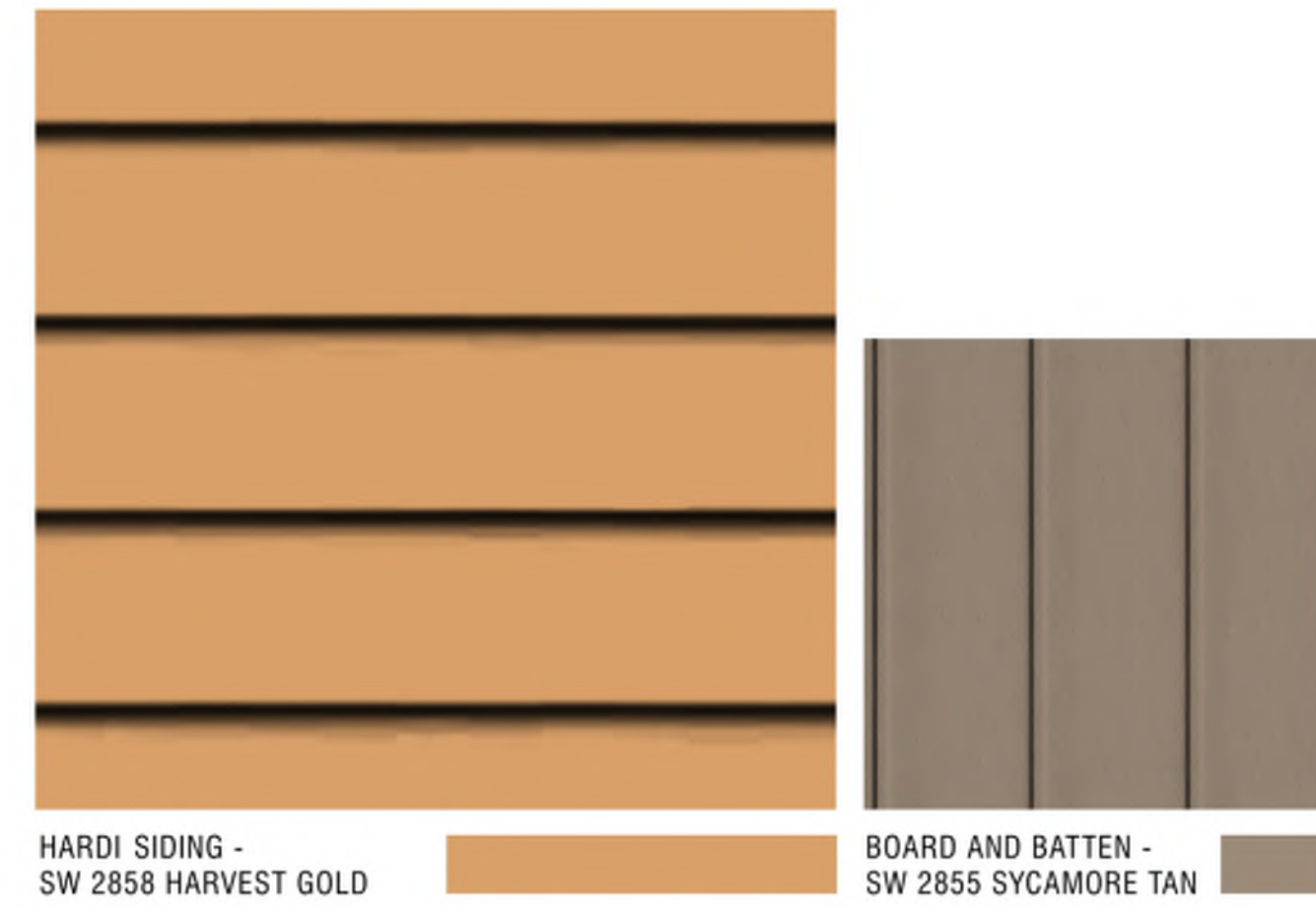
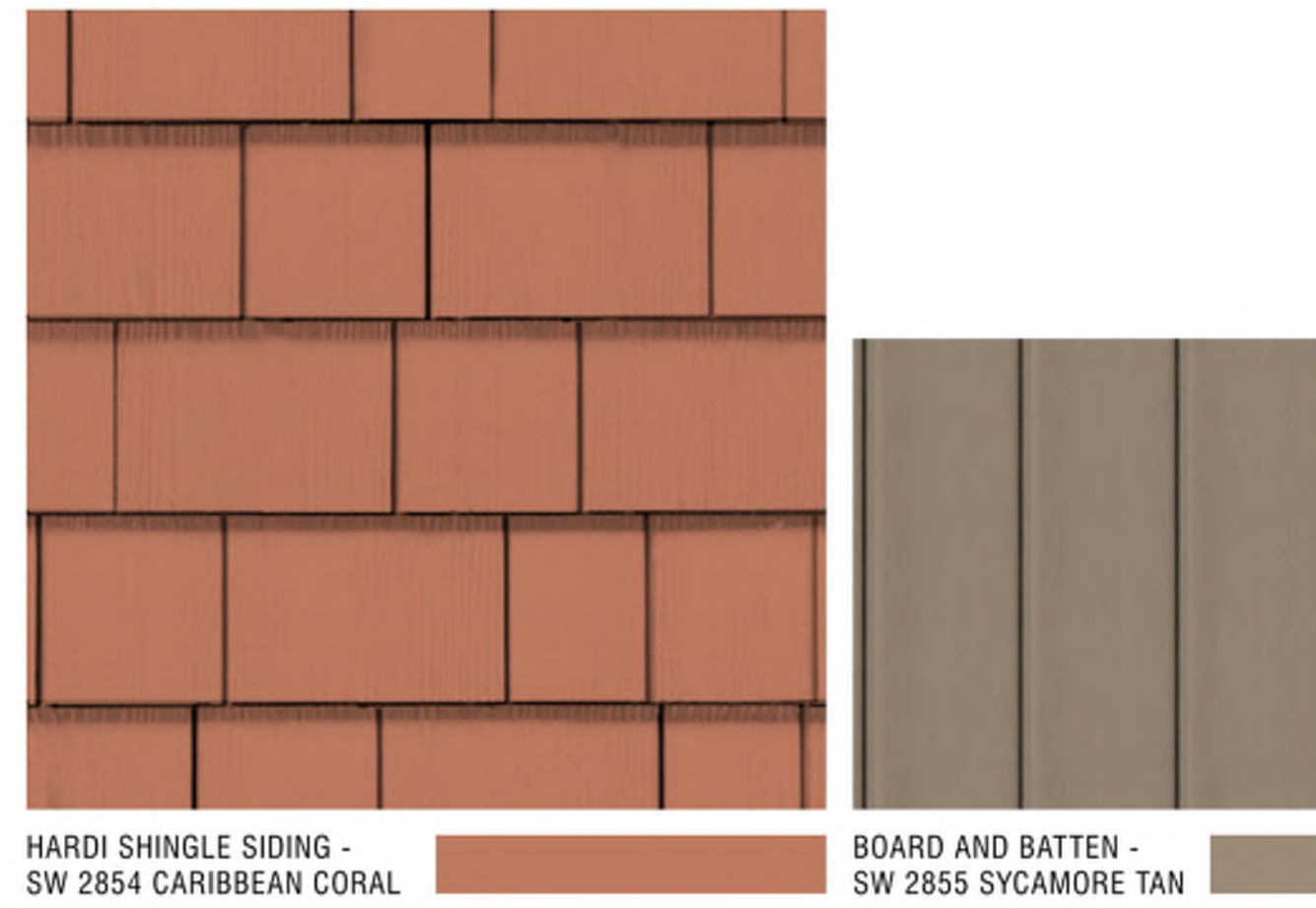
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PROJECT:	514-003	DATE:	09-16-2022
DESIGNED BY:	SA	SCALE:	N/A
DRAWN BY:	SA	P. MANAGER:	SA

**THE SAVOY**  
PROJECT DEVELOPMENT PLAN  
LANDSCAPE PLAN





24 PLEX BUILDING - COLOR SCHEME A

24 PLEX BUILDING - COLOR SCHEME B

36 PLEX BUILDING - COLOR SCHEME A

36 PLEX BUILDING - COLOR SCHEME B



CLUBHOUSE - COLOR SCHEME

MAIL LOUNGE/3-PLEX - COLOR SCHEME

No.	Revisions:	By:	Date:

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GREELEY: 202 9th Street, 80631

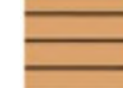




PROJECT: 514-003	DATE: 11/17/21	SCALE:	P. MANAGER: S. Thomas
DESIGNED BY:			
DRAWN BY:			

THE SAVOY  
EXTERIOR MATERIALS BOARD





**MATERIAL LEGEND**

-  CEMENTITIOUS SIDING - SW 2858 HARVEST GOLD
-  CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - BLACK RUNDLE FIELD STONE

3 24-PLEX SCHEME B - SLOPED ROOF



2 FRONT ELEVATION - 24-PLEX  
1/8" = 1'-0"

No.	Rev.	Date

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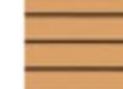




PROJECT: 24-PLEX	DATE: 11/17/23
DRAWN BY: S. Thomas	SCALE: 1/8" = 1'-0"
CHECKED BY: S. Thomas	P. MANAGER: S. Thomas

THE SAVOY  
 ARCHITECTURAL  
 ELEVATIONS





**MATERIAL LEGEND**

-  CEMENTITIOUS SIDING - SW 2858 HARVEST GOLD
-  CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - BLACK RUNDLE FIELD STONE



2 LEFT ELEVATION - 24-PLEX  
1/8" = 1'-0"



4 RIGHT ELEVATION - 24-PLEX  
1/8" = 1'-0"



3 REAR ELEVATION - 24-PLEX  
1/8" = 1'-0"

No.	Rev.	Date

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ORLANDO, 18201 Stone, 00021

PROJECT: 24-PLEX  
DATE: 11/17/23  
DESIGNED BY: S. Thomas  
DRAWN BY: S. Thomas  
P. MANAGER: S. Thomas

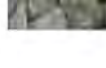
THE SAVOY  
ARCHITECTURAL  
ELEVATIONS



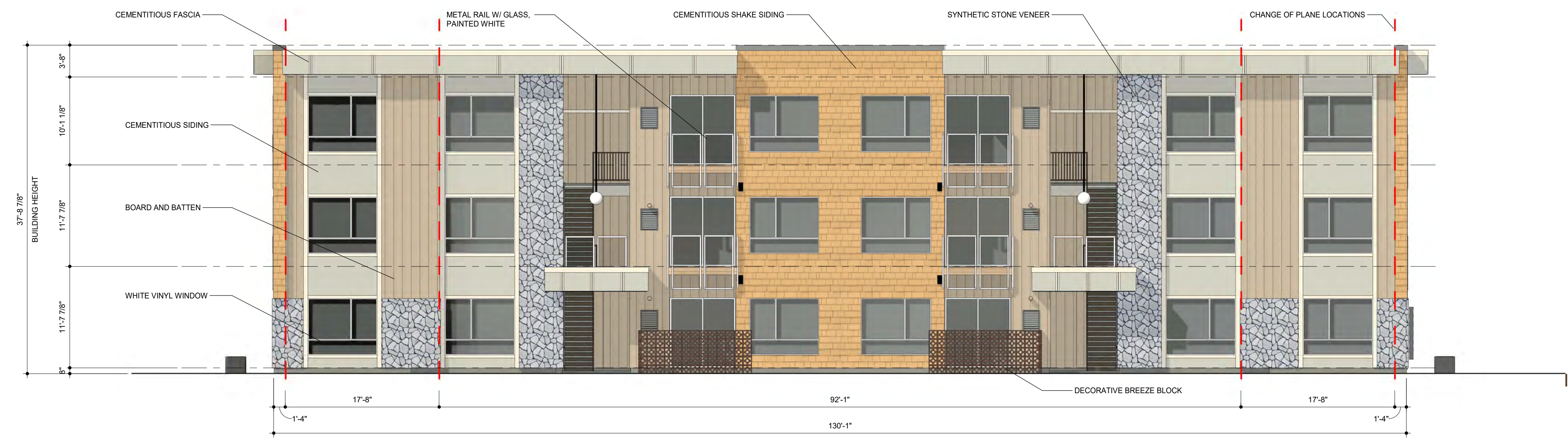




**MATERIAL LEGEND**

-  CEMENTITIIOUS SHAKE SIDING - SW 2858 HARVEST GOLD
-  CEMENTITIIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - BLACK RUNDLE FIELD STONE

1 24-PLEX SCHEME B



2 FRONT ELEVATION - 24-PLEX  
 1/8" = 1'-0"

Revisions:

No.	By:	Date:

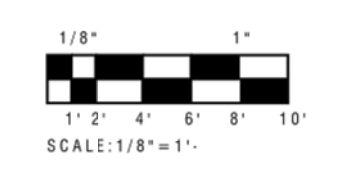
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**NE**  
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 GREELEY 730 8th Street, 80631

PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	P. Thomas
		S. MANAGER:	S. Thomas

THE SAVOY  
 24-PLEX ELEVATIONS  
 HARVEST GOLD





### MATERIAL LEGEND

-  CEMENTITIOUS SHAKE SIDING - SW 2858 HARVEST GOLD
-  CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - BLACK RUNDLE FIELD STONE



**2 LEFT ELEVATION - 24-PLEX**  
1/8" = 1'-0"



**3 RIGHT ELEVATION - 24-PLEX**  
1/8" = 1'-0"



**1 REAR ELEVATION - 24-PLEX**  
1/8" = 1'-0"

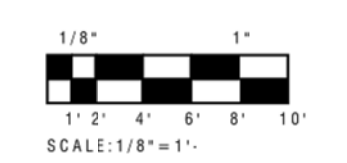
No.	Revisions:	By:	Date:

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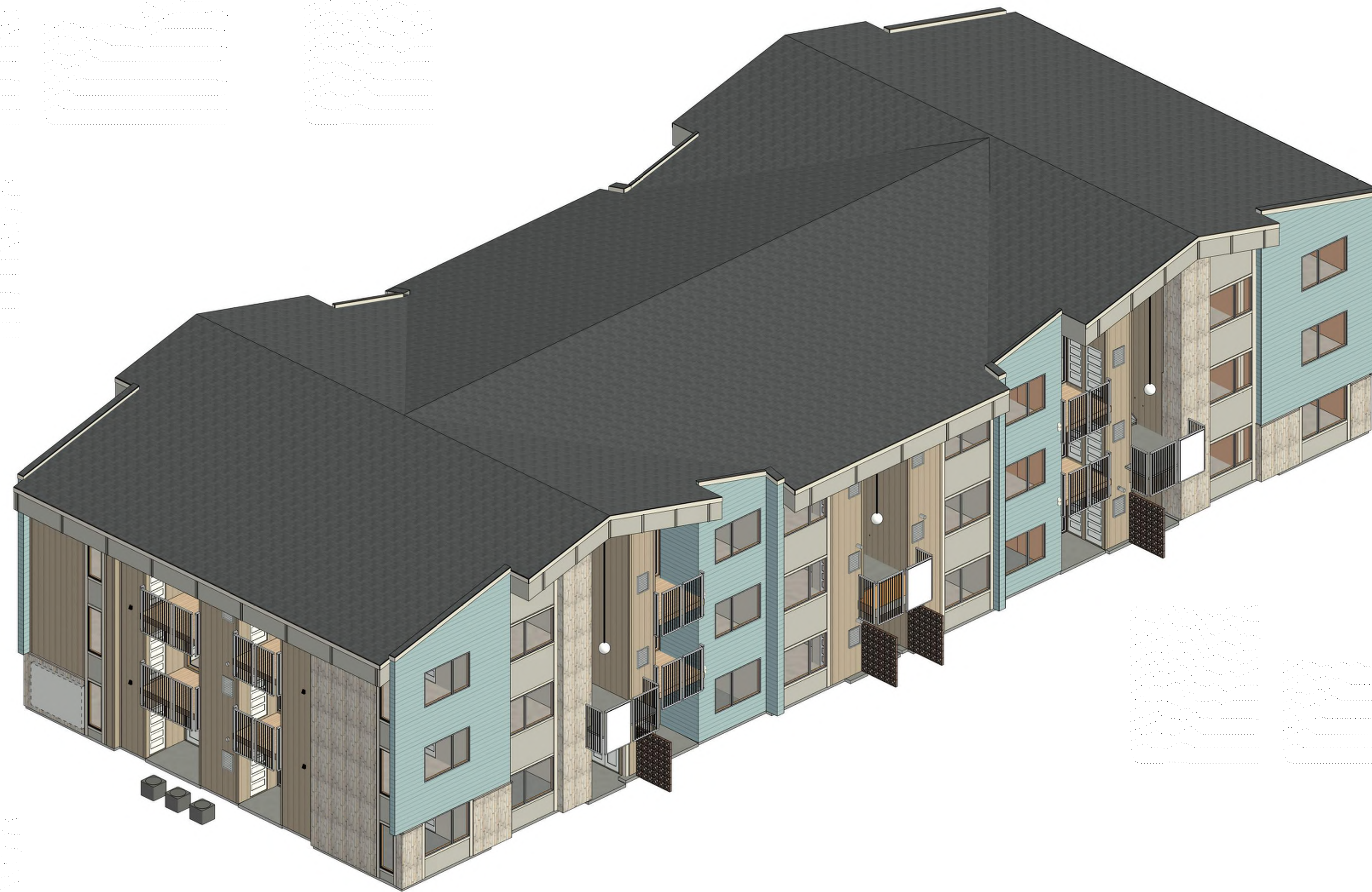
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PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	P. Thomas
		S. MANAGER:	S. Thomas

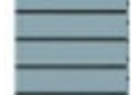




**THE SAVOY**  
**24-PLEX ELEVATIONS**  
**HARVEST GOLD**







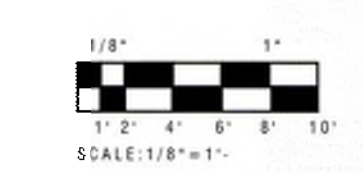
**MATERIAL LEGEND**

-  CEMENTITIOUS SIDING - SW 2863 POWDER BLUE
-  CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - CAPE CODE LEDGE

2 36-PLEX SCHEME A



3 FRONT ELEVATION  
1/8" = 1'-0"



No.	Revisions:	By:	Date:

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COLLEGEVILLE, PA 17021

PROJECT:	DATE:
514-001	11/17/23
DESIGNED BY:	SCALE:
Drawn by:	P. MANAGER:
	S. Thomas

THE SAVOY  
ARCHITECTURAL  
ELEVATIONS



**MATERIAL LEGEND**

	CEMENTITIOUS SIDING - SW 2863 POWDER BLUE
	CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
	TRIM - SW 0054 TWILIGHT GRAY
	PANEL - SW 7673 PEWTER CAST
	SUNSET STONE - CAPE CODE LEDGE



**4 LEFT ELEVATION**  
1/8" = 1'-0"



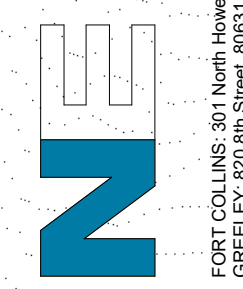
**6 RIGHT ELEVATION**  
1/8" = 1'-0"



**5 REAR ELEVATION**  
1/8" = 1'-0"

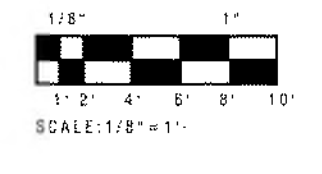
No.	Revisits:	Date:

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PROJECT:	DATE:
514-001	1/17/25
DESIGNED BY:	SCALE:
CHECKED BY:	P. MANAGER:
	S. Thomas

**THE SAVOY  
ARCHITECTURAL  
ELEVATIONS**








SCALE: 1/8" = 1'-0"





**MATERIAL LEGEND**

-  CEMENTITIOUS SHAKE SIDING - SW 2852 PLYMOUTH GREEN
-  CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - CAPE CODE LEDGE

1 36-PLEX SCHEME B



2 FRONT ELEVATION - 36-PLEX  
1/8" = 1'-0"

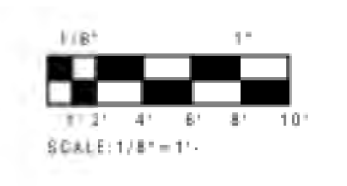
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PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

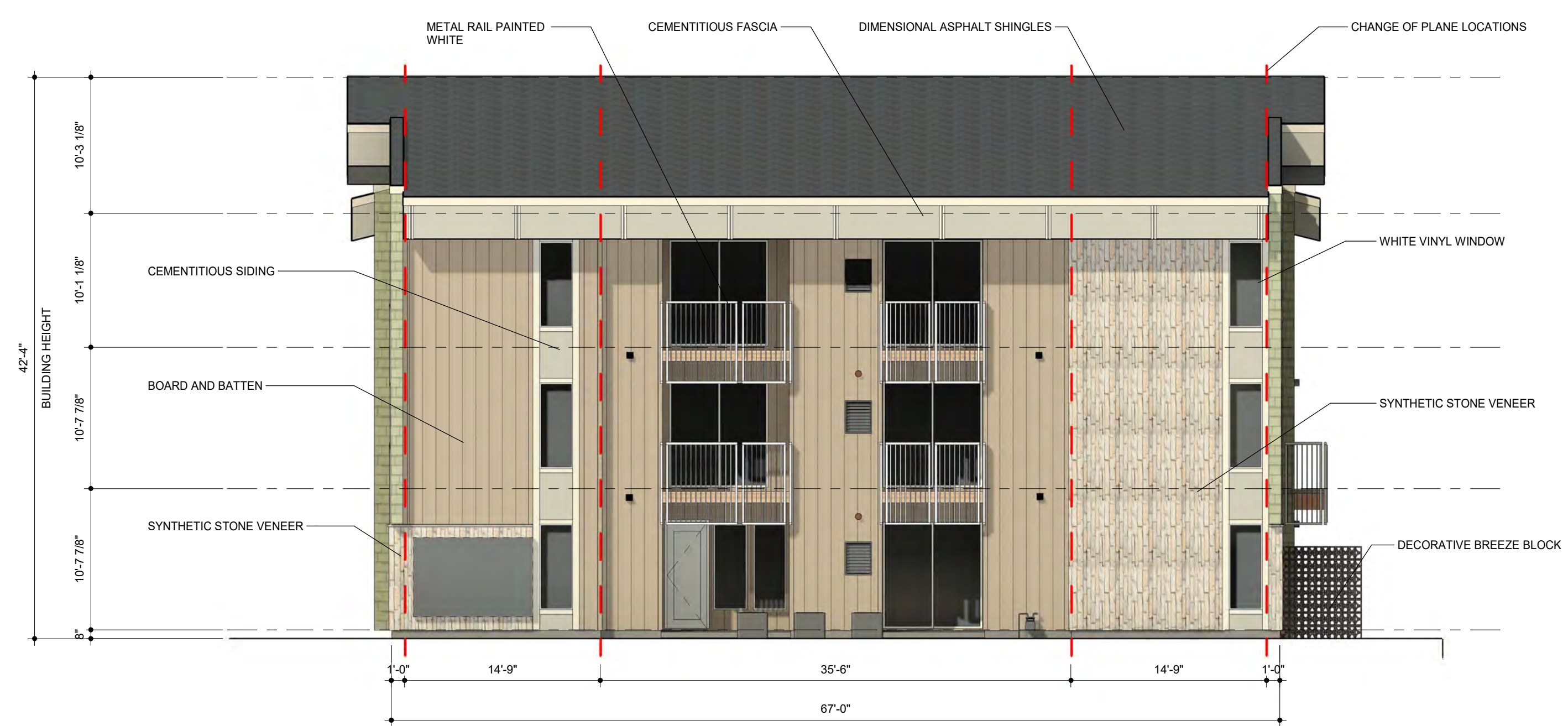
THE SAVOY  
 36-PLEX ELEVATIONS  
 PLYMOUTH GREEN



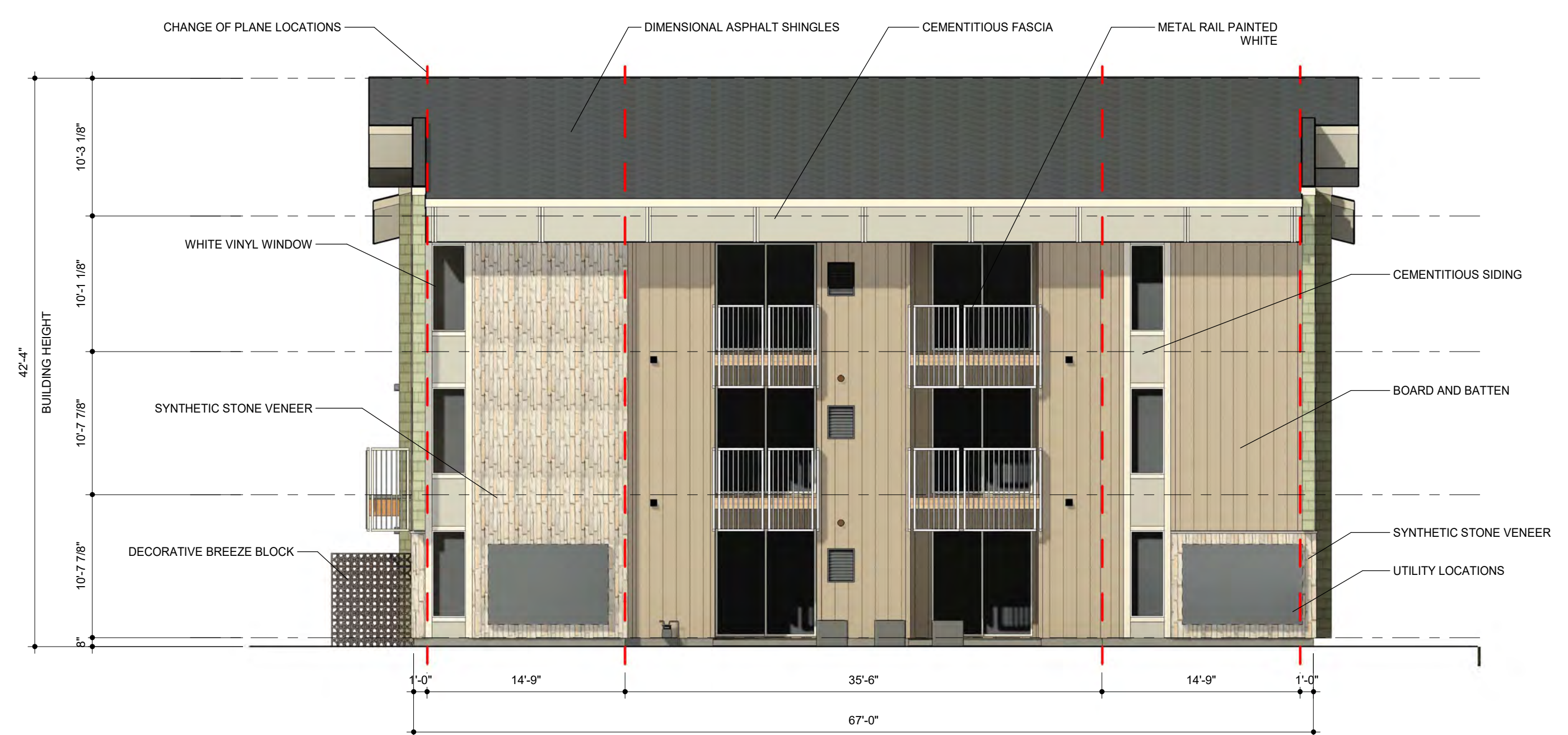


### MATERIAL LEGEND

-  CEMENTITIOUS SHAKE SIDING - SW 2852 PLYMOUTH GREEN
-  CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - CAPE CODE LEDGE



2 LEFT ELEVATION - 36-PLEX  
1/8" = 1'-0"



3 RIGHT ELEVATION - 36-PLEX  
1/8" = 1'-0"



1 REAR ELEVATION - 36-PLEX  
1/8" = 1'-0"

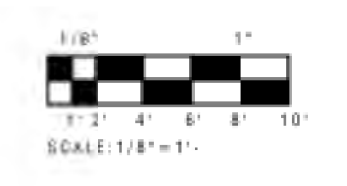
No.	Revisions:	By:	Date:

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PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	P. Thomas
		S. MANAGER:	S. Thomas

THE SAVOY  
 36-PLEX ELEVATIONS  
 PLYMOUTH GREEN

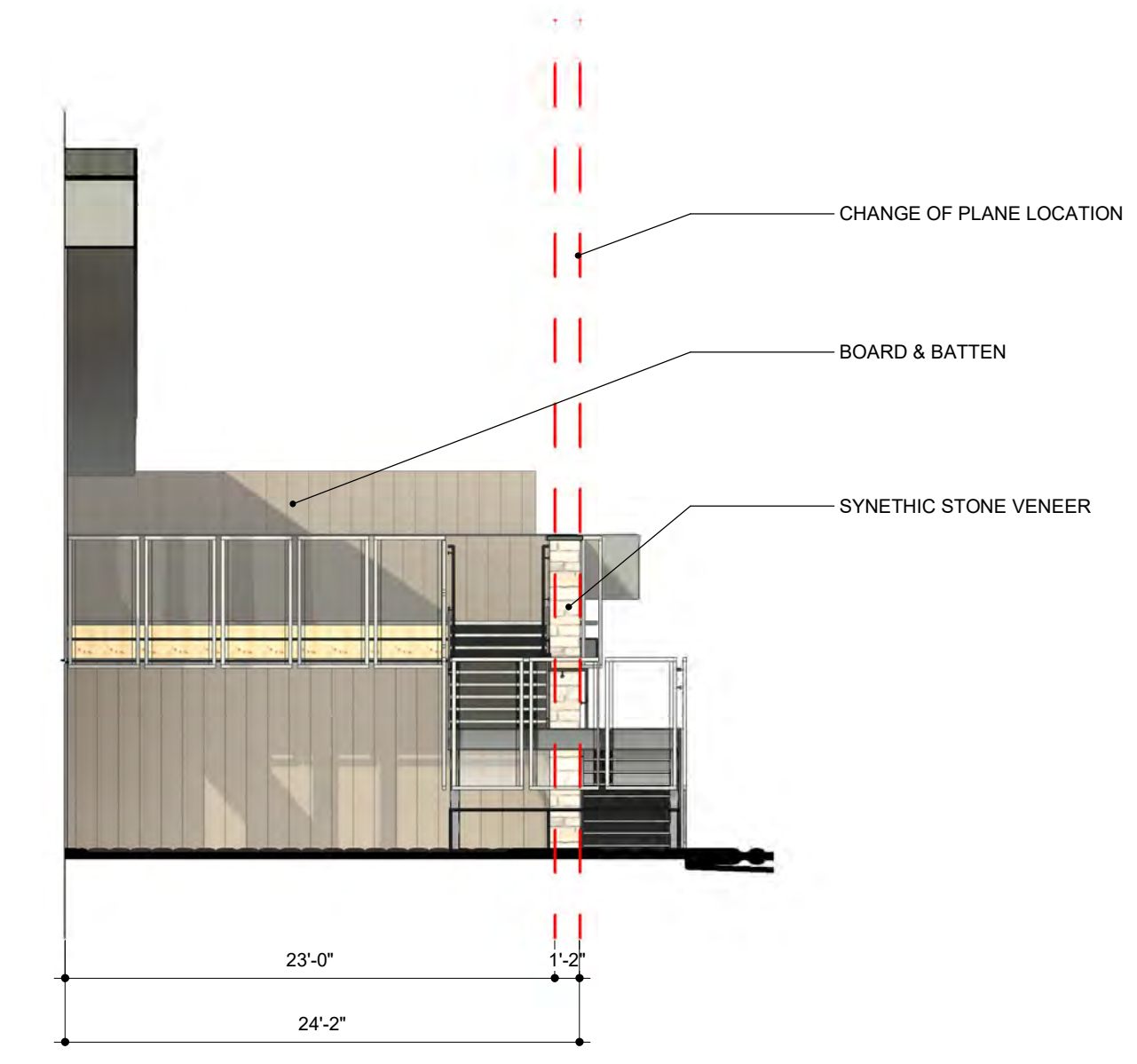
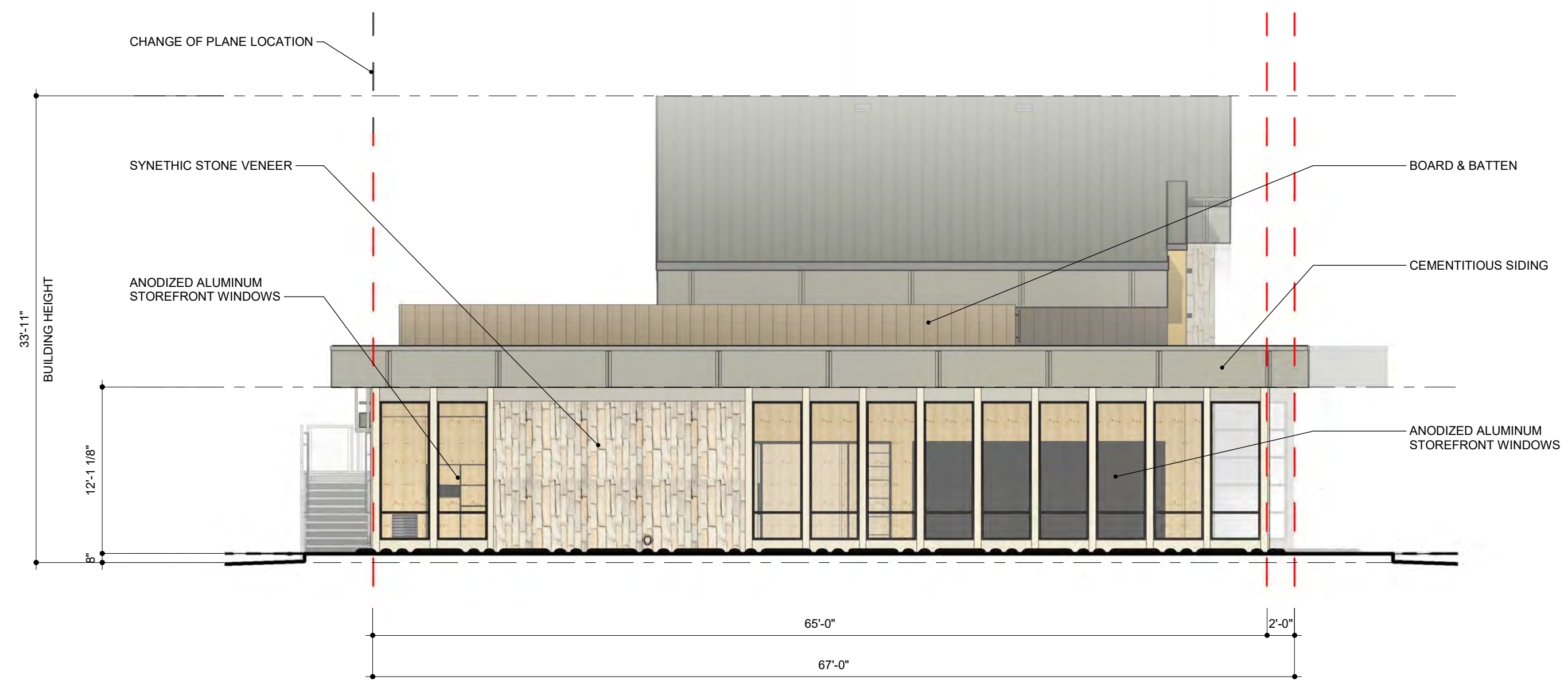




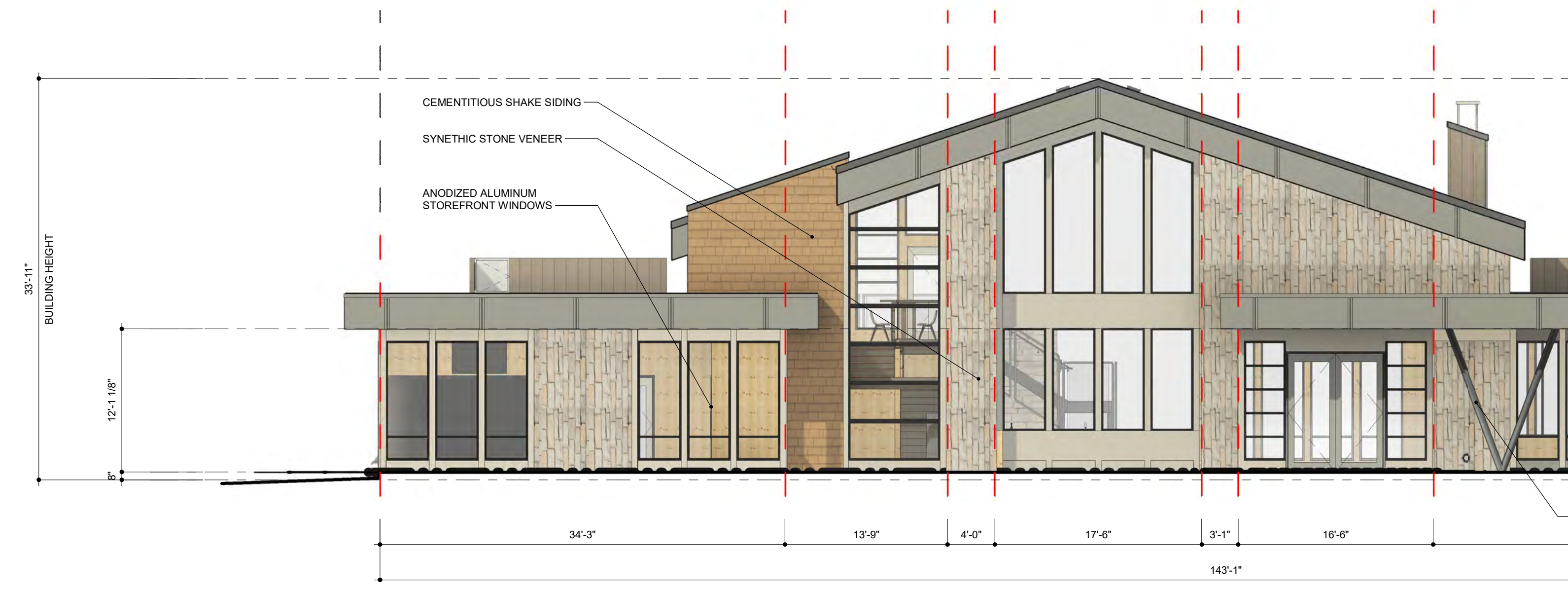


MATERIAL LEGEND	
	CEMENTITIOUS SHAKE SIDING - SW 2858 HARVEST GOLD
	CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
	TRIM - SW 0054 TWILIGHT GRAY
	PANEL - SW 7673 PEWTER CAST
	SUNSET STONE - BLACK RUNDLE FIELD STONE

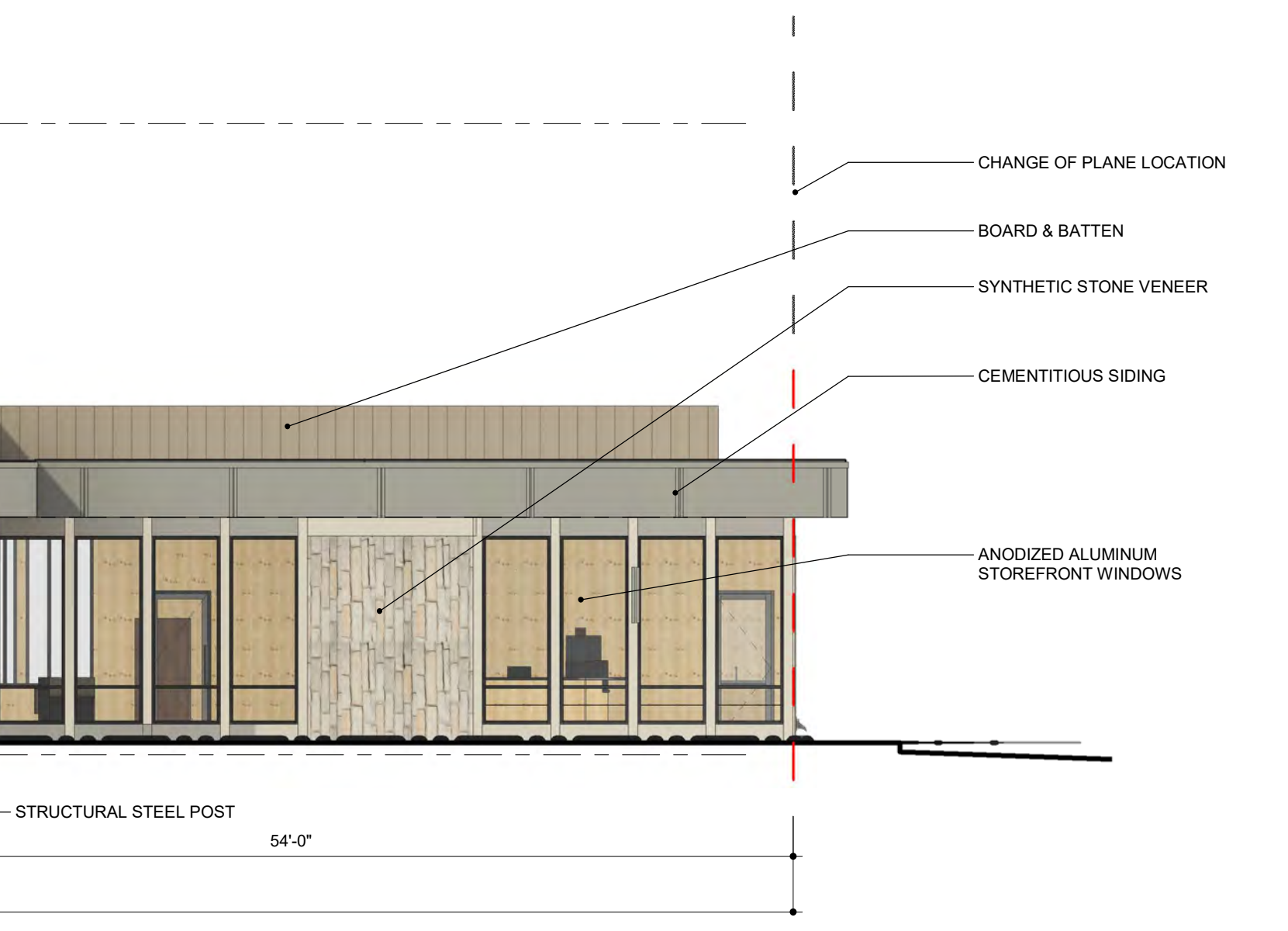
**4 CLUBHOUSE ORTHO**



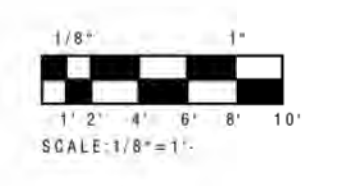
**3 EAST ELEVATION - CLUBHOUSE**  
1/8" = 1'-0"



**2 INTERIOR COURTYARD EAST - CLUBHOUSE**  
1/8" = 1'-0"



**1 NORTH ELEVATION - CLUBHOUSE**  
1/8" = 1'-0"



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GREENLEAF 7320 20th Street, 80501

PROJECT: 514-003	DATE: 11/17/21	SCALE:	P. MANAGER: S. Thomas
DESIGNED BY:	DRAWN BY:		

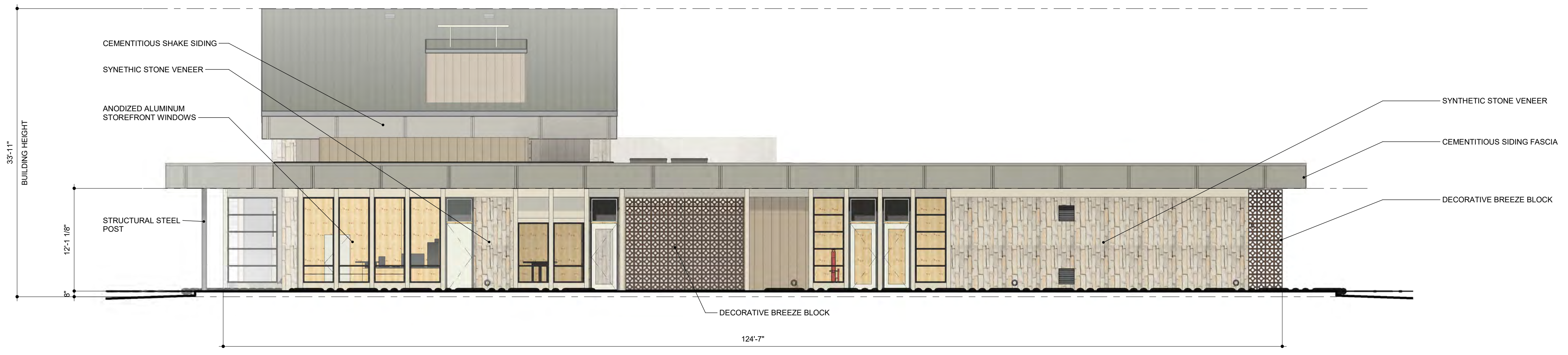
THE SAVOY

CLUBHOUSE ELEVATIONS

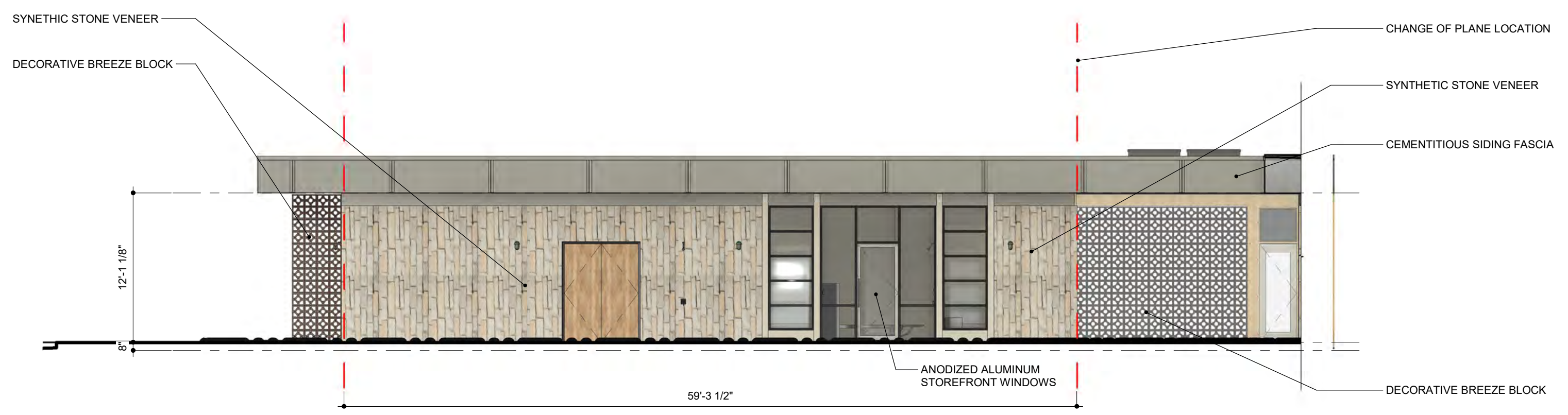
Sheet **A-9**

23 of 37










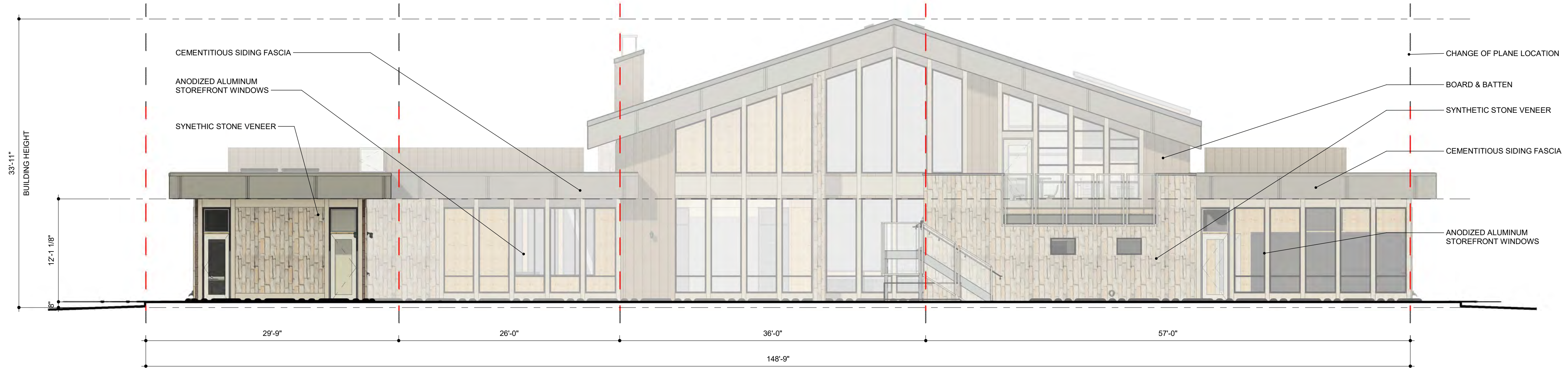
**3 WEST ELEVATION - CLUBHOUSE**  
1/8" = 1'-0"



**MATERIAL LEGEND**

-  CEMENTITIOUS SHAKE SIDING - SW 2858 HARVEST GOLD
-  CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - BLACK RUNDLE FIELD STONE

**2 INTERIOR COURTYARD WEST - CLUBHOUSE**  
1/8" = 1'-0"



**1 SOUTH ELEVATION - CLUBHOUSE**  
1/8" = 1'-0"



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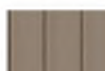



PROJECT: 514-003	DATE: 11/17/21	SCALE:	P. MANAGER: S. Thomas
DESIGNED BY:	DRAWN BY:		

THE SAVOY  
CLUBHOUSE ELEVATIONS

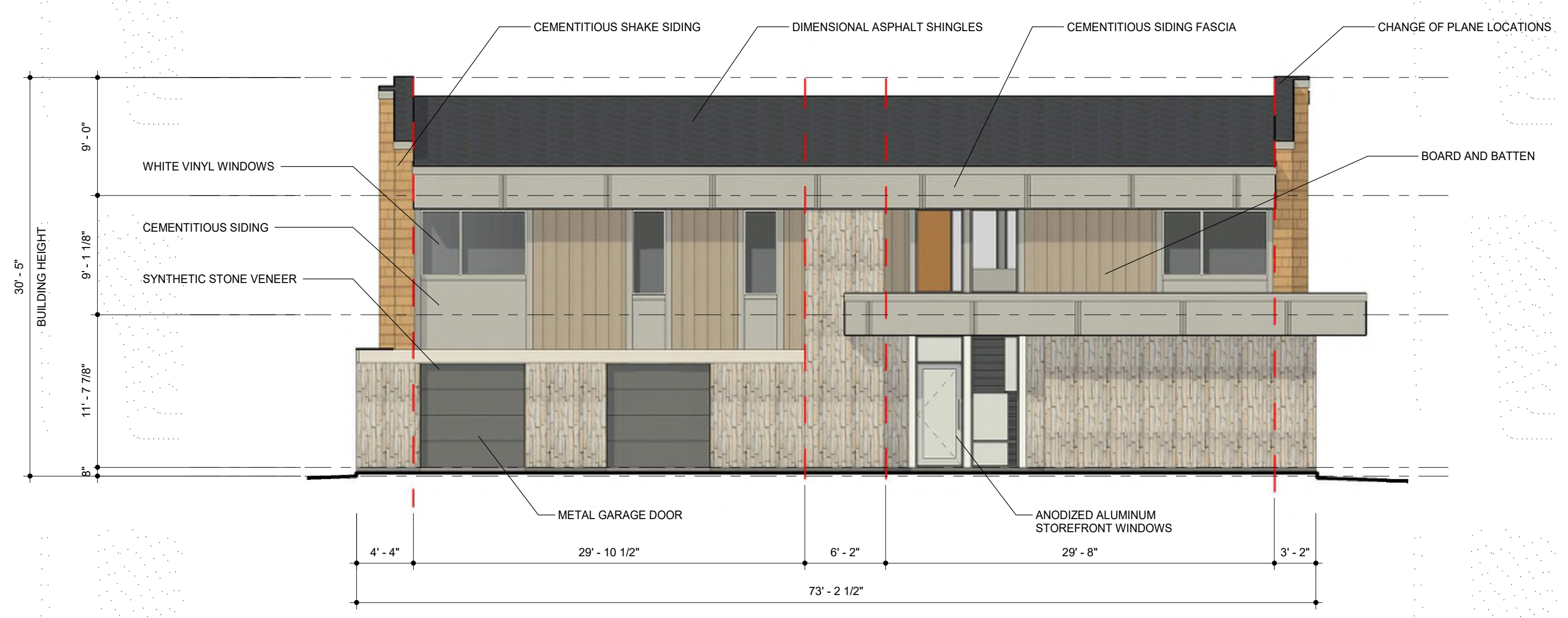




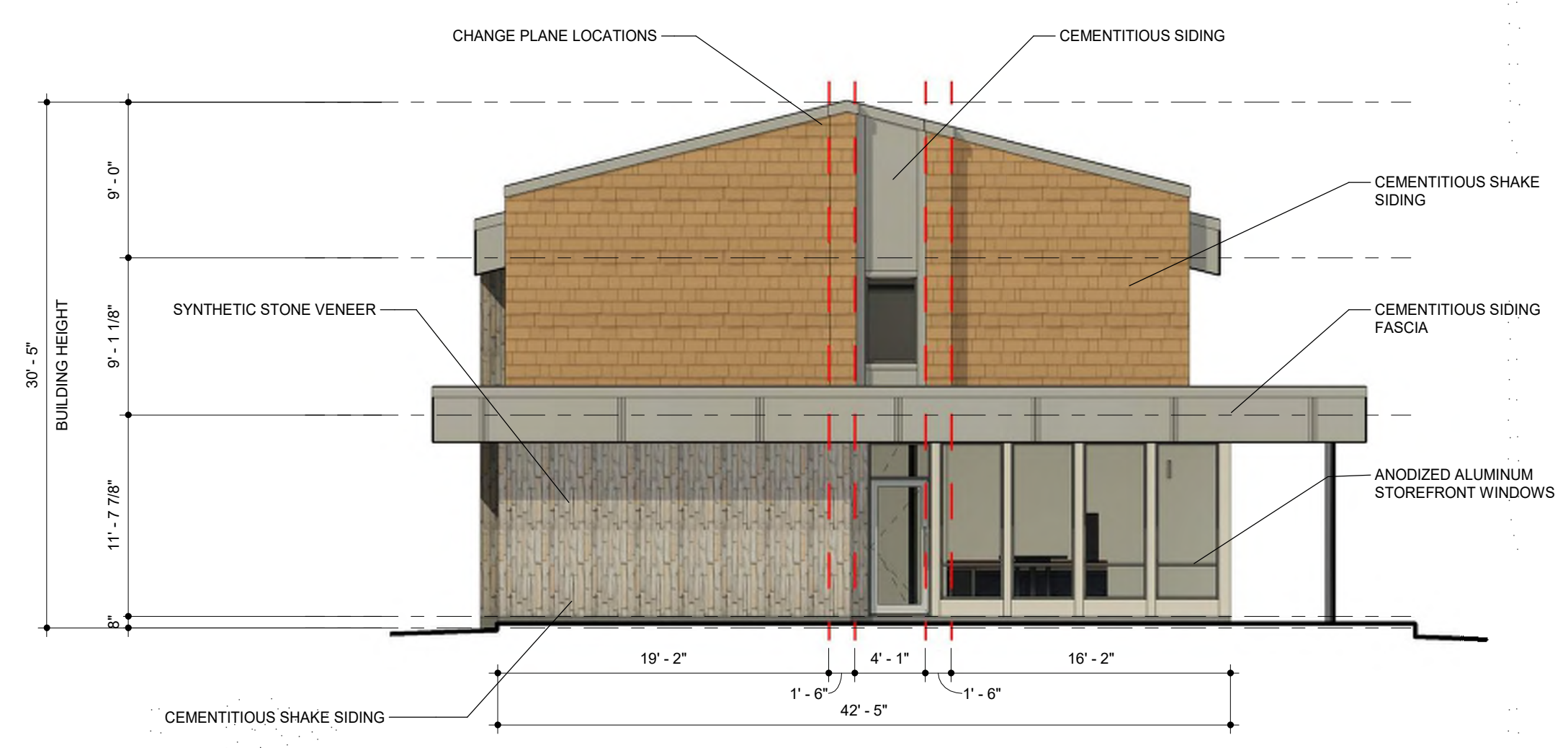
**MATERIAL LEGEND**

-  CEMENTITIOUS SHAKE SIDING - SW 2858 HARVEST GOLD
-  CEMENTITIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - CAPE CODE LEDGE

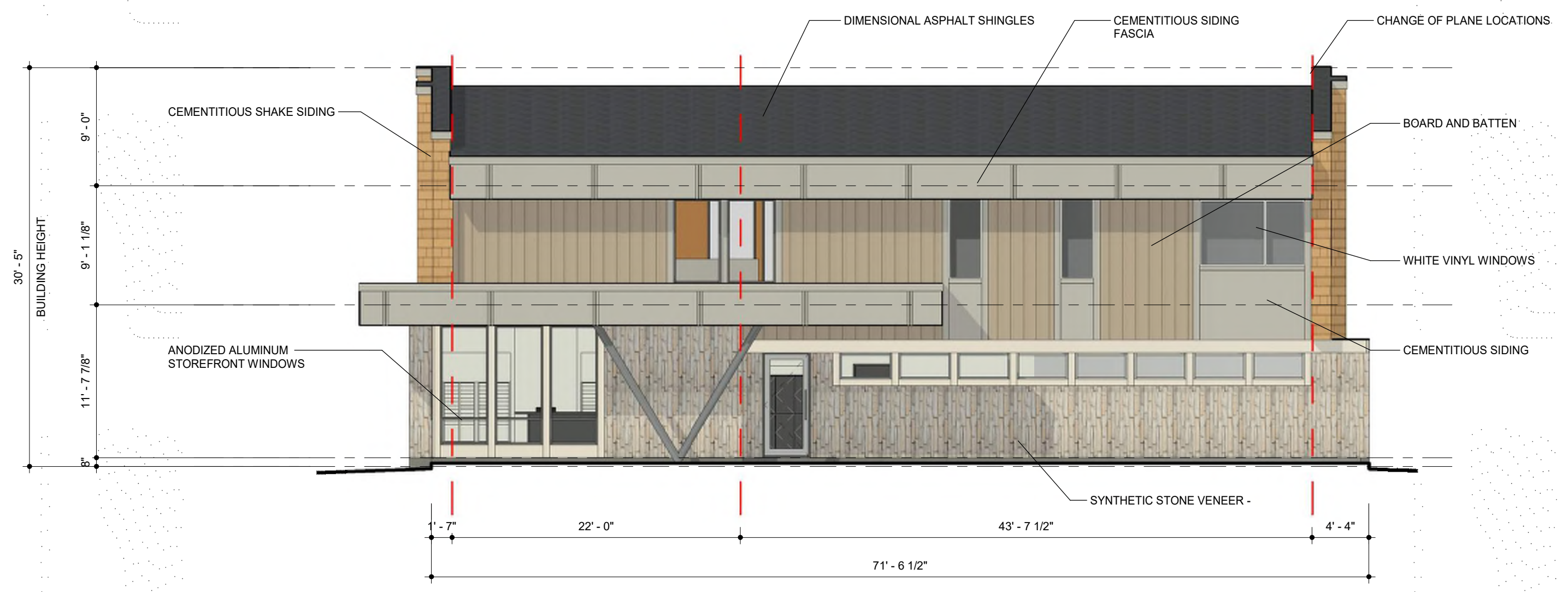
**5 MAIL LOUNGE/3-PLEX**



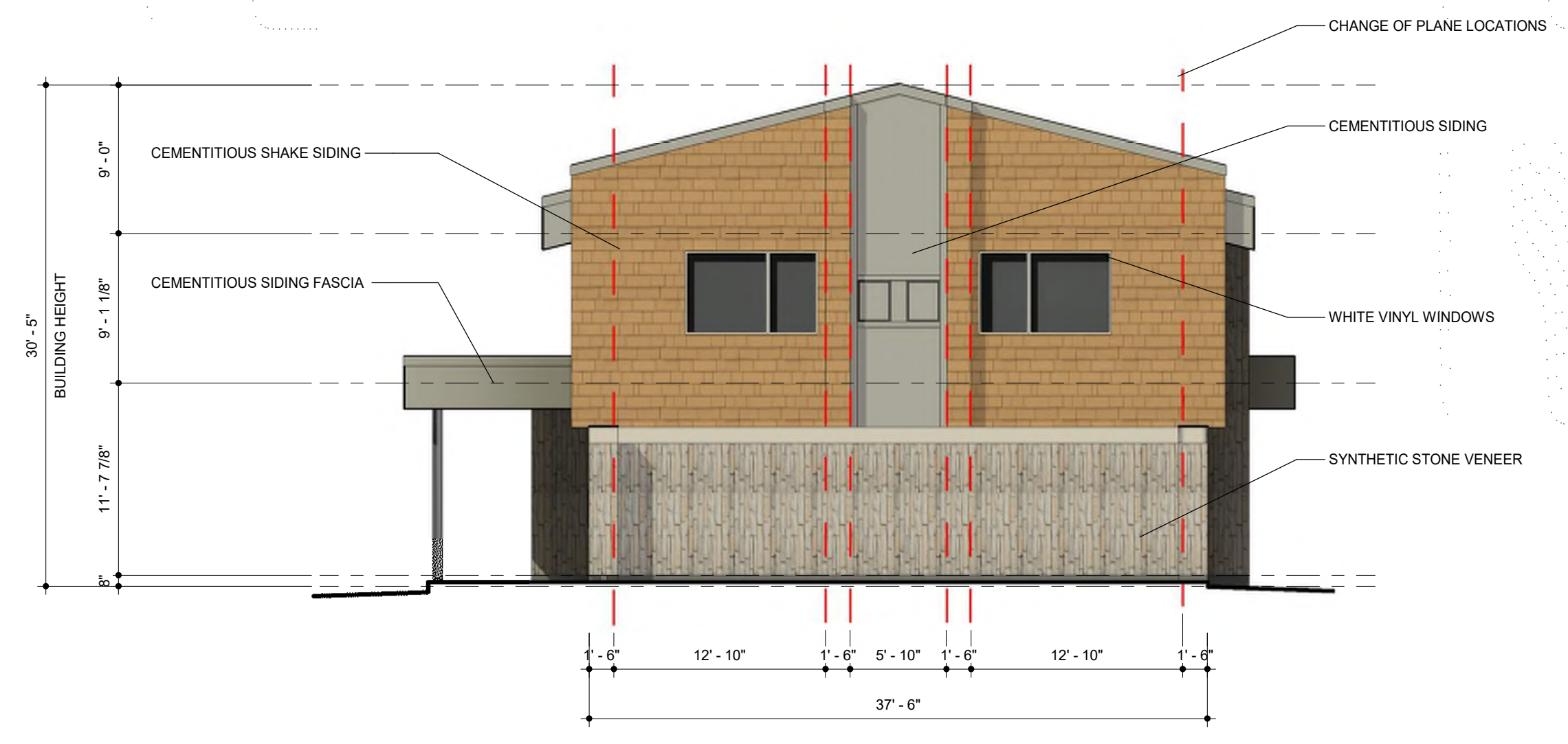
**1 WEST ELEVATION - MAIL LOUNGE/3-PLEX**  
1/8" = 1'-0"



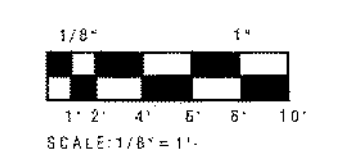
**2 SOUTH ELEVATION - MAIL LOUNGE/3-PLEX**  
1/8" = 1'-0"



**3 EAST ELEVATION - MAIL LOUNGE/3-PLEX**  
1/8" = 1'-0"



**4 NORTH ELEVATION - MAIL LOUNGE/3-PLEX**  
1/8" = 1'-0"



Revisions:

No.	By	Date

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PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

**THE SAVOY**  
**MAIL LOUNGE / 3-PLEX**  
**ELEVATIONS**










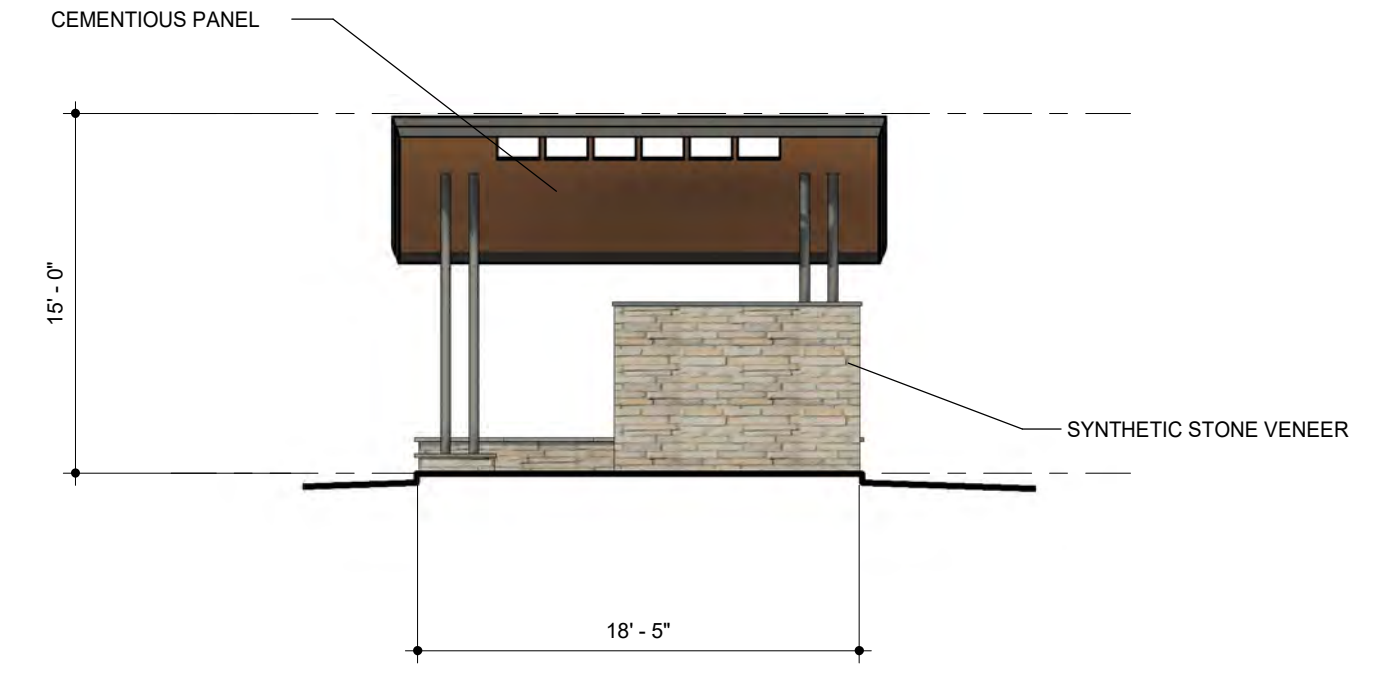
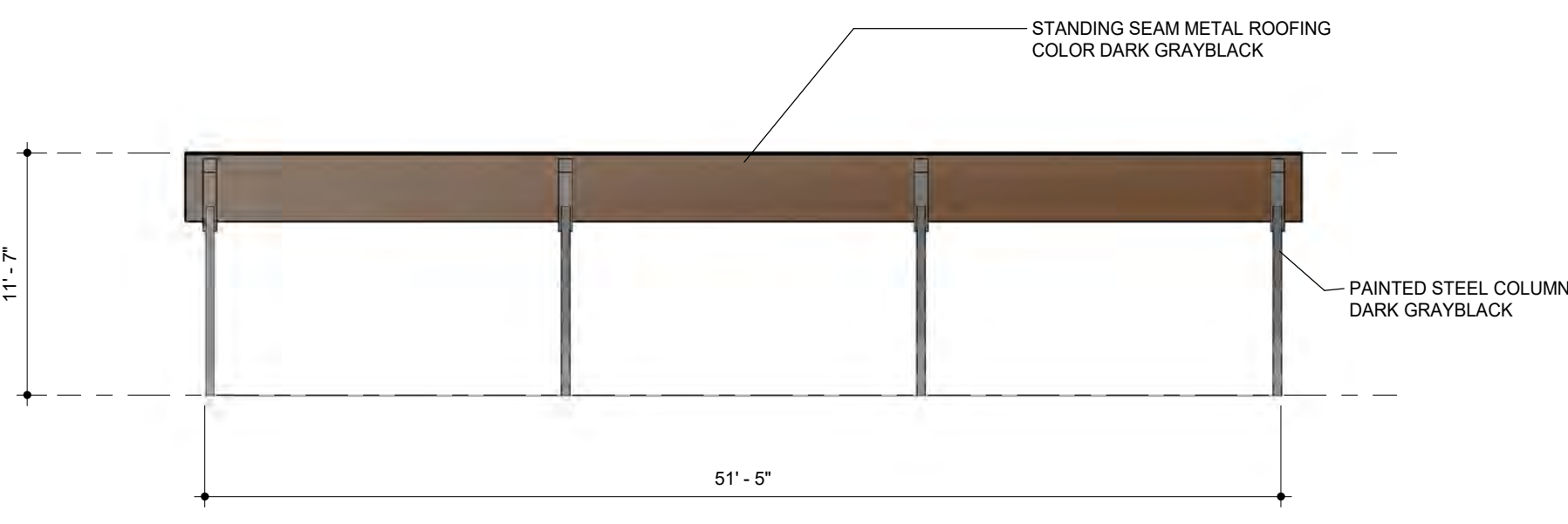
8 CARPORT ORTHO



7 PORTAL ORTHO

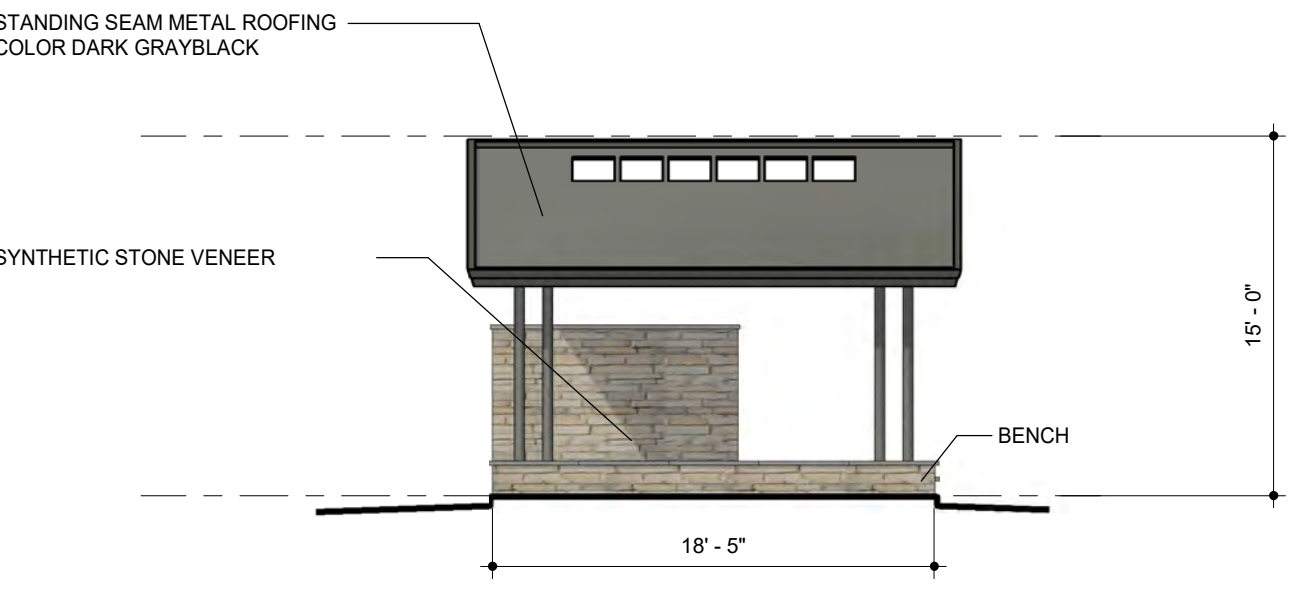
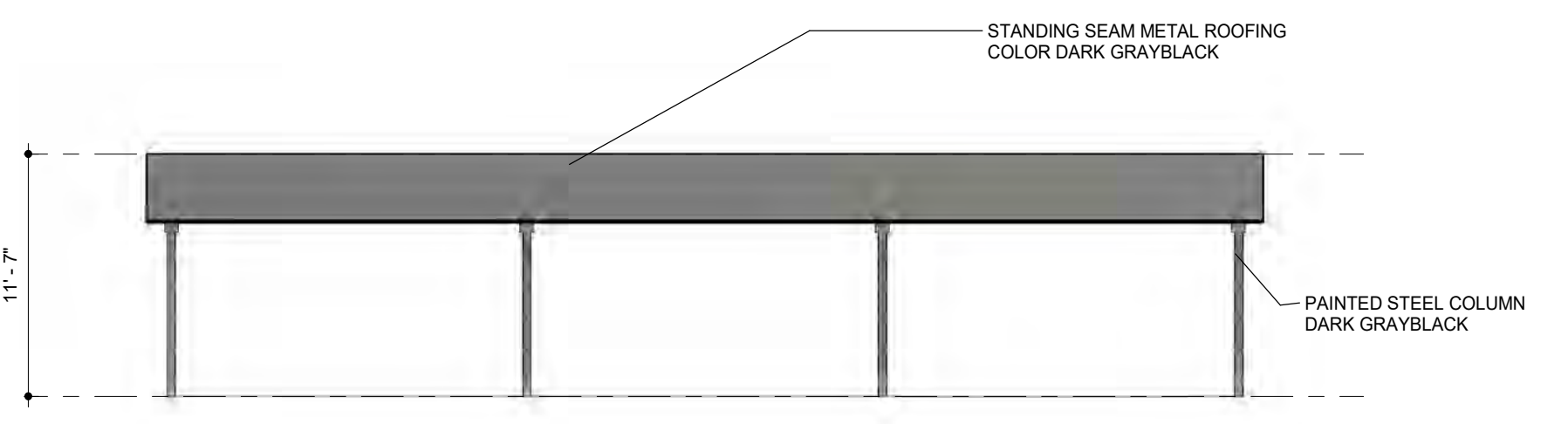
**MATERIAL LEGEND**

-  CEMENTITIIOUS SHAKE SIDING - SW 2858 HARVEST GOLD
-  CEMENTITIIOUS BOARD & BATTEN - SW 2855 SYCAMORE TAN
-  TRIM - SW 0054 TWILIGHT GRAY
-  PANEL - SW 7673 PEWTER CAST
-  SUNSET STONE - BLACK RUNDLE FIELD STONE



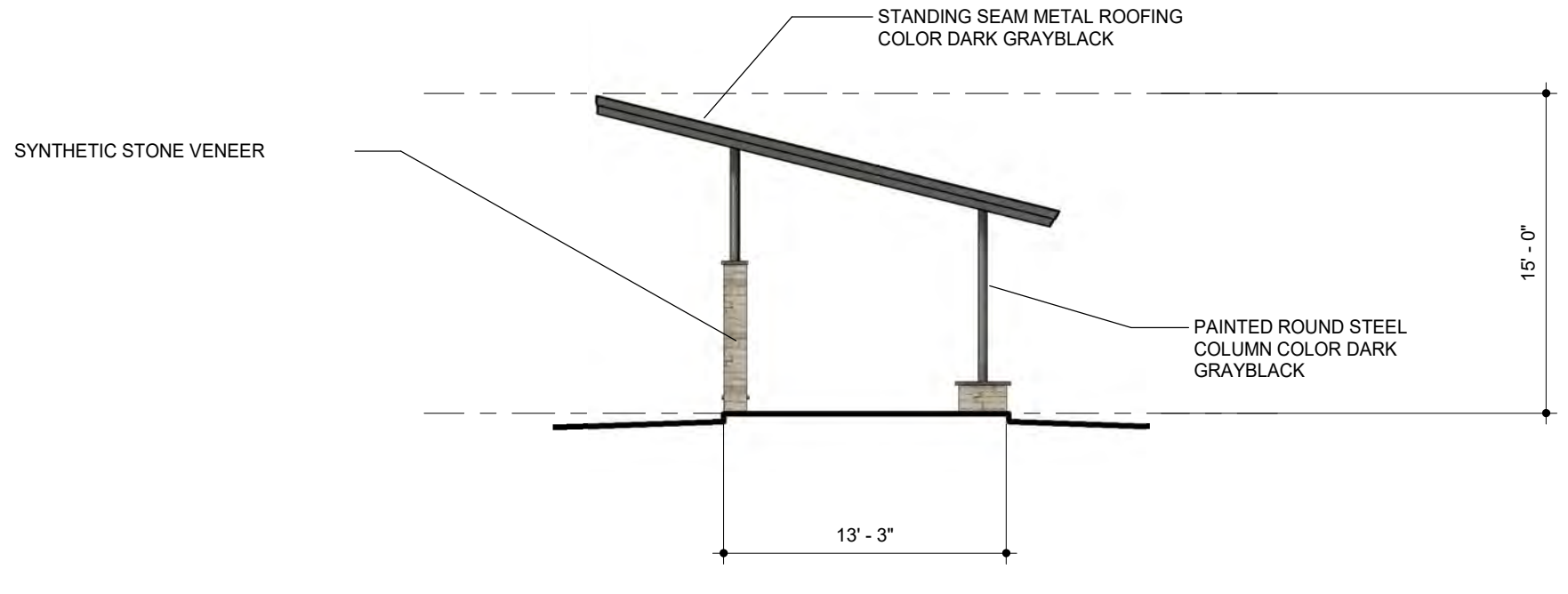
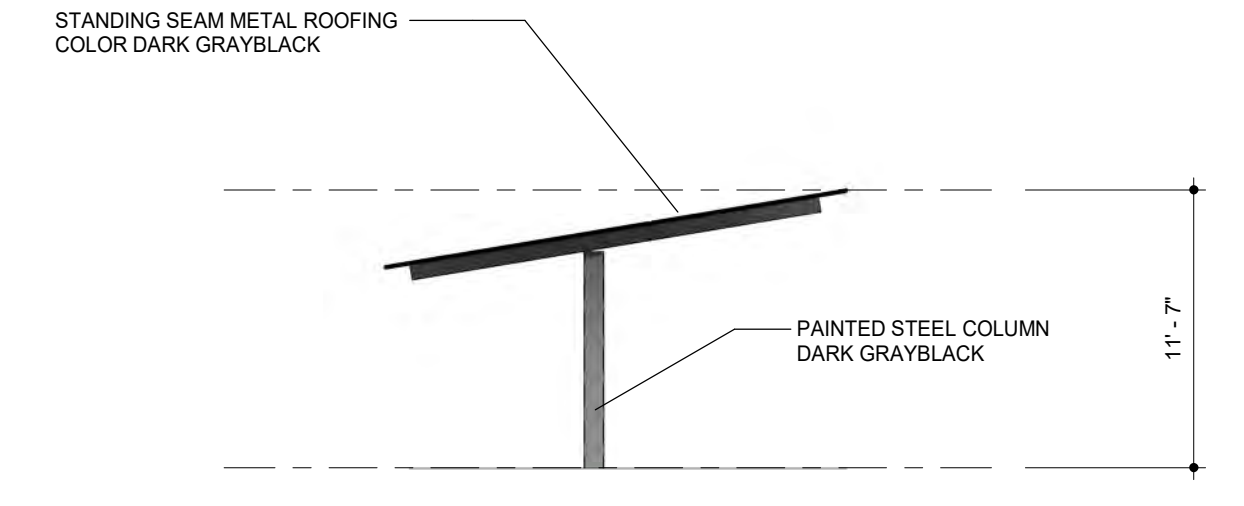
1 FRONT CARPORT  
1/8" = 1'-0"

4 FRONT PORTAL  
1/8" = 1'-0"



2 REAR CARPORT  
1/8" = 1'-0"

5 REAR PORTAL  
1/8" = 1'-0"



6 SIDE CARPORT  
1/8" = 1'-0"

3 SIDE PORTAL  
1/8" = 1'-0"

Revisions:

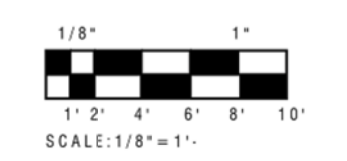
No.	By	Date

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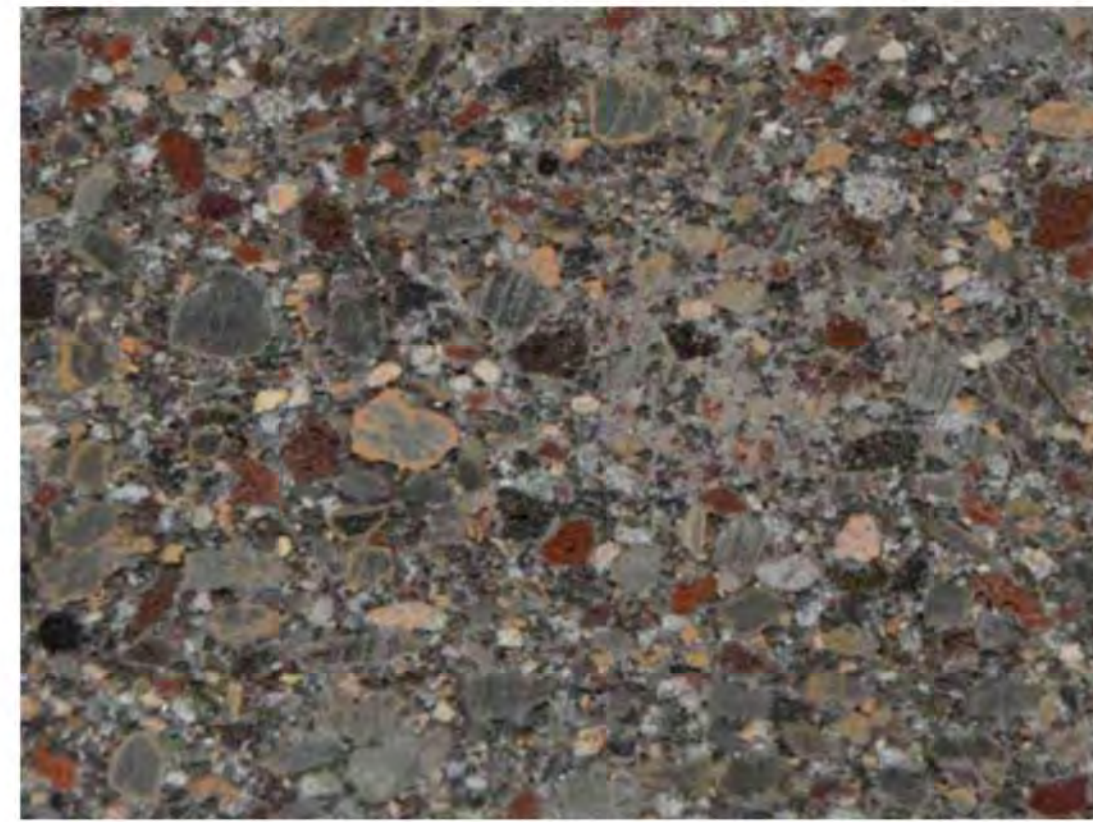
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 GREENE, 1601 9th Street, 80521  
 970.227.4198  
 northernengineering.com

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DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

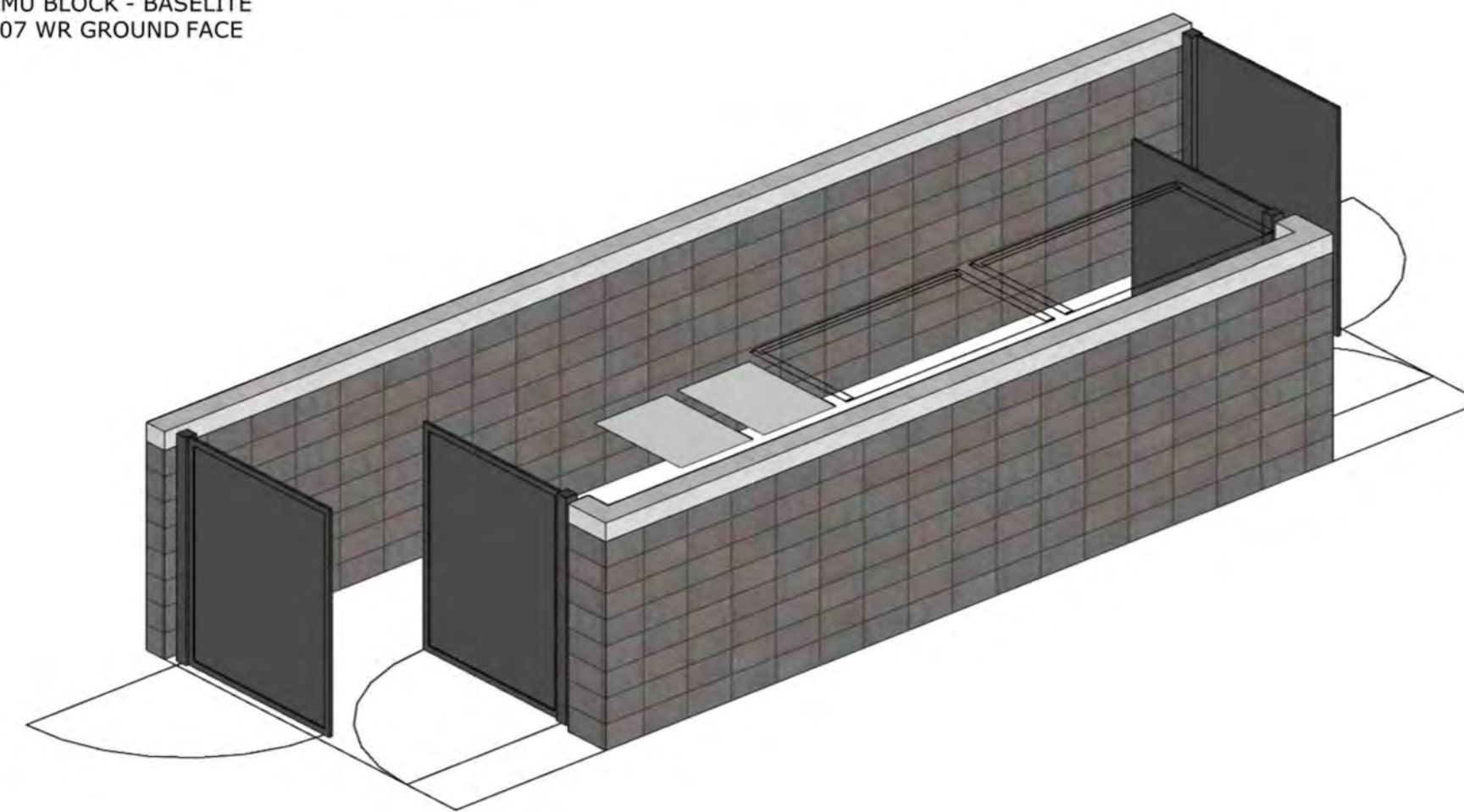
THE SAVOY  
 CARPORT / PORTAL  
 ELEVATIONS



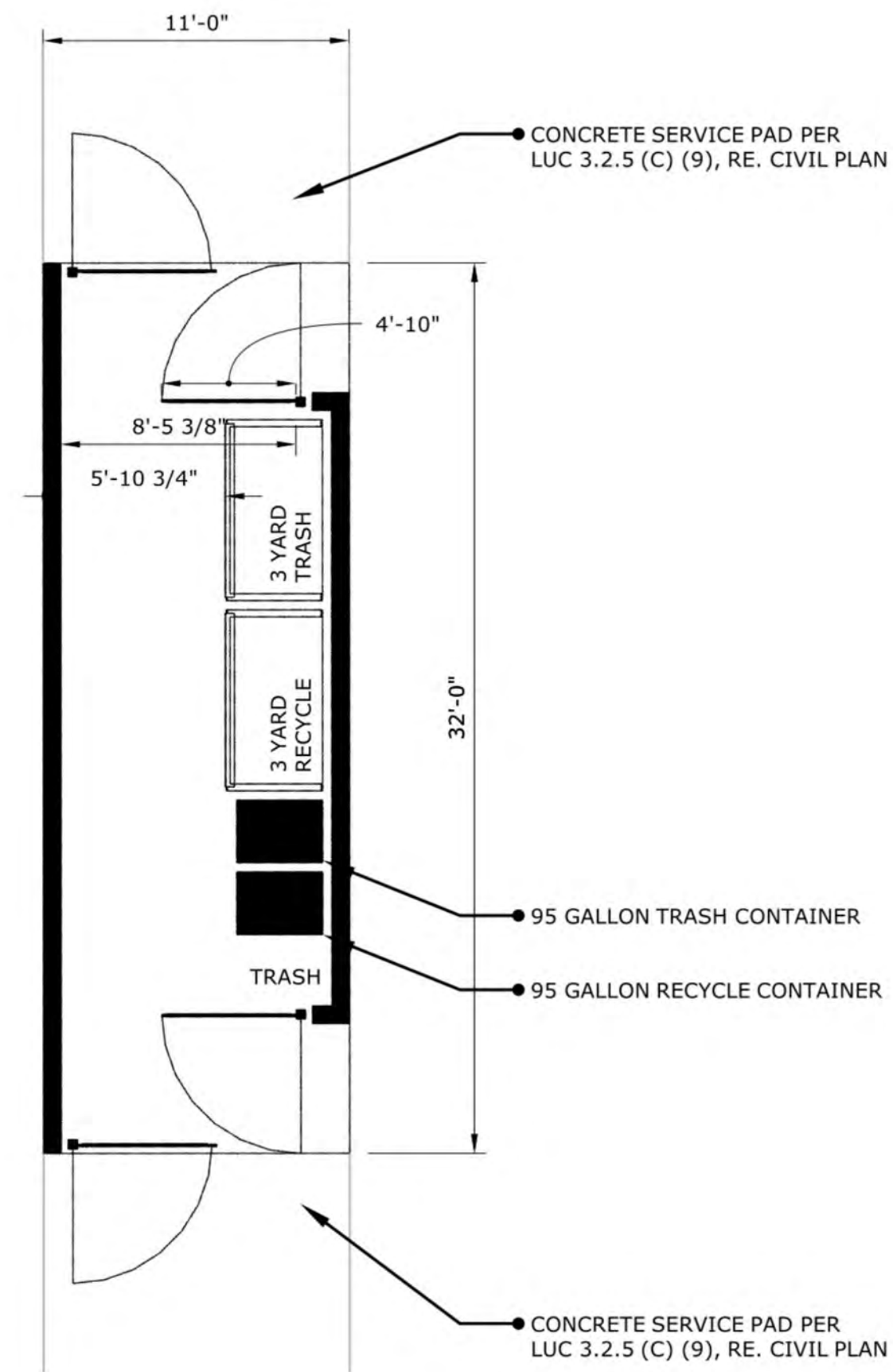




CMU BLOCK - BASELITE  
807 WR GROUND FACE



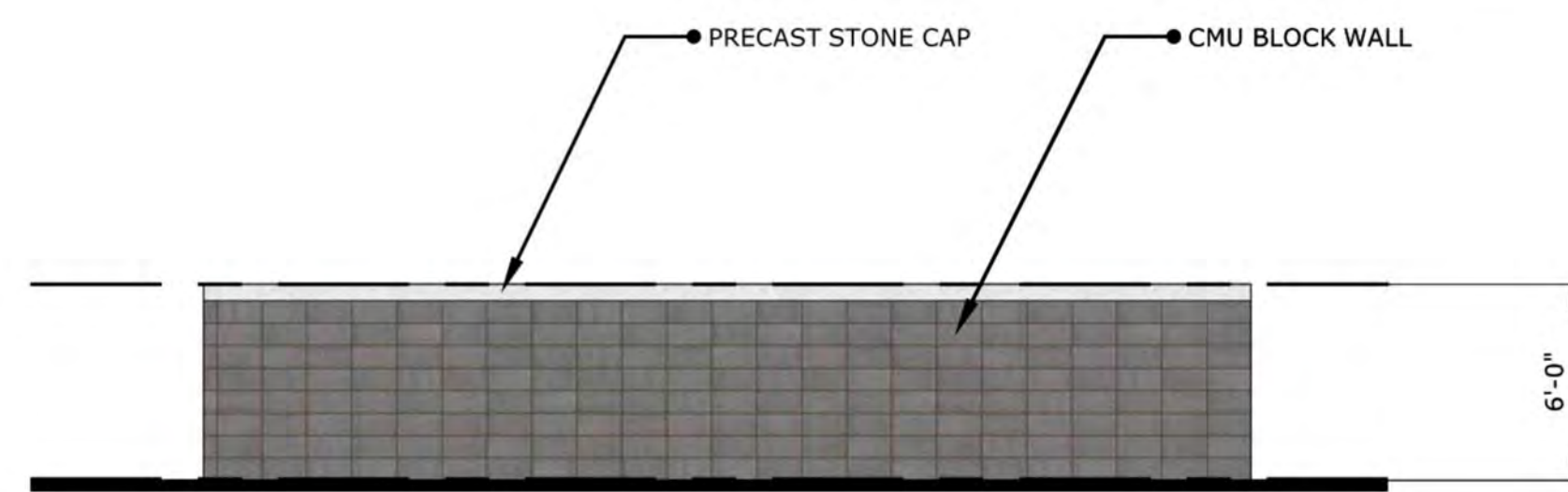
FRONT RIGHT CORNER ISO  
SCALE: NTS



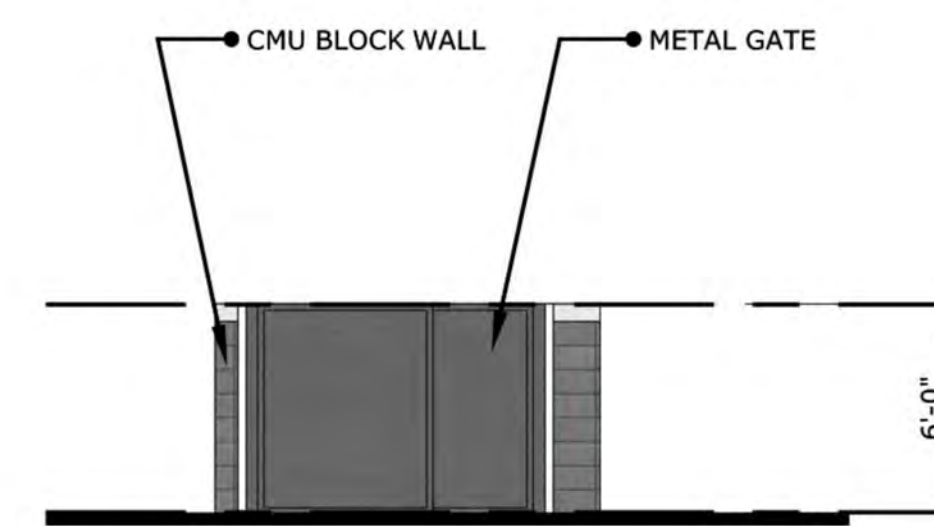
PLAN VIEW  
SCALE: 3/16" = 1'

**MATERIAL LEGEND**

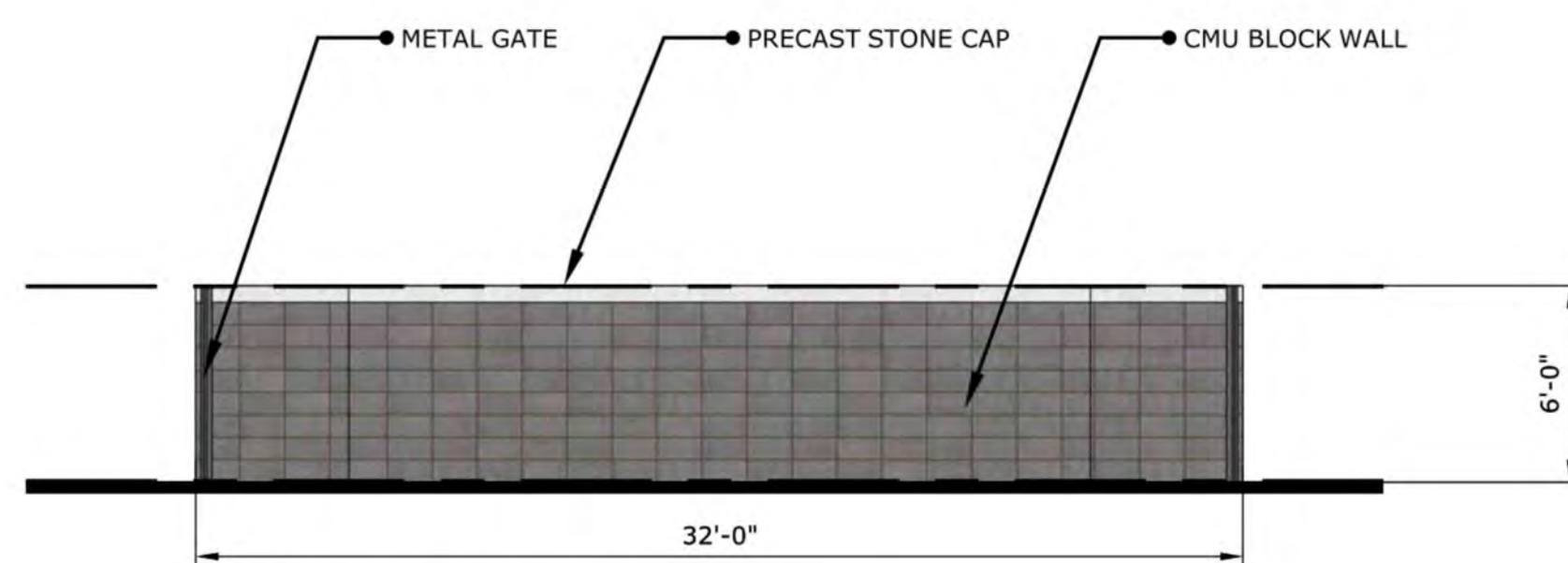
 CMU BLOCK - STACK BOND - BASELITE 807 WR - GROUND FACE



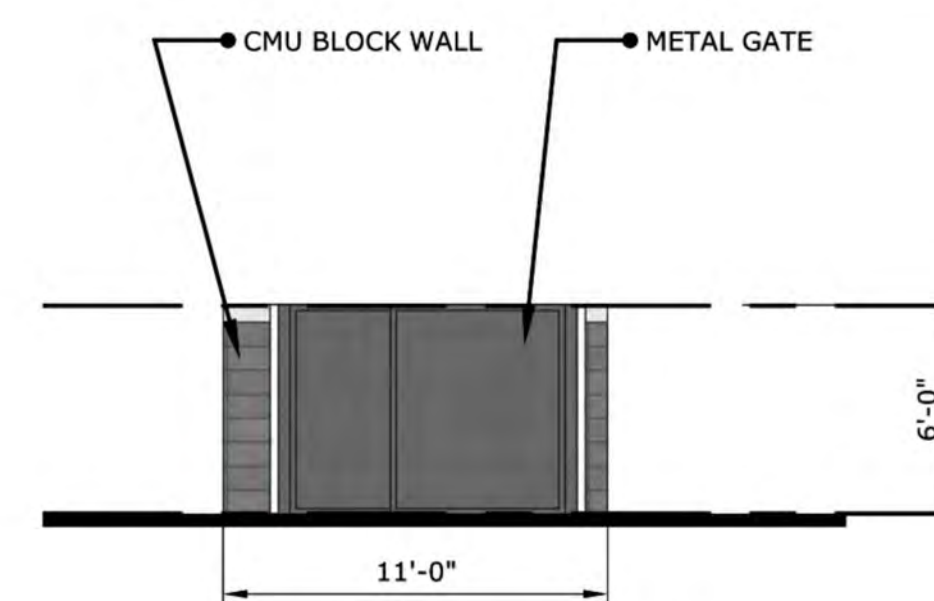
REAR ELEVATION  
SCALE: 3/16" = 1'



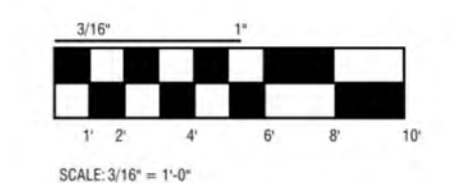
SIDE 02 ELEVATION  
SCALE: 3/16" = 1'



FRONT ELEVATION  
SCALE: 3/16" = 1'



SIDE 01 ELEVATION  
SCALE: 3/16" = 1'



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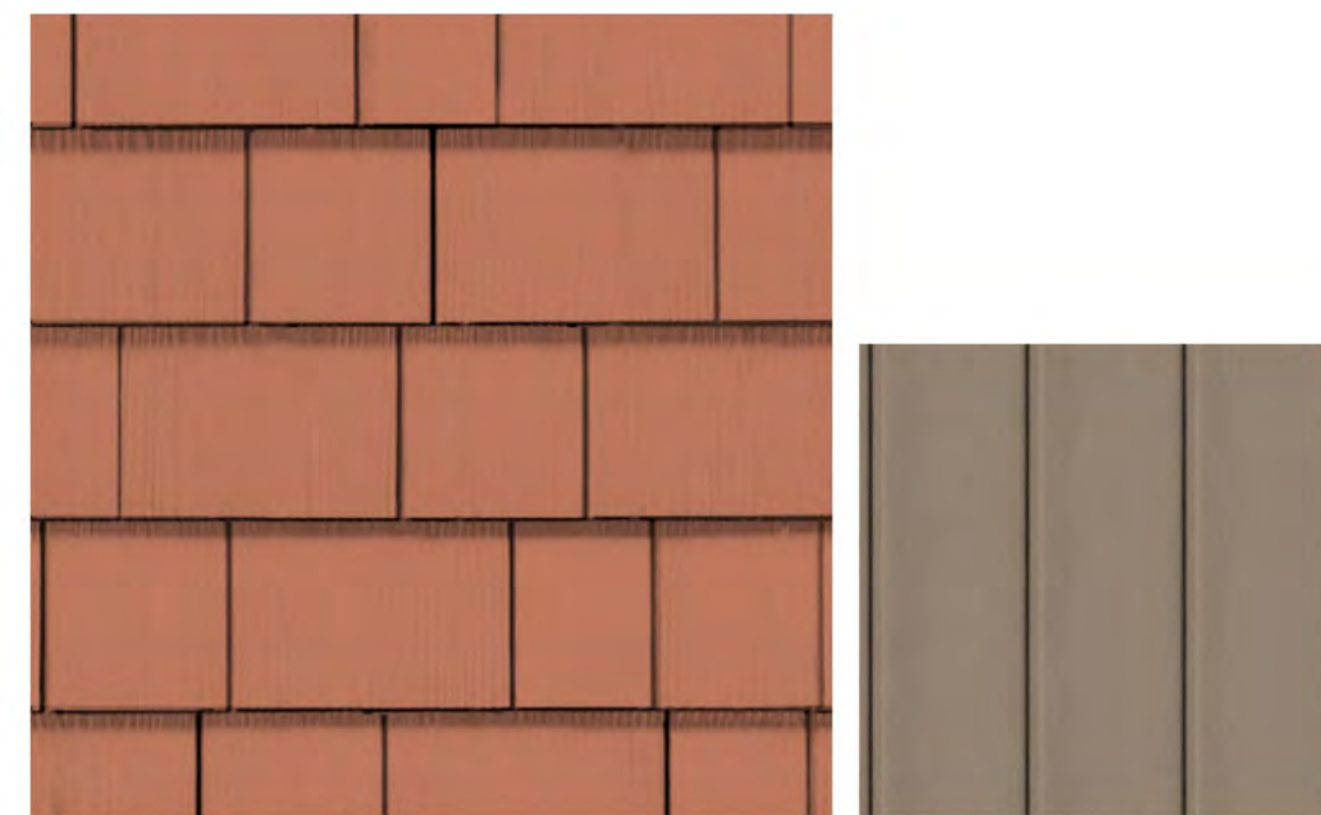
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Professional Engineer in the State of North Carolina  
 License No. 86521  
 S. Thomas

PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

THE SAVOY  
TRASH ENCLOSURE ELEVATIONS

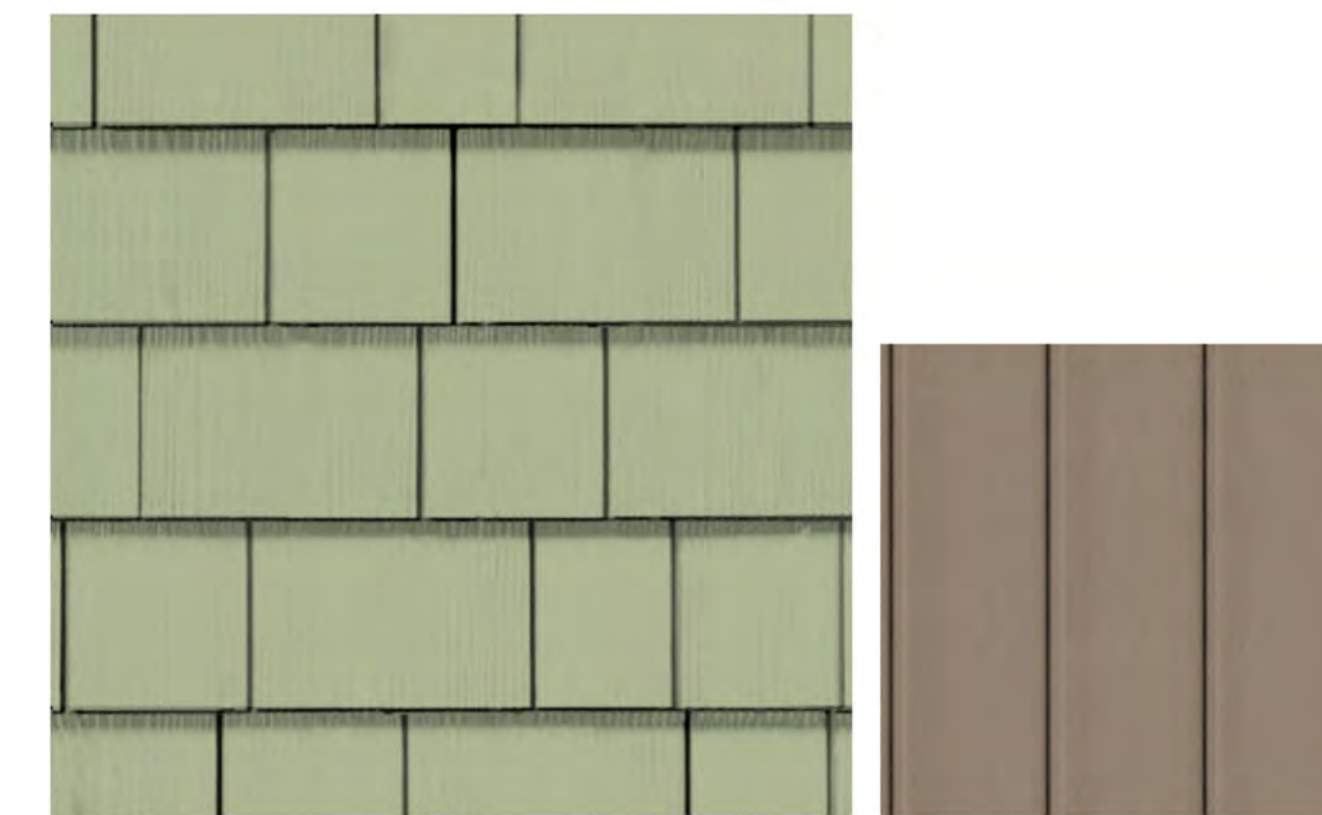




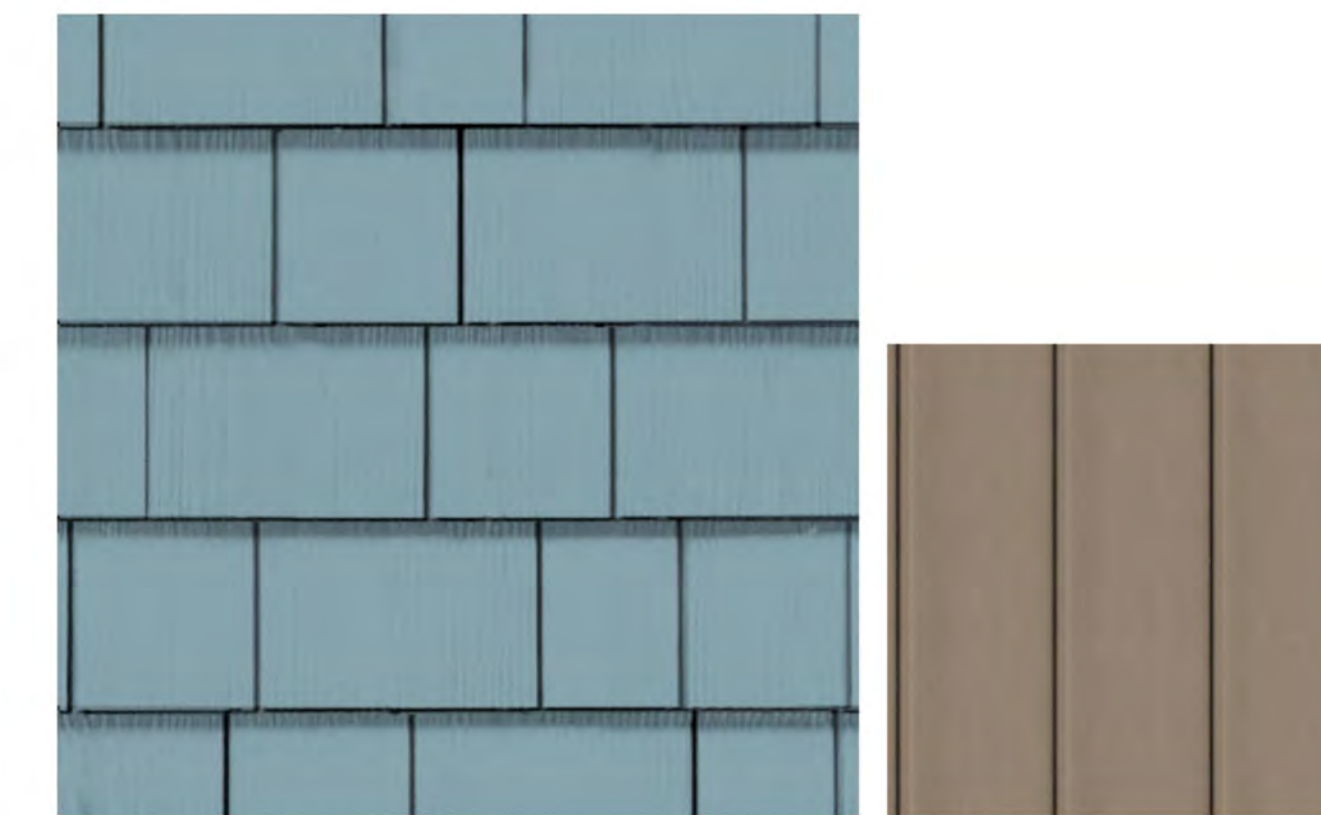
HARDI SHINGLE SIDING - SW 2854 CARIBBEAN CORAL BOARD AND BATTEN - SW 2855 SYCAMORE TAN



HARDI SHINGLE SIDING - SW 2858 HARVEST GOLD BOARD AND BATTEN - SW 2855 SYCAMORE TAN



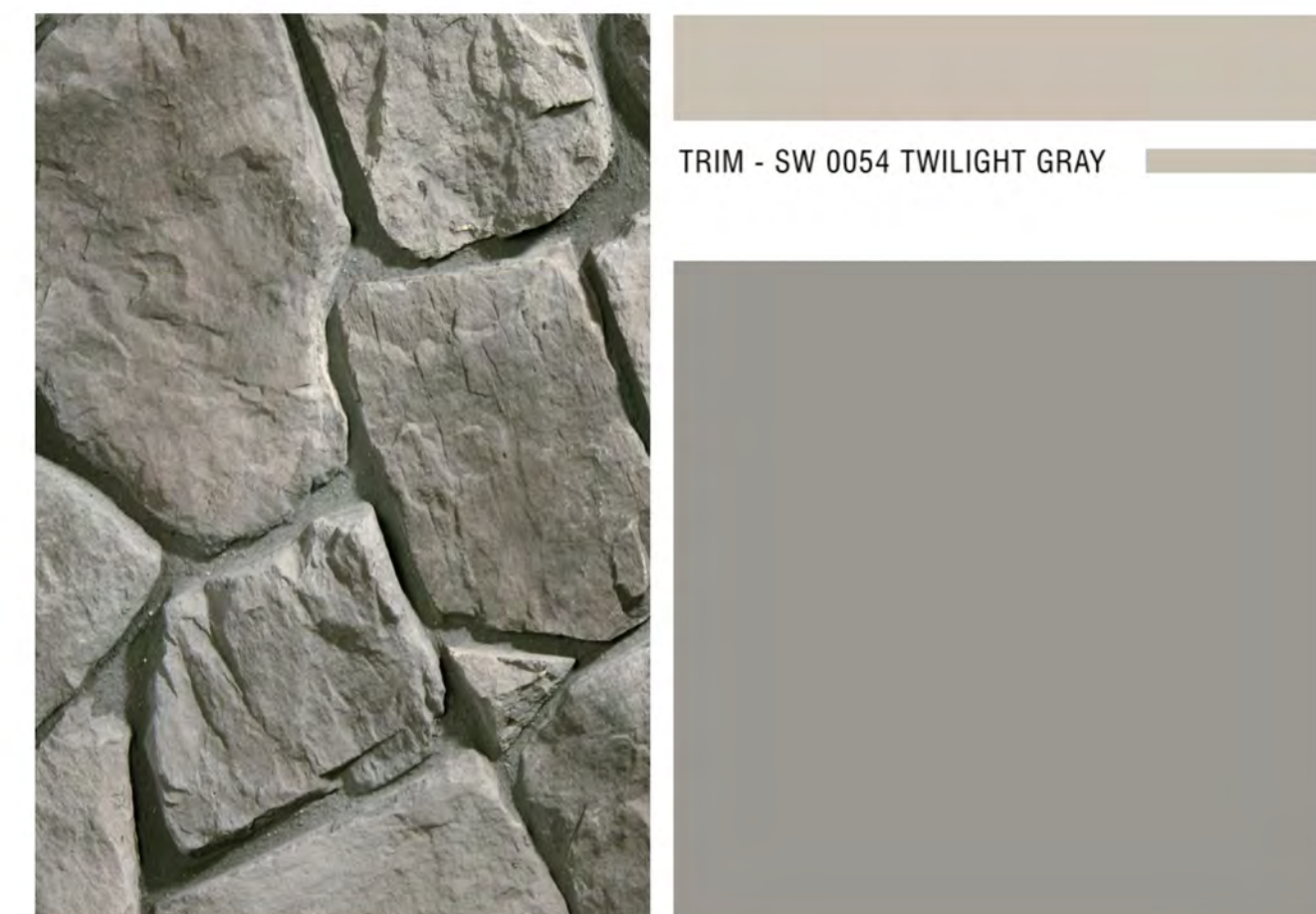
HARDI SHINGLE SIDING - SW 2852 PLYMOUTH GREEN BOARD AND BATTEN - SW 2855 SYCAMORE TAN



HARDI SHINGLE SIDING - SW 2863 POWDER BLUE BOARD AND BATTEN - SW 2855 SYCAMORE TAN



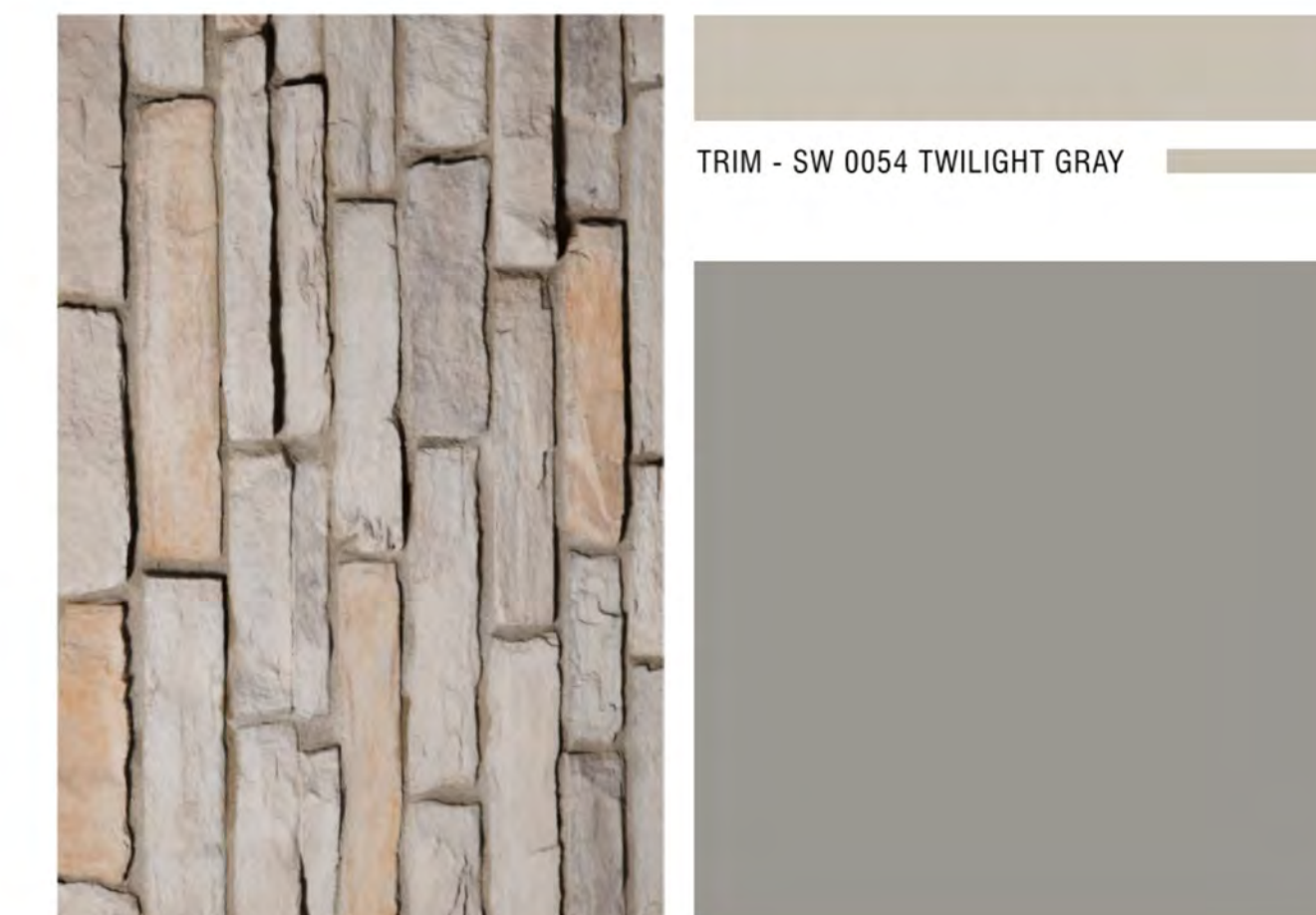
SUNSET STONE - BLACK RUNDLE FIELD STONE PANEL - SW 7673 PEWTER CAST



SUNSET STONE - BLACK RUNDLE FIELD STONE PANEL - SW 7673 PEWTER CAST



SUNSET STONES - CAPE COD LEDGE PANEL - SW 7673 PEWTER CAST



SUNSET STONES - CAPE COD LEDGE PANEL - SW 7673 PEWTER CAST

24 PLEX BUILDING - COLOR SCHEME A

24 PLEX BUILDING - COLOR SCHEME B

36 PLEX BUILDING - COLOR SCHEME A

36 PLEX BUILDING - COLOR SCHEME B

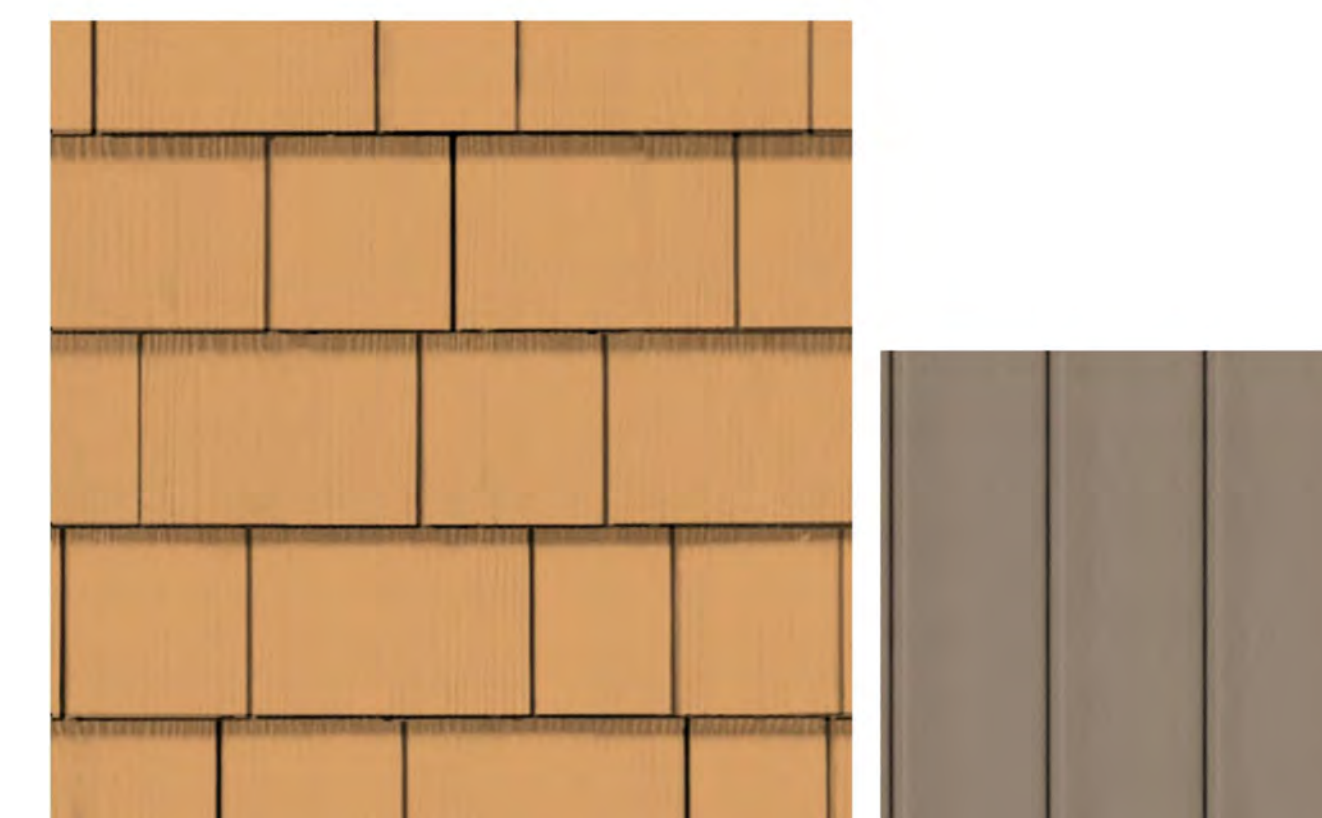


HARDI SHINGLE SIDING - SW 2858 HARVEST GOLD BOARD AND BATTEN - SW 2855 SYCAMORE TAN



SUNSET STONES - CAPE COD LEDGE PANEL - SW 7673 PEWTER CAST

CLUBHOUSE - COLOR SCHEME



HARDI SHINGLE SIDING - SW 2858 HARVEST GOLD BOARD AND BATTEN - SW 2855 SYCAMORE TAN



SUNSET STONES - CAPE COD LEDGE PANEL - SW 7673 PEWTER CAST

MAIL LOUNGE/3-PLEX - COLOR SCHEME

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DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

THE SAVOY  
 EXTERIOR MATERIALS BOARD





N/S PEDESTRIAN CONNECTION - LOOKING NORTH



PRECISION DRIVE - LOOKING WEST



BROOKFIELD DRIVE - LOOKING NORTH



LE FEVER DRIVE - LOOKING SOUTHWEST

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PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

THE SAVOY  
ARCHITECTURAL PERSPECTIVES





MAIN ENTRY - LOOKING SOUTH



LE FEVER DRIVE - LOOKING EAST



CINQUEFOIL LANE - LOOKING SOUTHWSET



PRECISOIN DRIVE - LOOKING NORTHWEST

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DRAWN BY:		P. MANAGER:	S. Thomas

**THE SAVOY**

**ARCHITECTURAL PERSPECTIVES**





36-PLEX - STREET ELEVATION - PLYMOUTH GREEN



36-PLEX - FRONT ELEVATION - PLYMOUTH GREEN



24-PLEX - STREET ELEVATION - HARVEST GOLD



24-PLEX - FRONT ELEVATION - HARVEST GOLD

No.	Revisions:	By:	Date:

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DRAWN BY:		P. MANAGER:	S. Thomas

**THE SAVOY**  
**ARCHITECTURAL PERSPECTIVES**





36-PLEX - FRONT ELEVATION - POWDER BLUE



36-PLEX - STREET ELEVATION - POWDER BLUE



24-PLEX - STREET ELEVATION - CARIBBEAN CORAL



24-PLEX - FRONT ELEVATION - CARIBBEAN CORAL

No.	Revisions:	By:	Date:

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DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

THE SAVOY  
ARCHITECTURAL PERSPECTIVES





MAIL LOUNGE / 3-PLEX



MAIL LOUNGE / 3-PLEX



CLUBHOUSE - FRONT



CLUBHOUSE - REAR

No.	Revisions:	By:	Date:

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PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

THE SAVOY  
ARCHITECTURAL PERSPECTIVES

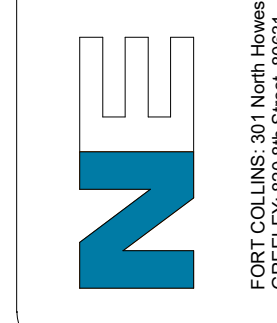




BIRDSEYE LOOKING NW

THE SAVOY  
 ARCHITECTURAL SITE  
 PERSPECTIVES

PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas



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BIRDSEYE LOOKING NE

No.	Revisions:	By:	Date:

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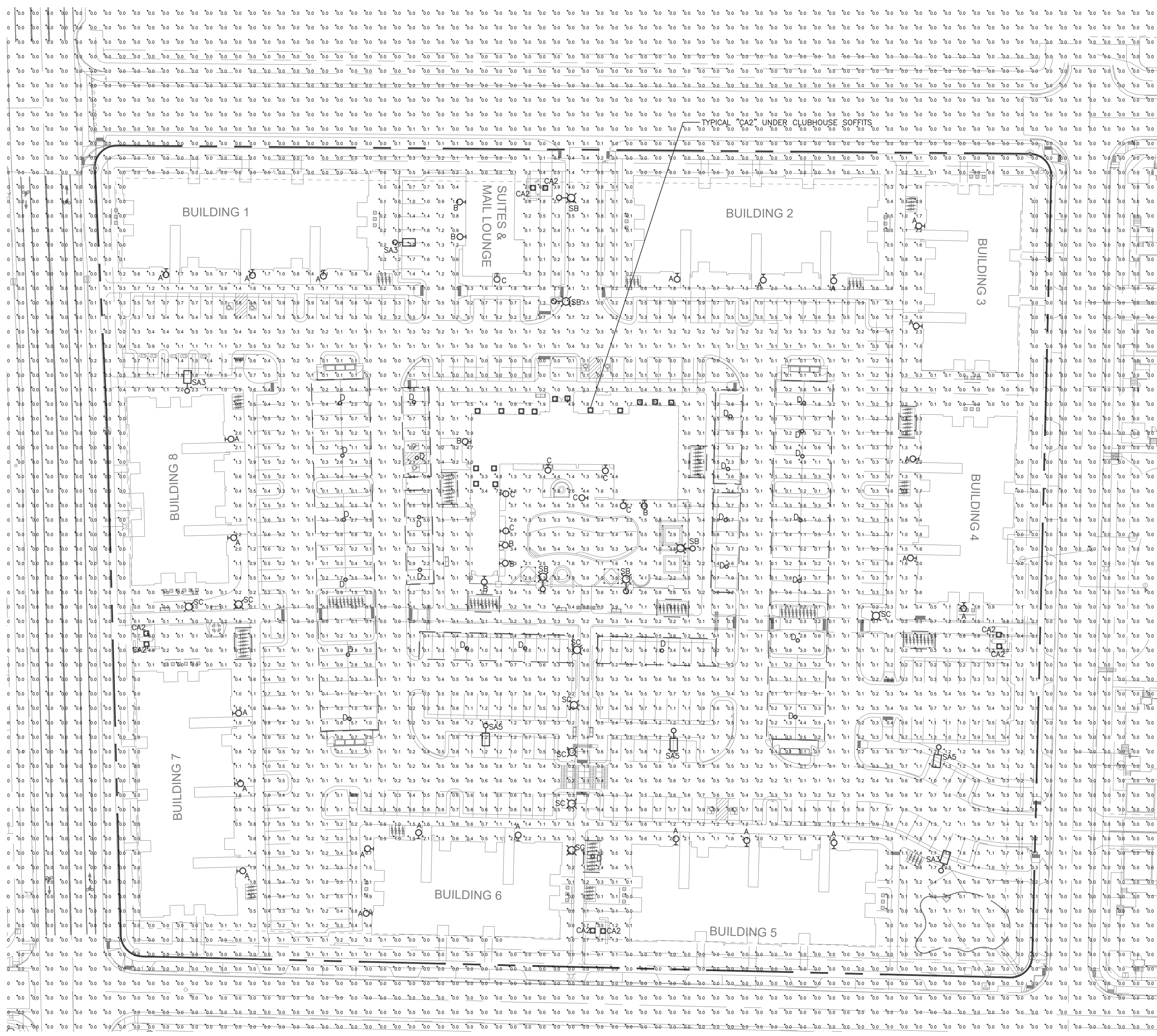
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PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

**THE SAVOY  
 ARCHITECTURAL SITE  
 PERSPECTIVES**





**CALCULATED SITE AREA:**  
 HARDSCAPE (WALKWAYS AND PLAZAS) = 49,911 SF  
 DRIVEWAYS AND PARKING = 105,597 SF  
 TOTAL AREA = 155,508 SF

TOTAL INITIAL LUMINAIRE LUMENS LIGHTING CONTEXT AREA LC1			
FIXTURE	LUMEN PER FIXTURE	NO. OF FIXTURES	TOTAL LUMENS
A	2,748	22	60,456
B	907	6	5,442
C	1,978	7	13,846
D	1,000	24	24,000
CA2	900	23	20,700
SA3	6,468	3	19,404
SA5	6,711	3	20,133
SB	4,900	5	24,500
SC	676	8	5,408
			193,889

TOTAL ALLOWED LUMENS PER SITE LIGHTING CONTEXT AREA LC1		
HARDSCAPE SQ. FT.	LUMEN PER SQ. FT.	TOTAL ALLOWED LUMENS
155,508	1.25	194,385

**SITE PHOTOMETRIC SUMMARY.**  
 AVERAGE = 0.3 FT. CANDLE  
 MAXIMUM = 8.1 FT. CANDLE  
 MINIMUM = 0.0 FT. CANDLE

**SITE PHOTOMETRIC PLAN**  
 SCALE: 1"=40'  
 40' 0 40' 80'

DRAWING FILENAME: C:\VBC\Projects\Arch\2021\The Savoy - Mission Apartments Form M - Knappton\Site\Photometric\PH1.dwg LAYOUT NAME: 19 DATE: Sep 08, 2022 - 2:18pm CAD OPERATOR: baplan  
 LIST OF REVISIONS: [REVISIONS] [DATE] [BY]

Revisions:

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PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	P. Thomas


**THE SAVOY**  
**SITE PHOTOMETRIC PLAN**

**ENGINEERING CONSULTANTS**  
 ELECTRICAL ENGINEERS  
 8811 E Hampden Ave. Ste 208, Denver, CO 80231  
 (303) 955-5534 (cell) walter@engrc.com



### LIGHTING FIXTURE SCHEDULE


ITEM	QTY	MANUFACTURER	CAT. NO.	LAMPS	WATT	MTG HEIGHT	COLOR	DESCRIPTION
A	22	LITHONIA	WPX1 LED P2 30K MVOLT DDBXD	3000K LED 2,748 LUMENS	24	18 FT	BRONZE	EXTERIOR, WET LOCATION RATED WALL LIGHT. FULL CUT OFF, FLAT GLASS LENS.
B	6	PROGRESS LIGHTING	P563000-143-30K	3000K LED 907 LUMENS	12	7.5 FT	BRONZE	WET LOCATION CYLINDER EXTERIOR WALL DOWN LIGHT ON GARAGES INSTALL 7.5' ABOVE GRADE TO THE BOTTOM.
C	7	RAB LIGHTING	SLIM12Y	3000K LED 1978 LUM	12	11 FT	BRONZE	WET LOCATION RATED FULL CUT OFF MINIATURE LED WALL FLOOD LIGHT
D	25	JUNO	JSF 7IN 30K 90CRI MVOLT ZT JSFTRIM 7IN BZ	3000K LED 1,000 LUMENS	13	CARPORT CEILING	BRONZE	WET LOCATION RATED LED CARPORT CEILING LIGHT
CA2	21	ELITE LIGHTING	B61C-LED-RL630-900L-120-30K-W-WH	900 LUM LED 3000K	15	9 FT.	WHITE	6" WET LOCATION RECESSED LED DOWN LIGHT, WHITE BAFFLE
SA3	3	LITHONIA	DSX1-LED-P1-30K-T3M-MVOLT-SPA-DBLXD-HSS	3000K LED 6,468 LUM	54	20 FT	BLACK	SINGLE HEAD FULL CUT OFF POLE LIGHT ON 20 FT. SQUARE POLE. TYPE III OPTICS, HOUSE SIDE SHIELD
SA5	3	LITHONIA	DSX1-LED-P1-30K-T5M-MVOLT-SPA-DBLXD	3000K LED 6,711 LUM	54	20 FT	BLACK	SINGLE HEAD FULL CUT OFF POLE LIGHT ON 20 FT. SQUARE POLE. TYPE V OPTICS
SB	5	SELUX	SACL-R4-1-LG3105-30-12-BK-208 POLE: S635BK	3000K LED 4,900 LUMENS	67	12 FT.	BLACK	SINGLE POST TOP FULL CUT OFF PEDESTRIAN POLE LIGHT ON ROUND POLE. TYPE IV OPTICS
SC	9	SELUX	NT-3.5-LG4700-30-BK-120-DM	3000K LED 676 LUMENS	14	42"	BLACK	ROUND LED BOLLARD LIGHT. FULL CUT OFF SYMMETRIC OPTICS



**BUG Rating B1 - U0 - G1**

Forward Light	Lumens	Lumens %
Low(0-30):	327.4	11.9%
Medium(30-60):	1,046.0	38.1%
High(60-80):	586.1	21.3%
Very High(80-90):	27.5	1%
Back Light		
Low(0-30):	205.3	7.5%
Medium(30-60):	387.7	14.1%
High(60-80):	158.5	5.8%
Very High(80-90):	10.2	0.4%
Uplight		
Low(90-100):	0.000	0%
High(100-180):	0.000	0%
Trapped Light:	0.000	0%

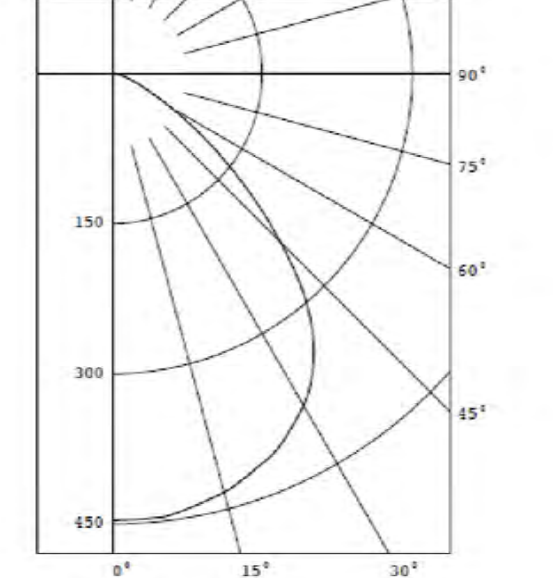
**FIXTURE 'A'**



**FIXTURE 'B'**


**P563000-143-30K**  
LED Light Engine: 3000 K 90 CRI  
System Wattage: 12  
Fixture delivered lumens: 907  
Fixture Efficacy: 75  
Spacing Criteria: 1.3

DEC	CANDELA	LUMENS
0	446	
5	446	42
15	433	122
25	405	186
35	351	218
45	238	183
55	113	103
65	38	40
75	10	12
85	1	1
90	0	




**BUG Rating B1 U1 G0**

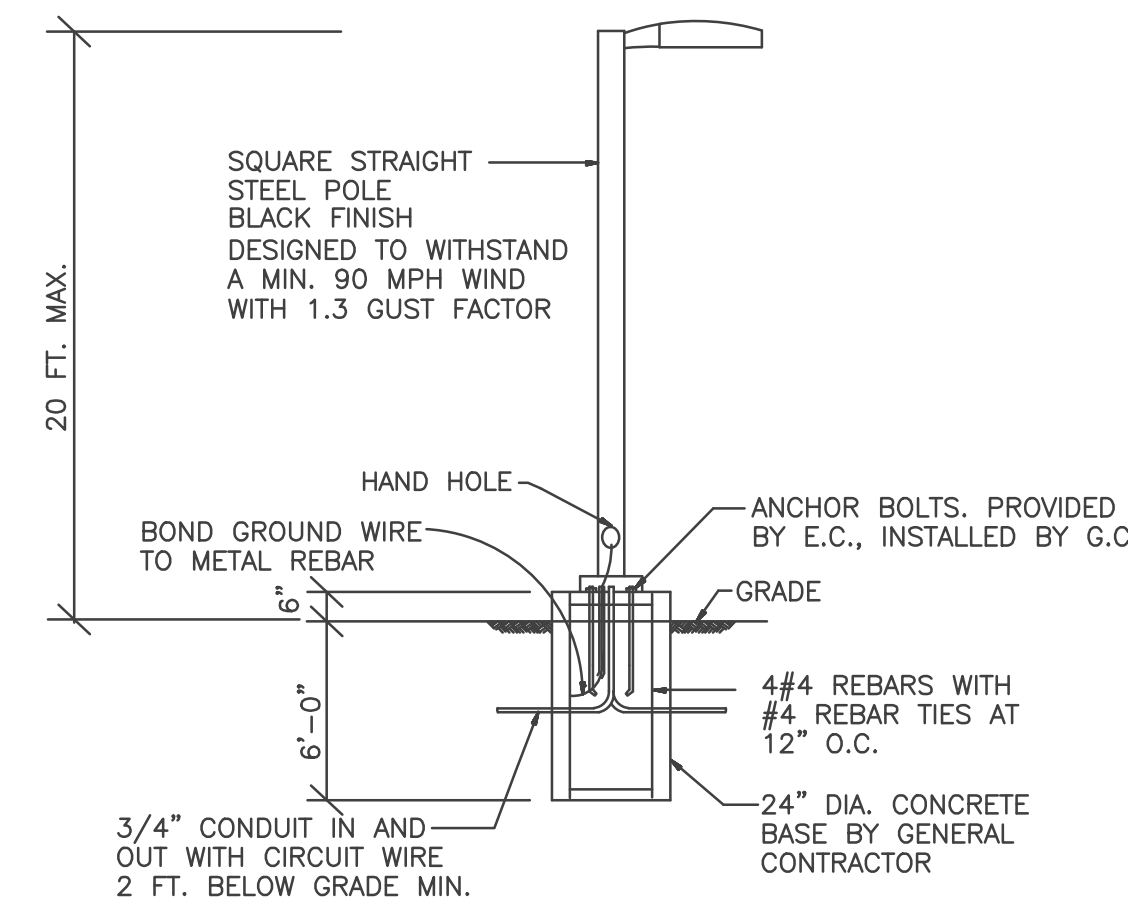
**FIXTURE 'C'**



**BUG Rating B1 - U0 - G1**

Forward Light	Lumens	Lumens %
Low(0-30):	409.7	7.7%
Medium(30-60):	2,599.6	49.1%
High(60-80):	1,713.1	32.3%
Very High(80-90):	33.2	0.6%
Back Light		
Low(0-30):	190.6	3.6%
Medium(30-60):	261.2	4.9%
High(60-80):	88.0	1.7%
Very High(80-90):	3.9	0.1%
Uplight		
Low(90-100):	0.000	0%
High(100-180):	0.000	0%
Trapped Light:	0.3	0%

**FIXTURE 'SA3' AND 'SA5'**




POLE MOUNTED FIXTURES INSTALLATION DETAIL FOR FIXTURES "SA3" AND "SA5"  
NO SCALE

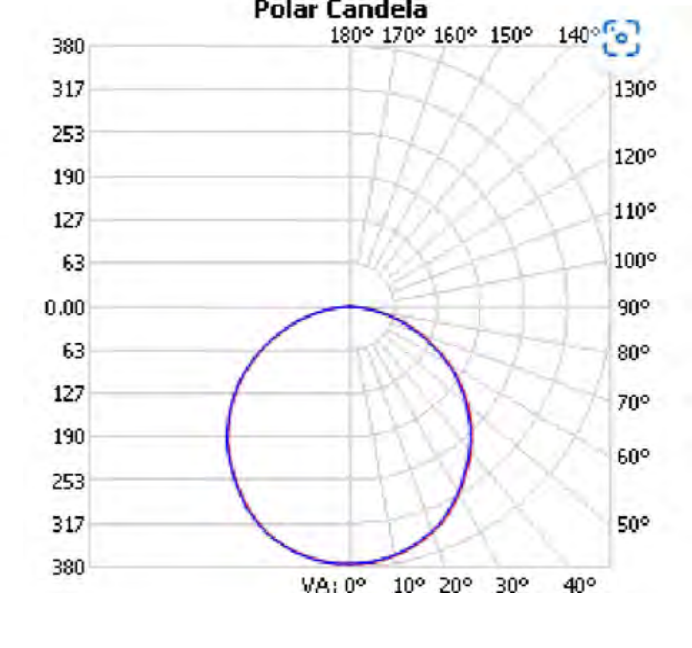
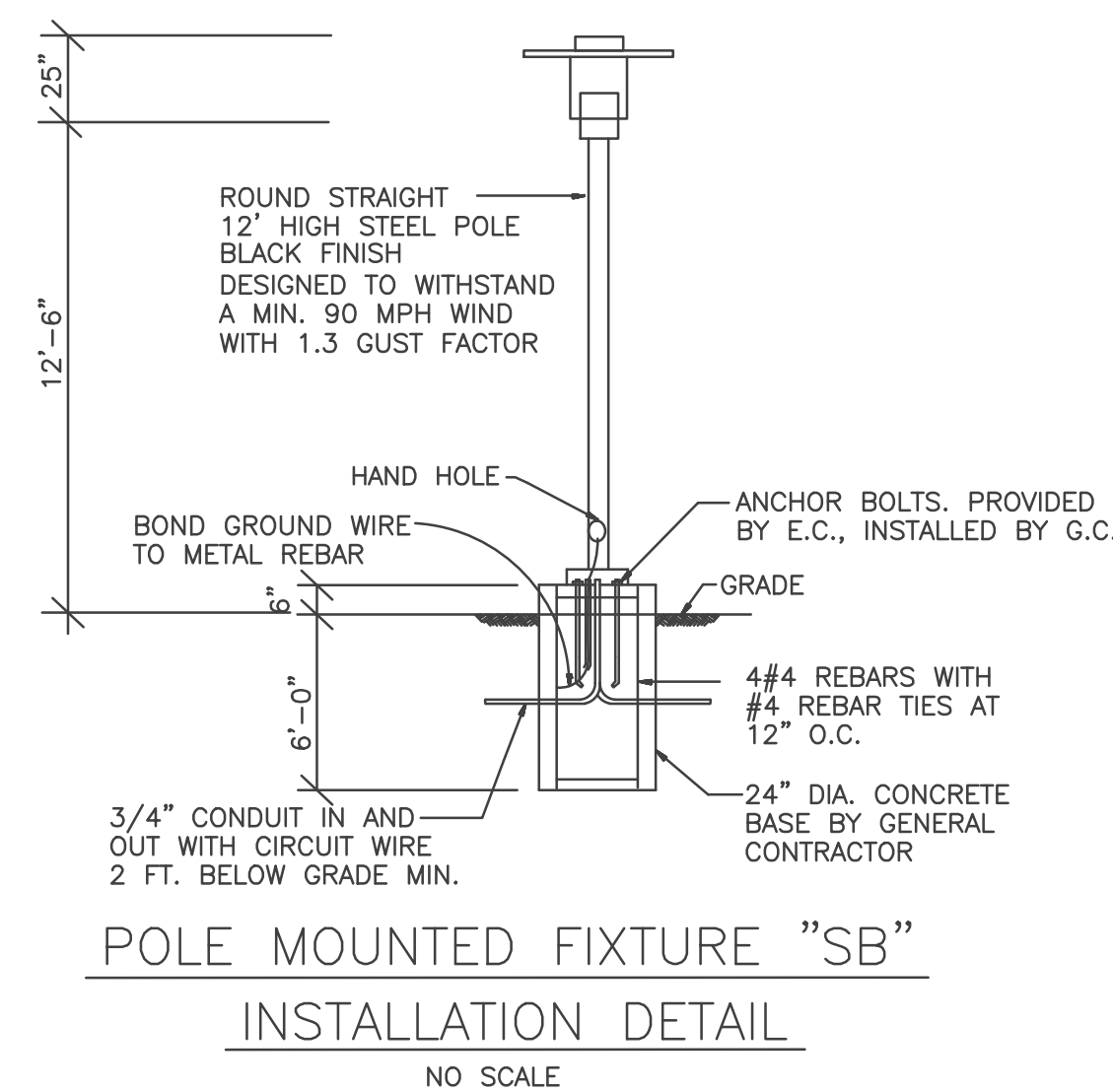



14W LED / 3000K CCT  
Catalog # NT-4-LG4700-30  
Report #: 830356  
Delivered Lumens: 676  
Input Watts: 14W  
Efficacy: 47  
CCT: 3000K  
Maximum candela of 856 at 65° from vertical.  
Mounting Height: 4' (1.22 M)  
BUG Rating: B0-U1-G1

**FIXTURE 'SC'**



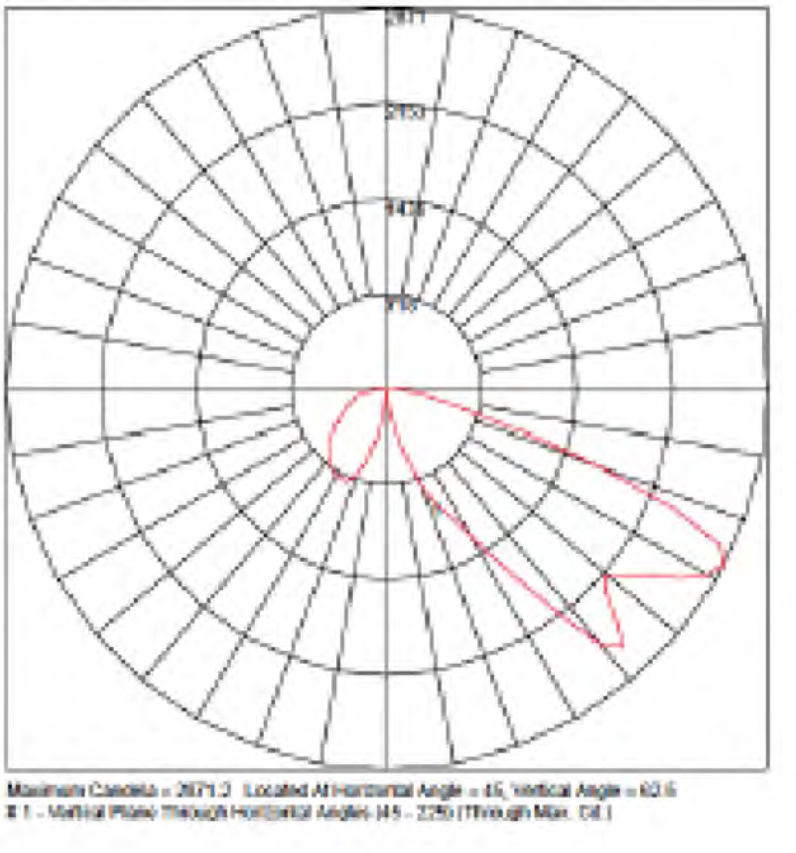
**FIXTURE 'D'**


Saturn Cutoff LED

**B1-U0-G1**

**FIXTURE 'SB'**



Maximum Candela = 2671.2 Located At Horizontal Angle = 65, Vertical Angle = 62.6  
E.T. - Vertical Plane Through Horizontal Angles (4.5 - 2.25) Through Max. C.E. 1

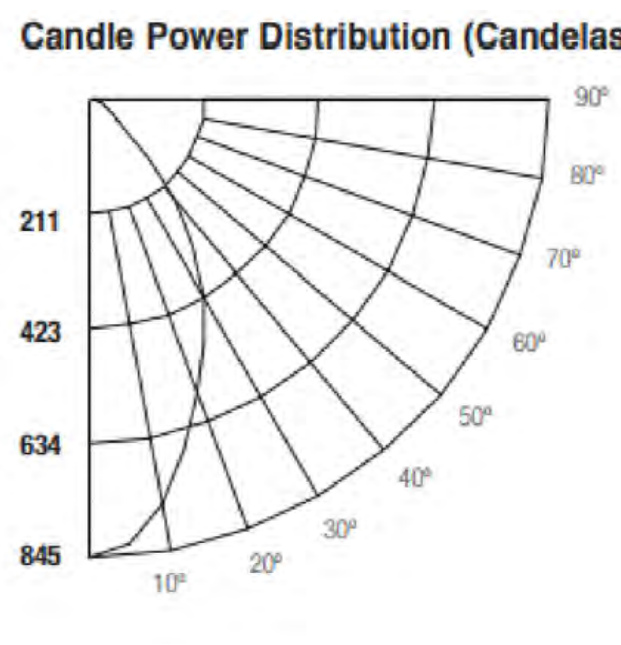


**900 LUMENS IC RATED**

BAFFLE FINISH: W-WHITE (ORDERING INFORMATION) LB31W-XX  
RING FINISH:

BK	WH	CH	PR	SN	CP	BZ
LED1W-BK	LED1W-WH	LED1W-CH	LED1W-PR	LED1W-SN	LED1W-CP	LED1W-BZ

**FIXTURE 'CA2'**



By: \_\_\_\_\_ Date: \_\_\_\_\_

Revisions:

No.	By	Date

These drawings are instruments of service provided by Northern Engineering and are not to be used for any type of construction unless signed by a Professional Engineer in the employ of Northern Engineering Services, Inc.

**NORTHERN ENGINEERING**

811 E. Hampton Ave. Ste 200, Denver, CO 80231  
800.555.6544 (toll free)  
www.northerneng.com

PROJECT:	514-003	DATE:	11/17/21
DESIGNED BY:		SCALE:	
DRAWN BY:		P. MANAGER:	S. Thomas

THE SAVOY  
SITE LIGHTING FIXTURES



DRAWING FILENAME: D:\VOCES\Engin\Jobs\2021\The Savoy - Mission Apartments Parcel M - Light\Site\Photometrics\PH1.dwg LAYOUT NAME: 21 DATE: Sep 08, 2022 - 2:18pm CAD OPERATOR: Savoy LIST OF REFS: [TABLE LOCK] [SITE PLAN]