

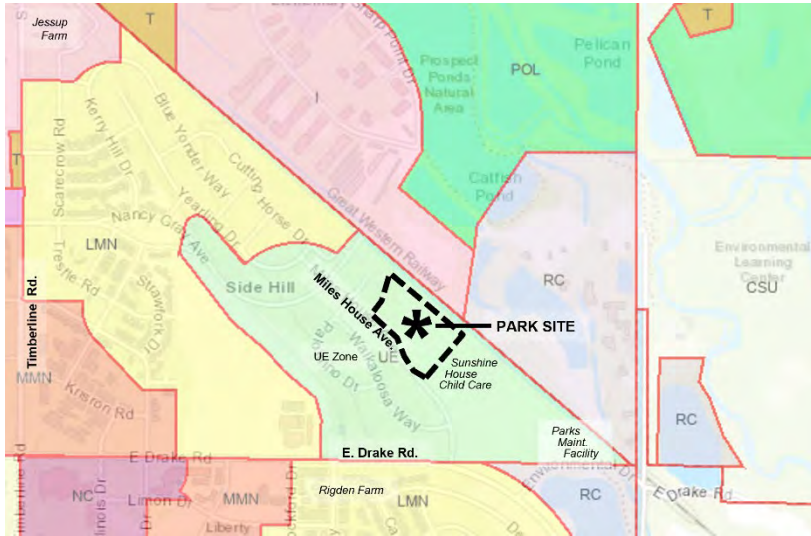
Planning and Zoning Commission Hearing: April 21, 2022

**Bucking Horse Neighborhood Park #BDR210011**

**Summary of Request**

This is a development plan for a City of Fort Collins Neighborhood Park. Because the applicant for the plan is the City, the plan requires review by the Planning and Zoning Commission.

**Zoning Map**



**Next Steps**

If approved by the Planning and Zoning Commission, the applicant will be eligible to have final plans signed and proceed to construction permits.

**Site Location**

2410 Miles House Avenue, between Nancy Gray Avenue and E. Drake Road in the lower, eastern portion of the Bucking Horse neighborhood development. Abuts Sunshine House childcare center.

**Zoning**

Urban Estate (UE)

**Property Owner**

City of Fort Collins  
Parks Planning and Development  
215 N. Mason St.  
Fort Collins, CO 80524

**Applicant/Representative**

Jennifer Torrey  
Same as above

**Staff**

Clark Mapes, City Planner

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**Staff Recommendation**

Approval.

## 1. Project Introduction

### A. PROJECT DESCRIPTION

As described in the applicants' brief narrative (Attachment 1), the park includes an activity terrace area with restrooms, a covered picnic shelter, and other recreational activities ranging from passive to active; a multi-purpose lawn, a loop walkway, berming around the perimeter for visual interest and buffering, and extensive landscaping.

A trail project related to the park will replace a segment of existing trail on a strip of Bucking Horse HOA land along the diagonal northeast perimeter. This trail will become a spur in the City's regional trail system.



Looking west over the northern side of the park along the diagonal northeast perimeter



Looking north over the park from the Miles House Avenue side



## 1. Development Status/Background

The park location was planned as a part of the original the Bucking Horse Overall Development Plan approved in 2012. In the years since then, funding has accumulated in the City's neighborhood park funding program to enable the park to proceed to design and construction.

Street parking and 10 spaces in the shared lot with Sunshine House.

In 2019 City accepted dedication of the parcel from the developer of Trail Head as an implementation action of the City Parks Master Plan.

## 2. Surrounding Zoning and Land Use

	North	South	East	West
<b>Zoning</b>	Industrial (I) and River Corridor (RC)	Urban Estate (UE)	Urban Estate (UE)	Urban Estate (UE)
<b>Land Use</b>	Prospect Ponds Natural Area across the Great West Railroad	Bucking Horse single family residential	Sunshine House childcare	Bucking Horse single family residential

## B. OVERVIEW OF MAIN CONSIDERATIONS

Staff review of the project was straightforward with virtually no issues, largely because the park site has been planned over the years as part of larger Bucking Horse development and was reaffirmed in the Sunshine House childcare development next door on the east. Those developments provide infrastructure for utilities, transportation, and parking. Also, because the park was programmed and designed in full collaboration with the neighborhood through three neighborhood meetings, public outreach has been non-controversial, with positive anticipation for the new park to be built.

Only one issue required significant work by applicants and staff. A drainage channel runs along the existing trail along the northeast perimeter of the park and as part of replacing the walkway in a separate but related project, the channel will be re-graded, and the technical requirements for the drainage were discussed extensively in plan iterations.

## C. PARKS AND RECREATION POLICY PLAN

The Parks and Recreation Policy Plan is the guiding document for build-out of the City's system of parks and recreation facilities. It was first adopted in 1996, updated in 2008, and updated in 2021. It identifies this park as a planned part of the City's system being implemented with this development plan.

## 2. Public Outreach

### A. NEIGHBORHOOD MEETINGS

The design is based on outreach in neighborhood meetings, consistent with standard practice for City neighborhood parks.

Pursuant to *Section 2.2.2 – Step 2: Neighborhood Meetings*, a neighborhood meeting was not *required* for this land use, which is subject to the ‘Basic Development Review’ process. However, two meetings were conducted as part of Parks’ established practice to develop the park programming and design in collaboration with the public, from concepts to the complete development plan.

Neighborhood Meeting #1 was held in-person on 11.20.19 (notes attached).

Neighborhood Mtg #2 was held virtually on May 27, 2020 (notes attached).

### B. PUBLIC COMMENTS:

No public contact has been received since submittal.

## 3. Article 2 – Applicable Standards

### A. BACKGROUND

Land Use Code Division 2.17, CITY PROJECTS, requires all projects for which the City is the applicant to be reviewed and decided by the Planning and Zoning Board regardless of any other review process listed in the pertinent zoning district. (‘Basic Development Review’ in the Urban Estate zone in this case.)

This use, ‘Neighborhood parks as defined by the Parks and Recreation Policy Plan’, is listed in the zone as being subject to ‘Basic Development Review’ in which staff would otherwise make the decision administratively.

### B. PROJECT DEVELOPMENT PLAN PROCEDURAL OVERVIEW

#### 1. Conceptual Review – CDR200015

A conceptual review meeting was held on March 5, 2020.

#### 2. First Submittal – PDP200002

The first submittal of this project was completed on November 12, 2021.

#### 3. Neighborhood Meetings

11.20.2019, and 5.27.2020. 422 addresses mailed.

#### 4. Notice (Posted, Written and Published)

Posted Notice: November 19, 2021, Sign #657

Written Hearing Notice: April 7, 2022, 274 addresses mailed.

Published Hearing Notice: April 10, 2022 in the Coloradoan.



## 4. Article 3 - Applicable Standards

### A. DIVISION 3.2 - SITE PLANNING AND DESIGN STANDARDS


Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<b>3.2.1 – Landscaping and Tree Protection</b>	<p>This Code Section requires a fully developed landscape plan that addresses relationships of landscaping to the organization of outdoor space, the buildings and park features, surrounding streets and the neighborhood, and various users of the site in a manner appropriate to the neighborhood context.</p> <p>The plan provides a complete plan with the following main components:</p> <ul style="list-style-type: none"> <li>• Street trees.</li> <li>• Additional tree plantings for shady groves at park entries and along the loop walkway, and a formal tree-lined promenade that unifies the features in the activity terrace.</li> <li>• A naturalistic perimeter landscape of native grasses and mixed tree plantings including evergreens.</li> <li>• Planting beds to define spaces and complement the various features in the plan.</li> <li>• An irrigated multi-use lawn.</li> </ul>	Complies
<b>3.2.2 – Access, Circulation and Parking</b>	<p>This Code Section requires secure, convenient, efficient circulation and parking improvements that add to the attractiveness of the development.</p> <p>The plan provides the following main components:</p> <ul style="list-style-type: none"> <li>• Convenient, direct walkway access from the street sidewalk and from additional access points on all other sides.</li> <li>• A walkway system as the organizing framework of the park.</li> <li>• A parking lot on the Sunshine House property next door, and on neighborhood streets, with 27 spaces along the frontage on the park sides of the street.</li> </ul> <p>Also, in a separate related project, an existing trail along the diagonal edge northeast edge of the park will be replaced “adopted” by the City to become part of the City regional trail system. The trail links the park to the Jessup Farm neighborhood center to the northwest, and to the Poudre River Trail to the southeast. It is indicated on the park site and landscape plans, with exact.</p>	Complies
<b>3.2.2(C)(4)(b) – Bicycle Parking Space Requirements</b>	<p>This Code Section requires bike parking at a ratio of 1 fixed rack space per 2,000 square feet of ‘Active Recreational Use’.</p> <ul style="list-style-type: none"> <li>• The plan indicates 7,831 square feet of active use, provides 8 rack spaces in multiple convenient locations, thus exceeding the minimum requirement which would be 4 spaces.</li> </ul>	Complies

<p><b>3.2.2(K)(2) – Nonresidential Parking Requirements</b></p>	<p>This Code subsection contains standard numerical requirements for off-street parking, listed by land use category. There is no stated standard for neighborhood parks as a use.</p> <p>Staff has no concern about parking because:</p> <ul style="list-style-type: none"> <li>• The street frontage abutting the park provides 27 parking spaces.</li> <li>• The park has 10 dedicated spaces in an abutting parking lot shared with Sunshine House to the east, including a handicap space.</li> <li>• The park is intended primarily for use by the neighborhood, with much of the usage expected and hoped to be accessed by people walking and bicycling.</li> <li>• In the event of an occasion needing more parking, the local public street network extends throughout the Bucking Horse development, of which the park is a part, and this street network is designed to include street parking.</li> </ul> <p>Strictly for the record, but not intended for consideration of approval or denial of the plan, staff notes that in cases like this where a use is not listed with parking requirements, if staff has concerns about undue impacts of parking, there is a history of established practice of mitigating impacts considering the most similar use that is listed.</p> <p>In this case, the site plan mentions Outdoor Recreation as the most similar use, which would requires .1 space per person capacity. This is not actually pertinent because the ‘outdoor recreation facility’ use is for active sports or recreation such as go-cart tracks, miniature golf, archery ranges, sport stadiums or the like, and may or may not feature stadium-type seating; thus, it is not part of staff’s findings.</p>	<p>Complies</p>
<p><b>3.2.4 – Site Lighting</b></p>	<p>This Code Section contains standards to ensure that the functional and security needs of the project are met in a way that does not adversely affect the adjacent properties or neighborhood.</p> <ul style="list-style-type: none"> <li>• The plan provides lighting on and within the buildings for extended evening use, with timers to enable shutoff at a certain time of night.</li> <li>• The photometric plan demonstrates compliance with lighting level limits. Lighting fixtures are fully shielded and down-directional, meeting color temperature requirements of 3,000K or less.</li> <li>• The total lighting budget for the site, and the Backlight, Uplight, and Glare (BUG) ratings of the fixtures comply with standards.</li> </ul>	<p>Complies</p>
<p><b>3.2.5 – Trash and Recycling Enclosures</b></p>	<p>This Code Section requires the provision of areas, compatible with the land use, for the collection, separation, storage, loading and pickup of trash and recyclable materials.</p> <ul style="list-style-type: none"> <li>• The plan provides standard City of Fort Collins receptacles for parks.</li> </ul>	<p>Complies</p>

**B. 3.4 ENVIRONMENTAL, NATURAL AREA, RECREATIONAL AND CULTURAL RESOURCE PROTECTION STANDARDS**

Code Standard Noted for the Record	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.4.1 – Natural Habitats</b></p>	<p>The purpose of this Section is to ensure that when property is developed consistent with its zoning designation, the way in which the proposed physical elements of the development plan are designed and arranged on the site will protect any natural habitats and features both on the site and in the vicinity of the site.</p> <p>This section applies if any portion of the development site is within five hundred feet of an area or feature identified as a natural habitat on the City’s Natural Habitats and Features Inventory Map. There is no such feature on the site.</p> <p>An Ecological Characterization Study was done pursuant to subsection 3.4.1(D)(1), prompted by the Poudre River riparian corridor with associated natural areas is a prominent aspect of the context of the site.</p> <p>Ecological function of the site is limited by local habitat fragmentation, site disturbance over time, and vegetation composition, and no mitigation measures were found necessary.</p>	<p>NA</p>

**C. 3.5 – BUILDING STANDARDS**

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
<p><b>3.5.1(B)(C)(E) &amp; (F) – Building Project and Compatibility</b></p>	<p>The purpose of this Section is to ensure that the physical and operational characteristics of proposed buildings and uses are compatible when considered within the context of the surrounding area. It includes standards for compatibility of the mass, scale, materials, and colors of buildings.</p> <ul style="list-style-type: none"> <li>• The plan features a restroom and a picnic shelter -- two small, simple, garden-style structures with shed roofs and timber colonnade features that integrate outdoor space and lead along a walkway spine from the main walking promenade.</li> <li>• Design and materials relate to the park landscape and the need to withstand public abuse. The roofs are PVC with ribs, exterior cladding is metal panels, and colonnades are heavy timber members.</li> </ul> 	<p>Complies</p>



**D. 3.6 TRANSPORTATION AND CIRCULATION**

<b>Applicable Code Standard</b>	<b>Summary of Code Requirement and Analysis</b>	<b>Staff Findings</b>
<b>3.6.4 – Transportation Level of Service Requirements</b>	<p>This Section is intended to ensure that the transportation network of streets, alleys, and trails is in conformance with adopted transportation plans and policies established by the City.</p> <ul style="list-style-type: none"> <li>• The park was planned as part of the overall development of the Bucking Horse neighborhood, and the infrastructure is built to accommodate the expected traffic. Therefore, a traffic study was waived.</li> <li>• The plan does, however, include a crosswalk across Miles House Avenue designed in collaboration with Traffic Operations staff.</li> </ul>	Complies
<b>3.6.6 – Emergency Access</b>	<p>This section is intended to ensure that emergency vehicles can gain access to, and maneuver within, the project so that emergency personnel can provide fire protection and emergency services without delays.</p> <ul style="list-style-type: none"> <li>• The primary entry walkway was designed as a fire lane extending into the park to comply with Poudre Fire Authority access requirements.</li> </ul>	Complies

Article 4 – Applicable Standards:

**E. DIVISION 4.2 URBAN ESTATE (UE) ZONE DISTRICT**

While the park site is within the UE-zoned portion of Bucking Horse, it serves the larger mixed neighborhood, which comprises multiple zones that all permit parks as basic neighborhood features.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
4.2(B)(1) – Permitted Uses	The proposed use, ‘Neighborhood parks as defined by the Parks and Recreation Policy Plan’, is permitted subject to Basic Development Review (BDR). As noted previously, a special requirement for review by the Planning and Zoning Board is required under Code Division 2.17 because the City is the applicant.	Complies

**5. Findings of Fact/Conclusion**

In evaluating the request for the Bucking Horse Neighborhood Park #BDR210011, staff makes the following findings of fact:

- The Project Development Plan complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Project Development Plan complies with pertinent standards located in Article 3 – General Development Standards.
- The Project Development Plan complies with a pertinent standard located in Division 4.2, Urban Estate (UE) Zone District.

**6. Recommendation**

Staff recommends that the Planning and Zoning Board approve Bucking Horse Neighborhood Park PDP210011 based on the analysis and Findings of Fact in this Staff Report.

**7. Attachments**

1. Applicants’ Narrative
2. Renderings
3. Site Plan
4. Landscape Plan
5. Architectural Elevations
6. Lighting Plan
7. Utility Plans
8. Neighborhood Meeting Notes
9. Staff Presentation

## **PROJECT INFORMATION and DESIGN NARRATIVE**

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Bucking Horse Neighborhood Park | November 10, 2021

### **Site**

This 6.1 acre proposed neighborhood park is located within the Bucking Horse neighborhood along Miles House Avenue between Nancy Gray Avenue and East Drake Road. The site can be accessed from Miles House Avenue or the adjacent trail spur that connects the neighborhood to the Poudre Trail near Drake and Ziegler. The park has on-street parking along Miles House Avenue as well as 10 parking spaces in the shared parking lot with the Sunshine House immediately to the south. The site provides a loop walkway around the perimeter of the park. Berming is proposed along the park perimeter to create visual interest and provide buffer to adjoining properties to the north and south as well as from the street to the west. A large multi-purpose open space is provided near the street frontage and an activity terrace is located towards the back of the park, overlooking the off-site natural drainage. The activity terrace is planned to provide a diversity of recreational opportunities from passive to active, with the most passive uses being adjacent to the single-family residential properties on the north and the more active uses adjacent to the daycare on the south. A soft surface promenade provides connection to each of the recreational spaces along the activity terrace while providing an overlook over the irrigated multi-purpose lawn below.

### **Landscape**

The landscape design incorporates native and adaptive plant species that provide wildlife habitat and are beneficial to pollinators. Shade trees provide an overhead canopy along the detached sidewalk along Miles House Avenue, form shady groves at park entries and along the loop walk, line the promenade and provide shade for the playground. Evergreen trees provide year-round color, dense buffers and wildlife cover. Ornamental trees add additional seasonal interest, offer unique sculptural qualities, and bring a human scale to recreational spaces. Planting beds offer a ground layer of plant material that benefit wildlife and create a sense of separation between use areas.

### **Architecture**

The Restroom and Picnic Shelter are at the heart of the Bucking Horse Park. The restroom building is just under 550 SF. It comprises of a women's and men's restroom. Both restrooms have two stalls for use. The fixtures selected are tamper resistant and very durable. There is also a small storage room that allows Parks staff access to the utilities for maintenance and upkeep of the building and park. The restrooms have painted CMU walls on the interior and a metal panel for the exterior cladding. The roof is a single slope PVC roof membrane with simulated standing seam ribs. There is a series of asymmetrical heavy timber colonnades that draw the user from the main walking promenade past the restrooms to the Picnic Shelter. This shelter is a simple open-air structure with a single sloping roof matching the roof on the restrooms.

### **Utilities**



The Bucking Horse Park site currently has an existing 1.5" water service and 4" sewer service that are located at the south end of the site, near the Sunshine House. The new project proposes to use the existing 1.5" water service for irrigation purposes, however, due to the distance from the restrooms, the existing sewer service is planned to be removed. In addition to this utility work, the project plans to install a new ¾" water service and a new 4" sewer service from Miles House to the restrooms.

### **Drainage and Grading**

The project plans to follow existing drainage patterns and concepts established with the previous Bucking Horse filings. In general, stormwater will be conveyed from Miles House to the east via a combination of overland flow, swales and storm drains that will ultimately release into the large channel on the east side of the park, which will then direct flows to the large detention pond (Pond 215).









# Bucking Horse Park

2410 Miles House Avenue  
Fort Collins, Colorado 80525

## Basic Development Review Submittal

City of Fort Collins  
Park Planning & Development  
215 North Mason Street  
Fort Collins, Colorado 80524  
Tel: 970.221.6380  
www.fortcollins.gov/planning

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987  
OR 534-6700 IN METRO AREA  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MAINTENANCE OF UNDERGROUND MEMBER UTILITIES.

Vicinity Map Scale NTS



Schedule of Drawings

- C001 - Site Plan Cover Sheet
- LS101 - Overall Site Plan
- LS102 - Site Plan Enlargement
- LS103 - Site Plan Enlargement

Legal Description

Tract B, Bucking Horse Filing Two, City of Fort Collins, County of Larimer, State of Colorado

SITE PLAN NOTES

1. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
2. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
3. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
4. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
5. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
6. ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
7. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
8. FIRE HYDRANTS MUST MEET OR EXCEED POUDBRE FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
9. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
10. ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
11. COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS ASSOCIATION. THE PROPERTY OWNERS ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
12. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
13. FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
14. PREMISE IDENTIFICATION: AN ADDRESSING PLAN IS REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY AND POUDBRE FIRE AUTHORITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. UNLESS THE PRIVATE DRIVE IS NAMED, MONUMENT SIGNAGE MAY BE REQUIRED TO ALLOW WAY FINDING. ALL BUILDINGS SHALL HAVE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE, VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, AND POSTED WITH A MINIMUM OF SIX INCH NUMERALS ON A CONTRASTING BACKGROUND, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
15. PROPOSED BENCHES ALLOWED TO BE REDUCED BY 50% IN QUANTITY OR LOCATION MODIFIED WITHOUT REQUIRING A MINOR AMENDMENT.
16. PROPOSED EDGING TYPES AND LOW BARRIER FENCING ALLOWED TO BE REDUCED IN QUANTITY WITHOUT REQUIRING A MINOR AMENDMENT.
17. PROPOSED ARCHITECTURAL POST & BEAM ELEMENTS ALLOWED TO BE REDUCED IN QUANTITY WITHOUT REQUIRING A MINOR AMENDMENT.
18. ALL INTERIOR SIDEWALKS MAY BE USED FOR PUBLIC ACCESS.

Land Use Table

Existing Zoning	UE - Urban Estate		
Proposed Uses	Park, Recreation, Open Space Playground, Sidewalks		
Maximum Building Height Permitted	4 Stories (I)		
Maximum Building Height Proposed	2 Stories		
Gross Site Area	6.14 AC	267,810 SF	
Estimated Floor Area	0.1 AC	549 SF	
Floor Area Ratio	0.001		
Public ROW	0 AC	0 SF	
Net Site Area	6.1 AC	267,810 SF	
Overall Land Use Data:			
Building Coverage (Appx)	0.01 AC	549 SF	0%
Parking & Drives (Appx)	0 AC	0 SF	0%
Public ROW	0 AC	0 SF	0%
Open Space/Landscape Area	5.96 AC	259,430 SF	97%
Active Recreational Use	0.18 AC	7,831 SF	3%
Total	6.1 AC	267,810 SF	100%

Parking Requirements:  
Ratios: 0.1/Person - 0.3/Person (Outdoor Recreation)

Off-Street (Recreational)	9 space	1 ADA
Total - On-Street 27 parking spaces along Miles House Avenue (north side of the street)		

Bicycle Parking:  
Ratios: 1/ 2,000 SF (Min. 4)  
Active Recreational Use: 7,831 SF = 4

	Required	Provided
Recreational	4 Fixed	8 Fixed
	0 Enclosed	0 Enclosed
Total	4	8

OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNER/S OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER (SIGNED) \_\_\_\_\_ DATE \_\_\_\_\_

OWNER (SIGNED) \_\_\_\_\_ DATE \_\_\_\_\_

(STATE OF \_\_\_\_\_ )  
(COUNTY OF \_\_\_\_\_ ) SS \_\_\_\_\_

SUBSCRIBED AND SWORN TO BE BEFORE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC \_\_\_\_\_

ADDRESS \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES DIRECTOR  
APPROVED BY THE CURRENT COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES DIRECTOR OF THE CITY OF FORT COLLINS, COLORADO, THIS \_\_\_\_\_ OF \_\_\_\_\_, 20\_\_\_\_.

COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES DIRECTOR \_\_\_\_\_

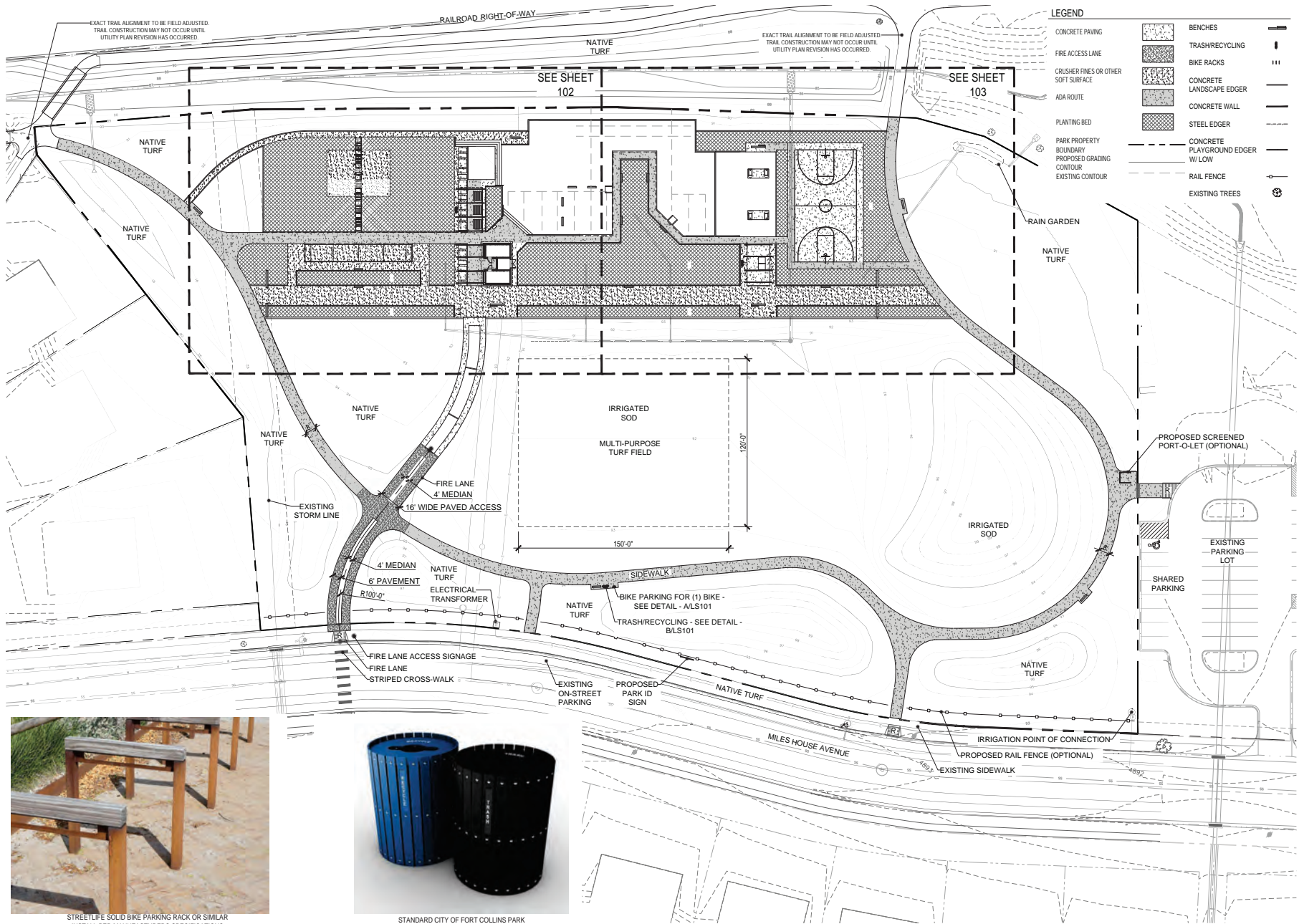
**BUCKING HORSE PARK**  
 BASIC DEVELOPMENT REVIEW SUBMITTAL  
**CITY OF FORT COLLINS**  
**FORT COLLINS, COLORADO**

PROJ. NO. ....  
DRAWN: JT  
CHECKED: KF  
APPROVED: KF  
DATE: APRIL 05, 2022  
REVISIONS: .  
REVIEW SET  
NOT FOR CONSTRUCTION

BUCKING HORSE PARK  
ISSUED FOR:  
BDR SUBMITTAL

SHEET TITLE:  
SITE PLAN  
COVER SHEET

SCALE:  
SHEET NUMBER  
**C001**



**LEGEND**

CONCRETE PAVING	BENCHES
FIRE ACCESS LANE	TRASH/RECYCLING
CRUISER FINES OR OTHER SOFT SURFACE	BIKE RACKS
ADA ROUTE	CONCRETE LANDSCAPE EDGER
PLANTING BED	CONCRETE WALL
PARK PROPERTY BOUNDARY	STEEL EDGER
PROPOSED GRADING CONTOUR	CONCRETE PLAYGROUND EDGER W/LOW
EXISTING CONTOUR	RAIL FENCE
	EXISTING TREES

**City of Fort Collins**  
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 OR 534-6700 IN METRO SERVICE  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MAINTENANCE OF UNDERGROUND MEMBER UTILITIES.

**BUCKING HORSE PARK**  
 BASIC DEVELOPMENT REVIEW SUBMITTAL  
 CITY OF FORT COLLINS  
 FORT COLLINS, COLORADO

PROJ. NO. ...  
 DRAWN: JT  
 CHECKED: KF  
 APPROVED: KF  
 DATE: APRIL 05, 2022  
 REVISIONS:  
 REVIEW SET  
 NOT FOR CONSTRUCTION

**BUCKING HORSE PARK**  
 ISSUED FOR:  
 BDR SUBMITTAL  
 SHEET TITLE:  
 OVERALL SITE PLAN  
 SCALE: 1"=30'-0"  
 SHEET NUMBER  
**LS101**



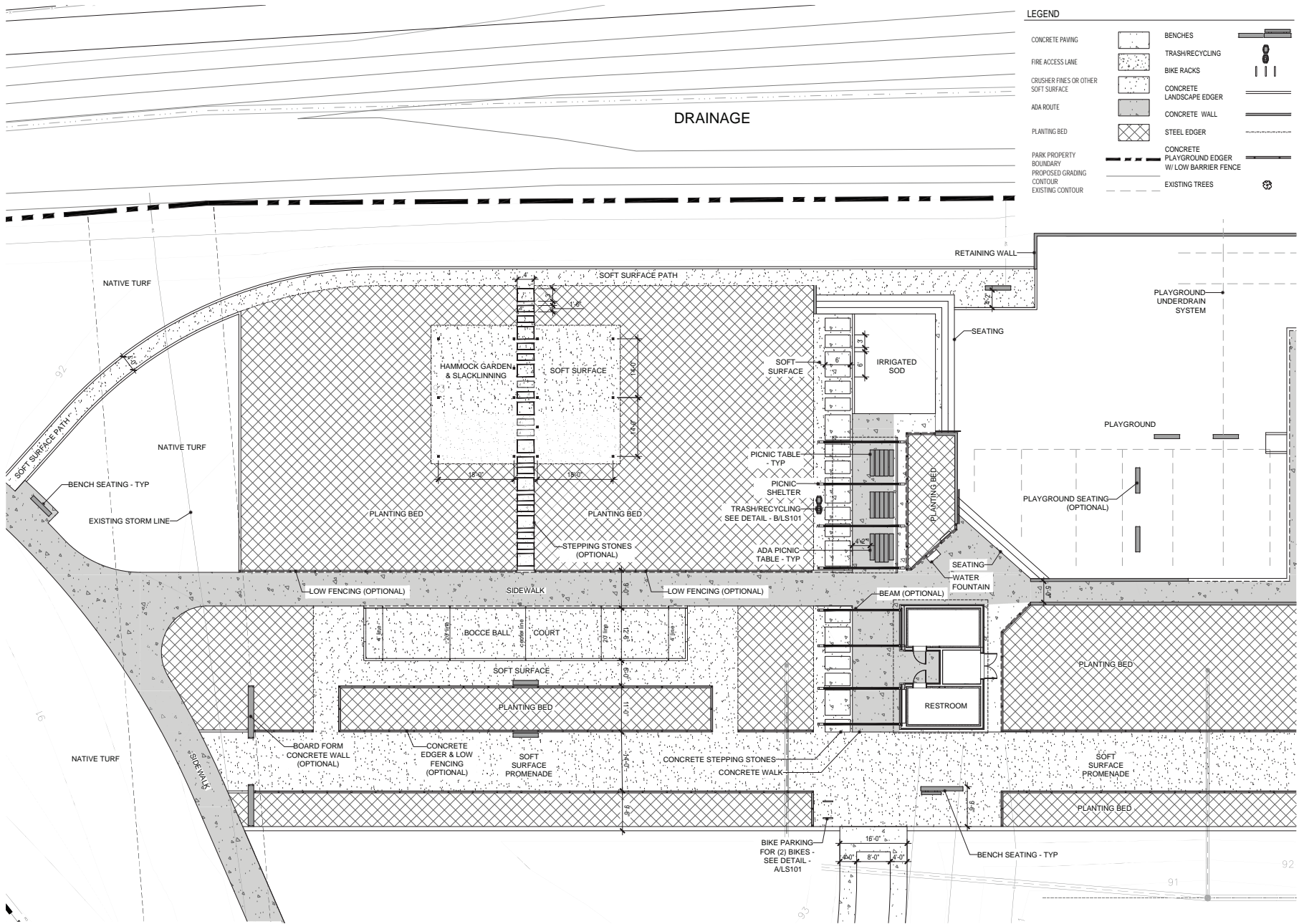
**(A) BIKE RACK**  
 SCALE: NTS



**(B) TRASH & RECYCLING**  
 SCALE: NTS

**(C) OVERALL SITE PLAN**  
 SCALE: 1"=30'-0"





**LEGEND**

CONCRETE PAVING		BENCHES	
FIRE ACCESS LANE		TRASH/RECYCLING	
CRUSHER FINES OR OTHER SOFT SURFACE		BIKE RACKS	
ADA ROUTE		CONCRETE LANDSCAPE EDGER	
PLANTING BED		CONCRETE WALL	
PARK PROPERTY BOUNDARY		STEEL EDGER	
PROPOSED GRADING CONTOUR		CONCRETE PLAYGROUND EDGER W/ LOW BARRIER FENCE	
EXISTING CONTOUR		EXISTING TREES	

**City of Fort Collins**  
 Park Planning & Development  
 215 North Mason Street  
 Fort Collins, Colorado 80524  
 Tel: 970.221.6380  
 www.fgov.com/parkplanning

CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
 1-800-922-1987  
 OR 534-6700 IN METRO AREA

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 FORT COLLINS, COLORADO

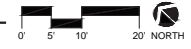
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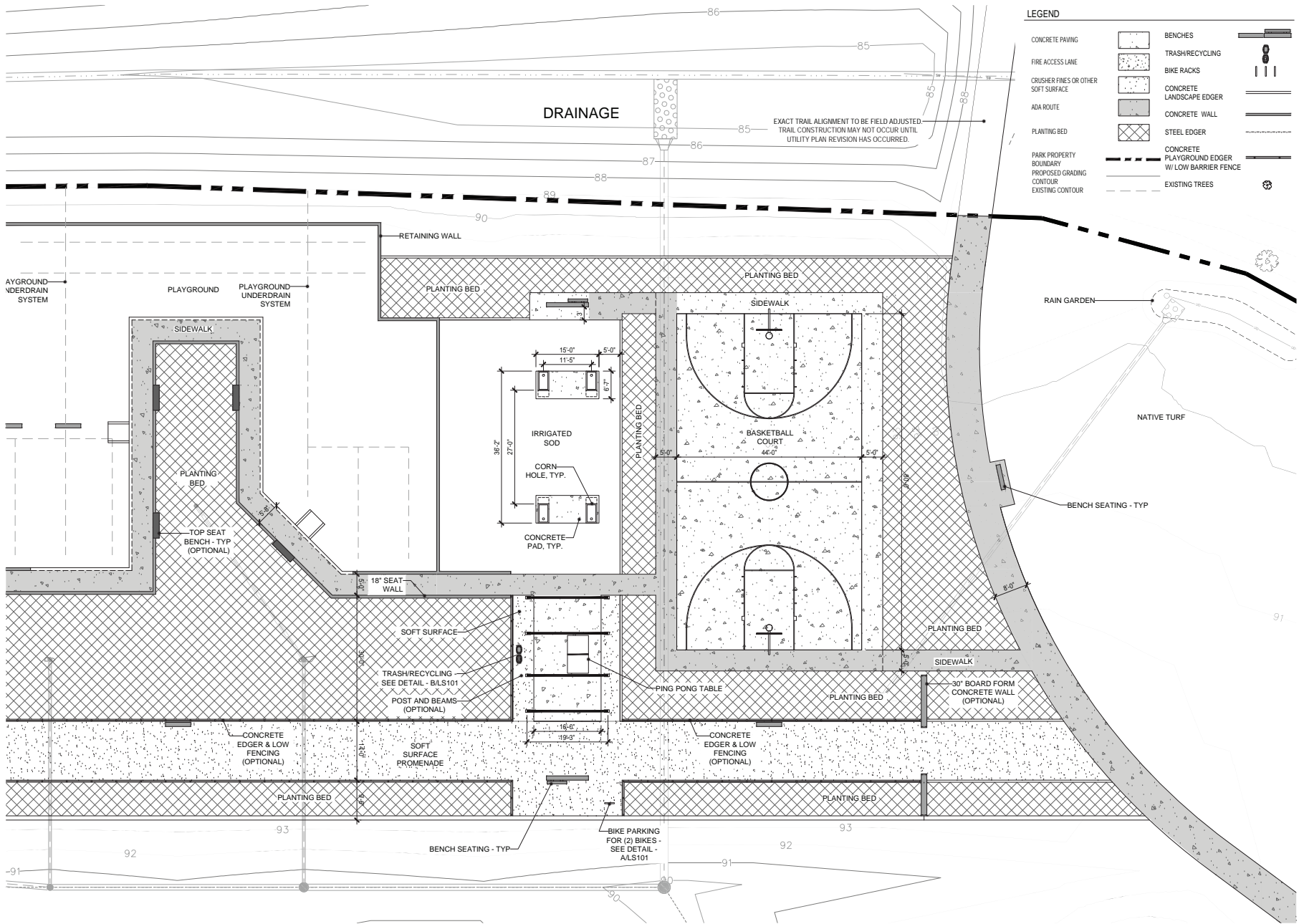
SHEET TITLE:  
 SITE PLAN  
 ENLARGEMENT

SCALE: 1"=30'-0"  
 SHEET NUMBER  
**LS102**

**A** SITE PLAN ENLARGEMENT  
 SCALE: 1"=10'-0"







**LEGEND**

CONCRETE PAVING		BENCHES	
FIRE ACCESS LANE		TRASH/RECYCLING	
CRUSHER FINES OR OTHER SOFT SURFACE		BIKE RACKS	
ADA ROUTE		CONCRETE LANDSCAPE EDGER	
PLANTING BED		CONCRETE WALL	
PARK PROPERTY BOUNDARY		STEEL EDGER	
PROPOSED GRADING CONTOUR		CONCRETE PLAYGROUND EDGER W/ LOW BARRIER FENCE	
EXISTING CONTOUR		EXISTING TREES	

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 FORT COLLINS, COLORADO

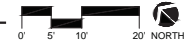
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BUCKING HORSE PARK  
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SHEET TITLE:  
 SITE PLAN  
 ENLARGEMENT

SCALE: 1"=30'-0"  
 SHEET NUMBER  
**LS103**

**A SITE PLAN ENLARGEMENT**  
 SCALE: 1"=10'-0"



# Bucking Horse Park

2410 Miles House Avenue  
Fort Collins, Colorado 80525

## Basic Development Review Submittal



Park Planning & Development  
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Fort Collins, Colorado 80524  
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UTILITIES

### Vicinity Map

Scale 1"=1000'



### GENERAL LANDSCAPE NOTES

- PLANT QUALITY:** ALL PLANT MATERIAL SHALL BE A GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AA) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
- IRRIGATION:** ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- TOPSOIL:** TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- SOIL AMENDMENTS:** SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. Prior to the issuance of any certificate of occupancy, A written certification MUST BE SUBMITTED TO THE CITY that all planted areas, or areas to be planted, have been thoroughly loosened and the soil amended, consistent with the requirements set forth in SECTION 12-132.
- INSTALLATION AND GUARANTEE:** ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- MAINTENANCE:** TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- REPLACEMENT:** ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
- THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:**  
40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS  
15 FEET BETWEEN ORNAMENTAL TREES AND STREET LIGHTS  
10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES  
6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES.  
4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES  
4 FEET BETWEEN TREES AND GAS LINES
- ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 3.2.1(D)(2)(a).**
- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.**
- THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.**
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS UNLESS OTHERWISE NOTED ON THESE PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED.**
- PLANTING SUBSTITUTIONS ARE NOT PERMITTED WITHOUT APPROVAL FROM THE OWNER/LANDSCAPE ARCHITECT.**
- ALL PLANTING BEDS MUST BE MULCHED TO A MINIMUM OF THREE INCHES WITH WOOD MULCH.**
- TREES LOCATED IN TURF TO HAVE 48" DIAMETER WOOD MULCH RING.**
- LAYOUT TO BE APPROVED BY A CITY REPRESENTATIVE PRIOR TO INSTALLATION.**
- EXISTING TREES TO BE RETAINED AND PROTECTED UNLESS OTHERWISE NOTED.**
- NO TREES SHALL BE REMOVED DURING THE SONGBIRD NESTING SEASON (FEBRUARY 1 TO JULY 31) WITHOUT FIRST HAVING A PROFESSIONAL ECOLOGIST OR WILDLIFE BIOLOGIST COMPLETE A NESTING SURVEY TO IDENTIFY ANY ACTIVE NESTS EXISTING ON THE PROJECT SITE. THE SURVEY SHALL BE SENT TO THE CITY ENVIRONMENTAL PLANNER. IF ACTIVE NESTS ARE FOUND, THE CITY WILL COORDINATE WITH THE RELEVANT STATE AND FEDERAL REPRESENTATIVES TO DETERMINE WHETHER ADDITIONAL RESTRICTIONS ON TREE REMOVAL AND CONSTRUCTION APPLY.**

### TREE PROTECTION NOTES

- ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL.
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUCK OR ONE HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE 'RIBBONED OFF' RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE LARGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BRESTH HEIGHT AS DESCRIBED IN THE CHART BELOW.

Tree Dia. Breast Height (inches)	Auger Distance from Face of Tree (feet)
1-2	2
3-4	2
5-8	5
10-14	10
15-19	12
Over 19	15

- ALL TREE REMOVAL SHOWN SHALL BE COMPLETED OUTSIDE OF THE SONGBIRD NESTING SEASON (FEB 1 - JULY 31) OR CONDUCT A SURVEY OF TREES ENSURING NO ACTIVE NESTS IN THE AREA.

### STREET TREE NOTES

- A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL MUST BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
- STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES. ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORERS WHERE REQUIRED BY CODE. STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
- THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, WITH AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- SUBJECT TO APPROVAL BY THE CITY FORESTER - STREET TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION IS APPROVED BY THE CITY TO MEET SEPARATION STANDARDS.

### Schedule of Drawings

- C002 - Landscape Plan Cover Sheet
- M100 - Tree Inventory Plan
- LP001 - Planting Seed Mix Information
- LP100 - Plant Sheet Index
- LP101 - Tree & Grass Planting Plan
- LP102 - Shrub & Perennial Planting Plan
- LP103 - Shrub & Perennial Planting Plan
- LP104 - Shrub & Perennial Planting Plan

### Legal Description

Tract B, Bucking Horse Filing Two, City of Fort Collins, County of Larimer, State of Colorado

**BUCKING HORSE PARK**  
 BASIC DEVELOPMENT REVIEW SUBMITTAL  
**CITY OF FORT COLLINS**  
**FORT COLLINS, COLORADO**

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**BUCKING HORSE PARK**  
 ISSUED FOR:  
 BDR SUBMITTAL  
 SHEET TITLE:  
 LANDSCAPE PLAN  
 COVER SHEET  
 SCALE:  
 SHEET NUMBER  
**C002**

BUCKING HORSE INVENTORY AND MITIGATION INFORMATION

#	SPECIES	DBH	CONDITION	MITIGATION	STATUS
1	SENSATION BOX ELDER	3	FAIR+	0	REMOVE
2	SENSATION BOX ELDER	3	FAIR+	0	REMOVE
3	AUSTRIAN PINE	3	FAIR	0	REMOVE
4	AUSTRIAN PINE	3	FAIR+	0	REMOVE
5	AUSTRIAN PINE	3	FAIR	0	REMOVE
6	SENSATION BOX ELDER	2	POOR	0	REMOVE
7	SENSATION BOX ELDER	2	POOR	0	REMOVE

8	SENSATION BOX ELDER	2	POOR	0	REMOVE
9	SENSATION BOX ELDER	2	DEAD	0	REMOVE
10	SENSATION BOX ELDER	3	FAIR+	0	REMOVE
11	RUSSIAN OLIVE	4	FAIR+	0	REMOVE
12	AUSTRIAN PINE	3	GOOD	0	REMOVE
13	SENSATION BOX ELDER	3	FAIR	0	REMOVE
14	LANCELEAF COTTONWOOD	4	FAIR	0	REMOVE

LEGEND

-  EXISTING TREE TO BE REMOVED
-  EXISTING TREES TO REMAIN AND BE PROTECTED

TOTAL MITIGATION QUANTITY: -  
 0 MITIGATION TREES ARE REQUIRED AND MUST BE SIZED AT THE FOLLOWING CALIPER: 2" CALIPER BALL AND BURLAPPED.

CITY FORESTER SIGNATURE BLOCK  
 APPROVED BY THE CITY FORESTER OF THE CITY OF FORT COLLINS, CO ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_



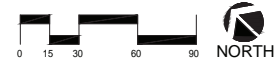
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**M100**



**NATIVE SEED MIX NOTES**

1. THE TIME OF YEAR SEEDING IS TO OCCUR SHOULD BE OCTOBER THROUGH EARLY MAY.
2. PREPARE SOIL AS NECESSARY AND APPROPRIATE FOR NATIVE SEED MIX SPECIES THROUGH LOOSENING AND ADDITION OF AMENDMENTS THAT PROMOTE WATER ABSORPTION AND RELEASE, THEN SEED IN TWO DIRECTIONS TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA. DRILL SEED ALL INDICATED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS.
3. IF CHANGES ARE TO BE MADE TO SEED MIX BASED ON SITE CONDITIONS THEN APPROVAL MUST BE PROVIDED BY CITY ENVIRONMENTAL PLANNER.
4. APPROPRIATE NATIVE SEEDING EQUIPMENT WILL BE USED (STANDARD TURF SEEDING EQUIPMENT OR AGRICULTURE EQUIPMENT SHALL NOT BE USED).
5. DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/8 INCH DEPTH. FOR BROADCAST SEEDING INSTEAD OF DRILL SEEDING METHOD DOUBLE SPECIFIED APPLICATION RATE. REFER TO NATIVE SEED MIX TABLE FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
6. PREPARE A WEED MANAGEMENT PLAN TO ENSURE THAT WEEDS ARE PROPERLY MANAGED BEFORE, DURING AND AFTER SEEDING ACTIVITIES.
7. AFTER SEEDING THE AREA SHALL BE COVERED WITH CRIMPED STRAW, JUTE MESH, OR OTHER APPROPRIATE METHODS.
8. WHERE NEEDED, TEMPORARY IRRIGATION SHOULD BE PROVIDED UNTIL SEED IS GERMINATED THEN WHEN THE SEED FROM IRRIGATION IF IRRIGATION IS USED, THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING AND SHALL ENSURE 100% HEAD-TO-HEAD COVERAGE OVER ALL SEEDED AREAS. ALL METHODS AND REQUIREMENTS IN THE APPROVED IRRIGATION PLAN SHALL BE FOLLOWED.
9. CONTRACTOR SHALL MONITOR SEEDED AREA FOR PROPER IRRIGATION, EROSION CONTROL, GERMINATION AND RESEEDING AS NEEDED TO ESTABLISH COVER.
10. THE APPROVED NATIVE SEED MIX AREA IS INTENDED TO BE MAINTAINED IN A NATURAL LIKE LANDSCAPE AESTHETIC. DO NOT MOW DURING HOT, DRY PERIODS. DO NOT MOW LOWER THAN 6 TO 8 INCHES IN HEIGHT TO AVOID INHIBITING NATIVE PLANT GROWTH.
11. NATIVE SEED AREA WILL BE CONSIDERED ESTABLISHED WHEN SEVENTY PERCENT VEGETATIVE COVER IS REACHED WITH LESS THAN TEN PERCENT OF COVER CONSISTING OF NOXIOUS WEEDS, NO BARE SPOTS LARGER THAN ONE FOOT SQUARE, AND/OR UNTIL DEEMED ESTABLISHED BY CITY PLANNING SERVICES AND EROSION CONTROL.
12. THE DEVELOPER AND/OR LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE SEEDLING COVERAGE AND GROWTH AT THE TIME OF FINAL STABILIZATION, AS DEFINED BY STATE AND LOCAL AGENCIES. IF FINAL STABILIZATION IS NOT ACHIEVED TO THE SATISFACTION OF THE AGENCY, THE DEVELOPER AND/OR LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES TO SATISFY FINAL VEGETATIVE REQUIREMENTS FOR CLOSEOUT.

**NATIVE TURF - TYPE 1  
(Western Native Seed - Short Grass Prairie Grasses Mix)**

seeding rate: 2 lbs per 1,000 sq.ft. or 25 lbs per acre

APPLICATION RATE	BOTANICAL NAME	COMMON NAME
40 %	Buchloe dactyloides	(Buffalograss)
30 %	Pascopyrum smithii	(Western Wheatgrass)
10 %	Boutelous gracilis	(Blue Grama)
10 %	Pleuraphis jamesii	(Galleta)
10 %	Boutelous curtipendula	(Side Oats Grama)

**NATIVE TURF - TYPE 1  
(Western Native Seed - Short Grass Prairie Wildflower Mix)**

seeding rate: 8oz per 1,000 sq.ft

APPLICATION RATE	BOTANICAL NAME	COMMON NAME
10 %	Cleome serrulata	(Rocky Mt Beepplant)
10 %	Engelmannia peristenia	(Engelmann Daisy)
10 %	Ratibida columnifera	(Prairie Coneflower)
10 %	Dalea purpurea	(Purple Prairie Clover)
10 %	Liatris punctata	(Dotted Gayfeather)
10 %	Linum perenne lewisii	(Blue Flax)
10 %	Dalea candida	(White Prairie Clover)
10 %	Thelesperma filifolium	(Greenthread)
5 %	Coreopsis tinctoria	(Plains Coreopsis)
5 %	Mirabilis multiflora	(Wild Four O Clock)
3 %	Machaeranthera tanacetifolia	(Tansy Aster)
3 %	Argemone polyanthemos	(Prickly Poppy)
2 %	Penstemon angustifolius	(Pagoda Penstemon)
1 %	Sphaeralcea coccinea	(Scarlet Globemallow)
1 %	Stanleya pinnata	(Princes Plume)

Note: To be applied after grasses are established

**NATIVE TURF - TYPE 2  
(Western Native Seed - High Plains/Foothills Wet Meadow Mix)**

seeding rate: 8oz per 1,000 sq.ft

APPLICATION RATE	BOTANICAL NAME	COMMON NAME
15 %	Bolboschoenus maritimus	(Alkali Bulrush)
15 %	Elymus canadensis	(Canada Wildrye)
15 %	Panicum virgatum	(Switchgrass)
10 %	Eleocharis palustris	(Spikerush)
5 %	Carex praegracilis	(Black Creeper Sedge)
5 %	Carex nebrascensis	(Nebraska Sedge)
5 %	Deschampsia cespitosa	(Tufted Hairgrass)
5 %	Schoenoplectus acutus	(Hard Stem Bulrush)
5 %	Schoenoplectus tabernaemontani	(Soft Stem Bulrush)
5 %	Schoenoplectus americanus	(Olney's Three-Square Bulrush)
5 %	Juncus balticus	(Baltic Rush)
5 %	Sorghastrum nutans	(Indian Grass)
4 %	Spartina pectinata	(Prairie Cordgrass)
1 %	Carex microptera	(Popcorn Sedge)

City of Fort Collins  
Park Planning & Development  
215 North Mason Street  
Fort Collins, Colorado 80524  
Tel: 970.221.6380  
www.fortcollins.gov/parkplanning

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987  
OR 534-6700 IN METRO SERVICE  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MAINTENANCE OF UNDERGROUND MEMBER UTILITIES.

**BUCKING HORSE PARK**  
 BASIC DEVELOPMENT REVIEW SUBMITTAL  
 CITY OF FORT COLLINS  
 FORT COLLINS, COLORADO

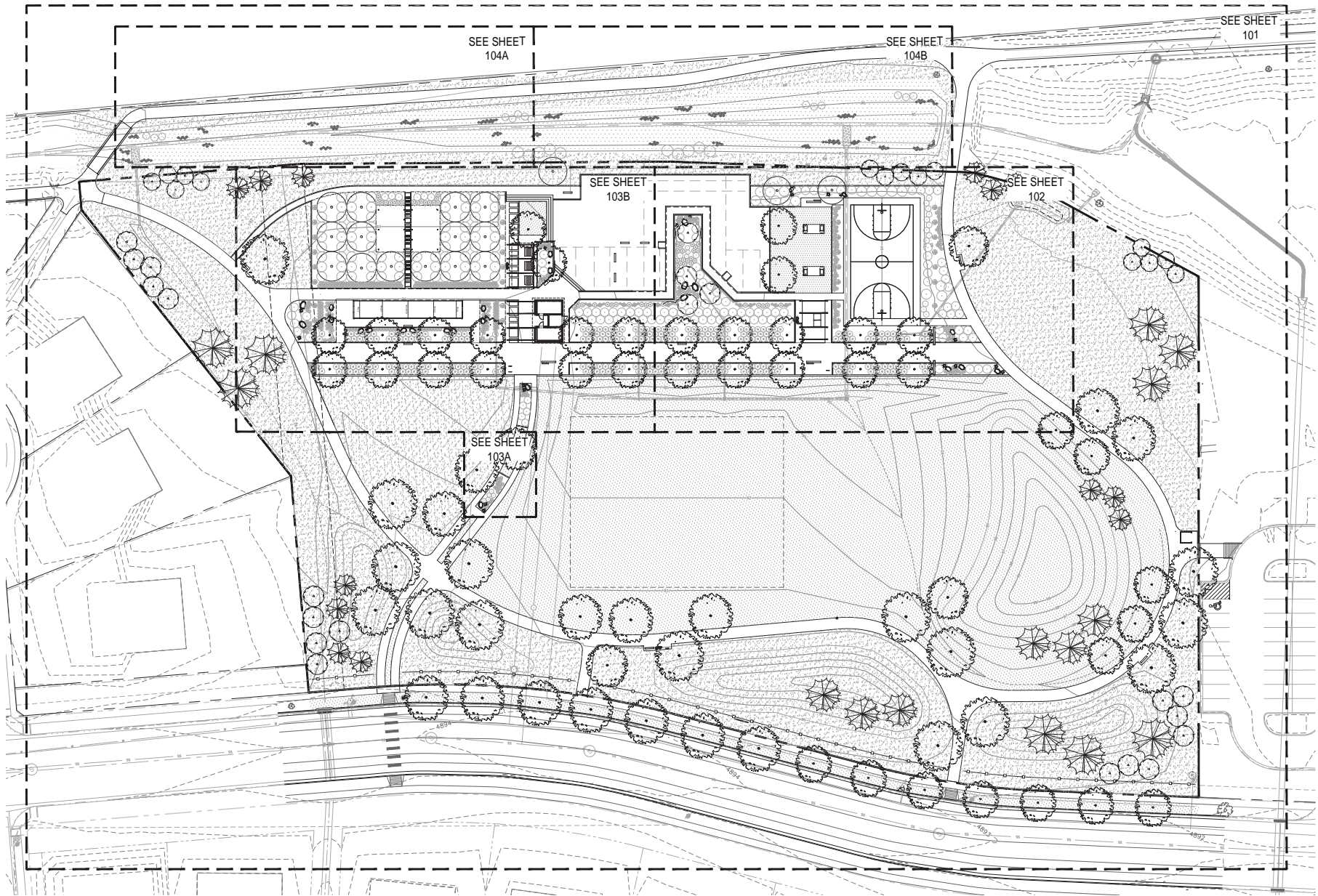
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 DRAWN: JT  
 CHECKED: KF  
 APPROVED: KF  
 DATE: APRIL 05, 2022  
 REVISIONS:  
 .  
 REVIEW SET  
 NOT FOR CONSTRUCTION

BUCKING HORSE PARK  
 ISSUED FOR:  
 BDR SUBMITTAL

SHEET TITLE:  
 LANDSCAPE SEED  
 MIX INFORMATION

SCALE:  
 SHEET NUMBER  
**LP001**





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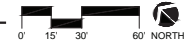
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 MEMBER UTILITIES

**BUCKING HORSE PARK**  
 BASIC DEVELOPMENT REVIEW SUBMITTAL  
 CITY OF FORT COLLINS  
 FORT COLLINS, COLORADO

PROJ. NO. ...  
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 DATE: APRIL 05, 2022  
 REVISIONS:  
 REVIEW SET  
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**BUCKING HORSE PARK**  
 ISSUED FOR:  
 BDR SUBMITTAL  
 SHEET TITLE:  
 PLANT SHEET INDEX  
 SCALE: 1"=30'-0"  
 SHEET NUMBER  
**LP100**

PLANT SHEET INDEX  
 SCALE: 1"=30'-0"





PLANT SCHEDULE

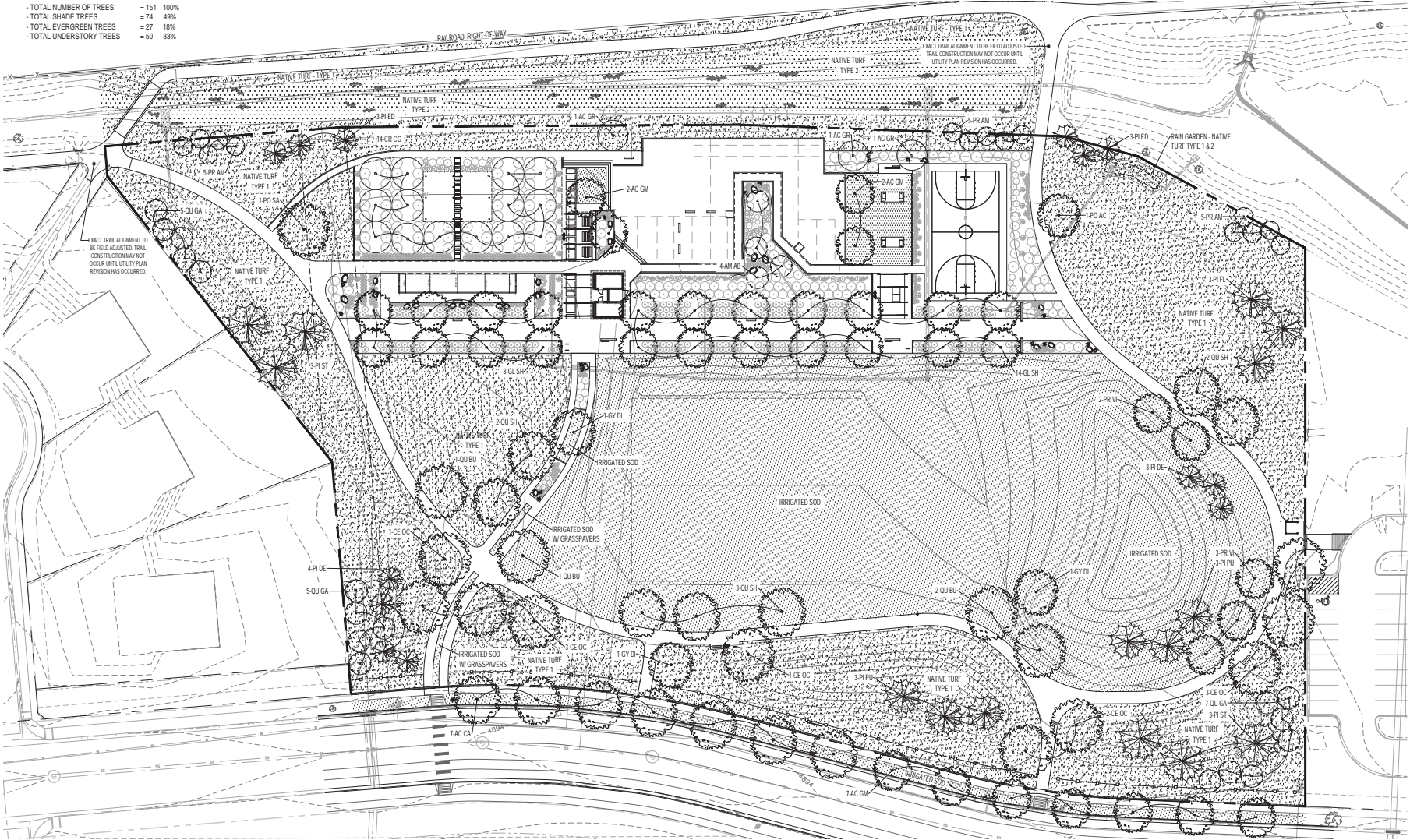
KEY	BOTANICAL NAME	COMMON NAME	HT.	SPR.	SIZE	HO	%	QTY
<b>DECIDUOUS SHADE TREES</b>								
AC DR	<i>Acer grandidentatum</i>	Bigtooth Maple	25-30'	20-30"	1 1/2" Cal.	M	3%	3
AC DM	<i>Acer saccharinum</i> 'Green Mountain'	Green Mountain Sugar Maple	40-50'	20-25"	2" Cal.	M	7%	11
AC CA	<i>Acer saccharum</i> 'Hackel'	Hackel Sugar Maple	40-50'	30-40"	2" Cal.	M	7%	11
CE OC	<i>Celtis occidentalis</i> 'Chingrichill'	Chingrichill Hackberry	40-60'	40-60"	2" Cal.	M	7%	11
SH BH	<i>Shuterea hircanica</i> (var.) 'Shutemaster'	Shutemaster Honeylocust	40-50'	30-40"	2" Cal.	M	15%	22
SP DI	<i>Gymnocladia dioica</i> 'Sopressa'	Sopressa Kentucky Coffee Tree	40-60'	30-38"	2" Cal.	M	7%	11
PD AC	<i>Populus aluminata</i> x <i>virginiana</i> 'Highland'	Highland Bottomwood	45-50'	35-40"	2" Cal.	L	1%	1
PD CA	<i>Populus virginiana</i> 'Vermont'	Vermont Striped Poplar	70-80'	40-50"	2" Cal.	L	1%	1
PR VI	<i>Prunus x virginiana</i> 'P0925'	Sucker Planch Chokecherry	25-30'	15-20"	2" Cal.	M	3%	5
QU SH	<i>Quercus shumardii</i>	Shumard Oak	40-50'	30-40"	2" Cal.	M	7%	11
QU BU	<i>Quercus buckleyi</i>	Texas Red Oak	50-60'	40-50"	2" Cal.	M	7%	11

- TOTAL NUMBER OF TREES = 151 100%  
 - TOTAL SHADE TREES = 74 49%  
 - TOTAL EVERGREEN TREES = 27 18%  
 - TOTAL UNDERSTORY TREES = 50 33%

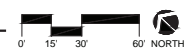
KEY	BOTANICAL NAME	COMMON NAME	HT.	SPR.	SIZE	HO	%	QTY
<b>DECIDUOUS UNDERSTORY TREES</b>								
AM AB	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	15-20'	10-15"	1 1/2" Cal.	M	3%	4
CR CG	<i>Cornus crataegifolia</i> 'nana'	Thornless Cocksap Hawthorn	20-25'	20-25"	1 1/2" Cal.	M	3%	4
PR AM	<i>Prunus americana</i>	American Plum	10-20'	8-12"	1 1/2" Cal.	M	10%	15
QU GA	<i>Quercus grisea</i>	Overcup White Oak	10-20'	10-15"	1 1/2" Cal.	M	11%	17
<b>EVERGREEN TREES</b>								
PI DE	<i>Pinus glauca</i> 'Monstar'	Black Hills Spruce	30-40'	14-20"	1 1/2" Cal.	M	4%	6
PI SD	<i>Pinus edulis</i>	Pinon Pine	25'	15"	2"	L	4%	6
PI PU	<i>Pinus pungens</i>	Scrub Pine	40'	28-30"	1 1/2" Cal.	M	4%	6
PI FL	<i>Pinus flaccida</i>	Littler Pine	30-50'	35-50"	2" Cal.	M	3%	4
PI ST	<i>Pinus strobus</i>	Southeastern White Pine	40-50'	30-40"	1 1/2" Cal.	M	4%	6

PLANT LEGEND

- IRRIGATED SOD
- NATIVE TURF TYPE 1
- NATIVE TURF TYPE 2
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS UNDERSTORY TREE
- PROPOSED SHRUBS/PERENNIALS & ORNAMENTAL GRASSES
- PLUGS
- LANDSCAPE BOULDERS
- EXISTING TREES



**A** TREE, TURF & SOD PLANTING PLAN  
 SCALE: 1"=30'-0"



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**BUCKING HORSE PARK**  
 BASIC DEVELOPMENT REVIEW SUBMITTAL

**CITY OF FORT COLLINS**  
 FORT COLLINS, COLORADO

PROJ. NO. ...  
 DRAWN: JT  
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**BUCKING HORSE PARK**

ISSUED FOR:  
 BDR SUBMITTAL

SHEET TITLE:  
 TREE, TURF & SOD  
 PLANTING PLAN

SCALE: 1"=30'-0"  
 SHEET NUMBER  
**LP101**



PLANT SCHEDULE

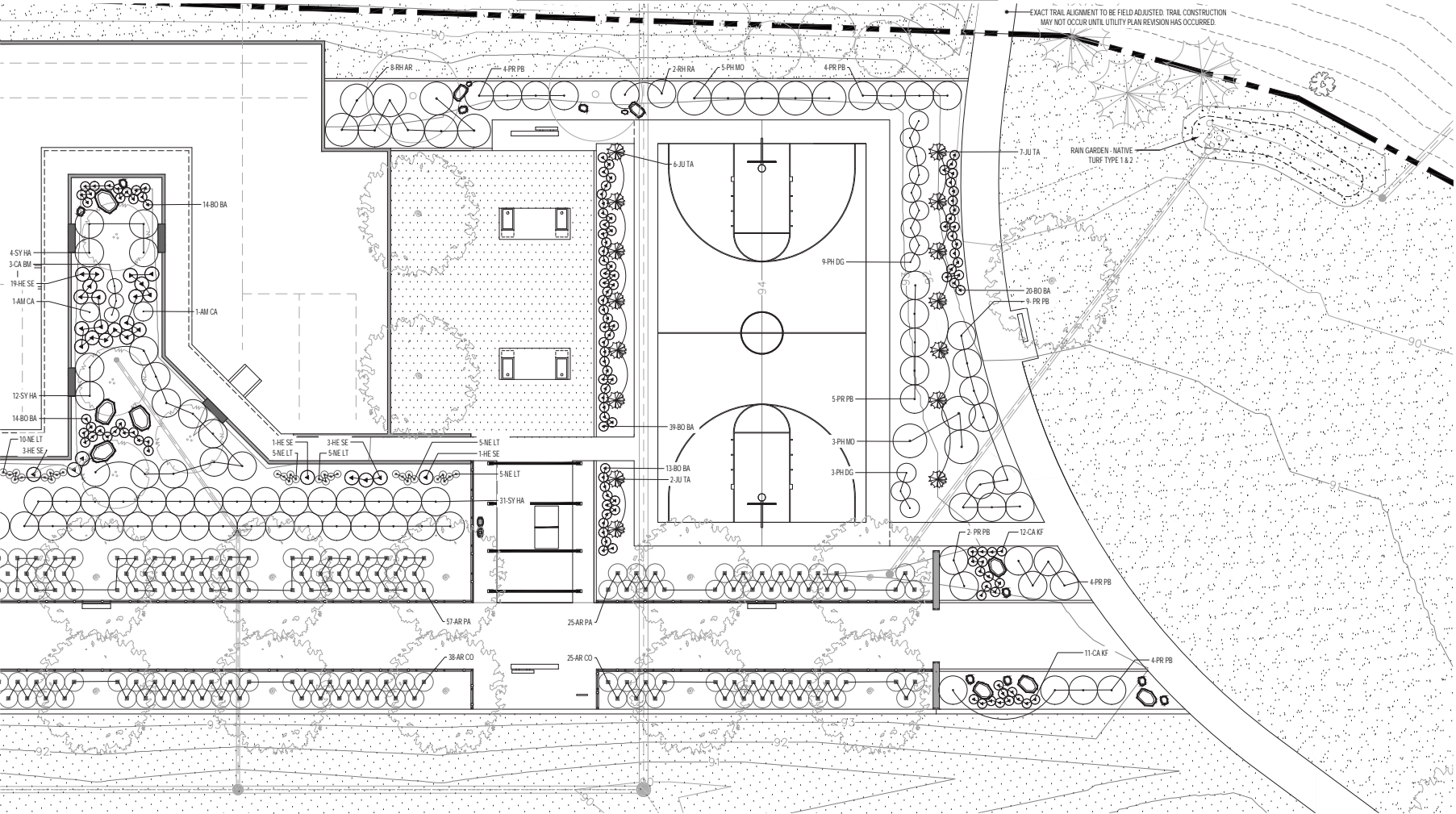
KEY	BOTANICAL NAME	COMMON NAME	HT	SPR	SIZE	H2O	QTY
<b>DECIDUOUS SHRUBS</b>							
AM CA	<i>Amorpha canescens</i>	False Indigo / Leadplant	4'	4'	5 gal.	L	21
CA BM	<i>Amorpha fruticosa</i>	False Indigo	6-8'	5-6'	1 gal.	L-M	4
CA BM	<i>Caryopteris a. stenodermis</i> 'Blue Mist'	Blue Mist Spirea	3-4'	3-3'	5 gal.	L	4
SA BL	<i>Chrysothamnus nauseosus albaeus</i>	Trail Blue Rudolphiopsis	5'	5'	5 gal.	M	11
CO SE	<i>Cornus sericea coccinifera</i>	Colorado Dogwood	6-8'	4-12'	1 gal.	M	14
PH DG	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Dart's Gold Ninebark	3-5'	3-5'	5 gal.	L	18
PH MD	<i>Physocarpus opulifolius</i> 'Diabolo'	Diabolo Ninebark	3-4'	4-5'	5 gal.	L	4
PH PB	<i>Rhus typhina</i> 'Flame Red'	Crawling Wilted Sand Cherry	12-18'	5-8'	5 gal.	L	28
PH AR	<i>Rhus typhina</i> 'Glo-Low'	Dwarf Flame Sumac	3-3'	3-6'	1 gal.	L	33
SY HA	<i>Syringaeae x chinensis</i> 'Panicum'	Hamock Coronilla	3-3'	3-7'	1 gal.	L	2
<b>EVERGREEN and BROADLEAF EVERGREEN SHRUBS</b>							
PH CO	<i>Parthenocaryus x cooperiana</i>	Jack-in-the-box Yucca	3-4'	1-2'	5 gal.	L	125
PH TA	<i>Arctostaphylos x cooperiana</i> 'Panchito'	Panchito Manzanita	1-2'	1-3'	5 gal.	L	104
JU TA	<i>Juniperus virginiana</i> Taylor	Taylor Upright Juniper	15-20'	3-4'	10 gal.	VL	31
YU GL	<i>Yucca glauca</i>	Giant Flaming Yucca	2-5-7'	2-5-3'	5 gal.	L	3

KEY	BOTANICAL NAME	COMMON NAME	HT	SPR	SIZE	H2O	QTY
<b>ORNAMENTAL GRASSES</b>							
BO BA	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	2'	24"	1 gal.	L	1193
CA KF	<i>Calamagrostis x acutiflora</i> 'Yuri Foerster'	Yuri Foerster Feather Reed Grass	3-0"	24"	1 gal.	L	1011
SE SE	<i>Heteropogon sempervirens</i>	Sapphire Blue Oat Grass	2-2'	2'	1 gal.	L	23
<b>PERENNIAL GROUNDCOVERS</b>							
KE LT	<i>Hebe</i> 'Thru Green'	Juste Thru Green	4-10'	12-10"	4 gal.	L	34
GE PR	<i>Geranium pratense</i>	Bloom Choccolate Cranesbill Geranium	2'	2'	1 gal.	M	44
<b>KEY MEADOW PLUGS</b>							
AG NE	<i>Andropogon scoparius</i>	Big Bluestem	11-15'	3-2"	10 sq ft	L	55
AG NE	<i>Andropogon scoparius</i>	Andropogon scoparius	11-15'	1-2"	10 sq ft	M-H	35
GA NE	<i>Claris pallida</i>	Woolly Sedge	2-4'	2-4"	10 sq ft	M-H	35
DE CE	<i>Desmodium illinoense</i>	Tulsa Hairyroot	1-3'	1.5-2"	10 sq ft	M-H	14
DE ST	<i>Desmodium illinoense</i>	Desmodium illinoense	1-3'	1.5-2"	10 sq ft	M-H	14
EU MA	<i>Eupatorium maculatum</i>	Joe Pye Weed	2-4'	1.5-3"	10 sq ft	M-H	14
HE NJ	<i>Helenium autumnale</i>	Monk Shalflower	1.5-7'	1-1"	10 sq ft	L	34
RO CA	<i>Rudbeckia canadensis</i>	Black-eyed Susan	1-2'	1.5-2"	10 sq ft	L	20
SP PB	<i>Spartina patens</i>	Wetland Cordgrass	1.5-2.5'	1.5-2"	10 sq ft	M-H	14
VE HA	<i>Vallisneria spiralis</i>	Blue Mondo	2-4'	1.5-2"	10 sq ft	M-H	14

PLANT LEGEND

- IRRIGATED SOD
- NATIVE TURF TYPE 1
- NATIVE TURF TYPE 2
- PROPOSED TREES
- EXISTING TREES
- PROPOSED SHRUBS
- PROPOSED PERENNIAL GROUNDCOVER
- PROPOSED ORNAMENTAL GRASS
- PROPOSED PLUGS
- LANDSCAPE BOULDERS

NOTE: AS LONG AS SHRUB BED AREAS ARE 75% COVERED WITH LIVING MATERIAL AT PLANT MATURITY, QUANTITIES MAY CHANGE WITHOUT A MINOR AMENDMENT.







PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	HT	SPR	SIZE	HTG	QTY
<b>DECIDUOUS SHRUBS</b>							
AM CA	<i>Amorpha canescens</i>	Falco Indigo / Leadplant	4'-	4'-	4 gal.	L	24
AM FR	<i>Amorpha fruticosa</i>	Leadplant / False Indigo	6'-8'	6'-8'	1 gal.	L-M	6
CA SM	<i>Caryopteris x clevelandii</i> "Blue Mist"	Blue Mist Spirea	3'-4'	3'-3'	3 gal.	L	6
CA AL	<i>Chrysothamnus nauseosus albicaulis</i>	Tall Blue Rabbitbrush	8'	7'	3 gal.	L	12
CO SE	<i>Chamaecrista nuttalliana</i>	Colorado Dogwood	3'-4'	3'-12"	3 gal.	M	11
PH DO	<i>Physocarpus opulifolius</i> "Dart's Gold"	Dart's Gold Nirvana	3'-9"	3'-5"	3 gal.	L	12
PH MO	<i>Physocarpus opulifolius</i> "Dance"	Dance Nirvana	3'-6"	3'-3"	3 gal.	L	6
PH PE	<i>Prunus besseyi</i> "Pawnee Belle"	Creeping Western Bird Cherry	12-18"	9-8"	3 gal.	L	36
PH AR	<i>Prunus americana</i> "Dro-Low"	Smart Fragrant Cherry	3'-3"	3'-0"	3 gal.	L	36
ST HA	<i>Symphoricarpos x oleratus</i> "Halecock"	Halecock Cranberry	2'-3"	5'-7"	3 gal.	L	60
<b>EVERGREEN and BROADLEAF EVERGREEN SHRUBS</b>							
AR CO	<i>Arctostaphylos x odorata</i>	Rock-Berryberry Manzanilla	6'-8"	4'-4"	3 gal.	L	135
AN PA	<i>Arctostaphylos x oregonensis</i> "Panchito"	Panchito Manzanilla	1'-2"	3'-8"	3 gal.	L	150
AJ TA	<i>Lambertus virginiana</i> "Taylor"	Taylor Upright Juniper	15-20'	3-4'	10 gal.	UL	3
MI CL	<i>Yucca glauca</i>	Great Plains Yucca	1.5-3'	1.5-3'	3 gal.	L	60

KEY	BOTANICAL NAME	COMMON NAME	HT	SPR	SIZE	HTG	QTY
<b>ORNAMENTAL GRASSES</b>							
BO BA	<i>Bouteloua gracilis</i> "Blonde Ambition"	Blonde Ambition Blue Grama Grass	2'	24"	1 gal.	L	100
CA KF	<i>Calamagrostis a. acutiflora</i> "Karl Foerster"	Karl Foerster Feather Reed Grass	3'-5"	24"	1 gal.	L	180
ME SE	<i>Helictotrichon sempervirens</i>	Sagebrush Blue Owl Grass	2-3'	7"	1 gal.	L	60
<b>PERENNIAL &amp; GROUNDCOVERS</b>							
NE LT	<i>Nassella 'Pillar'</i>	Little Tufted Catfoot	5-10"	12-18"	4 gal.	L	54
GE PR	<i>Cerastium trisetosum</i>	Roost Chickadee Cornhill Geranium	2'	2"	1 gal.	M	44
<b>WET MEADOW PLUGS</b>							
AN GE	<i>Andropogon gerardii</i>	Big Bluestem	1.5-5'	2-3'	10 sq. ft.	L	20
AS IN	<i>Andropogon scoparius</i>	Mane's Meadow	1.5'	1.0'	10 sq. ft.	L	20
CA NE	<i>Carex pallida</i>	Woody Sedge	2-4'	2-4"	10 sq. ft.	L	30
DE CE	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	1-2'	1.5-2'	10 sq. ft.	L	18
DE SP	<i>Deschampsia flexuosa</i>	Woolly Sedge	1-2'	2-4"	10 sq. ft.	L	18
EU MA	<i>Elymus maculatus</i>	Leafy Wheat	2-3'	1.5-3'	10 sq. ft.	L	14
HE HA	<i>Hellebrum mutabile</i>	Mane's Hairgrass	1.5-2'	1-4"	10 sq. ft.	L	18
SO CA	<i>Stipa capensis</i>	Rocky Floor	1.5-2'	1.5-2'	10 sq. ft.	L	18
SP PE	<i>Spergularia pectinata</i>	Prickly Castles	1.5-2.5'	1.5-2.5"	10 sq. ft.	L	20
VE HA	<i>Vilfa hillebrandii</i>	Blue Wagoner	2-6"	1.2-2"	10 sq. ft.	L	20

PLANT LEGEND

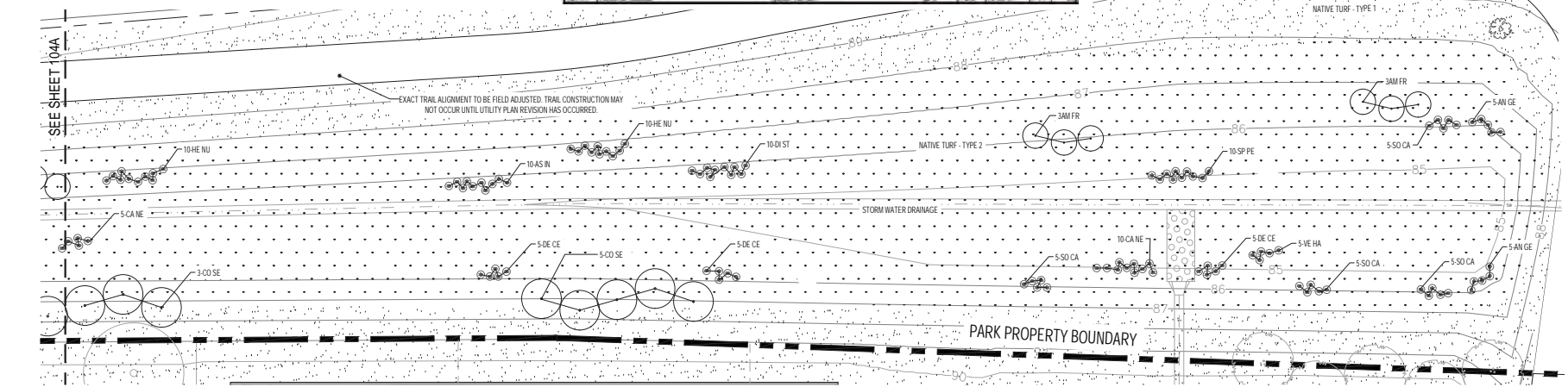
- IRRIGATED SOD
- NATIVE TURF TYPE 1
- NATIVE TURF TYPE 2
- LANDSCAPE BOULDERS
- PROPOSED TREES
- EXISTING TREES
- PROPOSED SHRUBS
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- PROPOSED ORNAMENTAL GRASS
- PROPOSED PLUGS

NOTE: AS LONG AS SHRUB BED AREAS ARE 75% COVERED WITH LIVING MATERIAL AT PLANT MATURITY, QUANTITIES MAY CHANGE WITHOUT A MINOR AMENDMENT.

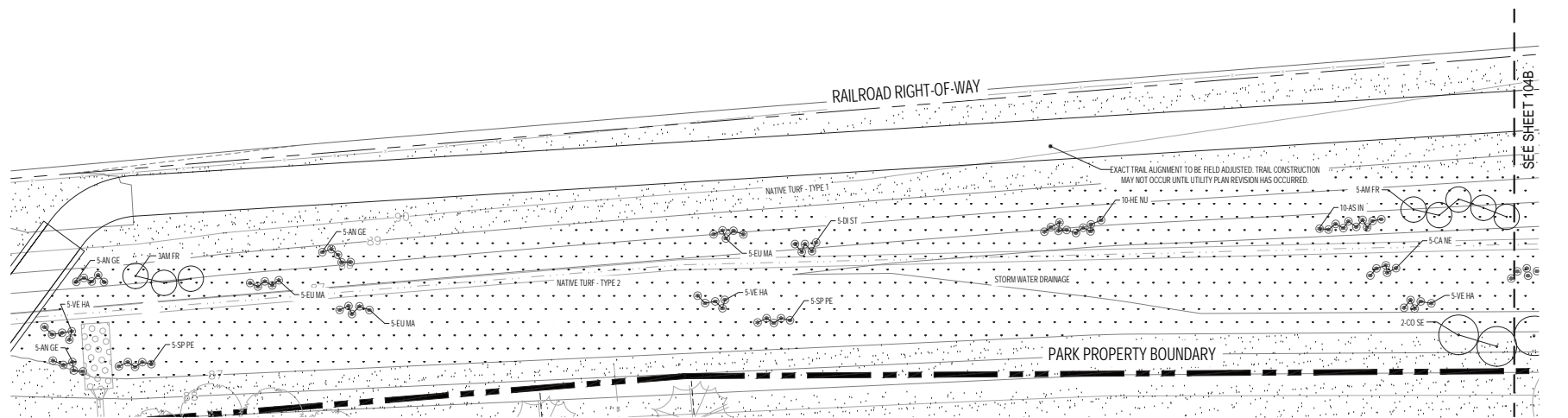
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UTILITY LOCATIONS.



A PLANTING PLAN ENLARGEMENT  
SCALE: 1"=10'-0"



B PLANTING PLAN ENLARGEMENT  
SCALE: 1"=10'-0"

**BUCKING HORSE PARK**  
BASIC DEVELOPMENT REVIEW SUBMITTAL  
CITY OF FORT COLLINS  
FORT COLLINS, COLORADO

PROJ. NO. ....  
DRAWN: JT  
CHECKED: KF  
APPROVED: KF  
DATE: APRIL 05, 2022  
REVISIONS:  
REVIEW SET  
NOT FOR CONSTRUCTION

**BUCKING HORSE PARK**  
ISSUED FOR:  
BDR SUBMITTAL

SHEET TITLE:  
SHRUB & PERENNIAL  
PLANTING PLAN

SCALE: 1"=10'-0"  
SHEET NUMBER  
**LP104**



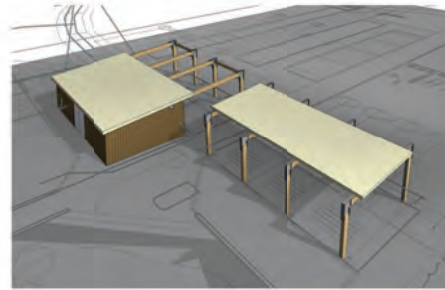


EXTERIOR MATERIALS KEY	
	METAL PANEL 1 (MP-1) METAL SALES, EM-1663 PREFINISHED VERTICAL METAL PANELS - 14" COVERAGE - WEATHERED COPPER
	PVC DECOR ROOF SYSTEM - TAN
	WOOD - DOUGLAS FIR (WD-1) HEAVY TIMBER LUMBER

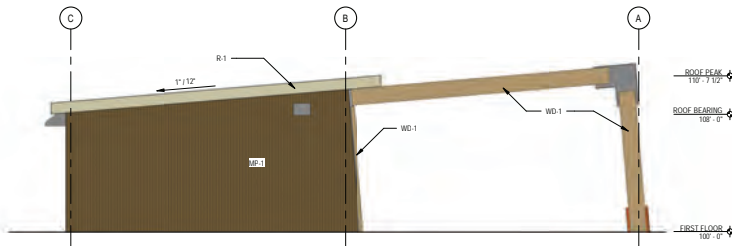
NOTE: BASIS OF DESIGN MATERIALS OR EQUIVALENT SUBJECT TO CITY APPROVAL



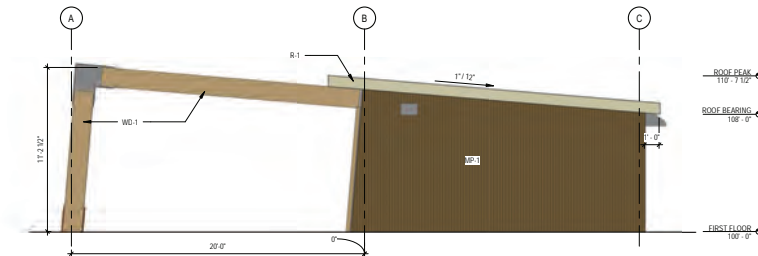
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SCALE:



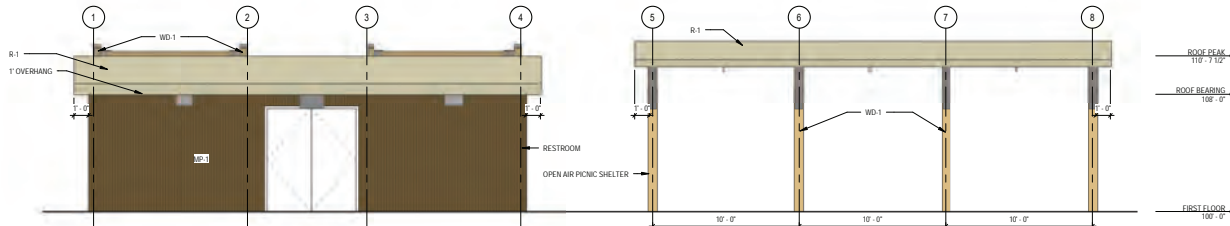
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SCALE:



**3 RESTROOM NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

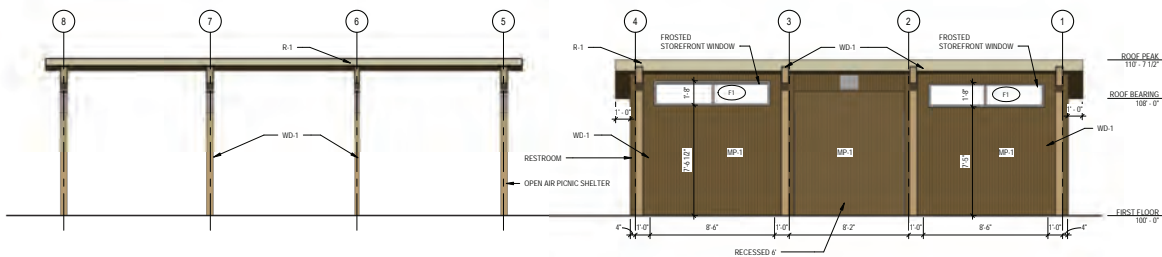


**4 RESTROOM SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 RESTROOM AND SHELTER EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE							
SYMBOL	COUNT	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	HEAD HEIGHT	COMMENTS
F1	2	8'-0"	1'-8"				
Total	2						



**6 RESTROOM AND SHELTER WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**BDR Submittal #3**

**Bucking Horse Park**  
 2410 Miles House Drive  
 Fort Collins CO, 80525

CE No.: 326-003-20

March 9, 2022

**DRAFT**  
 PREPARED FOR PRELIMINARY  
 SUBMISSION AND REVIEW ONLY --  
 NOT FOR CONSTRUCTION.

Exterior Elevations,  
 Perspectives

**A2.10**







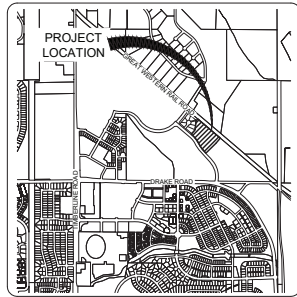




# UTILITY PLANS FOR BUCKING HORSE PARK TRACT B, BUCKING HORSE FILING TWO

LOCATED IN SECTION 20, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

APRIL 2022



**PROJECT BENCHMARKS:**

PROJECT DATUM: NAVD83  
CITY OF FORT COLLINS BENCHMARK 2-44 EAST DRAKE AND ENVIRONMENTAL DRIVE, APPROX. 110 FEET EAST OF SOUTH ENTRANCE TO WATER TREATMENT PLANT #2, ON TOP OF THE SECTION CORNER MONUMENT DATED 1989 IN RANGE BOOK 12 FEET WEST OF TOP OF DITCH BANK, 25 FEET NORTH OF THE RAILROAD TRACKS, AND 27 FEET SOUTH OF LARGE COTTONWOOD TREE. ELEVATION = 4881.57  
PLEASE NOTE: THIS PLAN SET IS USING NAVD83 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.  
IF NGVD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED:  
NGVD83 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) + NAVD83 DATUM - 3.19'  
BASIS OF BEARINGS:  
RESPECTING THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 7 NORTH, RANGE 68 WEST, AS BEARING SOUTH 89°42'00" EAST AS SHOWN ON THE PLAT.

**FIELD SURVEY BY:**

Original Field Survey:  
City of Fort Collins  
Date: August, 2019

**SUBSURFACE EXPLORATION BY:**

CTL Thompson, Inc.  
Geotechnical Investigation Proposed Improvements  
Bucking Horse Park  
Project No. FCO0543-125  
Date: May 8th, 2020

**DISCLAIMER STATEMENT:**

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The reviewer shall not be construed for any reason as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

**CERTIFICATION STATEMENT:**

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and codes, respectively, and that I am fully responsible for the accuracy of all design, revisions, and record conditions that have noted on these plans.

**CONTACT INFORMATION**

**PROJECT TEAM:**



**OWNER/APPLICANT**

City of Fort Collins  
Park Planning & Development  
Jennifer Torrey  
215 North Mason Street  
Fort Collins, Colorado 80521  
(970) 416-2192



**PLANNER/LANDSCAPE ARCHITECT**

City of Fort Collins  
Park Planning & Development  
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Fort Collins, Colorado 80521  
(970) 416-2192



**ARCHITECT**

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The Clark Emerson Partners  
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(970) 8148-8999



**SITE ENGINEER**

Northern Engineering Services, Inc.  
Andy Reese  
301 North Hovea Street, Suite 100  
Fort Collins, Colorado 80521  
(970) 221-4158



**SITE SURVEYOR**

City of Fort Collins  
John Steven Van Niede, PLS  
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Fort Collins, Colorado 80524  
(970) 221-6505



**GEOTECHNICAL ENGINEER**

CTL Thompson, Inc.  
Spencer Schram, PE  
400 N. Link Lane  
Fort Collins, Colorado 80524  
(970) 206-9455

**UTILITY CONTACT LIST: \***

UTILITY COMPANY	PHONE NUMBER
GAS: Xcel Energy	(970) 225-7840
ELECTRIC: City of Fort Collins Light & Power	Cody Snowdon (970) 416-2306
CABLE: Comcast	Don Kapperman (970) 567-0425
TELECOM: CenturyLink	William Johnson (970) 377-6401
WATER: City of Fort Collins Utilities	Heidi Hansen (970) 221-6854
WASTEWATER: City of Fort Collins Utilities	Heidi Hansen (970) 221-6854
STORMWATER: City of Fort Collins Utilities	Heidi Hansen (970) 221-6854

\* This list is provided as a courtesy reference only. Northern Engineering Services assumes no responsibility for the accuracy or completeness of this list. In no way shall this list relieve the Contractor's responsibility for locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of Colorado (UNCC) at 811 for additional information.

**SHEET INDEX**

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2	CS2	GENERAL & CONSTRUCTION NOTES
3	CS3	EROSION CONTROL NOTES
4	EX1	EXISTING CONDITIONS & DEMOLITION PLAN
5	PV1	PAVING & SIGNAGE PLAN
6	U1	UTILITY PLAN
7	G1	GRADING PLAN
8	G2	DETAILED GRADING PLAN
9-12	D1-D4	CONSTRUCTION DETAILS
13	EC1	INITIAL EROSION CONTROL PLAN
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City of Fort Collins, Colorado  
UTILITY PLAN APPROVAL

APPROVED: _____	City Engineer	Approved Sheets	Date
APPROVED: _____	Water & Wastewater Utility	Approved Sheets	Date
APPROVED: _____	Stormwater Utility	Approved Sheets	Date
APPROVED: _____	Park Planning and Development	Approved Sheets	Date
APPROVED: _____	Traffic Operations	Approved Sheets	Date
APPROVED: _____	Environmental Planning	Approved Sheets	Date

BLDG PERMIT  
 NOT FOR CONSTRUCTION  
 DATE: 04/06/2022

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**NORTHERN ENGINEERING**  
 ENGINEERING  
 301 North Hovea Street, Suite 100, Fort Collins, CO 80521  
 (970) 221-4158

PROJECT: 1748-052  
 APRIL 06, 2022  
 SCALE: N/A  
 DESIGNED BY: M. Foster  
 P. MANAGER: A. Reese  
 DRAWN BY: M. Foster

BUCKING HORSE PARK  
 COVER SHEET  
 Sheet CS1  
 1 of 18

A. GENERAL NOTES

- 1. All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Larimer County Uniform Street Standards and applicable state and federal requirements. Where there is a conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the City of Fort Collins.
2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
5. All storm sewer construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for unknown underground utilities.
7. The Developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-923-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
8. The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the utility provider, a pre-construction meeting may be required prior to commencement of any work.
12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.
13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water Utility.
14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control, Division 100, 1600-3500), the Storm Water Management Plan, and the Erosion Control Plan.
16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in accordance with the Development Agreement.
19. All recommendations of the FINAL DRAINAGE REPORT BUCKING HORSE PARK DATED MARCH 30, 2022 by Northern Engineering shall be followed and implemented.
20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the City of Fort Collins street inspector.
22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable.
23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the City of Fort Collins Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer's absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soil/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soil/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the City of Fort Collins Engineer approves the final report.
25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the City of Fort Collins Inspector. The engineer/surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.
26. All utility installations within or across the roadway of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work located above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
27. Portions of Larimer County are within overlay districts. The Larimer County Flood Plain Resolution should be referred to for additional criteria for roads within these districts.
28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.
29. Prior to the commencement of any construction, the contractor shall contact the Local Entity Forester to schedule a site inspection for any tree removal requiring a permit.
30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority (The City of Fort Collins, Larimer County, Colorado), for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact the City of Fort Collins Traffic Operations Department, who will temporarily remove or relocate the sign at no cost to the contractor, however, if the contractor moves the traffic sign then the contractor will be charged for the cost of materials and equipment to relocate the sign as needed.
33. The Developer is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Developer's local street operations. In addition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.

- 34. There shall be no site construction activities on Saturdays, unless specifically approved by the City of Fort Collins Engineer, and no site construction activities on Sundays or holidays, unless there is prior written approval by the City of Fort Collins.
35. The Developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.
36. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built record drawings.
37. The Developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.
38. If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Developer shall contact the Designer and the City of Fort Collins Engineer immediately.
39. The Developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and available to the Larimer County Inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the City of Fort Collins Engineer.
40. The Designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks (2) for the project as well as the basis of datums. The information shall be as follows:
PROJECT DATUM NAVD83
CITY OF FORT COLLINS BENCHMARK 2-94 EAST DRAKE AND ENVIRONMENTAL DRIVE, APPROX. 110 FEET EAST OF SOUTH ENTRANCE TO WATER TREATMENT PLANT #2, ON TOP OF THE SECTION CORNER MONUMENT DATED 1989 IN RANGE BOX, 12 FEET WEST OF TOP OF DITCH BANK, 25 FEET NORTH OF THE RAILROAD TRACKS, AND 27 FEET SOUTH OF LARGE COTTONWOOD TREE. ELEVATION = 4881.57
PLEASE NOTE: THIS PLAN SET IS USING NAVD83 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.
IF NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED:
NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) - NAVD83 DATUM - 3.19'
BASIS OF BEARINGS
ASSUMING THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 7 NORTH, RANGE 68 WEST, AS BEARING SOUTH 88°42'05" EAST AS SHOWN ON THE PLAT.
41. All stationing is based on centerline of roadways unless otherwise noted.
42. Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first certificate of occupancy.
43. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be done in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down. In streets where more than one cut is made, an overlay of the entire street width, including the patched areas, may be required. The determination of need for a complete overlay shall be made by the Larimer County Engineer and/or the City of Fort Collins Inspector at the time the cuts are made.
44. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.
45. Standard Handicap ramps are to be constructed at all curb returns and at all "T" intersections.
46. After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
47. The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: N.A.
48. Approved Variances are listed as follows:
1) Reduction in LED percent impervious treated.

CONSTRUCTION NOTES

- A. Street Improvement Notes
1. All street construction is subject to the General Notes on the cover sheet of these plans as well as the Street Improvements Notes listed here.
2. A paving section design, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval, prior to any street construction activity. (Full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.
3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the City of Fort Collins Engineer in Fort Collins.
4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the City of Fort Collins Engineer.
5. FL Closures only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings are not allowed.
6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the Inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete overlay shall be made by the City of Fort Collins Engineer. All overlay work shall be coordinated with adjacent landowners such that future projects do not cut the new asphalt overlay work.
7. All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as per the Right-of-Way Work Permit traffic control plan.
8. The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of asphalt. Gutters that hold more than 1/4 inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.
9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less than 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive pumping or deformation, as determined by the City of Fort Collins Engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The City of Fort Collins Engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be performed in the presence of an Inspector.
B. Traffic Signing and Pavement Marking Construction Notes
1. All signage and marking is subject to the General Notes on the cover sheet of these plans, as well as the Traffic Signing and Marking Construction Notes listed here.
2. All symbols, including arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.
3. All signage shall be per the City of Fort Collins Standards and these plans or as otherwise specified in MUTCD.
4. All lane lines for asphalt pavement shall receive two coats of latex paint with glass beads.
5. All lane lines for concrete pavement should be epoxy paint.
6. Prior to permanent installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and placement of the same. Their placement shall be approved by the City of Fort Collins Traffic Engineer prior to permanent installation of striping and symbols.
7. Pre-formed thermo-plastic applications shall be as specified in these Plans and/or these Standards.
8. Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.
9. All surfaces shall be thoroughly cleaned prior to installation of striping or markings.

- 10. All sign posts shall utilize break-away assemblies and fasteners per the Standards.
11. A field inspection of location and installation of all signs shall be performed by the City of Fort Collins Traffic Engineer. All discrepancies identified during the field inspection must be corrected before the 2-year warranty period will begin.
12. The Developer installing signs shall be responsible for locating and protecting all underground utilities.
13. Special care shall be taken in sign location to ensure an unobstructed view of each sign.
14. Signage and striping has been determined by information available at the time of review. Prior to initiation of the warranty period, the City of Fort Collins Traffic Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Traffic Engineer determines that an unforeseen condition warrants such signage according to the MUTCD and S Standards. All signage and striping shall fall under the requirements of the 2-year warranty period for new construction (except fair wear on traffic markings).
15. Sleeves for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Traffic Control Devices, for additional detail.
C. Storm Drainage Notes
1. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
2. All recommendations of the FINAL DRAINAGE REPORT BUCKING HORSE PARK DATED MARCH 30, 2022 by Northern Engineering shall be followed and implemented.
3. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
4. See City of Fort Collins Stormwater Criteria Manual - Appendix F Construction Control Measures Standard Notes and Standard Erosion Control Notes.
D. Utility Notes
1. All waterline and sanitary sewer construction shall conform to the City of Fort Collins Utility standards and specifications current to date of construction.
2. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the water utility.
3. Water mains shall be poly-wrapped D.I.P. or PVC with tracer wire.
4. HDPE pipe may be used for 1-1/2 and 2 inch water services. The pipe shall meet the standards of AWWA 901, NSF Standard 61 and ASTM. The HDPE pipe shall be SDR 9 having a pressure rating of 200 psi. Stiffeners shall be used at all fittings and connections. Tracer wire shall be installed with the HDPE service, and shall extend up the curb stop. The curb stop shall be covered with a metal valve box and "water" lid per City Water Detail 11A.

FILL AND REDEVELOPMENT NOTE

A. Despite everyone's best efforts, it is impossible to fully display subsurface information prior to excavation. This is especially true in areas of infill and redevelopment. Unknown subsurface conditions can have cost and schedule implications. Prior to finalizing contract terms, it is strongly recommended that the Owner and General Contractor have a candid discussion to formulate a strategy for dealing with such circumstances when they arise. The process and procedures should be in place prior to excavation. Allowances and contingencies can address the cost implications, but additional measures are required to deal with scheduling and factors impacting sequence of work. The Architect, Engineer(s), and Construction Surveyor should be made aware of the protocol for dealing with such unknown subsurface conditions prior to starting work.

Vertical stamp: BLDG PERMITS CONSTRUCTION NOT FOR CONSTRUCTION DATE: 07/06/2022

Vertical stamp: NORTHERN ENGINEERING

Vertical stamp: NORTHERN ENGINEERING logo and contact information.

Vertical stamp: PROJECT: 1748-002, DATE: APRIL 06, 2022, SCALE: N/A, DESIGNED BY: M. Foster, P. MANAGER: A. Rosee

Vertical stamp: BUCKING HORSE PARK GENERAL & CONSTRUCTION NOTES

CALL UTILITY NOTIFICATION CENTER OF



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Sheet CS2

STANDARD EROSION CONTROL NOTES (CITY OF FORT COLLINS)

General Erosion Control Requirements

These notes are a summary for the legal requirements, that are set forth in the Fort Collins Stormwater Criteria Manual (FCSM), and that any control is resolution requirement.

- 1. The Property Owner, Owner's Representative, Developer, Design Engineer, General Contractor, Sub-contractors, or similar title for the developing entity (here after referred to as the Developer) has provided these Erosion Control Materials in accordance with Erosion Control Criteria set forth in the Manual as an attempt to identify erosion, sediment, and other potential pollutant sources associated with these Construction Activities and leaving the project site as an illicit discharge. Full City requirements and are outlined and clarified in the Manual under Chapter 4. Construction Control Measures and should be used to identify and define what is needed on a project.
2. The Developer shall make themselves thoroughly familiar with the provisions and the content of the specifications found in the Manual, the Development Agreement, the Erosion Control Materials compiled for this project, and the following notes on all these materials are applicable to this project.
3. The Developer shall implement and maintain Control Measures for all potential pollutants from the start of land disturbing activities until final stabilization of the construction site.
4. The City Erosion Control Inspector shall be notified at least twenty-four (24) hours prior to the desired start of any construction activities on this site to allow adequate time for on-site confirmation (initial inspection which can take up to two business days after receiving the request) that the site is in fact protected from sediment and pollutants discharges of site. Please contact erosion@fgov.com early to schedule those initial Erosion Control Inspections well in advance so that demolition, clearing, grading, tree removal, and scraping may begin without delay. Failure to receive an on-site confirmation before construction activities commence is an automatic 'Notice of Violation' and can result in further enforcement actions.
5. The Developer shall proactively provide all appropriate Control Measures to prevent damage to adjacent downstream and leeward properties. This includes but is not limited to: trees, shrubs, lawns, lawns, pavements, roadways, structures, creeks, wetlands, streams, rivers, and utilities that are not designed for removal, relocation, or replacement in the course of construction.
6. At all times the Developer shall be responsible to ensure adequate Control Measures are designed, selected, installed, maintain, repaired, replaced, and ultimately removed in order to prevent and control erosion suspension, sediment transportation, and pollutant discharge as a result of construction activities.
7. All applicable Control Measures based upon the sequencing and/or phasing of the project shall be installed prior to those construction activities commencing.
8. As dynamic conditions (due to the nature, timing, sequence, and phasing of construction) in the field may warrant Control Measures in addition, or different, to what is shown on these plans, the Developer shall at all times be responsible to implement the Control Measures that are most effective with the current state and progress of construction. The Developer shall implement whatever measures are determined necessary, and/or as directed by the City Erosion Control Inspector. The Developer shall insure that all Erosion Control Plans (Maps) or SWMP documents are updated to reflect the current site conditions, with updates being initiated and dated. These site inspections and site condition updates shall be made available upon request by the City.
9. All findings, provisions, materials, procedures, activities, site work and like articulated in this or other written site-specific documents (including but not limited to the erosion control reports, development agreements, landscape, and drainage materials) shall meet or exceed the most restrictive language of City, County, State, and Federal regulations with regards to erosion, sediment, pollutant, and other pollutant source Control Measures. The Developer shall be responsible to comply with all of these aforementioned laws and regulations.
10. The Developer shall ensure that all appropriate permits (CDPS General Permit Stormwater Discharges Associated with Construction Activity, Dewatering, Clean Water Act, Army Corps of Engineers 404 Wetlands Mitigation Permit, etc.) have been obtained prior to the relevant activity has begun. These permits or copies shall be made available upon request by the City.
11. The Developer shall furnish all conveniences and assistances to aid the Erosion Control Inspectors of materials, workmanship, records, and self-inspections, etc. of the Control Measures involved in the construction activities.
12. The Developer shall request clarification of all apparent site construction issues that may arise due to inconsistencies in construction plans for the site or site conditions around the selected Control Measures by contacting the Erosion Control Inspector. The Erosion Control Inspector will not be responsible for any misinterpretations, interpretations, or supplementary data provided by others.
13. All Control Measures shall be installed in accordance with the Manual.
14. The City reserves the right to require additional Control Measures as site conditions warrant, to the extent authorized by relevant legal authority.
15. As with any construction standards, occasions may arise where the minimum erosion control standards are either inapplicable or cannot be justified. In these cases, a variance to these standards may be applied for pursuant to the terms, conditions, and procedures of the Manual.
16. Inspection. The contractor shall inspect site pollutant sources and implement Control Measures at a minimum of once every two weeks during construction and within 24 hours following a precipitation event. Documentation of each inspection shall be recorded and retained by the contractor.
17. All temporary Control Measures shall be cleaned, repaired, or reconstructed as necessary in order to assure continual performance of their intended function. All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release as any drainage way.
18. Any Control Measure may be substituted for another standard Control Measure so long as that Control Measure is equal to, or of greater protection than the original Control Measure that was to be used in that location. (ex. silt fence, for wattles, or for compact berms) Wattles alone on commercial construction sites have shown to be an ineffective substitute for silt fence or compact berms unless it is accompanied by a construction fence to prevent vehicle traffic.
19. Any implementation or replacement of existing Control Measures for a non-standard control, or alternative Control Measure, shall require the review and acceptance by the City erosion control staff before the measure will be allowed to be used on this project. These Control Measures details shall be submitted, reviewed and accepted to be in accordance with the Erosion Control Criteria based upon the functionality and effectiveness in accordance with sound engineering and hydrological practices.
Land disturbance, Stockpiles, and Storage of Soils
20. There shall be no earth-disturbing activity outside the limits designated on the accepted plans. Off road staging areas or stockpiles must be preapproved by the City. Disturbances beyond these limits will be restored to original condition.
21. Pre-disturbance vegetation shall be identified, protected, and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area required for immediate construction operations, and for the shortest practical period of time. This should include sequencing and phasing construction activities in a way so that the soil is not exposed for long periods of time by schedule or limit grading to small areas. This should also include when practical advancing the schedule on stabilization activities such that landscaping takes place shortly if not immediately after grading has occurred. Vegetation efforts shall start as soon as possible to return the site to a stabilized condition. Sensitive areas should avoid clearing and grading activities as much as possible.
22. All exposed soils or disturbed areas are considered a potential pollutant and shall have Control Measures implemented on site to prevent materials from leaving the site.
23. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition at all times by equipment tracking, scattering of debris the surface on a contour with a 2 to 4 inch minimum variation in soil surface until much, vegetation, and/or other permanent erosion control is installed.
24. No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport on the use of surface roughening, watering, and down gradient perimeter controls. All soil stockpiles shall be protected from sediment transport by wind in accordance with Municipal Code §12-150. All stockpiles shall be flattened to meet grade or removed from site as soon as practical, and no later than the completion of construction activities or abandonment of the project. All off-site stockpile storage locations in City limits shall have a stockpile permit from the City Engineering Department prior to using the area to store material. If frequent access from hardscape to the stockpile is needed a structural tracking Control Measure shall be implemented.
25. All required Control Measures shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc.). All of the required erosion Control Measures must be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
26. All inlets, curb-cuts, culverts, and other storm sewer infrastructure which could be potentially impacted by construction activities shall be protected with Control Measures. Material accumulated from this Control Measure shall be promptly removed and in cases where the protection has failed, the pipes shall be thoroughly cleaned out.
27. All streams, stream corridors, buffers, woodlands, wetlands, or other sensitive areas shall be protected from impact by any construction activity through the use of Control Measures.
28. All exposed dirt shall have perimeter control. Any perimeter controls that drain off or has the ability to be tracked onto the nearby hardscape shall have some form of effective sediment control as the, or as part of, the perimeter control.
29. All exposed slopes should be protected. All exposed steep slopes (Steeper than 3:1 HV) shall be protected from erosion and sediment transport through use of Control Measures.

- 30. No soils shall remain exposed by land disturbing activity for more than thirty (30) days after activity has ceased before required temporary seeding or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed. This is not just limited to projects that are abandoned; this includes any project that has no immediate activity and no immediate activity to resume within the lot drain in a different direction than the street, those individual lots will need protection on that down gradient side to prevent sediment from leaving the lot. See the Individual Lot Details for further clarification.
Vehicle Tracking
31. At all points where vehicles exit or leave the exposed dirt area on to a hardscape or semi hardscape (concrete, asphalt, road base, etc.) a perimeter control shall be considered a point where vehicles exit the site. Access points should be limited to as few entrances as possible (All perimeter areas shall be protected from tracking activities).
32. At all points where vehicles exit or leave the exposed dirt area on to a hardscape or semi hardscape (concrete, asphalt, road base, etc.) a perimeter control shall be considered a point where vehicles exit the site. Access points should be limited to as few entrances as possible (All perimeter areas shall be protected from tracking activities).
33. In all areas that the structural tracking Control Measures fail to prevent vehicle tracking, collection and proper disposal of that material is required. All inlets located near access points and affected by tracking activities shall be prevented from the introduction of sediment into the drainage system.
34. City Municipal Code §20-62, among other things, prohibits the tracking, dropping, or depositing of soils or other material onto city streets by or from any source. City Municipal Code §26-498, among other things, prohibits the discharge of pollutants on public or private property if there is a significant potential for migration of such pollutant. Therefore, all tracked or deposited materials (intentional or inadvertent) are not permitted to remain on the street or gutter and shall be removed and legally disposed of by the Developer in a timely and immediate manner. Dirt ramps installed in the curb-lines are not exempt to these sections of code and shall not be permitted in the street right of way (public or private).
35. If repeated deposit of material occurs on a site, additional structural tracking controls may be required of the Developer by the City Erosion Control Inspector.
Loading and Unloading Operations
36. The Developer shall apply Control Measure to limit traffic (site worker or public) impacts and proactively locate material delivered to the site in close proximity to the work area or immediately incorporated in the construction to limit operational impacts to disturbed areas, vehicle tracking, and sediment deposition that could impact water quality.
Outdoor Storage or Construction Site Materials, Building Materials, Fertilizers, and Chemicals
37. Any materials of a non-polluting nature (steel, rock, brick, lumber, etc.) shall be inspected for any residue coming off the material during routine inspection and will generally be located where practical at least fifty (50) feet from any permanent or interim drainage ways.
38. Any high environmental impact pollutant materials that have a high likelihood to result in discharge when in contact with stormwater (lubricants, fuels, paints, solvents, detergents, fertilizers, chemical sprays, bags of cement mix, etc.) should not be kept on site where practical. When not practical, they should be stored inside (vehicle, trailer, corner, building, etc.) and out of contact with stormwater or stormwater runoff. Where not stored outside in a raised (high spots or on pallets), covered (plastic or tarpaul), and sealed (leak proof container) in secondary containment location. The secondary containment or other Control Measure shall be adequately sized, located, where practical at least fifty (50) feet from any permanent or interim stormwater structure or drainage ways and shall be monitored as part of the routine inspections.
Vehicle and equipment maintenance and fueling
39. Parking, refueling, and maintenance of vehicles and equipment should be limited in one area of the site to minimize possible spills and fuel storage areas. This area shall be located, where practical, at least fifty (50) feet from any permanent or interim stormwater structures or drainage ways and shall be monitored as part of the routine inspections. All areas shall keep spill kits and supplies close.
Significant Dust or Particulate generating Process
40. The property must be actively preventing the emission of fugitive dust at all times during construction and vegetation activities. All land disturbing activities that result in fugitive dust shall be in accordance with Municipal Code §12-150 to reduce the impacts to adjacent properties and community health. All required practices shall be implemented and additional ones shall be followed. These practices include watering the sites and disincorporating construction activities until the wind subsides as determined by any City Inspectors. Concrete truck / equipment washing, including the concrete truck chute and associated fixtures and equipment.
41. All concrete and equipment washing shall use structural Control Measures appropriate to the volume of wash and frequency of use. These Control Measures shall be located, where practical, at least fifty (50) feet from any permanent or interim stormwater structures or drainage ways and shall be monitored as part of the routine inspections. These areas shall be clearly identified and protected from any wash from leaving the Control Measure. If frequent access from hardscape to the Control Measure is to occur, a structural tracking Control Measure shall be implemented. These Control Measures shall be frequently cleaned out.
42. The Developer is responsible for ensuring washing activity is taking place at the appropriate Control Measure and site workers are not washing or dumping wash water on to the dirt or other uncontrolled locations.
Dedicated Asphalt and concrete bath plants
43. Dedicated asphalt and concrete bath plants are not acceptable on construction sites within the City of Fort Collins without an expressed written request and plan to reduce pollutants associated with that type of activity and approved by the City of Fort Collins specifically the Erosion Control Inspector. The Developer shall inform the erosion control inspection staff of any dedicated asphalt, or concrete bath plants that is to be used on site.
Concrete Saw Cutting Materials
44. Saw cutting material shall be in accordance with Municipal Code §12-150 for air emissions and all water applications to the saw cutting shall prevent material from leaving the immediate site and collected. These cutting locations, once dried, shall be swept and scraped of all material and shall have proper and legal disposal.
Waste Materials Storage and Sanitary Facilities
45. Trash, debris, material salvage, and/or recycling areas shall be, where practical, at least fifty (50) feet from any permanent or interim stormwater structures or drainage ways and shall be monitored as part of the routine inspections. These facilities should be located out of the wind and covered as able. Where not able to cover, locating said areas on the side of other structures to reduce exposure to winds, and follow maximum loading guidelines as marked on the container. The Developer is required to practice good housekeeping to keep the construction site free of litter, construction debris, and leaking containers.
46. Sanitary facilities shall be prevented from tipping through by using of anchoring to the ground or lashing to a stabilized structure. These facilities shall also be located as far as practical from an inlet, curb cut, drainage swale or other drainage conveyance to prevent material transport from leaving the local area. This consists of the facility being located, where practical, at least fifty (50) feet from any permanent or interim drainage ways.
Other Site Operations and Potential Spill Areas
47. Spills: For those minor spills that are less than the State's reportable quantity for spills, stay within the permitted area, and in no way threaten any stormwater conveyance, notify the City of Fort Collins Utilities by email at erosion@fgov.com or phone (970) 811-4770. For any significant, major, or hazardous spills, notify the City of Fort Collins Utilities by phone only after Emergency Response (911) has been notified and is on route. County Health Department (LCHD) has been notified through Larimer County Sheriff Dispatch (970) 416-1985, and the State Spill Hotline Incident Response have been contacted 1-877-618-5008. Written documentation shall be provided to the City within 5 days of the event. All spills shall be cleaned up immediately.
48. Selection of 'plastic webbed' erosion control blankets shall not be used in areas that wildlife, such as snakes, are likely to be located as these have proven to cause entrapment issues.
Final stabilization and project completion
49. Any stormwater facilities used as a temporary Control Measure will be restored and storm sewer lines will be cleaned upon completion of the project and before the maintenance over to the Owner, Homeowners Association (HOA), or other party responsible for long term maintenance of those facility.
50. All final stabilization specifications shall be done in accordance with the Manual, Chapter 4: Construction Control Measures.
51. All disturbed areas designed to be vegetated shall be amended, seeded & mulched, or landscaped as specified in the landscape plans and per City of Fort Collins standards within 14 working days of final grading.
52. Soil in all vegetated (landscaped or seeded) areas, including parkways and medians shall comply with all requirements set forth in Sections 12-130 through 12-132 of the City Municipal Code, as well as Section 3.8.21 for the City Land Use Code.
53. All seeding shall refer to landscaping plans or the Erosion Control Plans for species mixture and application rates and depths requirements.
54. All seed shall be drilled where practical to a depth based upon the seed type. Broadcast seeding shall be applied at double the rate as prescribed for drill seeding and shall be lightly hand raked after application. Hydroseeding may be substituted for drill seeding on slopes steeper than 3:1(HV) or on other wetland or riparian areas where practical to drill seed and crimp and mulch. All hydroseeding shall be conducted as two separate processes of seeding and topdressing.
55. All seeded areas must be mulched within twenty-four (24) after planting. All mulch shall be mechanically crimped and/or adequately applied

tackler. The use of crimped mulch or tackifier may require multiple re-applications if not properly installed or have weathered or degraded before vegetation has been established. Areas of embankments having slopes greater than or equal to 3:1(HV) shall be stabilized with an erosion mat or approved method to ensure seed will be able to germinate on the steep slopes. During a season when seeding doesn't produce vegetative cover, another temporary erosion control shall be implemented along with, or until, temporary seeding or permanent erosion control can be performed.
56. The Developer shall warranty and maintain all vegetative measures for two growing seasons after installation or until seventy percent (70%) vegetative cover has been established, whichever is longer and meets all the Criteria outlined in the Fort Collins Stormwater Criteria Manual Chapter 4: Construction Control Measures.
57. The Developer shall maintain, monitor, repair, and replace any and all applicable Control Measures until final stabilization has been obtained. All Control Measures must remain until such time as all upstream contributing pollutant sources have been vegetated or removed from the site. When any Control Measure is removed, the Developer shall be responsible for the cleanup and removal of all sediment and debris from that Control Measure. At the point at which the site has been deemed stabilized and verified by City Erosion Control Inspector, all temporary Control Measures can then be 30 days after final stabilization is achieved.
58. The responsible party shall maintain and keep current all payments or related forms of security for the Erosion Control Escrow until 1) stabilization has been reached and 2) all Control Measures and/or BMPs have sediment materials collected and the Control Measure removed from the site. At that time the site will be considered completed and any remaining Erosion Control Escrow shall be returned to the appropriate parties.

BUCKING HORSE PARK
EROSION CONTROL NOTES
NORTHERN ENGINEERING
APRIL 06, 2022
SCALE: N/A
P. MANAGER: A. Rosee
DRAWN BY: M. Foster

PROJECT: 1748-002
DESIGNED BY: M. Foster
APRIL 06, 2022

Sheet CS3
3 of 18
Call before you dig. Know what's below.
811
CALL A BUSINESS BEFORE YOU DIG. WE'LL FIND AND MARK ALL UTILITIES.
FOR A LIST OF PARTICIPATING COMPANIES VISIT WWW.CALLBEFOREYODIG.COM
OR CONTACT US AT 800-4-A-DIG
OR 970-441-2400

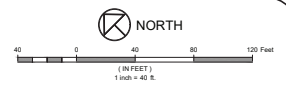
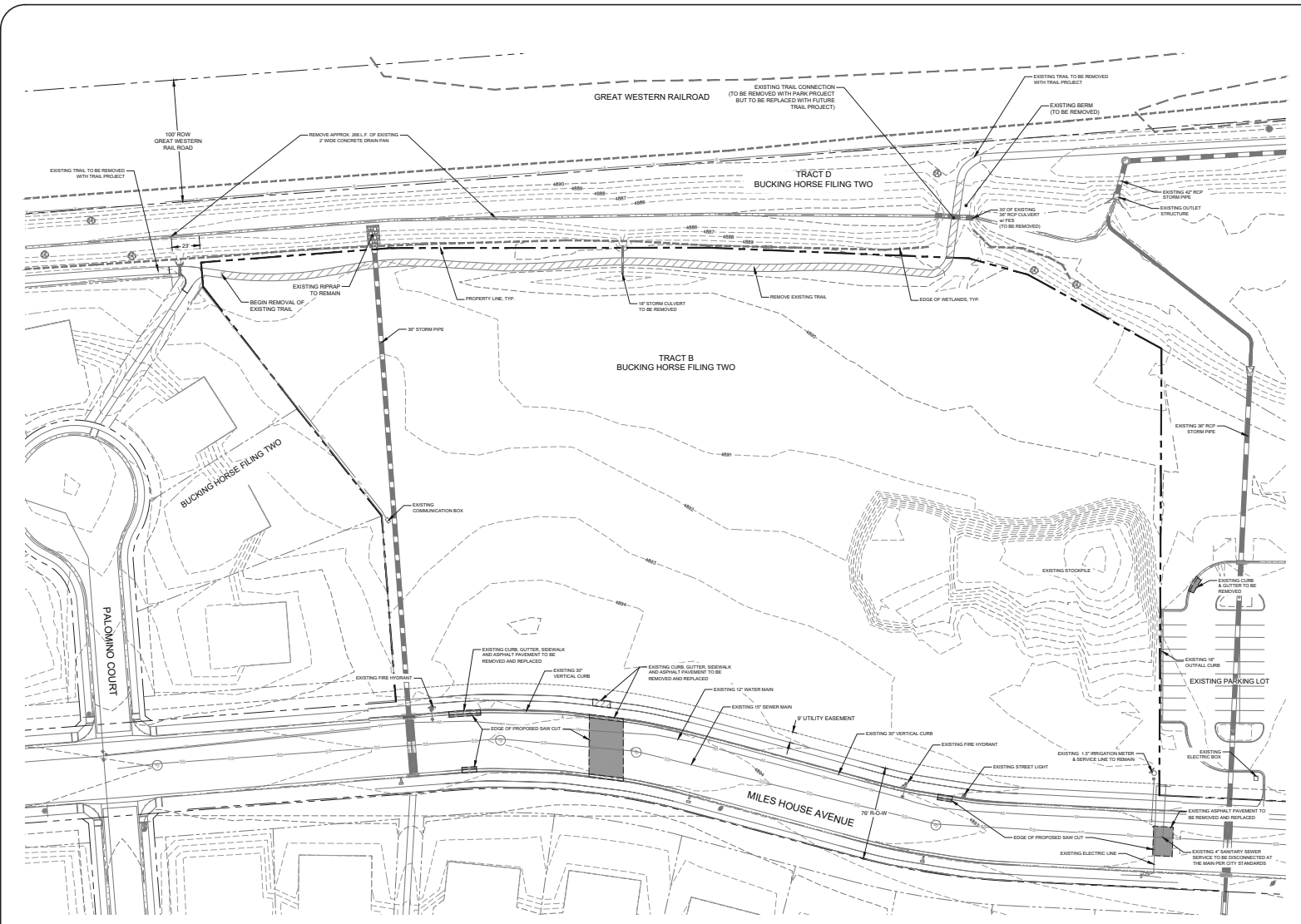
CALL UTILITY NOTIFICATION CENTER OF COLORADO



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DRAWN BY: M. FOLLEN  
 CHECKED BY: M. FOLLEN  
 DATE: 04/10/2023  
 PROJECT: 1748-002



**LEGEND:**

PROJECT BOUNDARY	---
EXISTING RIGHT-OF-WAY	---
EXISTING LOT LINE	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
EXISTING STORM SEWER	---
EXISTING TELEPHONE	---
EXISTING GAS	---
EXISTING SANITARY SEWER	---
EXISTING WATER	---
EXISTING ELECTRIC	---
EXISTING FIBER OPTIC	---
EXISTING CABLE	---
EXISTING OVERHEAD UTILITY	---
EXISTING FENCE	---
EXISTING ELECTRIC VAULT	---
EXISTING FIRE HYDRANT	---
EXISTING IRRIGATION BOX	---
EXISTING WATER METER	---
EXISTING GAS METER	---
EXISTING TELEPHONE PEDESTAL	---
EXISTING TREES (TO REMAIN)	---
EXISTING TREES (TO BE REMOVED)	---
PROPOSED SAWCUT	---
EXISTING CONCRETE TO BE REMOVED	---
EXISTING ASPHALT TO BE REMOVED	---

**FIELD SURVEY BY:**  
 CITY OF FORT COLLINS  
 Date: August, 2019

**NOTES:**

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIAL.
- CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, REUSE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
- ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE EXISTING SITE SURVEY.
- ADDITIONAL TREES NOT SHOWN ON THESE PLANS MAY EXIST AND MAY REQUIRE REMOVAL. COORDINATION OF WHICH TREES ARE TO REMAIN AND WHICH ARE TO BE REMOVED SHOULD BE COORDINATED WITH THE CITY FORESTER. REFER TO LANDSCAPE PLANS AND TREE MITIGATION PLAN FOR ADDITIONAL INFORMATION.
- NO DEMOLITION MAY OCCUR ON SITE UNTIL THE APPROPRIATE PERMITS AND APPROVALS HAVE BEEN ISSUED BY THE CITY. THIS INCLUDES, BUT IS NOT LIMITED, TO THE DEMOLITION OF STRUCTURES AND THE REMOVAL OF TREES.
- NO TREES SHALL BE REMOVED DURING THE SONGSPERD NESTING SEASON (FEBRUARY 1-JULY 31) WITHOUT FIRST HAVING A PROFESSIONAL ECOLOGIST OR WILDLIFE BIOLOGIST COMPLETE A NESTING SURVEY TO IDENTIFY ANY ACTIVE NESTS EXISTING ON THE PROJECT SITE. THE SURVEY SHALL BE SENT TO THE CITY ENVIRONMENTAL PLANNER. IF ACTIVE NESTS ARE FOUND, THE CITY WILL COORDINATE WITH RELEVANT STATE AND FEDERAL REPRESENTATIVES TO DETERMINE WHETHER ADDITIONAL RESTRICTIONS ON TREE REMOVAL AND CONSTRUCTION APPLY. SEE SHEET M100 FOR ADDITIONAL TREE PROTECTION, MITIGATION, AND REMOVAL NOTES.
- CURB, GUTTER AND SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT.
- CONTRACTOR SHALL COORDINATE ALL UTILITY DEMOLITION AND/OR RELOCATION ITEMS WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO BEGINNING ANY ON-SITE DEMOLITION.
- EXISTING TRAIL CONNECTION ACROSS DRAINAGE CHANNEL TO BE REMOVED WITH THIS PROJECT. FUTURE CONNECTION TO NORTH SIDE OF DRAINAGE CHANNEL TO BE MADE BY FUTURE TRAIL PROJECT.

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.  
 Call before you dig.

CALL A BUSINESS DAY IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES.

PROJECT: 1748-002  
 DATE: APRIL 06, 2023  
 SCALE: 1" = 40'  
 DRAWN BY: M. FOLLEN  
 CHECKED BY: M. FOLLEN  
 PROJECT: BUCKING HORSE PARK EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT: 1748-002  
 DATE: APRIL 06, 2023  
 SCALE: 1" = 40'  
 DRAWN BY: M. FOLLEN  
 CHECKED BY: M. FOLLEN  
 PROJECT: BUCKING HORSE PARK EXISTING CONDITIONS & DEMOLITION PLAN

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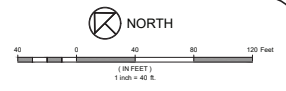
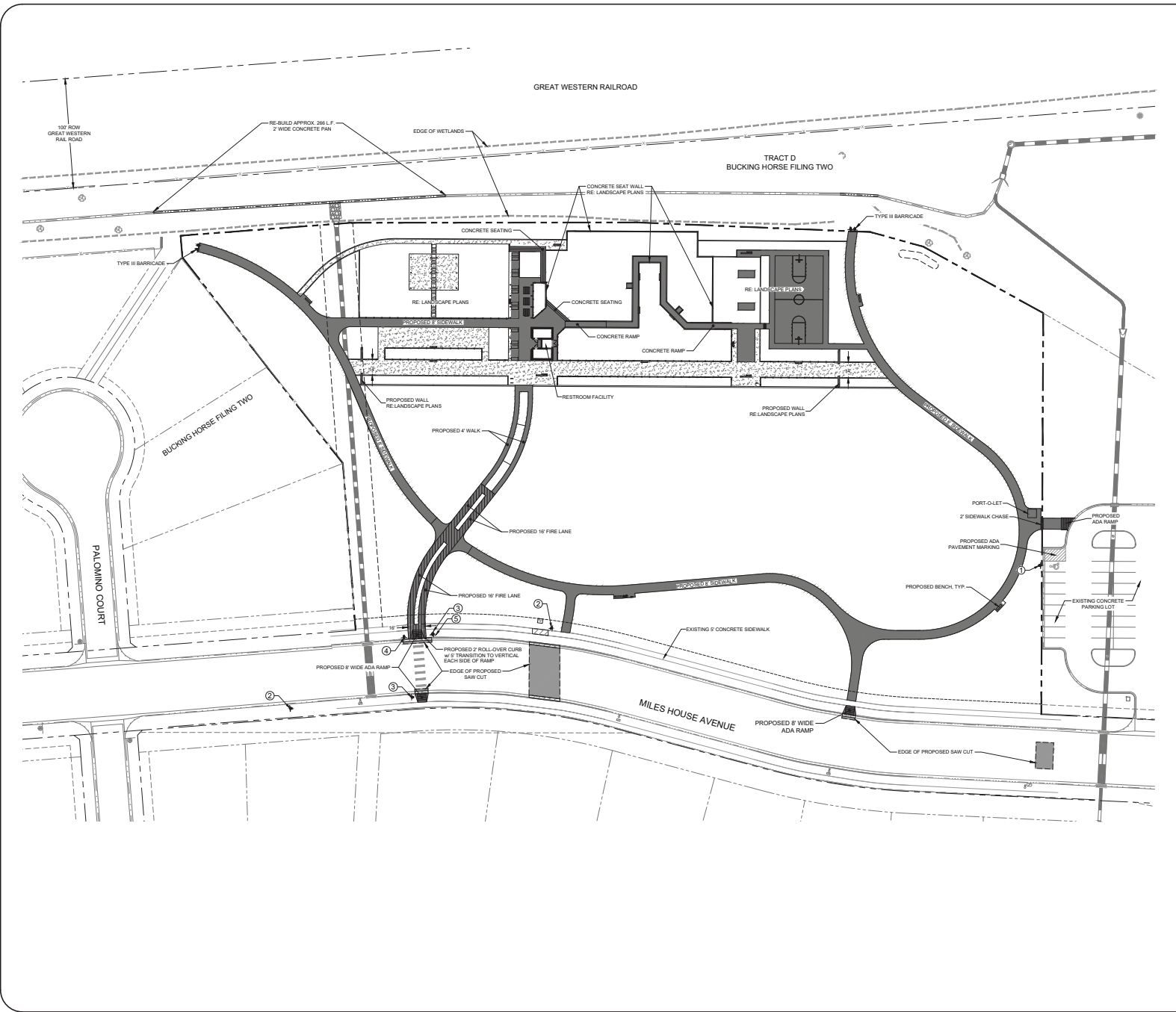
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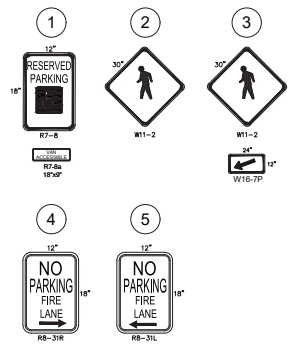
**LEGEND:**

PROPERTY BOUNDARY	---
EXISTING LOT LINE EASEMENTS	---
WETLAND BOUNDARY	---
ASPHALT PAVEMENT	▒
CONCRETE FLOWK	▒
HEAVY DUTY CONCRETE	▒
CRUSHER FINES	▒

**NOTES:**

- SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION REGARDING CURBS AND PAVEMENT SECTIONS.
- PAVEMENT MARKINGS SHALL BE PER CITY OF FORT COLLINS STANDARDS AND PROJECT SPECIFICATION MANUAL.
- LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY OF FORT COLLINS STREET REPAIR STANDARDS.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- ALL PUBLIC CONCRETE PAVING WITHIN THE RIGHT-OF-WAY SHALL BE 4" THICK.
- RE LANDSCAPE PLAN FOR ONSITE CONCRETE THICKNESS.
- REFER TO SITE AND LANDSCAPE PLANS (BY OTHERS) FOR ADDITIONAL INFORMATION RELATED TO DECORATIVE PAVING, HARDSCAPES, AND OTHER SITE AMENITIES.
- ALL INTERNAL SIDEWALKS MAY BE USED FOR PUBLIC ACCESS.
- ALL SIGN POSTS SHALL UTILIZE BREAK-AWAY ASSEMBLIES AND FASTENERS PER THE CITY OF FORT COLLINS STANDARDS.
- STREET NAME SIGNS (BOTH WAYS) AT INTERSECTIONS SHALL BE INSTALLED ABOVE STOP SIGNS ON SAME POLE PER THE CITY OF FORT COLLINS STANDARDS.
- THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES.
- SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATION TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
- SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. THE CITY OF FORT COLLINS RESERVES THE RIGHT TO REQUIRE ADDITIONAL SIGNAGE AND/OR STRIPING IF THE CITY DETERMINES THAT AN UNPRESSED CONDITION WARRANTS SUCH SIGNAGE ACCORDING TO THE MUTCD OR THE CDM AND S STANDARDS.
- STOP BARS AND CROSSWALK MARKINGS SHALL BE THERMOPLASTIC (120-MIL., MIN.).

**SITE SIGN LEGEND**



CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below. Call before you dig. CALL A BUSINESS BEFORE YOU EXCAVATE OR DIG. GRAB OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES.

Reference: **BLDG PERMIT**  
**NOT FOR CONSTRUCTION**  
 DATE: 04/26/2022

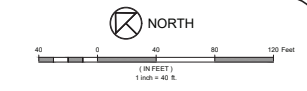
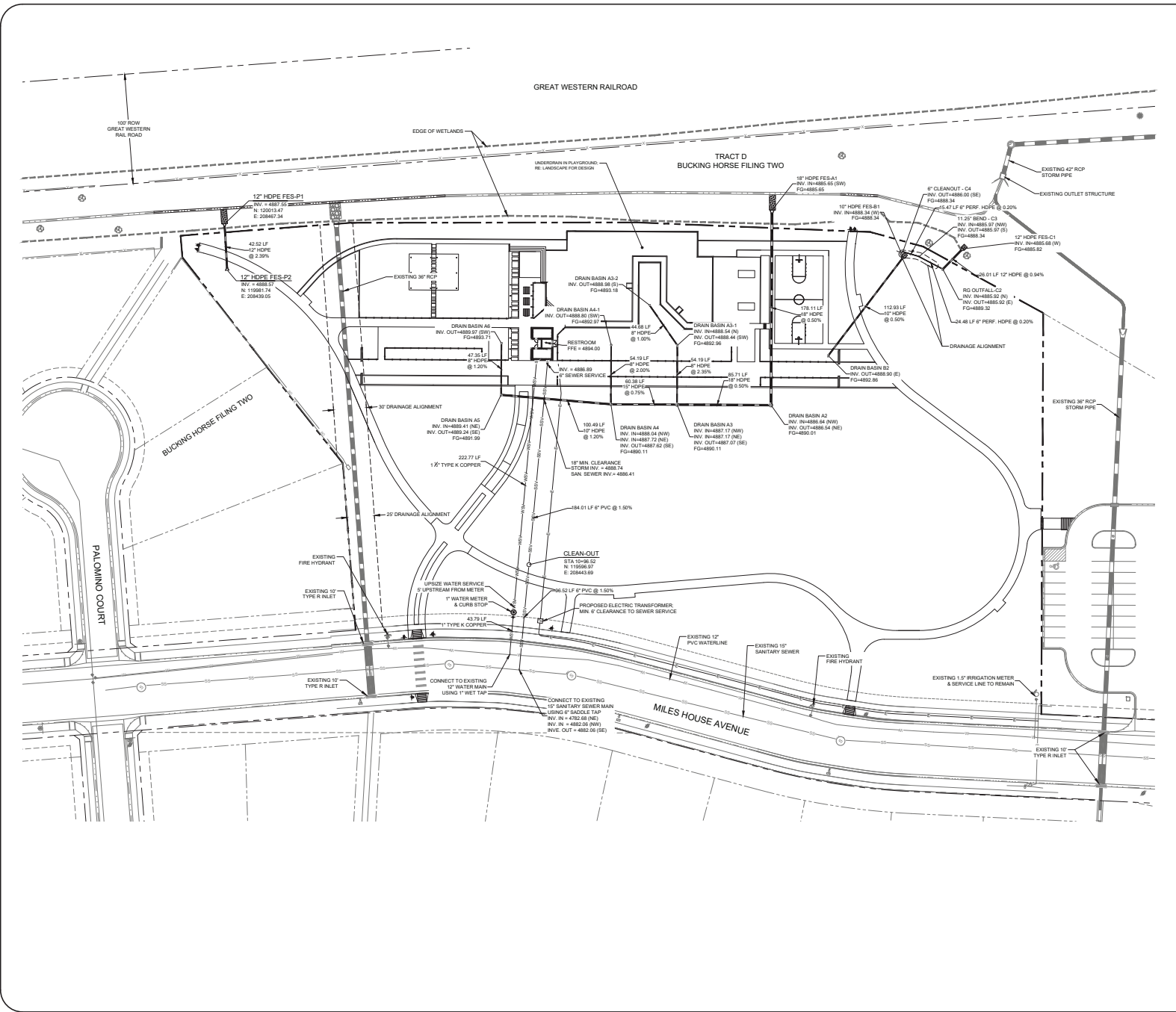
**NORTHERN ENGINEERING**  
 1000 S. WATSON ST., SUITE 100, FORT COLLINS, CO 80521  
 (970) 226-1100  
 www.northerneng.com

PROJECT: 1748-002  
 DATE: APRIL 26, 2022  
 SCALE: 1" = 40'  
 DESIGNED BY: A. Reese  
 DRAWN BY: M. Follen  
 P. MANAGER: A. Reese

**BUCKING HORSE PARK**  
**PAVING & SIGNAGE PLAN**

Sheet  
**PV1**  
 5 of 18

DRAWING NUMBER: 1748-002-PV1  
 DATE: 04/26/2022  
 SCALE: 1" = 40'  
 PROJECT: 1748-002



**LEGEND:**

PROPOSED WATER MAIN	—
PROPOSED WATER SERVICE	—
EXISTING WATER MAIN	—
PROPOSED SANITARY SEWER	—
EXISTING SANITARY SEWER	—
PROPOSED SEWER SERVICE	—
EXISTING SEWER SERVICE	—
PROPOSED FIRE HYDRANT	—
EXISTING FIRE HYDRANT	—
PROPOSED STORM SEWER	—
EXISTING STORM SEWER	—
EXISTING TELEPHONE	—
EXISTING GAS	—
EXISTING CABLE	—
PROPOSED CURB & GUTTER	—
PROPERTY BOUNDARY	—
EXISTING LOT LINE	—
PROPOSED ROW	—
EXISTING ROW	—
EXISTING EASEMENT LINE	—
EDGE OF WETLAND	—
PROPOSED STREET LIGHT	—
EXISTING TELEPHONE PEDESTAL	—
PROPOSED TRANSFORMER	—

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
  - ALL WATER CONSTRUCTION SHALL BE PER CITY COLLINS, LATEST EDITION EXCEPT FOR THE STANDARDS RELATED TO THE WATER SERVICES, WHICH SHALL BE PER THE CITY OF FORT COLLINS UTILITY STANDARDS. EXCEPT THAT NO MECHANICAL JOINT RESTRAINTS ARE REQUIRED BETWEEN FITTINGS UNLESS SPECIFICALLY SHOWN ON THE PLAN OR AS REQUIRED FOR ABNORMAL SITUATIONS.
  - ALL SEWER CONSTRUCTION SHALL BE PER CITY OF FORT COLLINS SANITARY SEWER DESIGN TECHNICAL CRITERIA MANUAL, LATEST EDITION.
  - ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
  - ALL WATER LINES SHALL HAVE A MINIMUM OF 4.5' AND MAXIMUM OF 5.5' COVER FROM FINISHED GRADE TO TOP OF PIPE.
  - UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
  - MAINTAIN 12' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
  - REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
  - LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH THE CITY OF FORT COLLINS STREET REPAIR STANDARDS.
  - ALL MANHOLE RIM ELEVATIONS (EXISTING & PROPOSED) ARE TO BE ADJUSTED TO BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LOGS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.

**Inlet Schedule**

Basin ID	Inlet Size (in.)	Nyloplast Grate Type
A2	24	Standard
A3	18	Standard
A3-1	10	Dome
A3-2	8	Dome
A4	18	Standard
A4-1	8	Dome
A5	12	Standard
A6	8	Dome
B2	10	Dome
RG OUTFALL C-2	12	Dome

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.  
Call before you dig.  
CALL A BUSINESS OVER A WEEKEND BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE SAFETY OF UNDERGROUND UTILITIES.

BLDG PERMIT  
 NOT FOR CONSTRUCTION  
 DATE: 04/06/2022

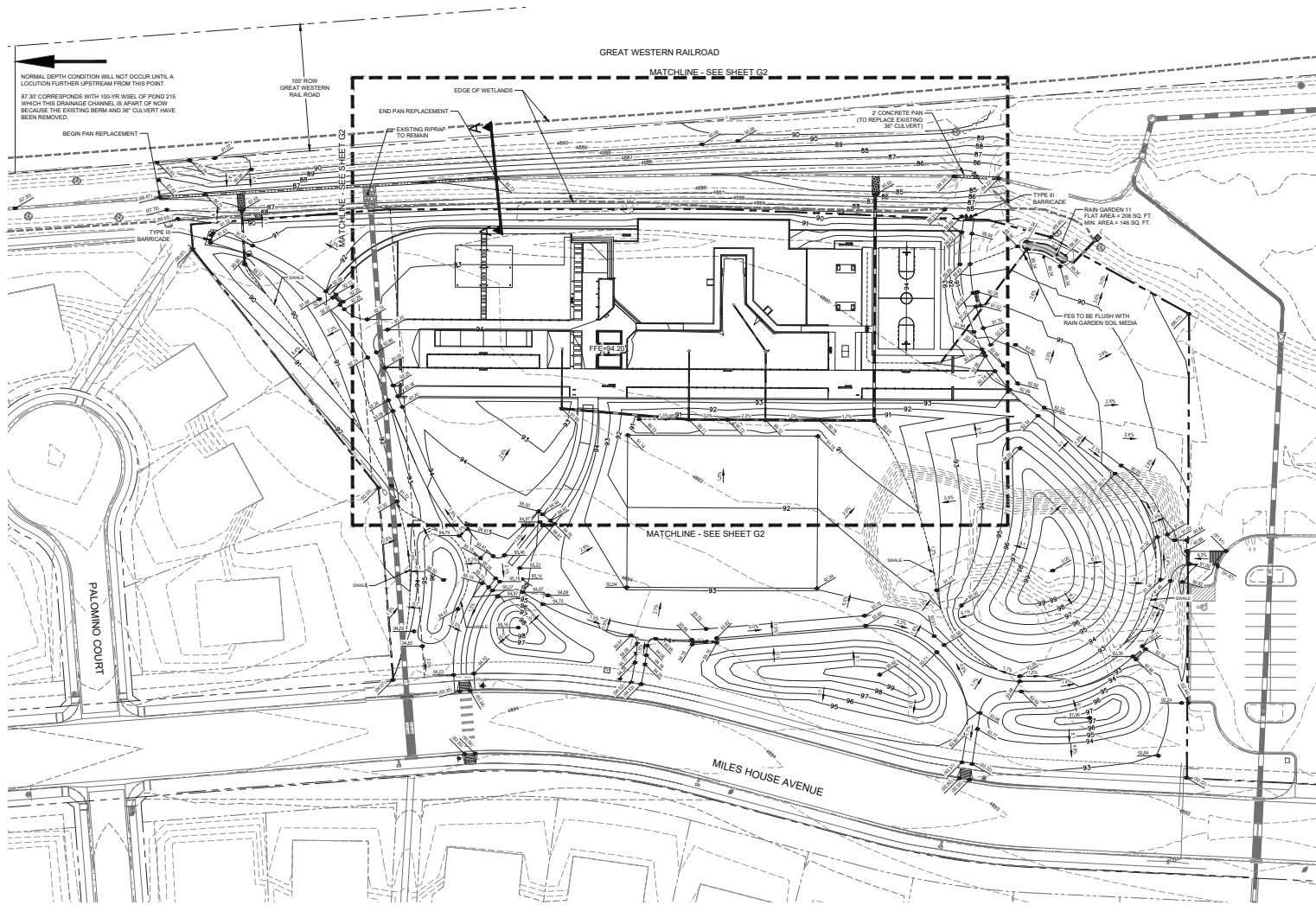
**NORTHERN ENGINEERING**  
 1000 S. W. 10th Street, Suite 100, Fort Collins, CO 80521  
 (970) 221-1000  
 www.northerneng.com

PROJECT: 1788-002  
 SHEET: 1 of 47  
 DATE: APRIL 06, 2022  
 P. MANAGER: A. Rose  
 DRAWN BY: M. Follen

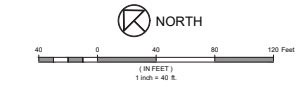
BUCKING HORSE PARK  
 UTILITY PLAN

Sheet  
**U1**  
 6 of 18

DRAWING PLANNING: (S:\1788-002\1788-002\1788-002-001.dwg) DATE: 04/06/2022 10:30:00 AM  
 USER: M. FOLLEN  
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 C:\Program Files\Autodesk\AutoCAD 2022\acad.mpl  
 C:\Program Files\Autodesk\AutoCAD 2022\acad.mpl



NORMAL DEPTH CONDITION WILL NOT OCCUR UNTIL A LOCATION FURTHER UPSTREAM FROM THIS POINT.  
 37.30' CORRESPONDS WITH 100-YR WELLS OF FLOOD 215 WHICH THIS DRAINAGE CHANNEL IS APART OF NOW BECAUSE THE EXISTING BERM AND 36" CULVERT HAVE BEEN REMOVED.

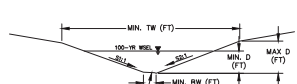


**LEGEND:**

EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CATCH BASIN	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT OF WAY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	
WETLAND BOUNDARY	
PROPOSED SPOT ELEVATION	
EXISTING SPOT ELEVATION	
PROPOSED SLOPES	

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK, BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
  - REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
  - ALL PROJECT DATA IS ON VERTICAL DATUM, CITY OF FORT COLLINS NAVD83. SEE COVER SHEET FOR BENCHMARK REFERENCES.
  - ALL CURB SPOTS SHOWN ARE FINISH GRADE ELEVATIONS. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.

**SECTION A-A SWALE SUMMARY (NORMAL DEPTH):**



MIN. TW (FT)	MIN. BW (FT)	MIN. D (FT)	MAX. D (FT)	S1	S2
40	13	2.83	4.22	4	4

CALL UTILITY NOTIFICATION CENTER OF COLORADO



CALL A BUSINESS OVER A WEEKEND BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE SAFETY OF UNDERGROUND MEMBER UTILITIES.

BUCKING HORSE PARK  
 GRADING PLAN  
 SHEET G1  
 DATE: 04/26/2022  
 NOT FOR CONSTRUCTION  
 04/26/2022

NORTHERN ENGINEERING  
 1000 W. 10TH AVENUE, SUITE 100, FORT COLLINS, CO 80521  
 (970) 226-1111  
 www.northerneng.com



PROJECT: BUCKING HORSE PARK GRADING PLAN  
 DATE: 04/26/2022  
 SCALE: 1" = 40'  
 DESIGNED BY: A. ROSE  
 DRAWN BY: M. FOLLEN  
 P. MANAGER: A. ROSE

BUCKING HORSE PARK  
 GRADING PLAN  
 SHEET G1

Sheet  
**G1**  
 7 of 18

DRAWING FILENAME: \\P:\17100\00000000\17100-00000000\17100-00000000.dwg  
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 PLOT: 17100-00000000.dwg  
 PLOT DATE: 04/26/2022 10:00:00 AM  
 PLOT USER: A.ROSE



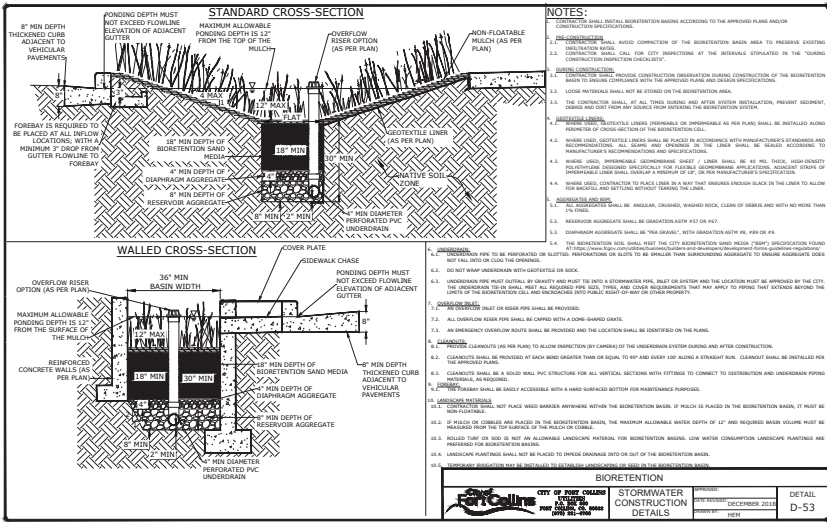












400  
D4

BIORETENTION (RAIN GARDEN 11)

NOT TO SCALE

		<b>STORMWATER CONSTRUCTION DETAILS</b>	
PROJECT: 1788-252	DATE: APRIL 06, 2022	DESIGNED BY: M. Follen	SCALE: N/A
DRAWN BY: M. Follen	P. MANAGER: A. Reese	CHECKED BY: M. Follen	DATE: 04/06/2022
CITY OF FORT COLLINS 1000 EAST COLLEGE AVENUE FORT COLLINS, CO 80521		PROJECT: 1788-252 DATE: APRIL 06, 2022	SHEET: D-53

BUCKING HORSE PARK  
CONSTRUCTION DETAILS

Sheet  
D4

12 of 18

Permit  
BLDG PERMIT  
NOT FOR CONSTRUCTION  
DATE: 04/06/2022

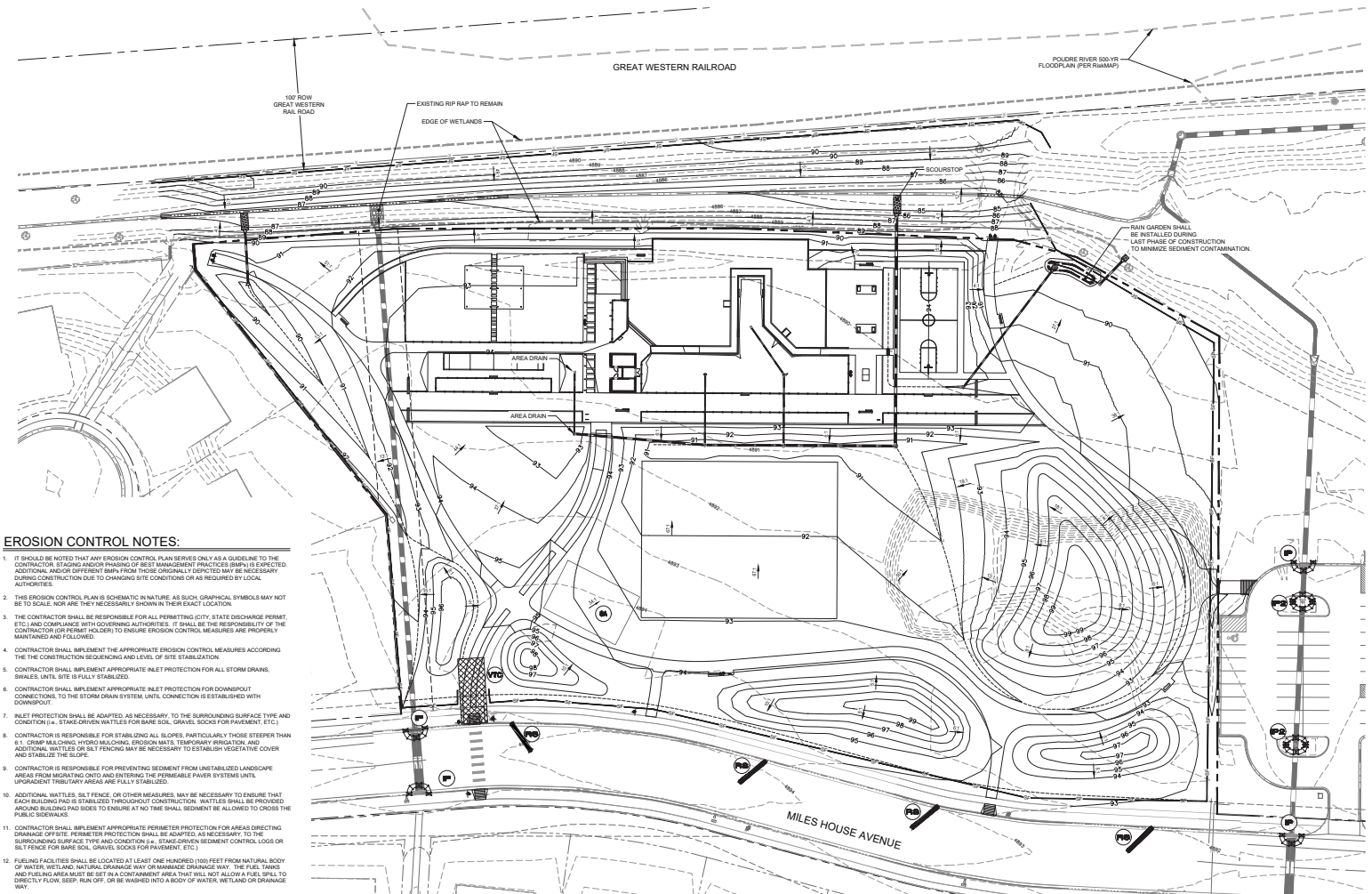
REVISIONS

NO.	DATE	DESCRIPTION

**NORTHERN ENGINEERING**  
 1000 EAST COLLEGE AVENUE, SUITE 100, FORT COLLINS, CO 80521  
 (970) 221-1111  
 www.northerneng.com

PROJECT: 1788-252  
 DATE: APRIL 06, 2022  
 DESIGNED BY: M. Follen  
 SCALE: N/A  
 DRAWN BY: M. Follen  
 P. MANAGER: A. Reese

PROJECT: 1788-252  
 DATE: APRIL 06, 2022  
 SHEET: D-53

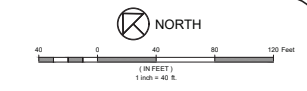


**EROSION CONTROL NOTES:**

- IT SHOULD BE NOTED THAT ANY EROSION CONTROL PLAN SERVES ONLY AS A GUIDELINE TO THE CONTRACTOR. STAGING AND/OR PILING OF BEST MANAGEMENT PRACTICES (BMPs) IS SUSPECTED, ADDITIONAL, AND/OR DIFFERENT BMPs FROM THOSE ORIGINALLY DEPICTED MAY BE NECESSARY DURING CONSTRUCTION DUE TO CHANGING SITE CONDITIONS OR AS REQUIRED BY LOCAL AUTHORITIES.
- THE EROSION CONTROL PLAN IS A SCHEMATIC IN NATURE. AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE, NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING CITY, STATE DISCHARGE PERMIT (ETC.) AND COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (OR PERMIT HOLDER) TO ENSURE EROSION CONTROL MEASURES ARE PROPERLY MAINTAINED AND FOLLOWED.
- CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION CONTROL MEASURES ACCORDING TO THE CONSTRUCTION SEQUENCING AND LEVEL OF SITE STABILIZATION.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR ALL STORM DRAINS, SWALES, LOTS, ETC. FULLY STABILIZED.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR DOWNSPOUT CONNECTIONS TO THE STORM DRAIN SYSTEM UNTIL CONNECTION IS ESTABLISHED WITH DOWNSPOUT.
- INLET PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (i.e., STAKE-DRIVEN WATTLES FOR BARE SOIL, GRAVEL SOCKS FOR PAVEMENT, ETC.).
- CONTRACTOR IS RESPONSIBLE FOR STABILIZING ALL SLOPES, PARTICULARLY THOSE STEEPER THAN 4:1. CRIMP MULCHING, HYDRO MULCHING, EROSION MATS, TEMPORARY VEGETATION, AND ADDITIONAL WATTLES OR SILT FENCING MAY BE NECESSARY TO ESTABLISH VEGETATIVE COVER AND STABILIZE THE SLOPE.
- CONTRACTOR IS RESPONSIBLE FOR PREVENTING SEDIMENT FROM UNSTABILIZED LANDSCAPE AREAS FROM MIGRATING ONTO AND ENTERING THE PERMEABLE PAVEMENT SYSTEMS UNTIL ADJACENT TRIBUTARY AREAS ARE FULLY STABILIZED.
- ADDITIONAL WATTLES, SILT FENCE, OR OTHER MEASURES MAY BE NECESSARY TO ENSURE THAT EACH BUILDING PAD IS STABILIZED THROUGHOUT CONSTRUCTION. WATTLES SHALL BE PROVIDED AROUND BUILDING PAD SIDES TO ENSURE AT NO TIME SHALL SEDIMENT BE ALLOWED TO CROSS THE PUBLIC SIDEWALKS.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE PERIMETER PROTECTION FOR AREAS DIRECTING DRAINAGE OFF-SITE. PERIMETER PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (i.e., STAKE-DRIVEN SEDIMENT CONTROL LOGS OR SILT FENCE FOR BARE SOIL, GRAVEL SOCKS FOR PAVEMENT, ETC.).
- FUELING FACILITIES SHALL BE LOCATED AT LEAST ONE HUNDRED (100) FEET FROM NATURAL BODY OF WATER, WETLANDS, NATURAL DRAINAGE WAY OR MANMADE DRAINAGE WAY. THE FUEL TANKS AND FUELING AREA MUST BE SET IN A CONTAMINATION AREA THAT WILL NOT ALLOW A FUEL SPILL TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY.
- CONSTRUCTION WASTE STORAGE (DUMPSTERS) AND PORTABLE SANITATION UNITS (CONSTRUCTION TOILETS) SHALL BE LOCATED AT LEAST FIFTY (50) FEET FROM ANY STORMWATER INLET, WETLAND, OR DRAINAGE WAY. SAID FACILITIES MUST BE SET IN A CONTAMINATION AREA THAT WILL NOT ALLOW POLLUTANTS TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY. DUMPSTERS SHALL BE LOCATED ON FLAT, STABLE GROUND, AND CONSTRUCTION TOILETS SHALL BE STAKED DOWN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WILL COOPERATE WITH THE CITY'S CONSTRUCTION INSPECTORS BY CEASING OPERATIONS WHEN WINDS ARE OF SUFFICIENT VELOCITY TO CREATE HAZARDOUS DUST WHICH, IN THE INSPECTOR'S OPINION, IS HAZARDOUS TO THE PUBLIC HEALTH AND WELFARE.
- WHERE SEASONAL CONSTRAINTS (E.G. DURING SUMMER AND WINTER MONTHS) INHIBIT PERMANENT SEEDING OPERATIONS, DISTURBED AREAS WILL BE TREATED WITH MULCH AND MULCH TACKIFIER OR OTHER MATERIALS APPROVED BY EROSION CONTROL, SOAST TO PREVENT EROSION.
- SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON PLANTING, REVEGETATION, HARDSCAPE AND OTHER PERMANENT SITE STABILIZATION METHODS.
- SOIL AND SEEDS FROM CONSTRUCTION ACTIVITIES TRACKED ON CITY STREETS SHALL BE KEPT TO A MINIMUM AND CLEANED IMMEDIATELY OR AT THE SUGGESTION OF THE CITY'S EROSION CONTROL INSPECTOR.
- CONTRACTOR SHALL KEEP CONSTRUCTION VEHICLES ENTERING AND EXITING SITE TO A MINIMUM.
- CONTRACTOR SHALL, AT ALL TIMES DURING AND AFTER SYSTEM INSTALLATION, PREVENT SEDIMENT, DEBRIS, AND DIRT FROM ANY SOURCE FROM ENTERING THE PERMEABLE PAVEMENT SYSTEM. LOOSE MATERIALS SHALL NOT BE STORED ON THE PERMEABLE PAVEMENT AREA AND SEDIMENT LADEN RUNOFF SHOULD BE KEPT AWAY FROM THE PAVEMENT AREA. TEMPORARILY DIVERT RUNOFF OR INSTALL SEDIMENT CONTROL MEASURES AS NECESSARY TO REDUCE THE AMOUNT OF SEDIMENT RUNOFF TO THE PAVEMENT. SURFACE PROTECTION COULD INCLUDE COVERING AREAS OF THE PAVEMENT PROVIDING ALTERNATIVE CONSTRUCTION VEHICLE ACCESS, AND PROVIDING EDUCATION TO ALL PARTIES WORKING ON-SITE.

**TABLE OF CONSTRUCTION SEQUENCE AND BMP APPLICATION**

Project: BUCKING HORSE PARK	CONSTRUCTION PHASE	MOBILIZATION	DEMOLITION	GRADING	UTILITIES INSTALLATION	FLAT WORK INSTALLATION	VERTICAL INSTALLATION	LANDSCAPE	DEMOLITION
<b>BEST MANAGEMENT PRACTICES (BMPs)</b>									
<b>STRUCTURAL "INSTALLATION"</b>									
Silt Fence Barriers *									
Conform Purlins (Ripping / Drilling)									
Wattles / Trenches that									
Flare Barriers (Chutes) *									
Silt Filter Bags *									
Rock Bags *									
Riprap *									
* All Temporary BMPs to be Removed once Construction is Complete.									
<b>Vegetative</b>									
Temporary Seeding Planting									
Mulching / Seeding									
Permanent Seeding Planting									
Soil Installation									
Rollod Products: Netting / Blankets / Mats									



**LEGEND:**

- PROPOSED STORM BEVER
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SWALE
- PROPOSED CURB & GUTTER
- PROPERTY BOUNDARY
- SILT FENCE
- WATTLE DIKE
- ROCK SOCK
- SCOURSTOP
- CONCRETE WASH AREA
- VEHICLE TRACKING CONTROL PAD
- INLET PROTECTION
- EROSION CONTROL BLANKET
- STAGING AREA
- IRRIGATED BLUEGRASS TURF
- NATIVE SEED MIX

**BENCHMARK/BASIS OF BEARING:**

PROJECT DATUM: NAVD8S  
 CITY OF FORT COLLINS BENCHMARK 284 EAST DRAKE AND ENVIRONMENTAL DRIVE, APPROX. 110 FEET EAST OF SOUTH ENTRANCE TO WATER TREATMENT PLANT #2, ON TOP OF THE SECTION CORNER MONUMENT DATED 1988 IN FRANGE BOX, 12 FEET WEST OF TOP OF DITCH BANK, 25 FEET NORTH OF THE RAILROAD TRACKS, AND 27 FEET SOUTH OF LARGE COTTONWOOD TREE. ELEVATION = 4881.57

PLEASE NOTE: THIS PLAN SET IS USING NAVD8S FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NAVD09 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.  
 IF NAVD09 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED:  
 NAVD09 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD8S DATUM - 3.19'

**BASIS OF BEARINGS:**  
 ASSUMING THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 7 NORTH, RANGE 88 WEST, AS BEARING SOUTH 88°42'05" EAST AS SHOWN ON THE PLAN.

**GENERAL NOTES:**

- CONTRACTOR SHALL IMMEDIATELY STABILIZE ALL DISTURBED SLOPES BY CRIMP MULCHING OR SIMILAR METHODS.
- SWAMP ADMINISTRATOR:  
 Contact: \_\_\_\_\_  
 Company: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_
- CONTRACTOR TO PROVIDE VEHICLE TRACKING CONTROL FOR CONCRETE WASHOUT AREA & ACCESS TO PAVEMENT.
- REFER TO THE FINAL DRAINAGE REPORT BUCKING HORSE PARK DATED MARCH 30, 2022 BY NORTHERN ENGINEERING FOR ADDITIONAL INFORMATION.

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below. Call before you dig.

CALL A BUSINESS OR HOME OWNER BEFORE YOU DIG. UNLESS YOU ARE EXEMPTED FROM THE REQUIREMENT OF UNDERGROUND UTILITY LOCATIONS.

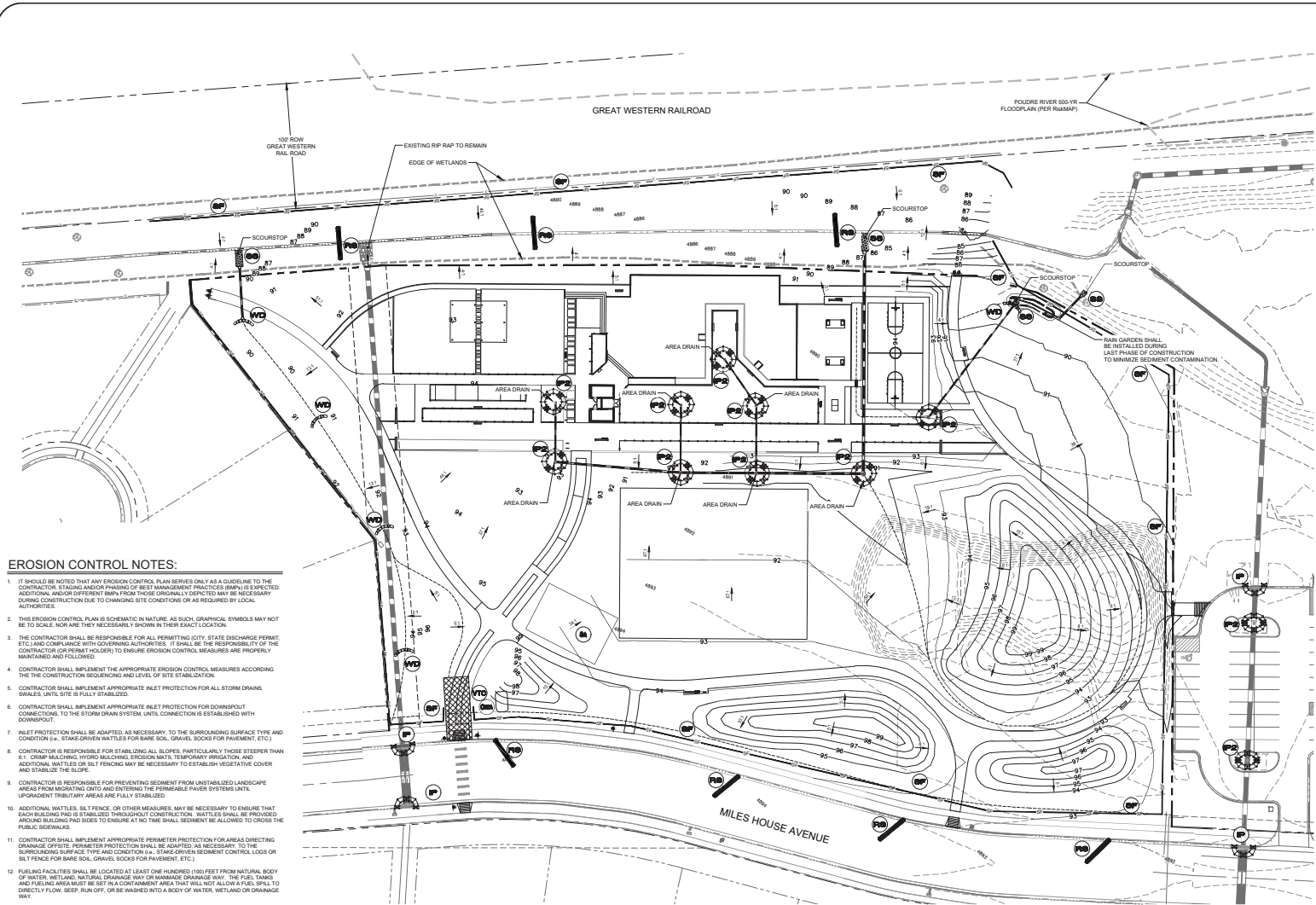
PROJECT: BUCKING HORSE PARK  
 DATE: APRIL 06, 2022  
 SCALE: 1" = 40'  
 DESIGNED BY: B. Markham  
 DRAWN BY: E. Markham  
 A. Rosee  
 P. Manager

BLDG PERMIT NOT FOR CONSTRUCTION 04/06/2022

NORTHERN ENGINEERING  
 1000 14TH AVENUE, SUITE 100, FORT COLLINS, CO 80521  
 (970) 226-1111  
 www.northerneng.com

**NE**  
 NORTHERN ENGINEERING

**BUCKING HORSE PARK  
 INITIAL EROSION CONTROL PLAN**

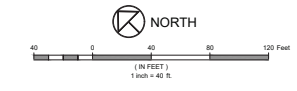


**EROSION CONTROL NOTES:**

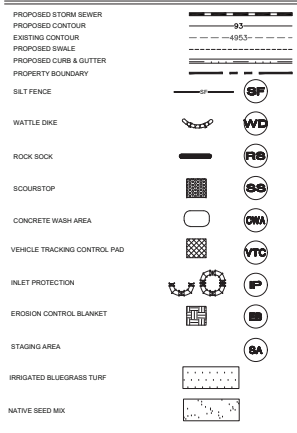
- IT SHOULD BE NOTED THAT ANY EROSION CONTROL PLAN IS ONLY A GUIDELINE TO THE CONTRACTOR. STAGING AND/OR PAVING OF BEST MANAGEMENT PRACTICES (BMP) IS EXPECTED. ADDITIONAL MEASURES OTHER THAN THOSE ORIGINALLY IDENTIFIED MAY BE NECESSARY DURING CONSTRUCTION DUE TO CHANGING SITE CONDITIONS OR AS REQUIRED BY LOCAL AUTHORITIES.
- THIS EROSION CONTROL PLAN IS SCHEMATIC IN NATURE. AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE, NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING, CITY, STATE DISCHARGE PERMIT, ETC. AND COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR PERMIT HOLDER TO ENSURE EROSION CONTROL MEASURES ARE PROPERLY MAINTAINED AND FOLLOWED.
- CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION CONTROL MEASURES ACCORDING TO THE CONSTRUCTION SEQUENCING AND LEVEL OF SITE STABILIZATION.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR ALL STORM DRAINS, SWALES, UNTIL SITE IS FULLY STABILIZED.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR DOWNSPOUT CONNECTIONS TO THE STORM DRAIN SYSTEM. UNTIL CONNECTION IS ESTABLISHED WITH DOWNSPOUT.
- INLET PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (E.G. STAGE-DRENCH WATERS FOR BARE SOIL, GRAVEL SOCKS FOR PAVEMENT, ETC.)
- CONTRACTOR IS RESPONSIBLE FOR STABILIZING ALL SLOPES, PARTICULARLY THOSE STEEPER THAN 8:1. SLOPES REQUIRING PERMANENT EROSION MATS, TEMPORARY VEGETATION, AND ADDITIONAL WATLES OR SILT FENCING MAY BE NECESSARY TO ESTABLISH VEGETATIVE COVER AND STABILIZE THE SLOPE.
- CONTRACTOR IS RESPONSIBLE FOR PREVENTING SEDIMENT FROM UNSTABILIZED LANDSCAPE AREAS FROM MIGRATING ONTO AND ENTERING THE PERMEABLE PAVEMENT SYSTEMS UNTIL UPGRADING TRIBUTARY AREAS ARE FULLY STABILIZED.
- ADDITIONAL WATLES, SILT FENCE, OR OTHER MEASURES MAY BE NECESSARY TO ENSURE THAT EACH BUILDING PAD IS STABILIZED THROUGHOUT CONSTRUCTION. WATLES SHALL BE PROVIDED AROUND BUILDING PAD SIDES TO ENSURE AT NO TIME SHALL SEDIMENT BE ALLOWED TO CROSS THE PUBLIC SIDEWALKS.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE PERIMETER PROTECTION FOR AREAS DIRECTING DRAINAGE OFF SITE. PERIMETER PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (E.G. STAGE-DRENCH WATERS FOR BARE SOIL OR SILT FENCE FOR BARE SOIL, GRAVEL SOCKS FOR PAVEMENT, ETC.)
- FUELING FACILITIES SHALL BE LOCATED AT LEAST ONE HUNDRED (100) FEET FROM NATURAL BODY OF WATER, WETLAND, NATURAL DRAINAGE WAY OR MANMADE DRAINAGE WAY. THE FUEL TANKS AND FUELING AREA MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW A FUEL SPILL TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY.
- CONSTRUCTION WASTE STORAGE (DUMPSTERS) AND PORTABLE SANITATION UNITS (CONSTRUCTION TOILETS) SHALL BE LOCATED AT LEAST 500 FEET FROM ANY STORMWATER INLET, WETLAND, OR DRAINAGE WAY. SANITATION FACILITIES MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW POLLUTANTS TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY. DUMPSTERS SHALL BE LOCATED ON FLAT, STABLE GROUND, AND CONSTRUCTION TOILETS SHALL BE STAGED DOWN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WILL COOPERATE WITH THE CITY'S CONSTRUCTION INSPECTORS BY CARRYING OPERATIONS OUT IN SUCH A MANNER AS TO AVOID OPERATIONS THAT ARE BLOWING DUST WHICH, IN THE INSPECTOR'S OPINION, IS HAZARDOUS TO THE PUBLIC HEALTH AND WELFARE.
- WHERE SEASONAL CONSTRAINTS (E.G. DURING SUMMER AND WINTER MONTHS) INHIBIT PERMANENT SEEDING OPERATIONS, DISTURBED AREAS WILL BE TREATED WITH MULCH AND MULCH TACKIFIER OR OTHER MATERIALS APPROVED BY EROSION CONTROL STAFF TO PREVENT EROSION.
- SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON PLANTING, REVEGETATION, HARDSCAPE AND OTHER PERMANENT SITE STABILIZATION METHODS.
- DIRT AND DEBRIS FROM CONSTRUCTION ACTIVITIES TRACKED ON CITY STREETS SHALL BE KEPT TO A MINIMUM AND CLEANED IMMEDIATELY OR AT THE SUGGESTION OF THE CITY'S EROSION CONTROL INSPECTOR.
- CONTRACTOR SHALL KEEP CONSTRUCTION VEHICLES ENTERING AND EXITING SITE TO A MINIMUM.
- THE CONTRACTOR SHALL, AT ALL TIMES DURING AND AFTER SYSTEM INSTALLATION, PREVENT SEDIMENT, DEBRIS, AND DIRT FROM ANY SOURCE FROM ENTERING THE PERMEABLE PAVEMENT SYSTEM. LOOSE MATERIALS SHALL NOT BE STORED ON THE PERMEABLE PAVEMENT AREA AND ANY SEDIMENT, LOOSE MATERIALS SHALL NOT BE STORED IN THE PERMEABLE AREA. TEMPORARILY DIVERT RUNOFF TO INSTALLED SEDIMENT CONTROL MEASURES AS NECESSARY TO REDUCE THE ADJUSTMENT OF SEDIMENT TO THE PERMEABLE PAVEMENT. CONSTRUCTION VEHICLES SHALL COVER AREAS OF THE PAVEMENT, PROVIDING ALTERNATIVE CONSTRUCTION VEHICLE ACCESS, AND PROVIDING EDUCATION TO ALL PARTIES WORKING ON-SITE.

**TABLE OF CONSTRUCTION SEQUENCE AND BMP APPLICATION**

Project: BUCKING HORSE PARK	CONSTRUCTION PHASE	VEGETATION	DEMOLITION	GRADING	UTILITIES INSTALLATION	FLAT WORK INSTALLATION	VERTICAL INSTALLATION	LANDSCAPE	DEMOLITION
<b>BEST MANAGEMENT PRACTICES (BMPs)</b>									
<b>STRUCTURAL INSTALLATION</b>									
• Silt Fence Barriers *									
• Concrete Formwork (Piling / Decking)									
• Vehicle Tracking Mats *									
• Flow Barriers (Weebars) *									
• Silt Filter Bags *									
• Rock Bags *									
• Riprap									
• 1/4" Temporary BMPs to be Removed once Construction is Complete									
<b>Vegetative</b>									
• Temporary Seeding Planting									
• Temporary Seeding Planting									
• Permanent Seeding Planting									
• Soil Stabilization									
• Rolled Products - Netting / Blankets / Mats									



**LEGEND:**



**BENCHMARK/BASIS OF BEARING:**

PROJECT DATUM: NAVD88  
 CITY OF FORT COLLINS BENCHMARK 2-94 EAST DRAKE AND ENVIRONMENTAL DRIVE, APPROX. 110 FEET EAST OF SOUTH ENTRANCE TO WATER TREATMENT PLANT #2, ON TOP OF THE SECTION CORNER MONUMENT DATED 1989 IN RANGE BOX, 12 FEET WEST OF TOP OF DITCH BANK, 25 FEET NORTH OF THE RAILROAD TRACKS, AND 27 FEET SOUTH OF LARGE COTTONWOOD TREE. ELEVATION = 4861.57  
 PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.  
 IF NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 DATUM - 3.10'  
 BASIS OF BEARING: ASSUMING THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 7 NORTH, RANGE 88 WEST, AS BEARING SOUTH 86°22'00" EAST AS SHOWN ON THE PLAN.

**GENERAL NOTES:**

- CONTRACTOR SHALL IMMEDIATELY STABILIZE ALL DISTURBED SLOPES BY CRIMP MULCHING OR SIMILAR METHODS.
- SWMP ADMINISTRATOR: Contact Company Address Phone
- CONTRACTOR TO PROVIDE VEHICLE TRACKING CONTROL FOR CONCRETE WASHOUT AREA IF ACCESS IS OFF PAVEMENT.
- REFER TO THE FINAL DRAINAGE REPORT BUCKING HORSE PARK DATED MARCH 30, 2022 BY NORTHERN ENGINEERING FOR ADDITIONAL INFORMATION.

CALL UTILITY NOTIFICATION CENTER OF COLORADO



CALL BEFORE YOU DIG, OR LOCATE FOR THE MISSING OF UNDERGROUND UTILITIES.

REVISIONS:  
 DATE: 04/26/2022  
 BY: M.M.  
 CHECKED: A.M.  
 APPROVED: A.M.  
 PROJECT: BUCKING HORSE PARK  
 SHEET: EC2  
 TOTAL SHEETS: 10  
 NOT FOR CONSTRUCTION

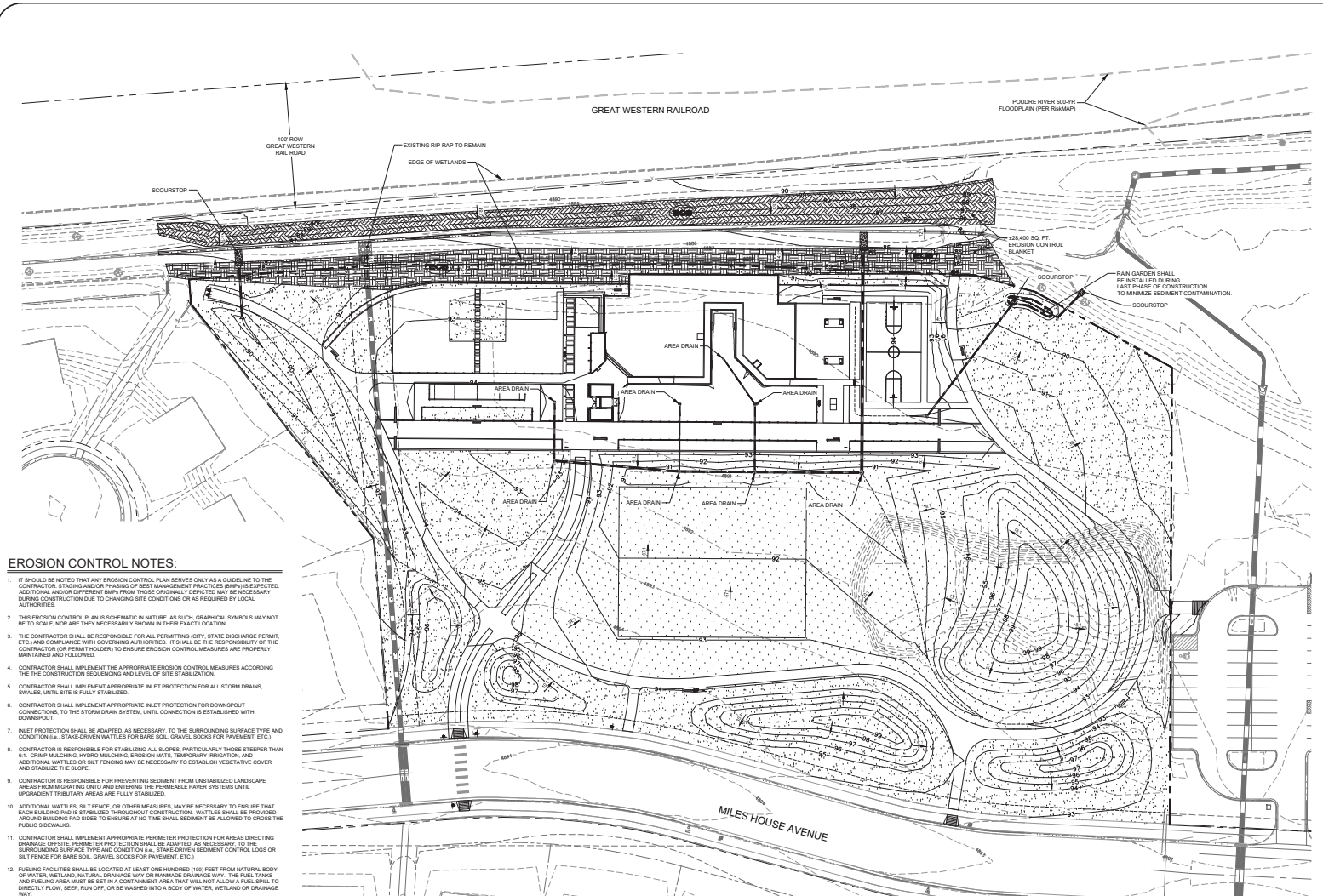
NORTHERN ENGINEERING  
 10702 131st Street, Suite 100, Broomfield, CO 80020  
 (303) 440-1111  
 www.northerneng.com

DATE: 04/26/2022  
 TIME: 10:00 AM  
 PROJECT: BUCKING HORSE PARK  
 SHEET: EC2  
 TOTAL SHEETS: 10

BUCKING HORSE PARK  
 INTERIM EROSION CONTROL PLAN

Sheet EC2  
 14 of 18



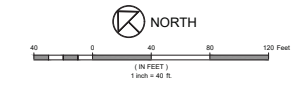


**EROSION CONTROL NOTES:**

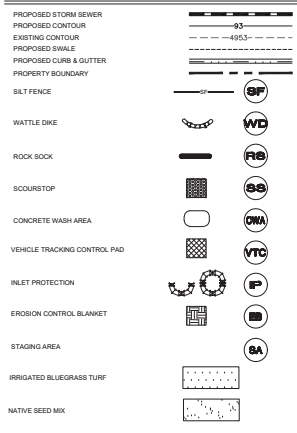
- IT SHOULD BE NOTED THAT ANY EROSION CONTROL PLAN SERVES ONLY AS A GUIDELINE TO THE CONTRACTOR. STORM AND/OR PAVING OF BEST MANAGEMENT PRACTICES (BMPs) IS EXPECTED. ADDITIONAL MEASURES OTHER THAN THOSE ORIGINALLY IDENTIFIED MAY BE NECESSARY DURING CONSTRUCTION DUE TO CHANGING SITE CONDITIONS OR AS REQUIRED BY LOCAL AUTHORITIES.
- THIS EROSION CONTROL PLAN IS SCHEMATIC IN NATURE. AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE, NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING CITY, STATE DISCHARGE PERMIT, ETC. AND COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR PERMIT HOLDER TO ENSURE EROSION CONTROL MEASURES ARE PROPERLY MAINTAINED AND FOLLOWED.
- CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION CONTROL MEASURES ACCORDING TO THE CONSTRUCTION SEQUENCING AND LEVEL OF SITE STABILIZATION.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR ALL STORM DRAINS, SWALES, UNTIL SITE IS FULLY STABILIZED.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR DOWNSPOUT CONNECTIONS TO THE STORM DRAIN SYSTEM UNTIL CONNECTION IS ESTABLISHED WITH DOWNSPOUT.
- INLET PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (E.G. STAGE-DRENCH WATERS FOR BARE SOIL, GRAVEL SOCKS FOR PAVEMENT, ETC.)
- CONTRACTOR IS RESPONSIBLE FOR STABILIZING ALL SLOPES, PARTICULARLY THOSE STEEPER THAN 8:1. SLOPES REQUIRING STEEPER SLOPES, EROSION MATS, TEMPORARY PROTECTION, AND ADDITIONAL WATLES, OR SILT FENCING MAY BE NECESSARY TO ESTABLISH VEGETATIVE COVER AND STABILIZE THE SLOPE.
- CONTRACTOR IS RESPONSIBLE FOR PREVENTING SEDIMENT FROM UNSTABILIZED LANDSCAPE AREAS FROM MIGRATING ONTO AND ENTERING THE PERMEABLE PAVEMENT SYSTEMS UNTIL UPGRADING TRIBUTARY AREAS ARE FULLY STABILIZED.
- ADDITIONAL WATLES, SILT FENCE, OR OTHER MEASURES MAY BE NECESSARY TO ENSURE THAT EACH BUILDING PAD IS STABILIZED THROUGHOUT CONSTRUCTION. WATLES SHALL BE PROVIDED AROUND BUILDING PAD SIDES TO ENSURE AT NO TIME SHALL SEDIMENT BE ALLOWED TO CROSS THE PUBLIC SIDEWALKS.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE PERIMETER PROTECTION FOR AREAS DIRECTING DRAINAGE OFF SITE. PERIMETER PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (E.G. STAGE-DRENCH WATERS FOR BARE SOIL, GRAVEL SOCKS FOR PAVEMENT, ETC.)
- FUELING FACILITIES SHALL BE LOCATED AT LEAST ONE HUNDRED (100) FEET FROM NATURAL BODY OF WATER, WETLAND, NATURAL DRAINAGE WAY OR MANMADE DRAINAGE WAY. THE FUEL TANKS AND FUELING AREA MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW A FUEL SPILL TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY.
- CONSTRUCTION WASTE STORAGE (DUMPSTERS) AND PORTABLE SANITATION UNITS (CONSTRUCTION TOILETS) SHALL BE LOCATED AT LEAST CITY BLOCK FEET FROM ANY STORMWATER INLET, WETLAND, OR DRAINAGE WAY. SANITATION FACILITIES MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW POLLUTANTS TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY. DUMPSTERS SHALL BE LOCATED ON FLAT, STABLE GROUND, AND CONSTRUCTION TOILETS SHALL BE STAGED DOWN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WILL COOPERATE WITH THE CITY'S CONSTRUCTION INSPECTORS BY CARRYING OUT OPERATIONS WHICH ARE OF SUPERIOR QUALITY TO CREATE, BLOWING DUST WHICH, IN THE INSPECTOR'S OPINION, IS HAZARDOUS TO THE PUBLIC HEALTH AND WELFARE.
- WHERE SEASONAL CONSTRAINTS (E.G. DURING SUMMER AND WINTER MONTHS) INHIBIT PERMANENT SEEDING OPERATIONS, DISTURBED AREAS WILL BE TREATED WITH MULCH AND MULCH TACKIFIER OR OTHER MATERIALS APPROVED BY EROSION CONTROL STAFF TO PREVENT EROSION.
- SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON PLANTING, REVEGETATION, HARDSCAPE AND OTHER PERMANENT SITE STABILIZATION METHODS.
- DIRT AND DEBRIS FROM CONSTRUCTION ACTIVITIES TRACKED ON CITY STREETS SHALL BE KEPT TO A MINIMUM AND CLEANED IMMEDIATELY OR AT THE SUGGESTION OF THE CITY'S EROSION CONTROL INSPECTOR.
- CONTRACTOR SHALL KEEP CONSTRUCTION VEHICLES ENTERING AND EXITING SITE TO A MINIMUM.
- CONTRACTOR SHALL, AT ALL TIMES DURING AND AFTER SYSTEM INSTALLATION, PREVENT SEDIMENT, DEBRIS, AND DIRT FROM ANY SOURCE FROM ENTERING THE PERMEABLE PAVEMENT SYSTEM. LOOSE MATERIALS SHALL NOT BE STORED IN THE PERMEABLE PAVEMENT AREA AND NO SEDIMENT-LADEN RUNOFF SHALL BE ALLOWED TO ENTER THE PERMEABLE PAVEMENT AREA. TEMPORARILY DIVERT RUNOFF INTO STORM DRAINAGE CONTROL MEASURES AS NECESSARY TO REDUCE THE ADJUSTMENT OF SEDIMENT TO BE TREATED BY STORM DRAINAGE. CONSTRUCTION SHALL INCLUDE COVERING AREAS OF THE PAVEMENT, PROVIDING ALTERNATIVE CONSTRUCTION VEHICLE ACCESS, AND PROVIDING EDUCATION TO ALL PARTIES WORKING ON-SITE.

**TABLE OF CONSTRUCTION SEQUENCE AND BMP APPLICATION**

Project: BUCKING HORSE PARK	CONSTRUCTION PHASE	VEGETATION	EROSION CONTROL	GRADING	UTILITIES INSTALLATION	FLAT WORK INSTALLATION	VERTICAL INSTALLATION	LANDSCAPE	REMOBILIZATION
<b>BEST MANAGEMENT PRACTICES (BMPs)</b>									
<b>STRUCTURAL INSTALLATION</b>									
Silt Fence Barriers *									
Concrete Formwork (Piling / Decking)									
Vehicle Tracking Mats *									
Silt Fence Barriers (Sheet Pile) *									
Sheet Pile Bags *									
Rock Bags *									
Flags *									
* All Temporary BMPs to be Removed once Construction is Complete.									
<b>Vegetative</b>									
Temporary Seeding Planting									
Establishment Seeding Planting									
Permanent Seeding Planting									
Soil Stabilization									
Roller Products - Netting / Blankets / Mats									



**LEGEND:**



**BENCHMARK/BASIS OF BEARING:**

PROJECT DATUM: NAVD88  
 CITY OF FORT COLLINS BENCHMARK 2-04 EAST DRAKE AND ENVIRONMENTAL DRIVE, APPROX. 110 FEET EAST OF SOUTH ENTRANCE TO WATER TREATMENT PLANT #2, ON TOP OF THE SECTION CORNER MONUMENT DATED 1989 IN RANGE BOX, 12 FEET WEST OF TOP OF DITCH BANK, 25 FEET NORTH OF THE RAILROAD TRACKS, AND 27 FEET SOUTH OF LARGE COTTONWOOD TREE.  
 ELEVATION = 4861.57  
 PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SUBROUTING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.  
 IF NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED:  
 NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 DATUM - 3.10'  
 BASIS OF BEARING:  
 ASSUMING THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 2 NORTH, RANGE 88 WEST, AS BEARING SOUTH 86°22'01" EAST AS SHOWN ON THE PLAN.

**GENERAL NOTES:**

- CONTRACTOR SHALL IMMEDIATELY STABILIZE ALL DISTURBED SLOPES BY CRIMP MULCHING OR SIMILAR METHODS.
- SWMP ADMINISTRATOR:  
 Contact: \_\_\_\_\_  
 Company: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_
- CONTRACTOR TO PROVIDE VEHICLE TRACKING CONTROL FOR CONCRETE WASHOUT AREA IF ACCESS IS OFF PAVEMENT.
- REFER TO THE FINAL DRAINAGE REPORT BUCKING HORSE PARK DATED MARCH 30, 2022 BY NORTHERN ENGINEERING FOR ADDITIONAL INFORMATION.

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below. Call before you dig. CALL 811 BEFORE YOU EXCAVATE BECAUSE YOU DIG, GRAZE, OR DISRUPT FOR THE BEARING OF UNDERGROUND UTILITY SERVICES.

REVISIONS:  
 DATE: 07/06/2022  
 BY: A. ROSE  
 CHECKED BY: A. ROSE  
 APPROVED BY: A. ROSE  
 PROJECT: BUCKING HORSE PARK  
 SHEET: EC3  
 TOTAL SHEETS: 10  
 NOT FOR CONSTRUCTION

NORTHERN ENGINEERING  
 10700 20th Street, Suite 100, Fort Collins, CO 80501  
 (970) 221-1111  
 www.northerneng.com

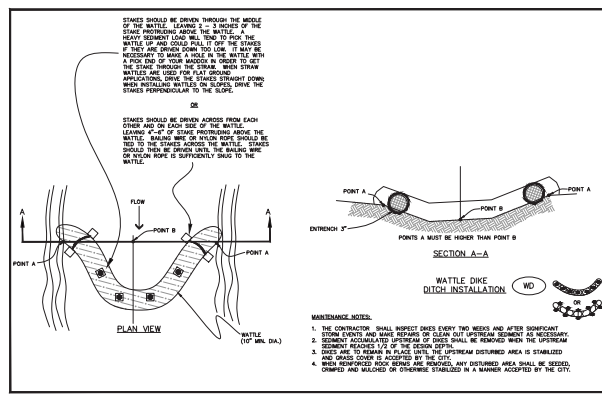
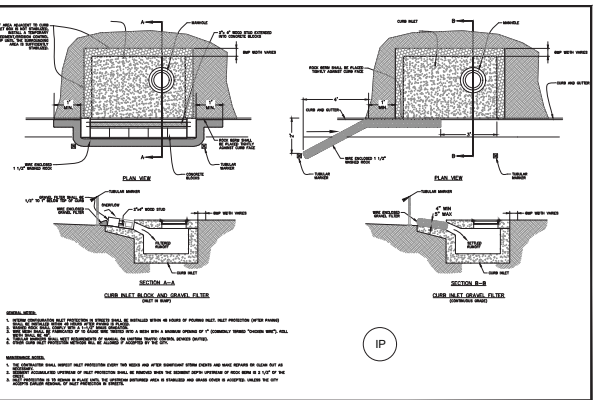
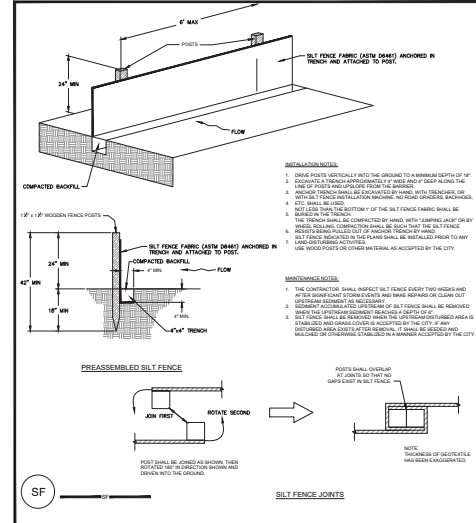
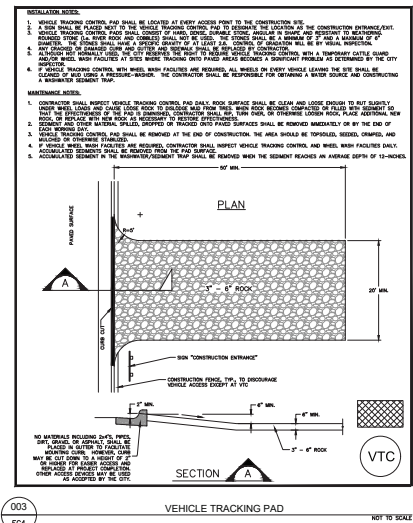
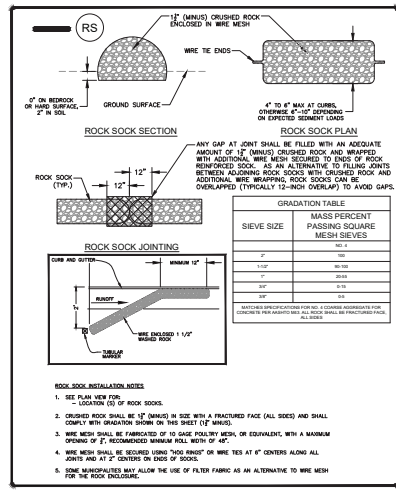
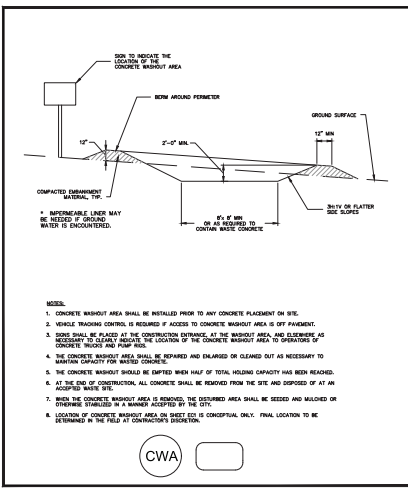


DATE: 07/06/2022  
 TIME: 10:00 AM  
 PROJECT: BUCKING HORSE PARK  
 SHEET: EC3  
 TOTAL SHEETS: 10  
 A. ROSE  
 A. ROSE

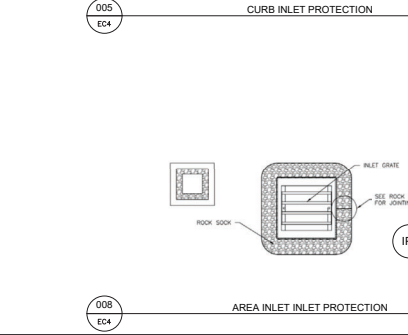
BUCKING HORSE PARK  
 FINAL EROSION CONTROL PLAN

Sheet EC3  
 15 of 18





Description	Estimated Quantity	Units
Total Disturbed Project Area	6.13	Acres
Total "Onsite" Area of Disturbance	6.13	Acres
Total "Offsite" Area of Disturbance	0	Acres
Total Storage/Slagging Area	1	Acres
Total Inlet Runoff Area	N/A	Acres
Construction Vehicle Traffic Area	N/A	Acres
Est. Percent of Project Area Exposed	100	%
Existing Soil Type	0	Caruso clay loam, 0 to 1 percent slope
Groundwater Depth	8.5	Feet
Number of Phases w/Project	N/A	
Total volume of imported (c) exported (c) materials	7268	Cubic Yds.
Total area of stockpiling of fill or borrow areas off site	20011	Sq. feet
Steepest Slope	13:1	H:V
Distance from riparian area or sensitive area	N/A	



BUCKING HORSE PARK  
EROSION CONTROL DETAILS

Sheet EC4

16 of 18

PROJECT: 1788-002  
DATE: APRIL 06, 2022  
SCALE: N/A  
DESIGNED BY: M. Foster  
DRAWN BY: M. Foster

PROJECT MANAGER: A. Rose

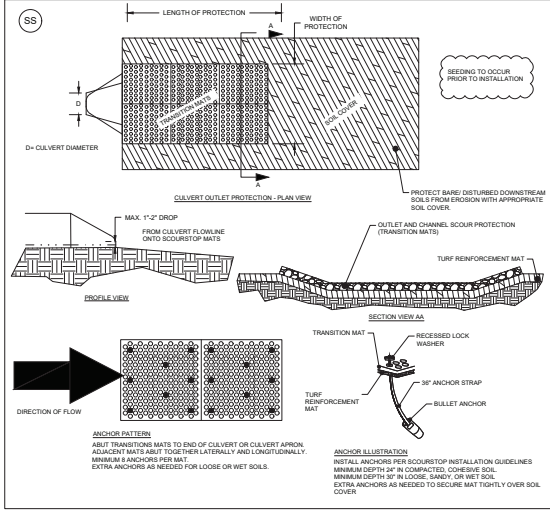
REVISIONS:

NO. 1

DATE: 04/06/2022

BY: M. Foster

DESCRIPTION: BLDG PERMIT NOT FOR CONSTRUCTION

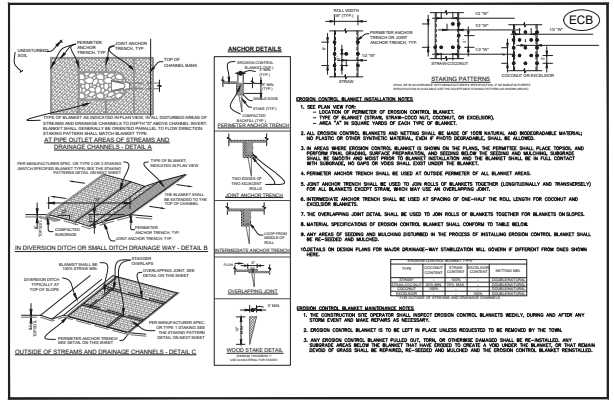


- NOTE:
- SCOUR STOP MAT PRODUCT UTILIZED FOR TURF REINFORCEMENT MAT DIMENSIONS. OTHER TURF REINFORCEMENT MAT PRODUCTS EQUAL TO OR BETTER ALLOWED WITH APPROVAL OF THE ENGINEER AND CITY.
  - SEEDING AT OUTFALL OF STORM SEWER SHALL BE COMPLETED PRIOR TO INSTALLATION OF TURF REINFORCEMENT MAT.

009  
EC3 TURF REINFORCEMENT MAT - SCOUR STOP NOT TO SCALE

FES ID	W (FT)	L (FT)	QUANTITY OF MATS
18" HDRE FES-A1	4	12	3
10" HDRE FES-B1	4	4	1
12" HDRE FES-C1	4	4	1
12" HDRE FES-P1	4	12	3

010  
EC3 SCOUR STOP TURF REINFORCEMENT MAT SCHEDULE



011  
EC3 EROSION CONTROL BLANKET NOT TO SCALE

BUCKING HORSE PARK  
 EROSION CONTROL DETAILS  
 SHEET EC5  
 17 OF 18

APRIL 06, 2022  
 SCALE: N/A  
 DESIGNED BY: M. Foutin  
 DRAWN BY: M. Foutin  
 P. MANAGER: A. Reese

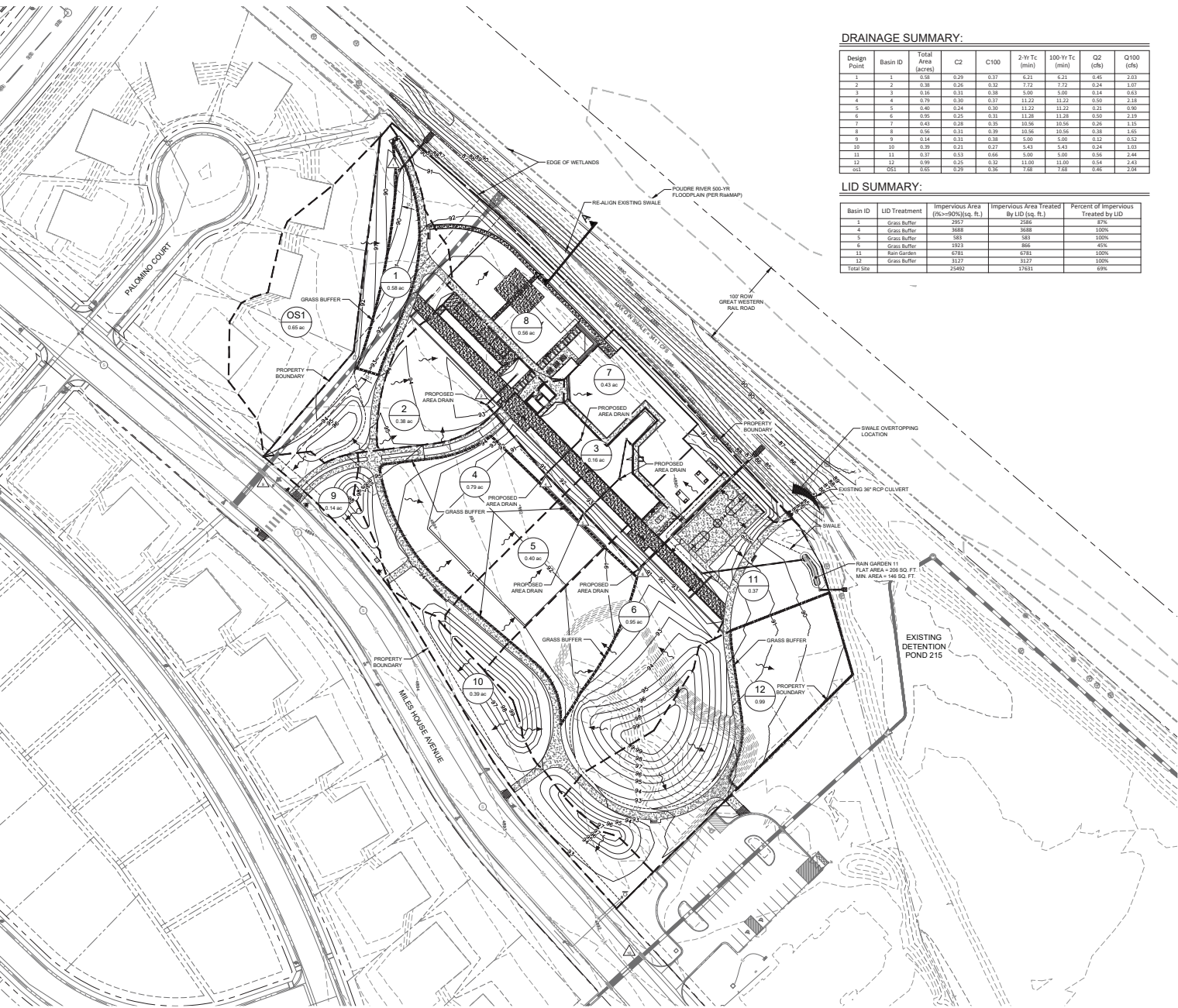
NORTHERN ENGINEERING  
 1000 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202  
 (303) 733-8800  
 www.northernengineering.com

BLDG PERMIT  
 NOT FOR CONSTRUCTION  
 DATE: 04/06/2022

BUCKING HORSE PARK  
 EROSION CONTROL DETAILS  
 SHEET EC5  
 17 OF 18

APRIL 06, 2022  
 SCALE: N/A  
 DESIGNED BY: M. Foutin  
 DRAWN BY: M. Foutin  
 P. MANAGER: A. Reese

BLDG PERMIT  
 NOT FOR CONSTRUCTION  
 DATE: 04/06/2022

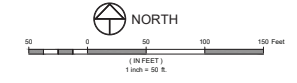


**DRAINAGE SUMMARY:**

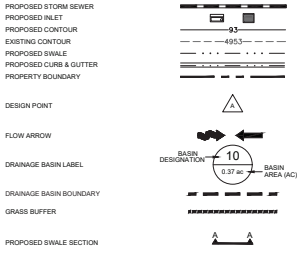
Design Point	Basin ID	Total Area (acres)	C2	C100	2-Yr Tc (min)	100-Yr Tc (min)	C2 (cfs)	Q100 (cfs)
1	1	0.38	0.29	0.37	6.21	6.21	0.45	2.03
2	2	0.38	0.26	0.32	7.72	7.72	0.24	1.07
3	3	0.35	0.13	0.28	5.00	5.00	0.14	0.63
4	4	0.79	0.30	0.37	11.22	11.22	0.50	2.18
5	5	0.40	0.24	0.30	11.22	11.22	0.21	0.90
6	6	0.90	0.25	0.31	11.28	11.28	0.50	2.15
7	7	0.43	0.23	0.35	10.56	10.56	0.26	1.15
8	8	0.56	0.31	0.39	10.56	10.56	0.38	1.65
9	9	0.54	0.31	0.38	5.00	5.00	0.52	2.52
10	10	0.39	0.21	0.27	5.43	5.43	0.24	1.03
11	11	0.37	0.23	0.26	5.00	5.00	0.28	1.24
12	12	0.99	0.25	0.32	11.00	11.00	0.54	2.43
total	OS1	6.02	0.29	0.36	7.68	7.68	0.46	2.04

**LID SUMMARY:**

Basin ID	LID Treatment	Impervious Area (Pre=50%/Log. Ft.)	Impervious Area Treated By LID (Log. Ft.)	Percent of Impervious Treated by LID
1	Grass Buffer	2957	2586	87%
4	Grass Buffer	569	569	100%
5	Grass Buffer	583	583	100%
6	Grass Buffer	1923	866	45%
11	Rain Garden	1762	6285	100%
12	Grass Buffer	3127	3127	100%
Total Site		25492	17611	69%



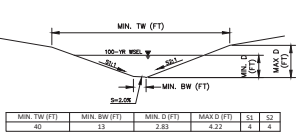
**LEGEND:**



**NOTES:**

- REFER TO THE FINAL DRAINAGE REPORT BUCKING HORSE PARK DATED MARCH 30, 2022 FOR ADDITIONAL INFORMATION.
- THIS PROPERTY IS CURRENTLY LOCATED IN THE FEMA MODERATE RISK FLOOD HAZARD AREA FOR THE CADIE LA POUDRE RIVER, BUT THE PROPOSED REMAPPING FROM RRMAP WILL REMOVE ALL FLOODPLAIN DESIGNATIONS FROM THE PROJECT AREA.
- REFER TO THE LANDSCAPE PLANS BY CITY OF FORT COLLINS FOR ADDITIONAL LANDSCAPING INFORMATION.

**SECTION A-A SWALE SUMMARY (NORMAL DEPTH):**



PROJECT: BUCKING HORSE PARK  
 DATE: APRIL 06, 2022  
 SCALE: 1" = 50'  
 DRAWN BY: C. ORTIZ  
 P. MANAGER: A. ROSSER  
 CHECKED BY: J. HAYES, M. BENTZ  
 APPROVED BY: J. HAYES, M. BENTZ  
 PROJECT NO: 2021-001

**NORTHERN ENGINEERING**  
 1000 W. 10TH AVENUE, SUITE 100, FORT COLLINS, CO 80521  
 (970) 226-1100  
 www.northerneng.com

**BUCKING HORSE PARK**  
**DRAINAGE EXHIBIT**

Sheet DR1  
 18 of 18

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below. Call before you dig.  
 CALL A BUSINESS OR HOME PROVIDED SERVICE TO DIG, GATE, GRADE, OR EXCAVATE FOR THE SAFETY OF UNDERGROUND UTILITY SERVICES.

DRAWING FILENAME: \\1720-001\projects\2021\2021-001\2021-001-001\2021-001-001.dwg DATE: 04/06/2022 10:00:00 AM USER: jhayes  
 LAYOUT FILENAME: \\1720-001\projects\2021\2021-001\2021-001-001\2021-001-001.dwg DATE: 04/06/2022 10:00:00 AM USER: jhayes  
 LSP: C:\PROG~1\Autodesk\LT2021\lib\ltspl.dll

## Bucking Horse Neighborhood Park and East Parks Maintenance Facility Neighborhood Meeting Notes

Meeting Date: November 20, 2019

Meeting Location: Liberty Common High School

*These notes are a summary of the neighborhood meeting discussion and not a verbatim transcript.  
Please contact staff at any time with any comments or questions.*

### *City Staff:*

Clark Mapes, City Planner, ph 970.221.6225, [cmapes@fcgov.com](mailto:cmapes@fcgov.com)

Marcy Yoder, City Neighborhood Services, ph 970.221.6676, [myoder@fcgov.com](mailto:myoder@fcgov.com)

### *Applicant:*

Craig Kisling, Landscape Architect with City Parks Planning, ph 970.221.6367, [ckisling@fcgov.com](mailto:ckisling@fcgov.com)

## Summary

- **Meeting Topic:** This neighborhood meeting discussed proposed projects for two City Parks facilities in the Bucking Horse subdivision:
  - 1) a maintenance facility along Environmental Drive at the far eastern corner of the Bucking Horse neighborhood where Drake Road becomes Ziegler Road; and
  - 2) a new Bucking Horse Neighborhood Park along Miles House Drive in the Bucking Horse neighborhood.
- **Attendees:** The meeting included ~20 attendees, including staff and applicants, on a snowy evening.
- **Summary:** The meeting was an opportunity to share the two proposals with Bucking Horse neighborhood residents. The applicant (City of Fort Collins Parks Staff) presented the basic proposal for the maintenance facility, consisting of a building with office and shop space, and a storage yard for equipment and materials. Screening, landscaping, walkways, and any lighting will meet Land Use Code requirements. The building will continue the agricultural theme of Bucking Horse.

The applicants then explained the background and context of the City's whole system for planning and development of new parks, and how neighborhood parks fit into the system. The approach is carefully derived from the setting and context of each park, including citizen input.

The majority of the meeting was an open house format with stations around the room for multiple discussions on particular aspects of the maintenance facility and the park. Discussion focused entirely on the park with no comments regarding the maintenance facility.



### **Staff Presentation**

- This meeting is early input into the processes for both projects. The City Parks department is the applicant and will be submitting development plans into the standard development review process.
- The maintenance facility is within the Urban Estate (UE) zoning district and is a land use that is not listed as a permitted use. The City's Land Use Code allows for Addition of Permitted Uses (APU), which allows applicants to propose uses based on the specific circumstances as part of the development plan for the specific site.
- The APU requires a second neighborhood meeting, to review the actual development plan after it is submitted. The APU requires that the Planning and Zoning Board make a recommendation to City Council, and then
- For the proposed Bucking Horse Park, this meeting fulfills the basic Land Use Code requirement for a neighborhood meeting.

### **Applicant Presentation**

- Neighborhood park planning and design is typically developed through a series of three neighborhood meetings. That is the approach for the Bucking Horse park, and this is the first of those meetings to help define a vision and concepts for the park. A preliminary design will then be prepared based on the vision and concept and reviewed with the neighborhood, leading to a final design which is then presented.

## East Parks District Maintenance Facility Neighborhood Meeting Summary

Meeting Date: November 12, 2020

Location: Virtual Zoom Meeting

**Staff Attendees:** Alyssa Stephens – Development Review Liaison; Clark Mapes – City Planner

**Applicant Team:** Craig Kisling—City Parks Planning; Casey Roberts and Kate Penning—Clark Enersen Architects; Brian Hergott and Matt Schaefer, City Operations Services.

### Summary

- **Meeting Topic:** The City Parks Department has submitted a development plan for a maintenance facility at the far eastern corner of the Bucking Horse development, to serve parks in the east/southeast portion of the City.
- **Meeting Details:** The meeting included ~6 attendees, not including staff and applicants. The meeting was recorded and is available on OurCity for viewing and comment.
- **Summary:** The brief meeting consisted of the applicants' presentation of the proposed plan, with just two minor followup questions.

### Staff Presentation

- The subject property is zoned Urban Estate, and designated as Community Supported Agriculture (CSA) on the Bucking Horse Overall Development Plan.
- The property is in the Urban Estate (UE) zoning district, which does not list the office or outdoor storage land use classification as permitted uses in the zone. The Land Use Code allows applicants to propose Addition of Permitted Uses (APU) in cases such as this. APU can be approved in conjunction with a development plan for a specific site and situation. In this case, both Planning and Zoning Board and City Council hearings are required. The APU requires two neighborhood meetings and this meeting is the second meeting.
- The context includes a concrete plant and sewer treatment plant abutting to the east across a railroad track.

### Applicant Presentation

- The facility is related to the pending Bucking Horse Neighborhood Park development, and a number of other parks in the east and southeast portion of the city. Currently, maintenance staff and equipment comes from City Park or Fossil Creek Park. The proposed facility increases sustainability of the parks system as a more efficient location.
- The facility consists of a building with offices and service shop, and a storage yard. The offices are oriented to the street, Environmental Drive, as the front face of the facility. It is designed as a modest sized one-story building to relate to neighborhood scale, and is designed to tie into the look and scale of the Bucking Horse and its agricultural theme.

- The storage yard is screened with a fence and naturalistic landscaping.
- The project would complete and improve the connection to neighborhood trails. Trail improvements are related to a City Parks interest in adopting the trail through Bucking Horse as a link in the larger public trail system.

#### Q & A

- **Q:** Stormwater runoff – will the facility use the Bucking Horse detention pond?
- **Applicant Response:** No, the stormwater will be detained and treated on site and released downstream to the southeast
- **Question:** Will all of the trails in the area will still be available for public use?
- **Applicant Response:** Yes and in fact Parks is interested in widening the portion adjacent to the facility and adopting the whole perimeter trail to the west through Bucking Horse as part of the larger public regional trail system.

## Bucking Horse Neighborhood Park and East Parks Maintenance Facility Neighborhood Meeting Notes

Meeting Date: November 20, 2019

Meeting Location: Liberty Common High School

*These notes are a summary of the neighborhood meeting discussion and not a verbatim transcript.  
Please contact staff at any time with any comments or questions.*

### *City Staff:*

*Clark Mapes, City Planner, ph 970.221.6225, [cmapes@fcgov.com](mailto:cmapes@fcgov.com)*

*Marcy Yoder, City Neighborhood Services, ph 970.221.6676, [myoder@fcgov.com](mailto:myoder@fcgov.com)*

### *Applicant:*

*Craig Kisling, Landscape Architect with City Parks Planning, ph 970.221.6367, [ckisling@fcgov.com](mailto:ckisling@fcgov.com)*

## Summary

- **Meeting Topic:** This neighborhood meeting discussed proposed projects for two City Parks facilities in the Bucking Horse subdivision:
  - 1) a maintenance facility along Environmental Drive at the far eastern corner of the Bucking Horse neighborhood where Drake Road becomes Ziegler Road; and
  - 2) a new Bucking Horse Neighborhood Park along Miles House Drive in the Bucking Horse neighborhood.
- **Attendees:** The meeting included ~20 attendees, including staff and applicants, on a snowy evening.
- **Summary:** The meeting was an opportunity to share the two proposals with Bucking Horse neighborhood residents. The applicant (City of Fort Collins Parks Staff) presented the basic proposal for the maintenance facility, consisting of a building with office and shop space, and a storage yard for equipment and materials. Screening, landscaping, walkways, and any lighting will meet Land Use Code requirements. The building will continue the agricultural theme of Bucking Horse.

The applicants then explained the background and context of the City's whole system for planning and development of new parks, and how neighborhood parks fit into the system. The approach is carefully derived from the setting and context of each park, including citizen input.

The majority of the meeting was an open house format with stations around the room for multiple discussions on particular aspects of the maintenance facility and the park. Discussion focused entirely on the park with no comments regarding the maintenance facility.



### **Staff Presentation**

- This meeting is early input into the processes for both projects. The City Parks department is the applicant and will be submitting development plans into the standard development review process.
- The maintenance facility is within the Urban Estate (UE) zoning district and is a land use that is not listed as a permitted use. The City's Land Use Code allows for Addition of Permitted Uses (APU), which allows applicants to propose uses based on the specific circumstances as part of the development plan for the specific site.
- The APU requires a second neighborhood meeting, to review the actual development plan after it is submitted. The APU requires that the Planning and Zoning Board make a recommendation to City Council, and then
- For the proposed Bucking Horse Park, this meeting fulfills the basic Land Use Code requirement for a neighborhood meeting.

### **Applicant Presentation**

- Neighborhood park planning and design is typically developed through a series of three neighborhood meetings. That is the approach for the Bucking Horse park, and this is the first of those meetings to help define a vision and concepts for the park. A preliminary design will then be prepared based on the vision and concept and reviewed with the neighborhood, leading to a final design which is then presented.

## East Parks District Maintenance Facility Neighborhood Meeting Summary

Meeting Date: November 12, 2020

Location: Virtual Zoom Meeting

**Staff Attendees:** Alyssa Stephens – Development Review Liaison; Clark Mapes – City Planner

**Applicant Team:** Craig Kisling—City Parks Planning; Casey Roberts and Kate Penning—Clark Enersen Architects; Brian Hergott and Matt Schaefer, City Operations Services.

### Summary

- **Meeting Topic:** The City Parks Department has submitted a development plan for a maintenance facility at the far eastern corner of the Bucking Horse development, to serve parks in the east/southeast portion of the City.
- **Meeting Details:** The meeting included ~6 attendees, not including staff and applicants. The meeting was recorded and is available on OurCity for viewing and comment.
- **Summary:** The brief meeting consisted of the applicants' presentation of the proposed plan, with just two minor followup questions.

### Staff Presentation

- The subject property is zoned Urban Estate, and designated as Community Supported Agriculture (CSA) on the Bucking Horse Overall Development Plan.
- The property is in the Urban Estate (UE) zoning district, which does not list the office or outdoor storage land use classification as permitted uses in the zone. The Land Use Code allows applicants to propose Addition of Permitted Uses (APU) in cases such as this. APU can be approved in conjunction with a development plan for a specific site and situation. In this case, both Planning and Zoning Board and City Council hearings are required. The APU requires two neighborhood meetings and this meeting is the second meeting.
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### Applicant Presentation

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- The storage yard is screened with a fence and naturalistic landscaping.
- The project would complete and improve the connection to neighborhood trails. Trail improvements are related to a City Parks interest in adopting the trail through Bucking Horse as a link in the larger public trail system.

#### Q & A

- **Q:** Stormwater runoff – will the facility use the Bucking Horse detention pond?
- **Applicant Response:** No, the stormwater will be detained and treated on site and released downstream to the southeast
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## Bucking Horse Park Development Plan

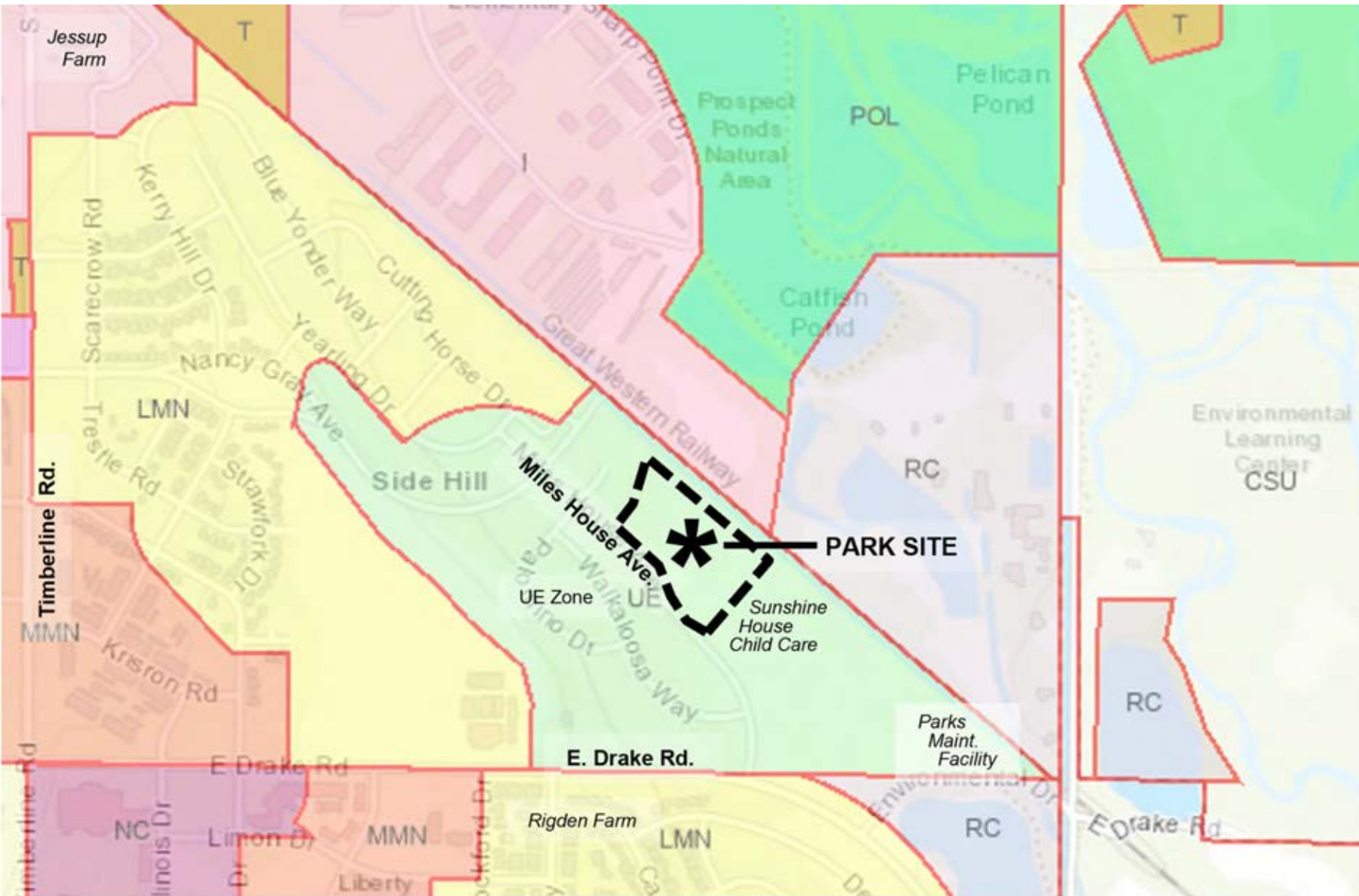
Clark Mapes, City Planner

4-21-2022









# Zoning



# Bucking Horse Master Plan

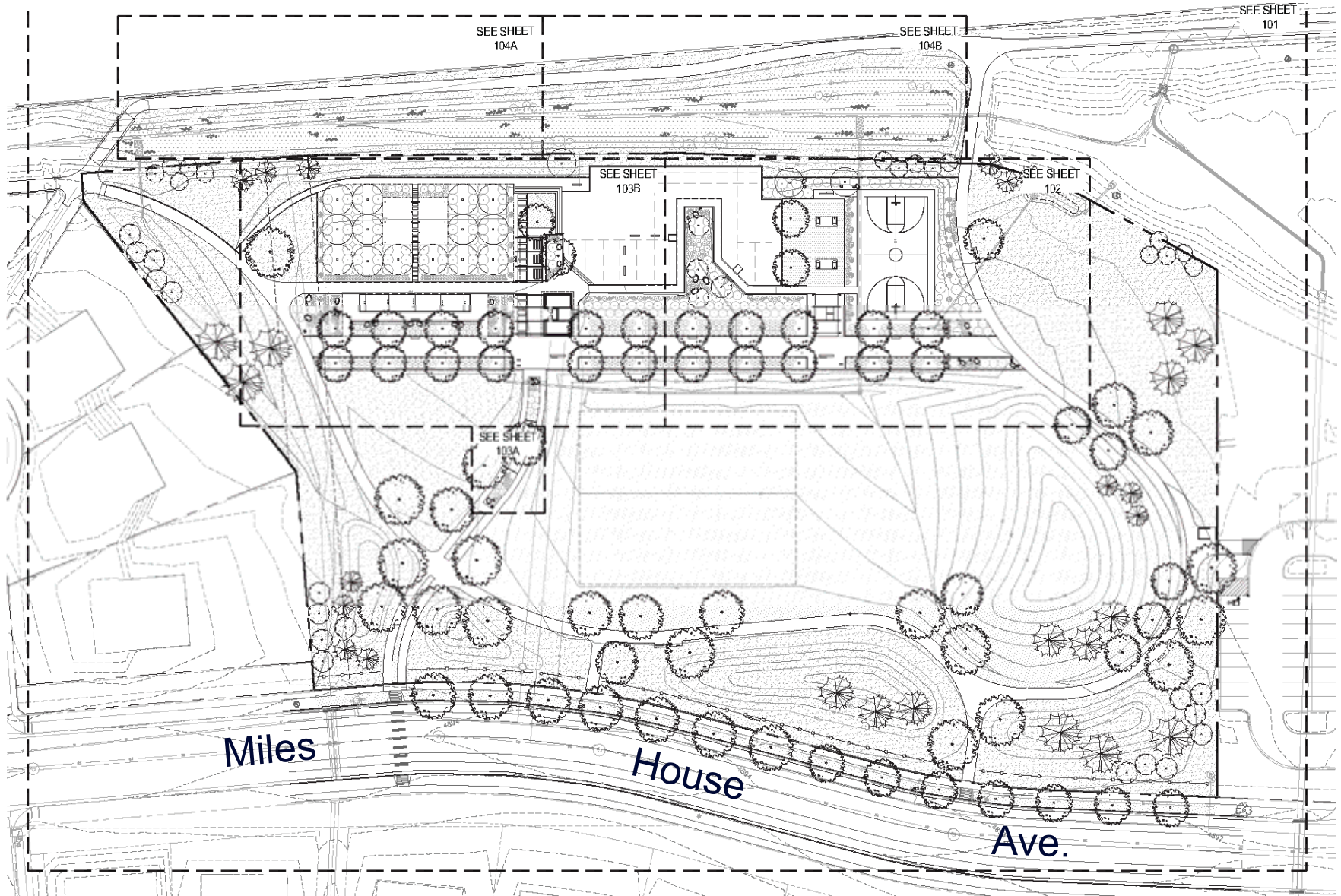


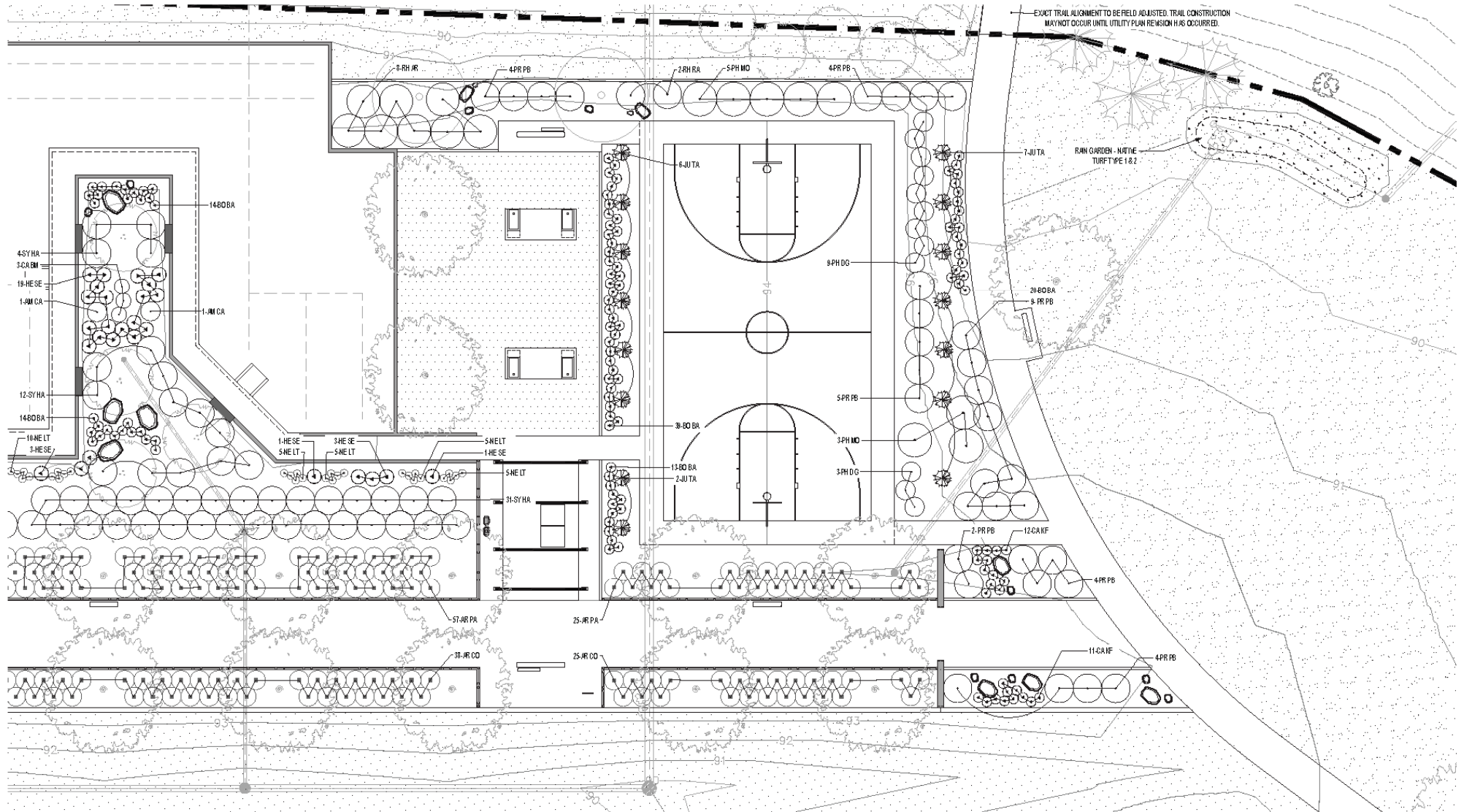






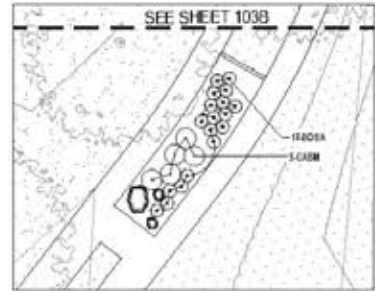




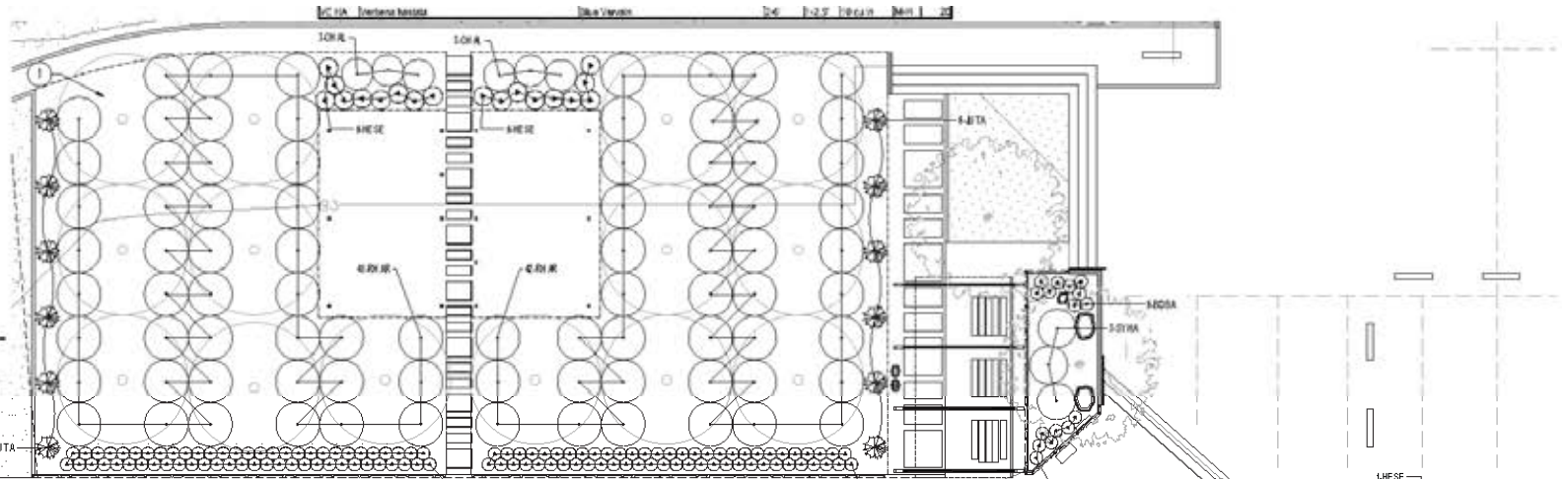


**A** PLANTING PLAN ENLARGEMENT  
SCALE: 1"=10'0"





**A** PLANTING PLAN ENLARGEMENT  
SCALE 1"=10'-0"



**B** PLANTING PLAN ENLARGEMENT  
SCALE 1"=10'-0"

SEE SHEET 103A

