

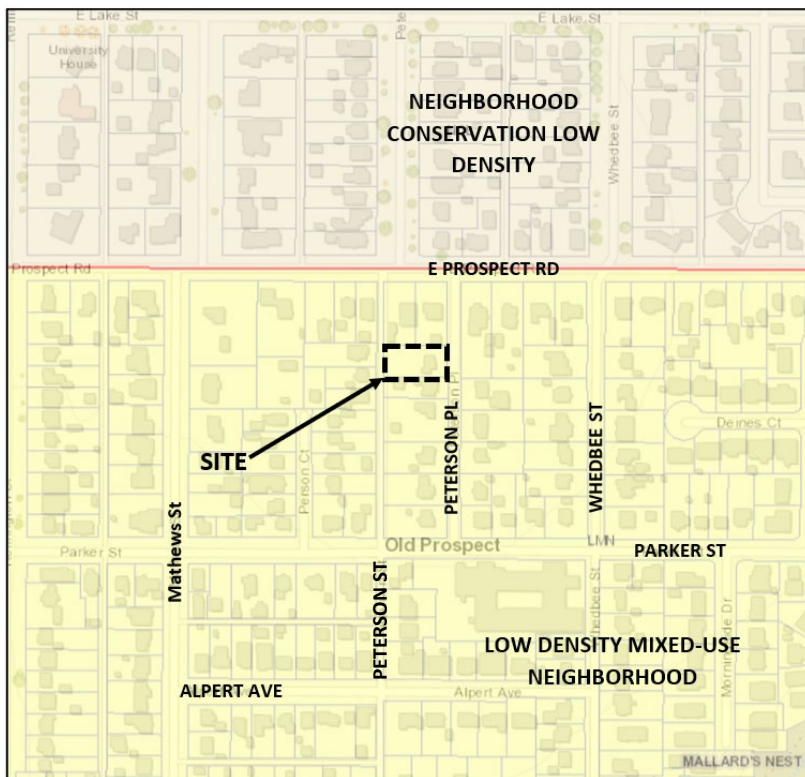
Administrative Hearing: April 5, 2020

1605 Peterson Pl Carriage House, FDP200023

Summary of Request

This is a request to add a single-family detached dwelling unit, known as a carriage house, to the northwest corner of the property at 1605 Peterson Place. The proposed single-story structure will be approximately 912 square feet, provide one off-street parking space, and take access off Peterson Street to the west. This property is located in the Low Density Mixed-Use (L-M-N) zone district and is subject to a Type 1 (Administrative Hearing) review.

Zoning Map (ctrl + click map to follow link)



Next Steps

If approved by the decision maker, the applicant will be eligible to submit plans for recordation. Following recordation, the applicant or representative thereof will be eligible to submit the construction drawings for building permit review and issuance.

Site Location

The site is located at 1605 Peterson Place (parcel # 9724210003).

Zoning

Low Density Mixed-Use Neighborhood (L-M-N) zone district.

Property Owner

Shannon M. Currough Trust
1605 Peterson Pl
Fort Collins, CO 80525

Applicant/Representative

Shannon M. Currough
1605 Peterson Pl
Fort Collins, CO 80525

Staff

Will Lindsey, Associate City Planner

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Staff Recommendation

Approval of combined Project Development Plan/Final Development Plan

1. Project Introduction

A. PROJECT DESCRIPTION

- This application is being processed as a combined Project Development Plan (PDP)/Final Development Plan (FDP).
- The lot is 11,175 square feet in size (75'x149').
- There is an existing single-family dwelling on site that fronts Peterson Pl.
- The one-story carriage house is proposed to be located on the rear half of the lot and would be 912 square feet in size.
- The site would contain two off-street parking spaces: one existing garage space for the established single-family residence with access to Peterson Pl, and one driveway parking space for the carriage house accessed from Peterson St.

B. SITE CHARACTERISTICS

1. Development Status/Background

The site currently contains a single-family detached dwelling. Larimer County Assessor records indicate that the building was built in 1937, and later remodeled in 2017.

The site was part of the Grey Strecker Annexation and Subdivision in 1955.

2. Surrounding Zoning and Land Use

	North	South	East	West
Zoning	Low Density Mixed-Use Neighborhoods (L-M-N)	Low Density Mixed-Use Neighborhoods (L-M-N)	Low Density Mixed-Use Neighborhoods (L-M-N)	Low Density Mixed-Use Neighborhoods (L-M-N)
Land Use	Single-family detached residential	Single-family detached residential	Single-family detached residential	Single-family detached residential

C. OVERVIEW OF MAIN CONSIDERATIONS

- The main considerations have been the treatment of Peterson St as an alleyway, utility coordination, easement dedication, building placement on site, the building architecture, and the provision of vehicle parking. Since the lot is 75 feet in width, each single-family dwelling must have one off-street parking space.

D. CITY PLAN

The City's comprehensive plan (2019 *City Plan*) reflects the participation of thousands of community members and embodies the vision and values of the community for the future.

A significant theme in the plan is encouraging more housing options in general. For example, Policy LIV 5.6 on p. 42 states: "EXISTING NEIGHBORHOODS: Expand housing options in existing neighborhoods (where

permitted by underlying zoning) by encouraging: Infill development on vacant and underutilized lots; Internal ADUs [Accessory Dwelling Units] such as basement or upstairs apartments; Detached ADUs on lots of sufficient size; and Duplexes, townhomes or other alternatives to detached single-family homes that are compatible with the scale and mass of adjacent properties.”

The plan designates this area of the Old Prospect neighborhood as a “Mixed Neighborhood place type, which is characterized by a mixture of housing types. The following excerpt from p.98 in *City Plan* gives a sense of the main ideas for land uses in that designation:

“Principal Land Use

Single-family detached homes, duplexes, triplexes, and townhomes

Supporting Land Use

ADUs, small scale multifamily buildings, small-scale retail, restaurants/cafes, community and public facilities, parks and recreational facilities, schools, places of worship

Key Characteristics/Considerations (Existing Neighborhoods)

- *While many existing Mixed-Neighborhoods may consist predominantly of single-family detached homes today, opportunities to incorporate ADUs or other attached housing options of a compatible scale and intensity may be feasible in some locations.*
- *The introduction of larger townhome or multifamily developments into existing single-family neighborhoods should generally be limited to edge or corner parcels that abut and/or are oriented toward arterial streets or an adjacent Neighborhood Mixed-Use District where transit and other services and amenities are available.*
- *Where townhomes or multifamily buildings are proposed in an existing neighborhood context, a transition in building height, massing and form should be required along the shared property line or street frontage.*
- *As existing neighborhoods change and evolve over time, rezoning of some areas may be appropriate when paired with a subarea or neighborhood planning initiative. See the Priority Place Types discussion on page 107 for more details about changes in existing neighborhoods over time.*
- *While reinvestment in existing mobile home parks is encouraged, redevelopment of existing parks is not.”*

2. Public Outreach

A. NEIGHBORHOOD MEETING

Pursuant to 2.2.2 – *Step 2: Neighborhood Meetings*, a neighborhood meeting is not required for Administrative (Type 1) projects. Therefore, a neighborhood meeting was not held for this project.

B. PUBLIC COMMENTS:

No public comment on the development project has been received at this time. Any communication received between the public notice period and hearing will be forwarded to the Hearing Officer to be considered when making a decision on the project.

3. Land Use Code Article 2 – Applicable Standards

A. BACKGROUND

This project was submitted on October 30, 2020. The project required two rounds of staff review, following the initial plan submittal.

B. PROJECT DEVELOPMENT PLAN PROCEDURAL OVERVIEW

3. Conceptual Review # CDR170034

A conceptual review meeting was held on January 10, 2019.

4. First Submittal (PDP/FDP200023)

The first submittal of this project was completed on October 30, 2020.

5. Neighborhood Meeting

Not applicable pursuant to 2.2.2 – *Step 2: Neighborhood Meetings*.

6. Project Expiration

In accordance with 2.2.11 – *Step 11: Lapse*, a project must be diligently pursued and resubmitted within 180 days of receiving written comments. The project satisfies this requirement and has not lapsed.

7. Notice (Posted, Written and Published)

Posted Notice: November 13, 2020, Sign # 581

Written notice: March 22, 2021, 275 addresses mailed.

Published Notice: March 23, 2021, Coloradoan confirmation #4656875

4. Land Use Code Article 3 – Applicable Standards

A. DIVISION 3.2 - SITE PLANNING AND DESIGN STANDARDS

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.2.1 – Landscaping and Tree Protection	<p>This Code Section applies to all development except for development on existing lots for single-family detached dwellings, so in this instance the standards of Section 3.2.1 do not apply.</p> <p>However, the applicant has indicated that they intend to utilize the shared backyard area on the lot to provide 120 square feet of separate yard area for the detached single-family dwelling (similar to the requirement for carriage houses in the NCL, NCM, and NCM zone districts).</p>	NA
3.2.2 – Access, Circulation and Parking – General Standard	<p>This code Section requires secure, convenient, efficient parking and circulation improvements that add to the attractiveness of the development.</p> <ul style="list-style-type: none"> • The existing subdivision development provides a parking and circulation system consistent with the standard. • The plan provides specific required parking per the subsections noted below. 	Complies
3.2.2(C)(4)(b) – Bicycle Parking Space Requirements	NA	NA

3.2.2(K)(2) – Residential Parking Requirements	<ul style="list-style-type: none"> See section 3.8.10 below 	Complies
3.2.3 - Solar Access, Orientation and Shading	NA	NA
3.2.4 – Site Lighting	NA	NA
3.2.5 – Trash and Recycling Enclosures	NA	NA

B. DIVISION 3.3 – ENGINEERING STANDARDS

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.3.1(C) – Public Sites, Reservations and Dedications	<p>An applicant is required to dedicate rights-of-way for public streets, drainage easements and utility easements as needed to serve the area being developed. In cases where any part of an existing road is abutting or within the tract being developed, the applicant must dedicate such additional rights-of-way as may be necessary to increase such roadway to the minimum width required by Larimer County Urban Area Street Standards and the City of Fort Collins Land Use Code.</p> <ul style="list-style-type: none"> The project includes a 15.5-ft area containing the utility easement and right-of-way along Peterson Pl, in compliance with all applicable engineering standards and guidelines. 	Complies
3.3.2 – Development Improvements	NA	NA
3.3.3 – Water Hazards	NA	NA
3.3.4 - Hazards	NA	NA
3.3.5 – Engineering Design	NA	NA

C. DIVISION 3.4 – ENVIRONMENTAL, NATURAL AREA, RECREATIONAL AND CULTURAL RESOURCE PROTECTION STANDARDS

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.4.1 – Natural Habitats and Features	NA	NA
3.4.2 – Air Quality	NA	NA
3.4.3 – Water Quality	The Project is designed so that precipitation runoff flowing from the site is treated in accordance with the criteria set forth in the <i>Stormwater Criteria Manual</i> .	Complies
3.4.4 – Noise & Vibration	NA	NA
3.4.5 – Hazardous Materials	NA	NA
3.4.6 – Glare and Heat	NA	NA
3.4.7 – Historic and Cultural Resources	NA	NA
3.4.8 – Parks and Trails	NA	NA
3.4.9 – Health Risks	NA	NA

D. 3.5 – BUILDING STANDARDS

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.5.1– Building Project and Compatibility (C)(E)(F)	<p>These subsections require new developments in or adjacent to existing developed areas are compatible, when considered within the context of the surrounding area, by using a design that is complimentary. They should be read in conjunction with the more specific building standards contained in the zone district standards in Article 4.</p> <ul style="list-style-type: none"> • The site is zoned L-M-N and is located in the Old Prospect neighborhood. The site is surrounded by other single-family detached dwellings in the L-M-N zone district. • <i>Building Size, Height, Bulk, Mass, Scale:</i> The proposed structure is a one-story, 912 square foot single-family dwelling. It is similar in square footage to other dwellings on the block face which range from 800-1,600 square feet in size. Most homes along the block-face do not exceed one-story. The height of the dwelling does not exceed 14 feet, and the southern wing of the structure which runs parallel to a portion of the alley steps down 6 inches in height to help reduce the building mass presented to the adjacent properties. The building design utilizes a pitched roof with a 4:12 slope, which, while different from the primary structure on-site, is not out of character with pitched roofs found on adjacent single-family dwellings. • <i>Privacy Considerations:</i> The building design includes human-scaled windows on the west and north elevations, which face the lot lines and adjacent properties. The number of windows and placement on these elevations is done to provide interest to the building façade while also maximizing privacy for the residents and adjacent properties. Additionally, the extension of the southern wing of the building helps to screen the main entrance and porch of the proposed dwelling from the alley. • <i>Building Materials:</i> The proposed dwelling uses a combination of white stucco, cedar window trim, brown shingles and gutters, and black metal cladding for windows and doors in an effort to match the existing on-site structure to the extent reasonably feasible. None of the building materials proposed will result in excessive glare. • <i>Building Color:</i> Stucco dwellings in a variety of muted colors such as grey-blue, off-white, and beige are present along the block and throughout the neighborhood. The existing primary dwelling was previously a white stucco and is currently an off-white/beige stucco color. The proposed dwelling will be a white stucco that is complementary to the primary dwelling. 	Complies
3.5.2 – Residential Building Standards (C)	<p>This standard applies to single-family detached, single-family attached, and two-family dwellings and requires that projects containing residential buildings place a high priority on building entryways and their relationship to the street. Buildings shall include human-scaled elements, architectural articulation, and in projects containing more than one (1) building, design variation.</p> <ul style="list-style-type: none"> • <i>Housing Model Variety and Variation Among Buildings:</i> This requirement does not apply to developments containing ten (10) or fewer dwelling units. 	NA

3.5.2(D)(1)(a) – Relationship of Dwellings to Streets and Parking	<p>Every front facade with a primary entrance to a dwelling unit must face the adjacent street to the extent reasonably feasible. Every front facade with a primary entrance to a dwelling unit shall face a connecting walkway with no primary entrance more than two hundred (200) feet from a street sidewalk and the address shall be posted to be visible from the intersection of the connecting walkway and public right of way. The following exceptions to this standard are permitted:</p> <ul style="list-style-type: none"> Up to one (1) single-family detached dwelling on an individual lot that has frontage on either a public or private street. The proposed dwelling qualifies for this exception to the standard as the existing single-family dwelling has an entrance which faces Peterson Pl. The site plan does provide a direct walkway connection from the carriage house entrance to the driveway and Peterson St. 	Complies
3.5.2(E)(2) – Setback from Nonarterial Streets	<p>The minimum setback of every residential building and of every detached accessory building that is incidental to the residential building shall be fifteen (15) feet from any public street right-of-way other than an arterial street right-of-way.</p> <ul style="list-style-type: none"> The project exceeds the minimum 15-foot setback required for residential buildings. It was determined at the time of the Conceptual Review that setbacks would be based off Peterson Pl as the primary nonarterial street for the project because the portion of Peterson St on the west side of the site is functionally an alleyway for the block of dwellings that front Peterson Pl. 	Complies
3.5.2(E)(3) – Side and Rear Yard Setbacks	<p>The minimum side yard setback for all residential buildings and for all detached accessory buildings that are incidental to the residential building shall be five (5) feet from the property line, except for alley-accessed garages, for which the minimum setback from an alley shall be eight (8) feet.</p> <ul style="list-style-type: none"> The proposed project includes an 8-foot rear yard setback along Peterson St and a 5-foot side setback from lot line to the north. 	Complies
3.5.2(F) – Garage Doors	<p>The intent of this standard is to prevent residential streetscapes from being dominated by protruding garage doors, and to allow the active, visually interesting features of the house to dominate the streetscape.</p> <ul style="list-style-type: none"> The proposed building design does not include a garage. 	NA
3.5.3 – Mixed – Use, Institutional and Commercial Buildings	NA	NA
3.5.4 – Large Retail Establishments	NA	NA
3.5.5 – Convenience Shopping Center	NA	Na

E. 3.6 TRANSPORTATION AND CIRCULATION

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
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3.6.1 – Master Street Plan	<p>This criterion requires the project to conform to the Master Street Plan.</p> <ul style="list-style-type: none"> Peterson Place is designated as a local street in the Master Street Plan. The development as proposed is consistent with uses allowed on local streets. 	Complies
3.6.2 (K) – Streets, Streetscapes, Alleys and Easements	<p>The intent of this standard is to ensure that the public and private streets and alleys are designed to support the infrastructure proposed, consistent with the <i>Larimer County Urban Area Street standards and Master Street Plan</i>.</p>	Complies
3.6.3 – Street Pattern and Connectivity	<p>This standard requires the development be designed to be safe, efficient, convenient, and attractive, considering use by all modes of transportation.</p>	Complies
3.6.4 – Transportation Level of Service Requirements	<p>This standard requires demonstration that the transportation needs of a proposed development can be adequately accommodated by the existing transportation system, or including appropriate mitigation of impacts, for all travel modes.</p>	Complies
3.6.5 – Bus Stop Design	NA	NA
3.6.6 – Emergency Access	<p>This Section is intended to ensure that emergency vehicles can gain access to, and maneuver within, the project so that emergency personnel can provide fire protection and emergency services without delays.</p> <ul style="list-style-type: none"> The plan includes a driveway off the alley as well as a connecting walkway to the entry of the dwelling in a manner that is appropriate for emergency access to the development. 	Complies

F. 3.7 COMPACT URBAN GROWTH

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.7.1 - General	NA	NA
3.7.2 - Contiguity	NA	NA

3.7.3 – Adequate Public Facilities	<p>The purpose of the adequate public facilities (APF) management system is to establish an ongoing mechanism which ensures that public facilities and services needed to support development are available concurrently with the impacts of such development.</p> <p>This section requires that any approval of a development be conditioned on the provision of all services necessary to serve the new development. This includes transportation, water, wastewater, storm drainage, fire and emergency services, electrical power and any other public facilities and services as required.</p> <ul style="list-style-type: none"> The project is located within the City of Fort Collins Light and Power, Poudre Fire Authority and Fort Collins Stormwater Districts. Water service is provided by City of Fort Collins Utilities. Each entity has commented on the project and has found that the existing infrastructure can serve the proposed project. 	Complies
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G. 3.8 SUPPLEMENTARY REGULATIONS

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
3.8.10 – Single-Family and Two-Family Parking Requirements	<p>Development of Single-Family and Two-Family dwellings must provide one (1) parking space per dwelling on lots with greater than forty (40) feet of street frontage or two (2) parking spaces on lots with less than forty (40) feet of street frontage.</p> <ul style="list-style-type: none"> The lot has 75 feet of street frontage; therefore 1 parking space is required for each single-family dwelling. The plan provides 1 parking space for each single-family dwelling (1 pre-existing garage space, and 1 driveway parking space for the new single-family detached dwelling). 	Complies

5. Land Use Code Article 4 – Applicable Standards:

A. DIVISION 4.5 – LOW DENSITY MIXED-USE NEIGHBORHOOD (L-M-N) ZONING DISTRICT

The Low Density Mixed-Use Neighborhood District is intended to be a setting for a predominance of low density housing combined with complementary and supporting land uses that serve a neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood. The main purpose of the District is to meet a wide range of needs of everyday living in neighborhoods that include a variety of housing choices that invite walking to gathering places, services and conveniences, and that are fully integrated into the larger community by the pattern of streets, blocks, and other linkages.

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
4.5(B)(2) – Permitted Uses	<p>The proposed use is a single-family detached dwelling. Single-family detached dwellings are a permitted use subject to Type 1 review.</p>	Complies

Applicable Code Standard	Summary of Code Requirement and Analysis	Staff Findings
4.5(D)(1) – Density	<p>Residential developments less than 20 acres in size shall have an overall minimum average density of three (3) dwelling units <u>per net acre</u> of residential land. The maximum density of any development plan taken as a whole shall be 9 dwelling units <u>per gross acre</u> of residential land.</p> <ul style="list-style-type: none"> • The net density is 9.09 dwelling units per net acre of land. <ul style="list-style-type: none"> ○ Calculation: 2 du / (.26 -.04) = 9.09 • The gross density is 7.69 dwelling units per gross acre of land. <ul style="list-style-type: none"> ○ Calculation: 2 du / .26 acres = 7.69 <p>The maximum building height permitted within this district is 2.5 stories.</p> <ul style="list-style-type: none"> • The proposed building does not exceed 2.5 stories. <p>Building walls over thirty-five (35) feet in height shall be set back an additional one (1) foot beyond the minimum required, for each two (2) feet or fraction thereof of wall or building that exceeds thirty-five (35) feet in height at the setback line.</p> <ul style="list-style-type: none"> • None of the proposed buildings walls exceed 35 feet in height. 	Complies
4.5(D)(2) – Mix of Housing	<p>In the L-M-N zone district a mix of permitted housing types shall be included in any individual development plan, to the extent reasonably feasible, depending on the size of the parcel.</p> <p>A minimum of housing types is required on any project development plan as follows:</p> <ol style="list-style-type: none"> 1. A minimum of two (2) housing types is required on any project development plan containing <u>at least</u> fifteen (15) acres and less than twenty (20) acres. <p>Since the development plan is less than one total acre it was determined that the requirement for a mix of housing types which would generally only apply to a development of at least 15 acres was infeasible.</p>	N/A
4.5(E) – Development Standards	<p>(3) – Maximum Residential Building Height: The maximum height of one-, two- and three-family dwellings shall be two and one-half (2.5) stories.</p> <ul style="list-style-type: none"> • The project does not exceed 2.5 stories. 	Complies

6. Findings of Fact/Conclusion

In evaluating the request for the 1605 Peterson Place – Carriage House, FDP200023, staff makes the following findings of fact:

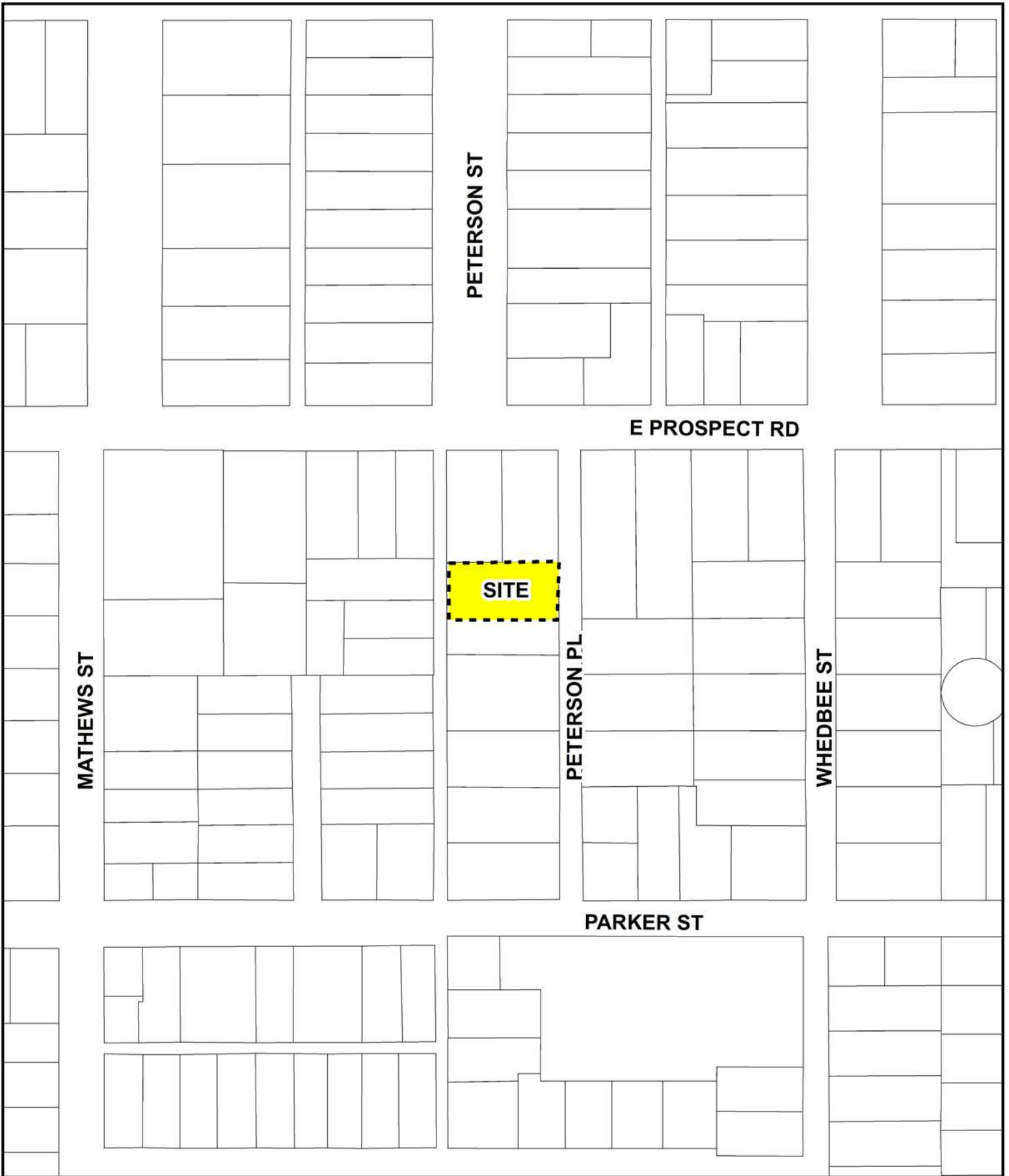
- The F.D.P. complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The F.D.P. complies with relevant standards located in Article 3 – General Development Standards.
- The Project Development Plan complies with relevant standards located in Division 4.5, Low Density Mixed-Use Neighborhoods (L-M-N) of Article 4.

7. Recommendation

Staff recommends approval of the 1605 Peterson Place – Carriage House, FDP200023 based on staff report information and the aforementioned Findings of Fact.

ATTACHMENTS:

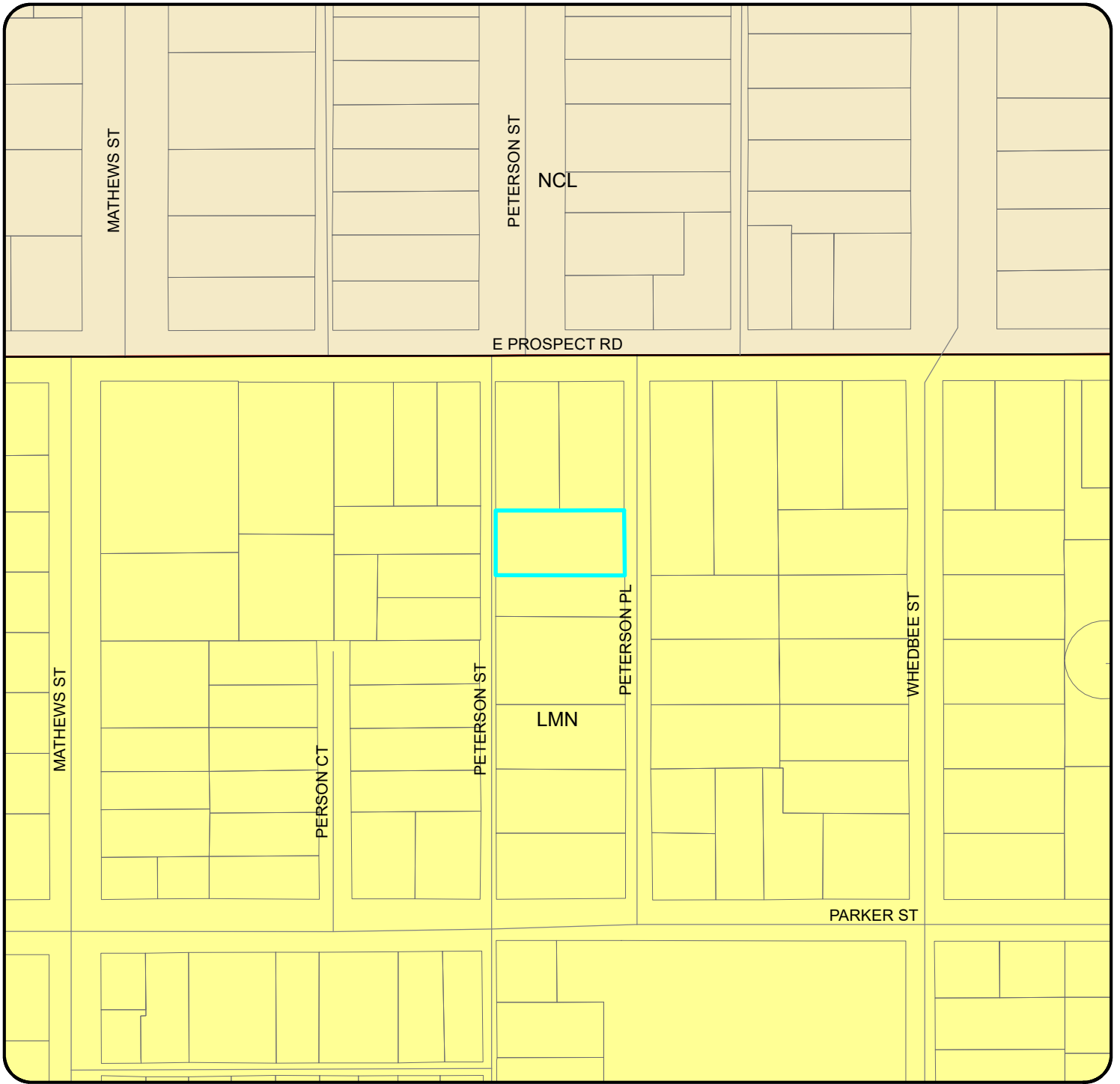
1. Vicinity Map
2. Zoning Map
3. Structure Plan Map
4. Project Narrative
5. Plan Set
6. Engineering Set
7. Utility Plan Set
8. Drainage Memo
9. Conceptual Review Comments (01/11/2019)
10. Staff Presentation



1605 PETERSON PL CARRIAGE HOUSE
VICINITY MAP

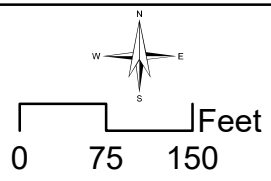


City of Fort Collins Zoning



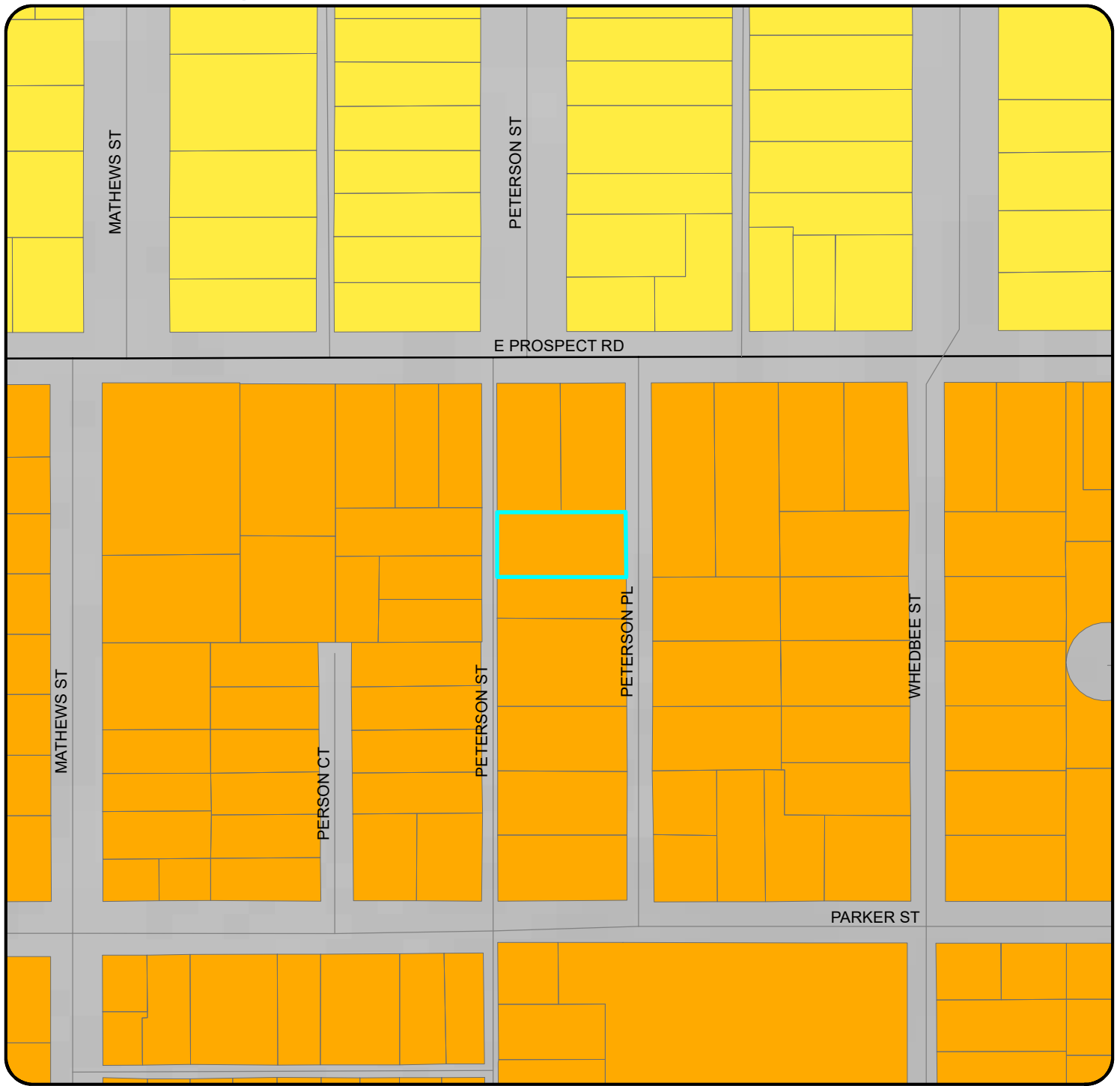
Railroad Lines	General Commercial	Industrial	Public Open Lands
Growth Management Area	Limited Commercial	High Density Mixed-Use Neighborhood	River Conservation
Water Features	Service Commercial	Low Density Mixed-Use Neighborhood	River Downtown Redevelopment
parcels	Commercial North College	Medium Density Mixed-Use Neighborhood	Residential Foothills
City Zoning	CSU	Neighborhood Commercial	Low Density Residential
Community Commercial	Downtown	Neighborhood Conservation Buffer	Rural Lands District
Community Commercial North College	Employment	Neighborhood Conservation Low Density	Transition
Community Commercial Poudre River	Harmony Corridor	Neighborhood Conservation Medium Density	Urban Estate

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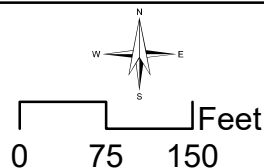
City of Fort Collins Structure Plan



Structure Plan TYPE

- | | | | | | | | |
|--|------------------------|--|-----------------------------------|--|-----------------------------|--|--------------------------|
| | Campus District | | Mixed Employment District | | R&D/Flex District | | Urban Mixed Use District |
| | Community Separator | | Mixed Neighborhood | | Rural Neighborhood | | Railroad Lines |
| | Downtown District | | Neighborhood Mixed Use District | | Single Family Neighborhood | | Growth Management Area |
| | Adjacent Planning Area | | Parks and Natural/Protected Lands | | Suburban Mixed Use District | | Water Features |
| | | | | | | | parcels |
| | | | | | | | Community Separator |
| | | | | | | | Adjacent Planning Areas |

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Printed: March 29, 2021

PROJECT NARRATIVE FOR 1605 PETERSON PLACE

Project Title: Casa de Corazon

Conceptual Review Meeting date: January 10, 2019

General Information: The additional structure will be added on the northwest corner of the .26 acre lot known as 1605 Peterson Place. The property is located in LMN zoning and zoning will not change with this project. The project will contain no commercial space. The home will be one story with crawl space at 912 square feet. There will be two off street parking spots. No Land Use code modifications are being proposed.

Proposed Owners: Shannon Corrough, owner of 1605 Peterson Place, Fort Collins, CO 80525. No additional partners or managers or additional owners apply.

Existing Owners: Shannon Corrough, existing owner of 1605 Peterson Place, Fort Collins, CO 80525. There are no other additional owners of the property.

Transportation Improvements: No traffic will be impacted with the addition of the structure to my property.

Neighborhood Meeting: No Neighborhood Meeting is required for this project.

Site Design: The structure will be placed on the northwest corner of the property. Vehicles will enter the property on the west side. There is no anticipation that this project will disturb any pedestrian flow. All landscaping on the property will be xeriscaped including fake grass to the south of the front door, recycled concrete for the driveway and either rock or mulch surrounding the west, north and east sides of the structure.

Natural Habitats: No disturbances to wetlands, natural habitats or wildlife apply to this project.

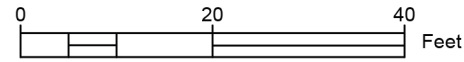
Transition Techniques: I am not aware of any transition techniques, associating buffering, or any existing and proposed land use mitigation during this project.

Architectural Design: The new structure will follow along the lines of the original structure. I chose the 1937 original home because of its unique features including, Spanish style, arched doorways, and lots of light. I am hoping to continue that style in the new structure. I appreciate the historic nature and design of the original home and hope to emulate that with the new structure.

Design Priorities and Goals: The most important aspect of my design is Aging in Place. Fort Collins has been my home since 1994 and I hope to continue to live in this wonderful place. I am planning to retire in this home and to support my elderly parents for visits and care if needed. We are keeping the home design and landscaping as simple and environmentally efficient as possible. I am also hoping this design will keep the home as low maintenance as possible. I plan to xeriscape almost the entire surrounding area including fake grass for a small patch in the patio area to the south of the front door. I will use stucco for the exterior to cut down on maintenance and to align with the original structure. I plan to meet or exceed energy efficiency codes with all major appliances including an on demand water heater. I will continue that efficiency goal with all major appliances, toilets, and lighting. I have a goal to put solar on the south facing roof within the short term future. I will also use energy efficient windows and doors within the design. My goal with the whole project has been to keep it simple, efficient and long term. The intent of the additional structure is to make it my home and rent the front home. My property is four blocks from CSU and within biking distance of Old Town and would add to the housing/rental needs in town. I will live on the property and continue to take care of my property.

Site Plan

1605 PETERSON PLACE
FORT COLLINS, COLORADO



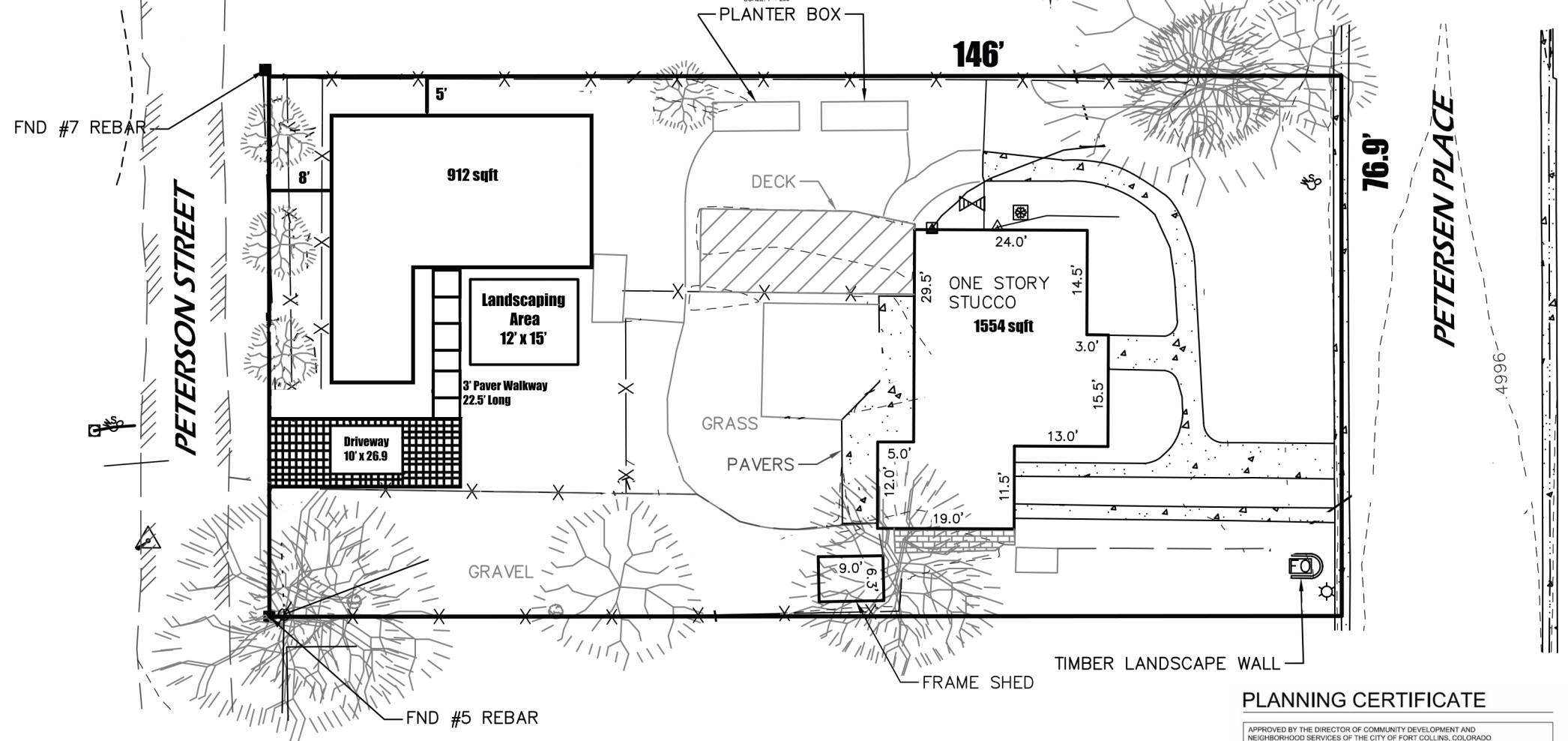
LEGEND

	DECIDUOUS TREE		EDGE OF ASPHALT
	CONIFEROUS TREE		OVERHEAD ELECTRIC LINE
	SHRUB		EDGE OF LANDSCAPING
	BOUNDARY LINE		OVERHEAD TELEPHONE
	EASEMENT LINE		EDGE OF CONCRETE
	FENCE		FIBER OPTIC LOCATE
	FLOW LINE		FOUND MONUMENT AS DESCRIBED
	RECYCLED CONCRETE		
	CONCRETE PAVERS		

LAND USE TABLE

Zoning Designation: LMN- Low Density Mixed Use.
 Parking: On-Site/ 1 spot
 Total Building Coverage: 2466 square feet
 Lot Dimensions: 146' x 76.9'
 Total Lot Area: 0.26 acres/ 11,236 square feet
 Total Project size: 912 square feet
 Maximum Building Height: 2.5 stories
 Proposed Building Height: 1 story
 New Floor Area: 912 square feet
 Off Street Parking: 1 spot off street
 Set Back Requirements: 8 feet from property line on western side/ Peterson Street & 5 feet on the north side

LMN Density Requirements
 Maximum Density = 9 du per gross ac
 Provided = 7.69 du per ac
 (2 dwelling units / .26 acres)
 Minimum Average Density = 3 du per net ac
 Provided = 9.52 du per ac
 (2 dwelling units / .21 acres)



PLANNING CERTIFICATE

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO ON THIS _____ DAY OF _____, 20____.

Director Signature _____

OWNER'S CERTIFICATE

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER (SIGNED) _____ Date _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
 THIS _____ DAY OF _____, A.D., 20____, BY _____

PRINT NAME: _____
 AS _____
 MY COMMISSION EXPIRES: _____
 WITNESS MY HAND AND OFFICIAL SEAL.
 NOTARY PUBLIC _____ ADDRESS _____

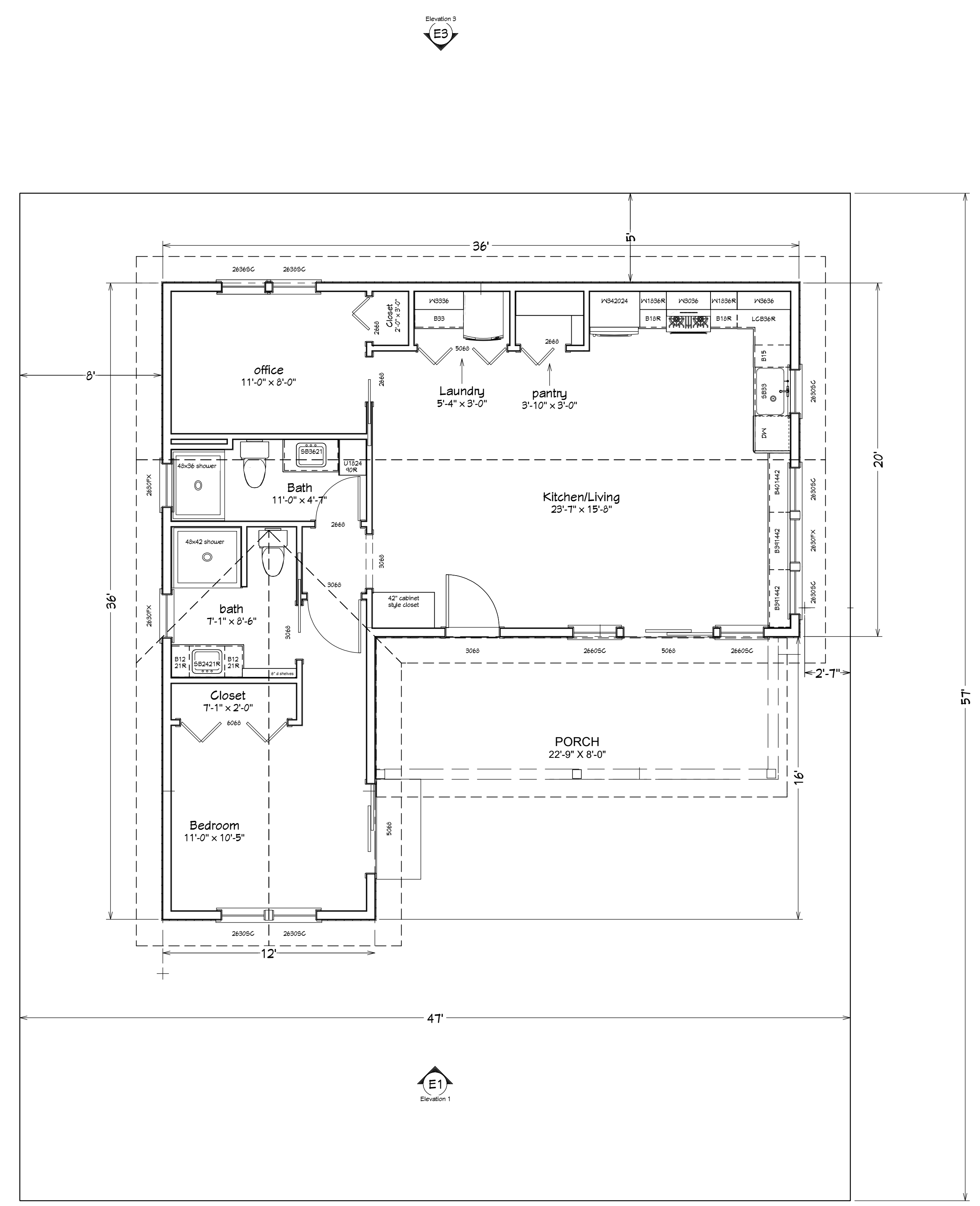
Gross Area Calculations	Acres
Site Area	.26
Gross Area	.26
Net Area Calculations	Acres
Peterson PI Right-of-Way	-.01
Utility Easements	-.03
Net Area	.22

Density Calculations	
Total Area	.26
Total Dwelling Units	2
Gross Density	2 / .26 = 7.69
Net Density	2 / .22 = 9.09

Legal Description: LOT 3, BLK1, GRAY-STRECKER, FTC.
 NW 1/4 OF SECTION 24, T07N, R69W OF THE SIXTH PM.

SCALE: 1" = 20'

FLOOR PLAN

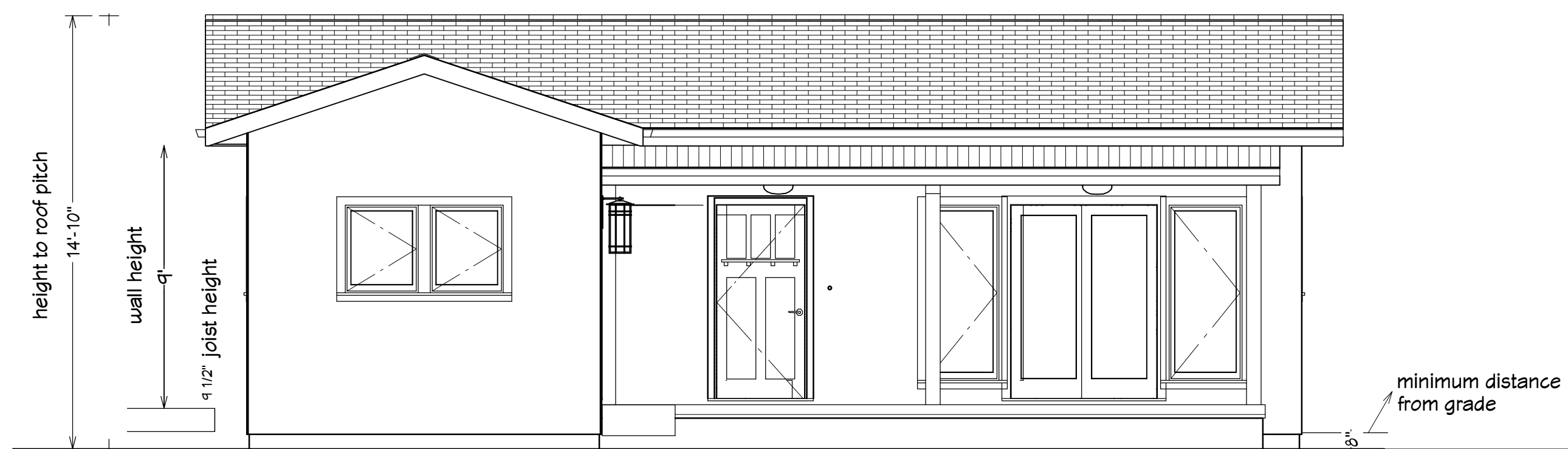


Shannon Corrough
 1605 Peterson Place
 Fort Collins, CO 80525

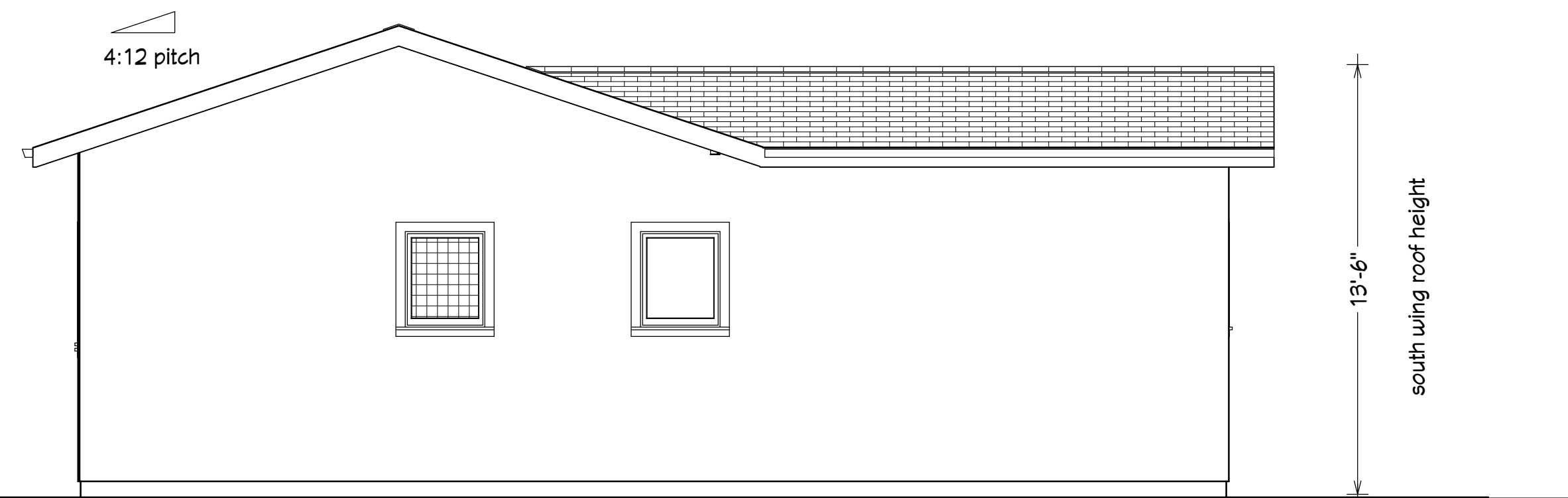
SCALE: 1"= 4'

DESIGN BY:
 Bink Owsley
 2423 Terry Lake Road
 Fort Collins, CO 80524
 (970) 481-7768
 11/22/20

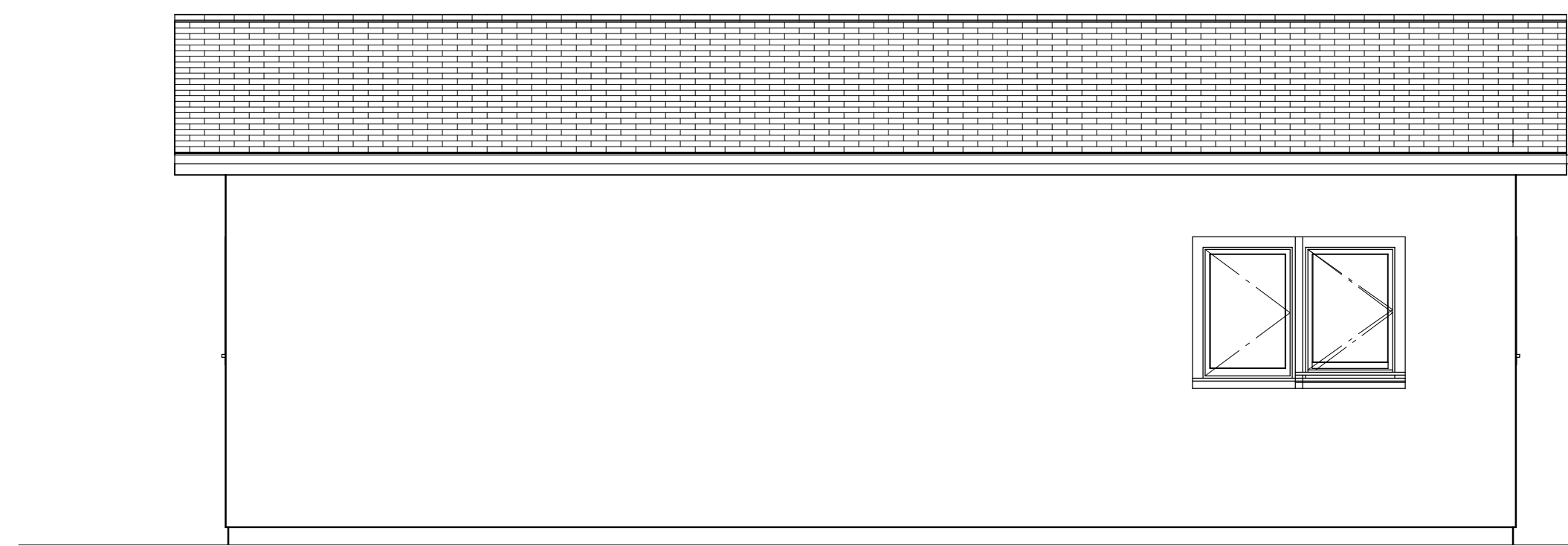
FLOOR PLAN



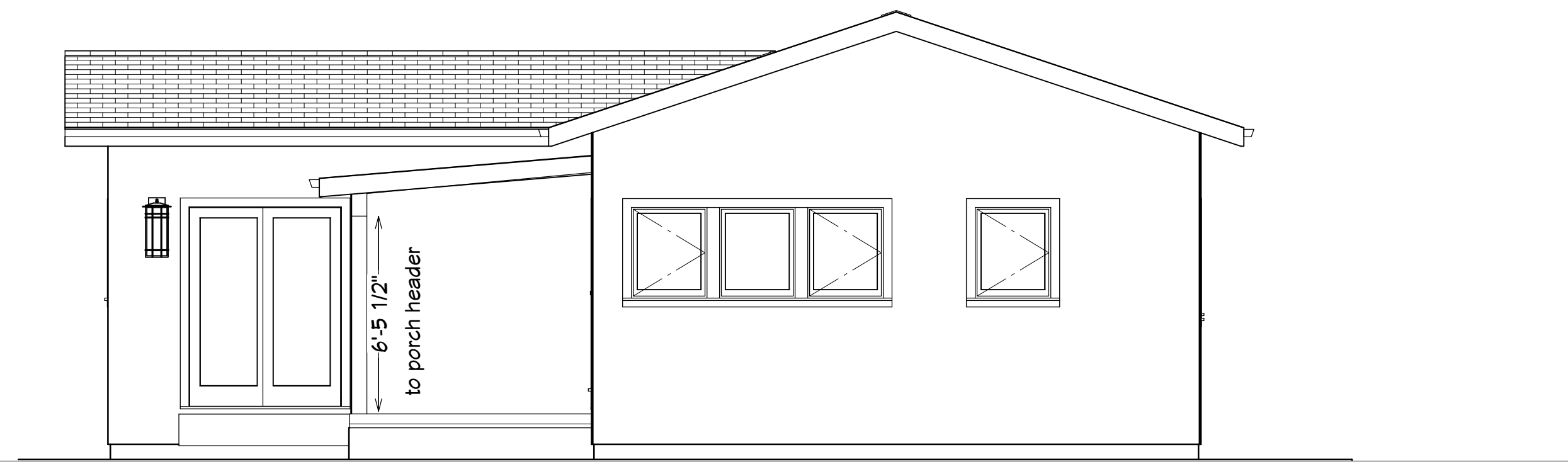
E1, SOUTH ELEVATION



E2, WEST ELEVATION



E3, NORTH ELEVATION



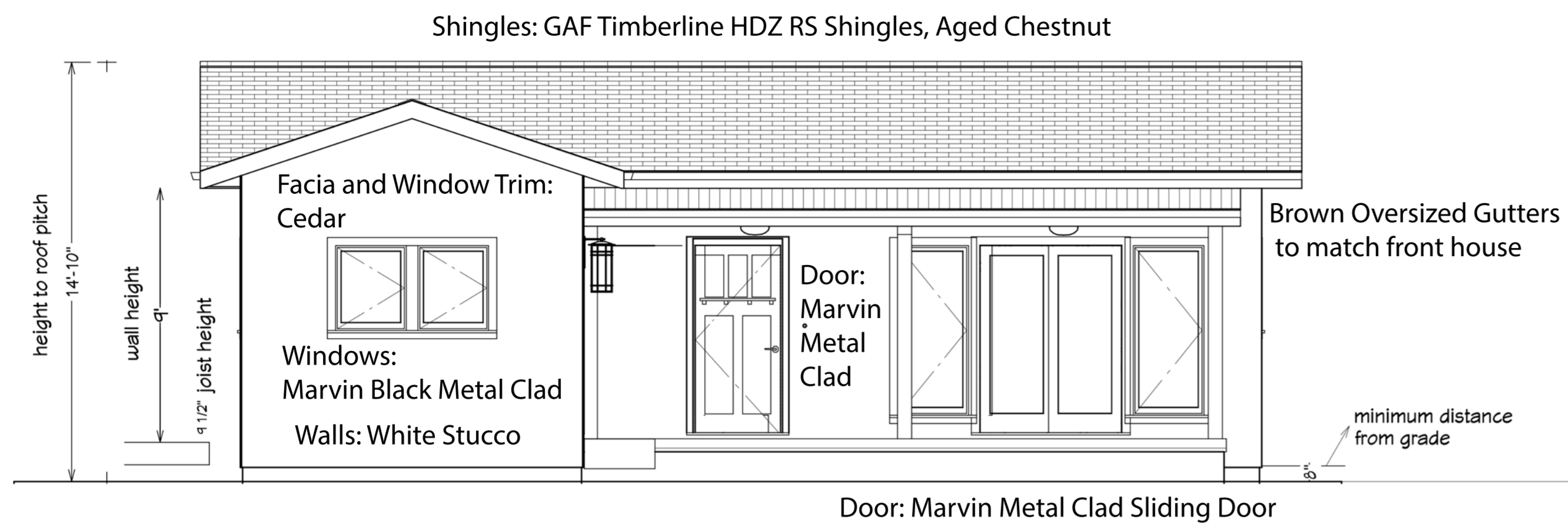
E4, EAST ELEVATION

ELEVATIONS

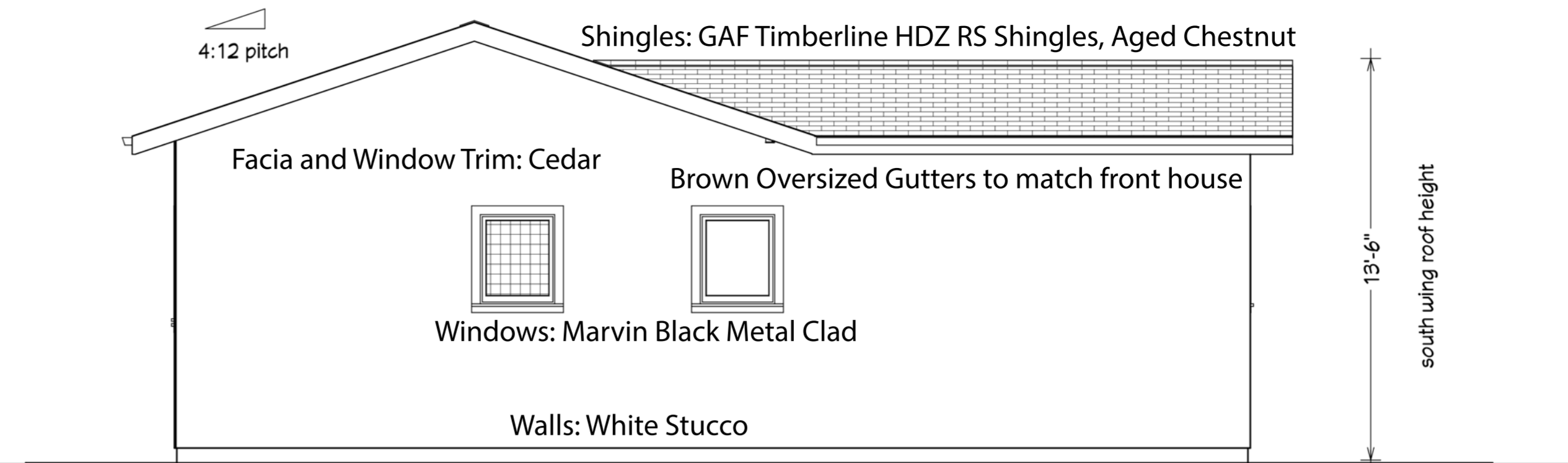
ELEVATIONS
 Shannon Corrugh
 1605 Peterson Place
 Fort Collins, CO 80525

SCALE: 1"= 4'

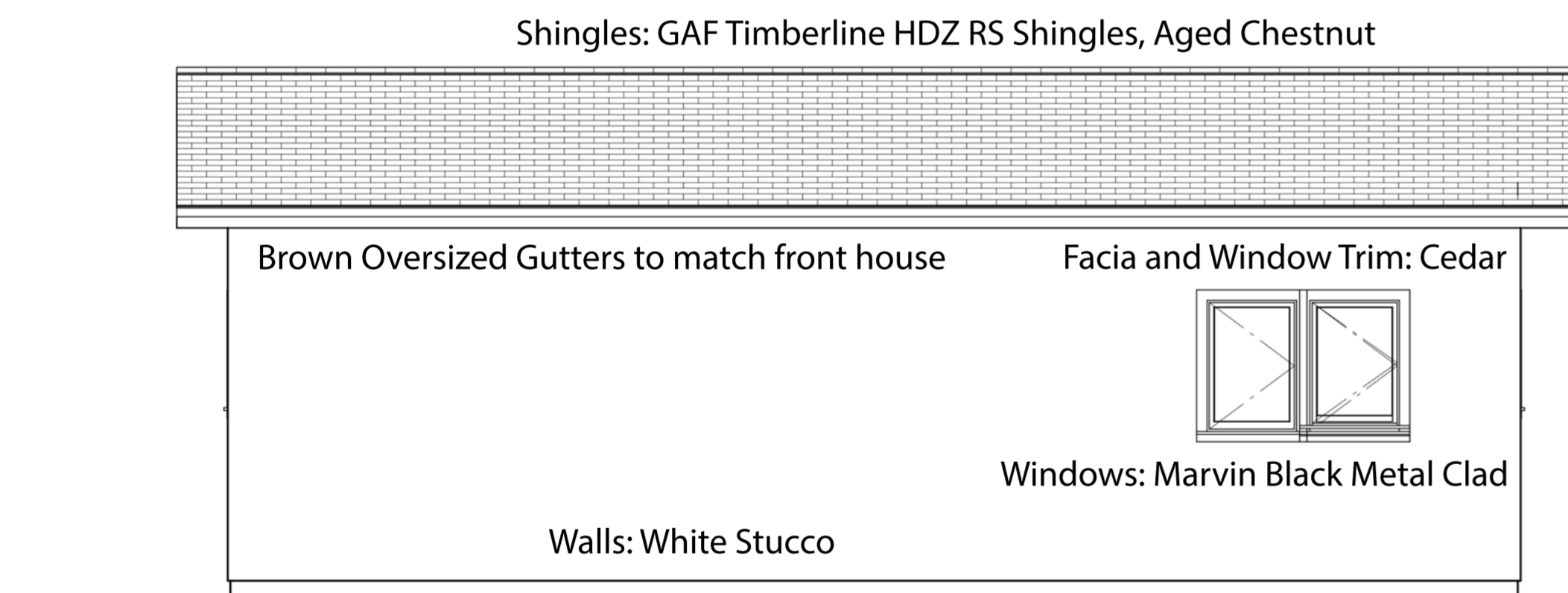
DESIGN BY:
 Bink Owsley
 2423 Terry Lake Road
 Fort Collins, CO 80524
 (970) 481-7768
 11/22/20



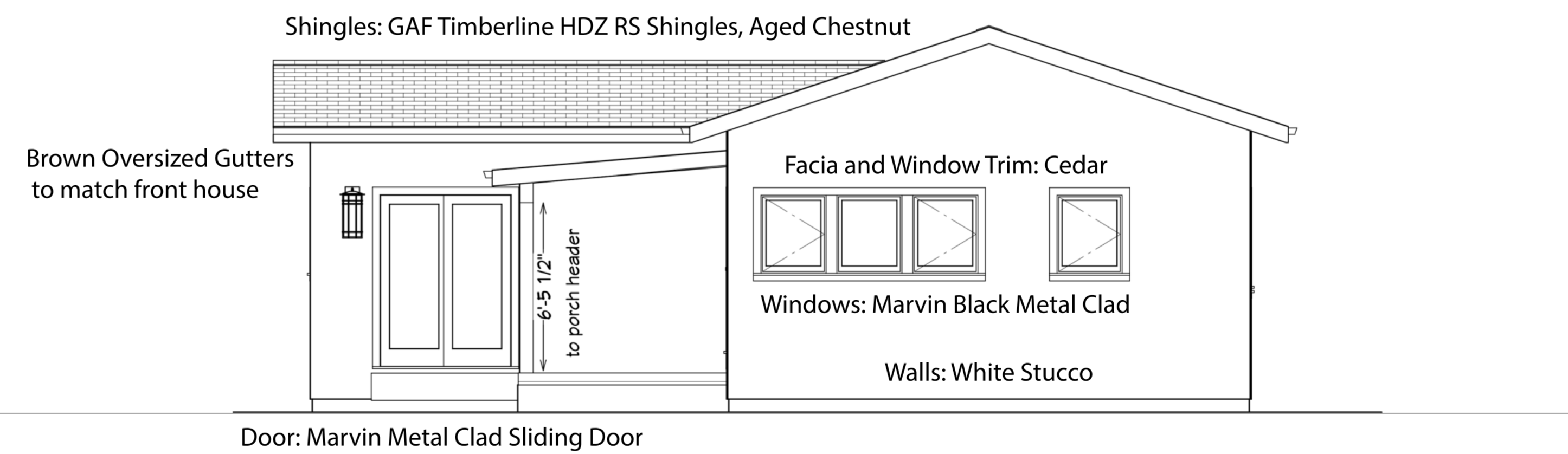
E1, SOUTH ELEVATION



E2, WEST ELEVATION



E3, NORTH ELEVATION



E4, EAST ELEVATION

Building Materials

Shannon Corrough
1605 Peterson Place
Fort Collins, CO 80525

SCALE: 1"= 4'

DESIGN BY:
Birk Ovesley
2423 Terry Lake Road
Fort Collins, CO 80524
(970) 481-7788
11/22/20

Building Materials Examples- 1605 Peterson Place

SLIDING DOORS: Marvin Matte Black Metal Clad



GUTTERS: Brown Oversized Gutters



SHINGLES: GAF Timberline HDZ RS Shingles/Aged Chestnut

(below) STUCCO: White Stucco



FACIA AND WINDOW TRIM: Cedar

(below) WINDOWS: Marvin Matte Black Metal Clad



PRELIMINARY ENGINEERING PLANS FOR 1605 PETERSON PLACE

LOT 3, BLOCK 1, GRAY-STRECKER SUBDIVISION
NW 1/4 OF SECTION 24, T07N, R69W OF THE SIXTH PM.,
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

PROJECT TEAM

OWNER / APPLICANT CORROUGH SHANNON M TRUST 1605 PETERSON PLACE FORT COLLINS, CO 805251030 PHONE: (970) 212-6730 CONTACT: SHANNON CORROUGH	CIVIL ENGINEER CIVILWORX, LLC 4025 AUTOMATION WAY, SUITE B2 FORT COLLINS, CO 80525 PHONE: (970) 698-6046 CONTACT: SCOTT NESBITT	SURVEYOR MAJESTIC SURVEYING 111 VALLEY DRIVE #104 WINDSOR, CO 80550 PHONE: (970) 443-0882 CONTACT: STEVEN PARKS
---	---	---

PROJECT COORDINATES

PROJECT VERTICAL DATUM: NAVD88

BENCHMARK C322: METAL DISK SET IN THE EAST END OF THE NORTHWEST PARAPET WALL OF A CONCRETE BRIDGE.
ELEVATION: 4990.33

BENCHMARK CSU2: BRASS DISK SET IN MONUMENT BOX.
ELEVATION: 4990.33

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.

IF NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 DATUM - 3.18'

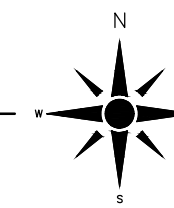
PROJECT HORIZONTAL DATUM:
MODIFIED NAD83/2011 COLORADO STATE PLANE
COORDINATE SYSTEM, NORTH ZONE
SCALE FACTOR 1.0002644699258 (0.999735650)

- Notes:
- UNDERGROUND UTILITY LOCATES PROVIDED BY PRIMO LOCATING SERVICES, LLC.
 - THIS IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT.
 - ALL LOT LINES, RIGHT OF WAY AND EASEMENT LINES ARE TO BE CONSIDERED APPROXIMATE.
 - ALL CONTROL SHOWN SHALL BE VERIFIED BY THE CONTRACTOR BEFORE ANY CONSTRUCTION OR OTHER IMPROVEMENTS



VICINITY MAP

SCALE: 1" = 250'



Drawing Index	
Sheet Number	Sheet Title
GENERAL INFORMATION	
CV01	COVER SHEET
CIVIL	
EX01	EXISTING CONDITIONS
EXDN01	EXISTING DRAINAGE MAP
GR01	DETAILED GRADING PLAN
UT01	UTILITY PLAN
CIVIL DETAILS	
DT01	CONSTRUCTION DETAILS

NO.	REVISIONS	DATE	BY

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.

CAUTION

1605 PETERSON PLACE - CARRIAGE HOUSE
COVER SHEET

DATE SUBMITTED: 02/23/2021

PREPARED FOR: S. CORROUGH

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED: _____	City Engineer, _____	Approved Sheets _____ Date _____
APPROVED: _____	Water & Wastewater Utility, _____	Approved Sheets _____ Date _____
APPROVED: _____	Stormwater Utility, _____	Approved Sheets _____ Date _____
APPROVED: _____	Park Planning and Development, _____	Approved Sheets _____ Date _____
APPROVED: _____	Traffic Operations, _____	Approved Sheets _____ Date _____
APPROVED: _____	Environmental Planner, _____	Approved Sheets _____ Date _____

PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NUMBER
CV01
01 OF 06 SHEETS
SCALE
VERTICAL: N/A
HORIZONTAL: 1" = 250'
JOB NUMBER
C20025

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CivilWorx

4025 Automation Way
Suite B2
Fort Collins, CO 80525
(970) 698-6046
CivilWorxeng.com

REV.	DATE	BY	DESCRIPTION

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer.

DATE SUBMITTED: 02/23/2021

PREPARED FOR: S. CORROUGH

1605 PETERSON PLACE - CARRIAGE HOUSE
DETAILED GRADING PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NUMBER
GR01
04 OF 06 SHEETS

SCALE
VERTICAL: N/A
HORIZONTAL: 1" = 10'

JOB NUMBER
C20025

LEGEND

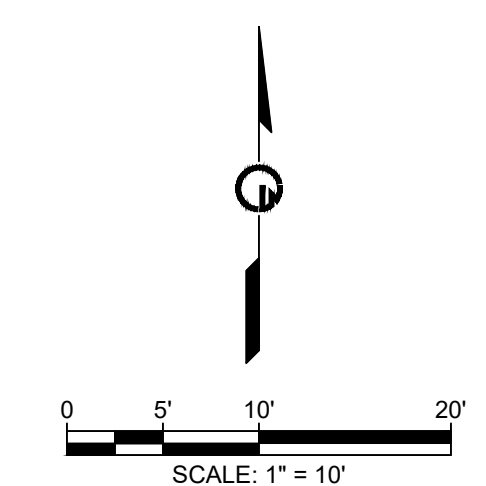
- MAPPING / SITE**
- PROPERTY BOUNDARY
 - PROPOSED BUILDING FOUNDATION
 - 5100— PROPOSED CONTOURS
 - EXISTING CURB AND GUTTER
 - 5100— EXISTING CONTOURS
 - EXISTING FENCE
 - EXISTING GRAVEL
 - EXISTING PAVERS
 - EXISTING CONCRETE
 - EXISTING EASEMENT
 - EXISTING ROW
 - PROPOSED EASEMENT
 - PROPOSED ROW

- GRADING**
- BASIN BOUNDARY
 - △ DP PRE DESIGN POINT
 - PR-E BASIN LABEL
 - 0.24 32.2% % IMPERVIOUS
 - BASIN AREA
 - 2.4% FLOW DIRECTION
 - ○ ○ ○ PROPOSED GRASSES
 - DRAINAGE SWALE

- EROSION CONTROL**
- LIMITS OF DISTURBANCE
 - SF SILT FENCE
 - WD WATTLE DIKE

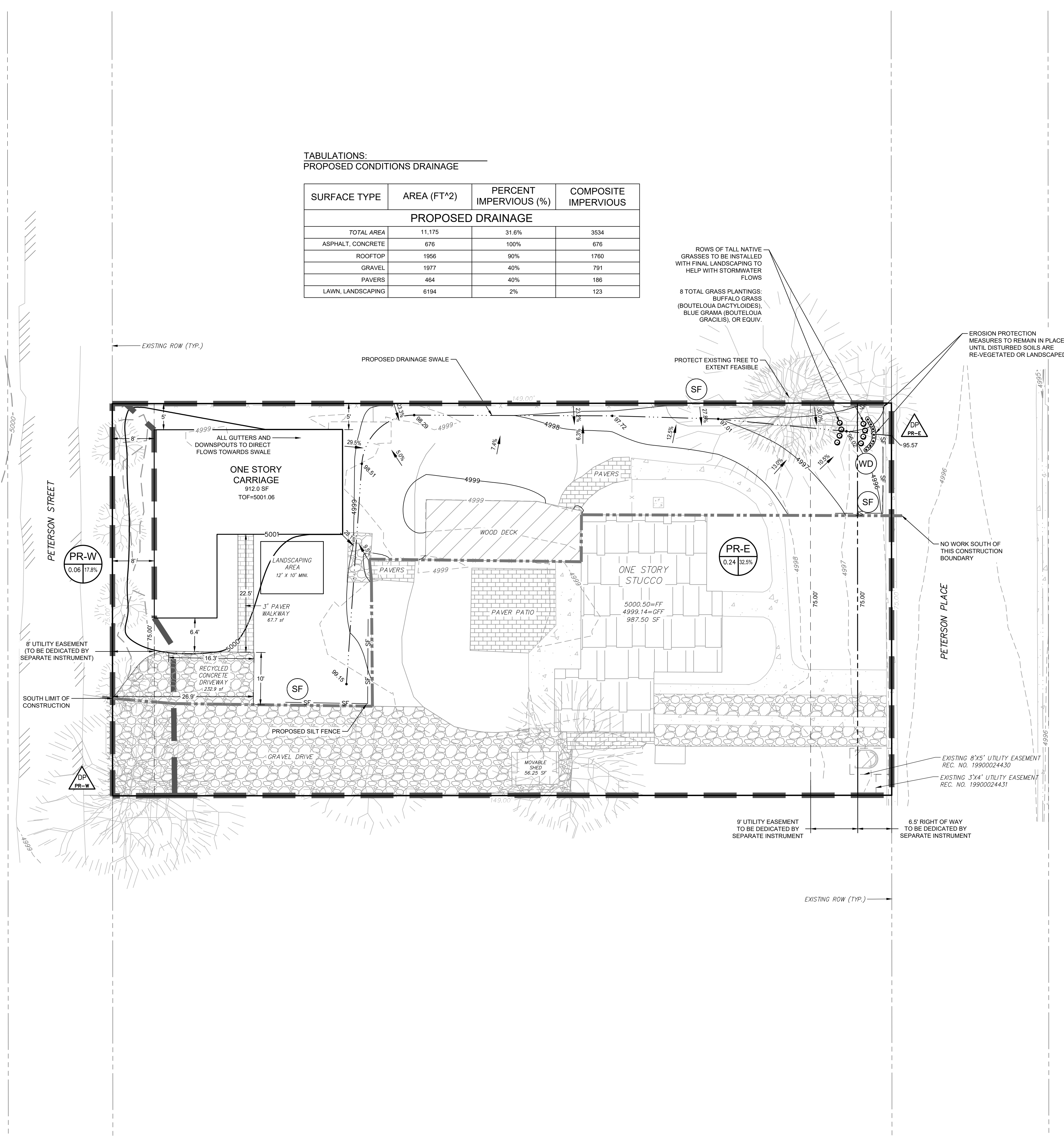
NOTES

1. SPOT ELEVATIONS ARE TO FINISHED SURFACE. CONSULT LANDSCAPER FOR MINIMUM TOPSOIL DEPTH OR AMENDMENT PRIOR TO SEEDING.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE FIELD CONDITIONS ARE AS SHOWN IN THE DRAWINGS. IF THE CONTRACTOR FINDS DISCREPANCIES THE CONTRACTOR SHALL CONTACT THE ENGINEER.
3. TOP OF FOUNDATION ELEVATIONS SHOWN ARE RECOMMENDED ELEVATIONS AND ARE FOR INFORMATION ONLY. THEY ARE NOT MEANT NOR DO THEY REPLACE BUILDERS PLOT PLANS.
4. ALL DISTURBED AREAS NOT PAVED SHALL BE RE-VEGETATED.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE FIELD CONDITIONS ARE AS SHOWN IN THE DRAWINGS. IF THE CONTRACTOR FINDS DISCREPANCIES THE CONTRACTOR SHALL CONTACT THE ENGINEER.
6. ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPED PER OWNER (OR REPRESENTATIVE LANDSCAPER'S) DIRECTION.
7. EROSION CONTROL PRACTICES, SITE PROTECTION, AND REVEGETATION METHODS SHALL FOLLOW CITY REGULATIONS.
8. EXISTING TREES ON-SITE TO BE PRESERVED AND PROTECTED TO THE EXTENT FEASIBLE DURING CONSTRUCTION.



**TABULATIONS:
PROPOSED CONDITIONS DRAINAGE**

SURFACE TYPE	AREA (FT^2)	PERCENT IMPERVIOUS (%)	COMPOSITE IMPERVIOUS
PROPOSED DRAINAGE			
TOTAL AREA	11,175	31.6%	3534
ASPHALT, CONCRETE	676	100%	676
ROOFTOP	1956	90%	1760
GRAVEL	1977	40%	791
PAVERS	464	40%	186
LAWN, LANDSCAPING	6194	2%	123



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CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO TIE IN OR CONSTRUCTION

CONNECT TO EXISTING 1-1/4" XCEL GAS LINE IN PETERSON STREET (NOT LOCATED BY XCEL, NOT PROVIDED IN SURVEY. CONTRACTOR TO VERIFY LOCATION OF GAS MAIN PRIOR TO START OF WORK)
XCEL TO LOCATE MAIN LINE AND TO APPROVE SERVICE FROM THIS LINE WHEN CARRIAGE HOME ADDRESS IS PROVIDED BY CITY

PROPOSED UNDERGROUND ELECTRIC SERVICE LINE

PROPOSED UNDERGROUND COMMUNICATIONS SERVICE LINE

PROPOSED SANITARY SERVICE CONNECTION (INSTALL CLEAN-OUT ADJACENT TO FOUNDATION)

PROPOSED 4" SANITARY SEWER SERVICE SDR 35 PVC, OR EQUIVALENT SLOPED AT 2.0% (MIN)

CAUTION: UNDERGROUND ELECTRIC AND WATER CROSSINGS ANTICIPATED

CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION

PROPOSED ELECTRIC METER FOR NEW 200 AMP SERVICE

PROPOSED NEW 3/4" XCEL GAS SERVICE

PROPOSED WATER SERVICE CONNECTION

3/4" WATER SERVICE COPPER, MUNICIPEX, OR EQUIV.

PROPOSED WATER SERVICE TO TIE INTO EXISTING WATER SERVICE DOWNSTREAM FROM EXISTING METER INSIDE HOME

5000.50=FF 4999.14=OFF 987.50 SF

EXISTING 8'X5' UTILITY EASEMENT REC. NO. 19900024430

EXISTING 1'X4' UTILITY EASEMENT REC. NO. 19900024431

9' UTILITY EASEMENT TO BE DEDICATED BY SEPARATE INSTRUMENT

6.5' RIGHT OF WAY TO BE DEDICATED BY SEPARATE INSTRUMENT

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EXISTING ROW (TYP.)

PRELIMINARY ENGINEERING PLANS FOR 1605 PETERSON PLACE

LOT 3, BLOCK 1, GRAY-STRECKER SUBDIVISION
NW 1/4 OF SECTION 24, T07N, R69W OF THE SIXTH PM.,
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

PROJECT TEAM

OWNER / APPLICANT
CORROUGH SHANNON M TRUST
1605 PETERSON PL
FORT COLLINS, CO 805251030
PHONE: (970) 212-6730
CONTACT: SHANNON CORROUGH

CIVIL ENGINEER
CIVILWORX, LLC
4025 AUTOMATION WAY, SUITE B2
FORT COLLINS, CO 80525
PHONE: (970) 698-6046
CONTACT: SCOTT NESBITT

SURVEYOR
MAJESTIC SURVEYING
111 VALLEY DRIVE #104
WINDSOR, CO 80550
PHONE: (970) 443-0882
CONTACT: STEVEN PARKS

PROJECT COORDINATES

PROJECT VERTICAL DATUM: NAVD88

BENCHMARK C322: METAL DISK SET IN THE EAST END OF THE NORTHWEST PARAPET WALL OF A CONCRETE BRIDGE.
ELEVATION: 4990.33

BENCHMARK CSU2: BRASS DISK SET IN MONUMENT BOX.
ELEVATION: 4990.33

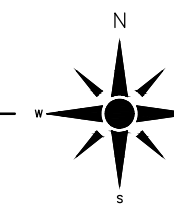
PROJECT HORIZONTAL DATUM:
MODIFIED NAD83/2011 COLORADO STATE PLANE
COORDINATE SYSTEM, NORTH ZONE
SCALE FACTOR 1.0002644699258 (0.999735650)

- Notes:
- UNDERGROUND UTILITY LOCATES PROVIDED BY PRIMO LOCATING SERVICES, LLC.
 - THIS IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT.
ALL LOT LINES, RIGHT OF WAY AND EASEMENT LINES ARE TO BE CONSIDERED APPROXIMATE.
 - ALL CONTROL SHOWN SHALL BE VERIFIED BY THE CONTRACTOR BEFORE ANY CONSTRUCTION OR OTHER IMPROVEMENTS



VICINITY MAP

SCALE: 1" = 250'



Drawing Index	
Sheet Number	Sheet Title
GENERAL INFORMATION	
CV01	COVER SHEET
CIVIL	
EX01	EXISTING CONDITIONS
EXDN01	EXISTING DRAINAGE MAP
GR01	DETAILED GRADING PLAN
UT01	UTILITY PLAN
CIVIL DETAILS	
DT01	CONSTRUCTION DETAILS



4025 Automation Way
Suite B2
Fort Collins, CO 80525
(970) 698-6046
CivilWorxeng.com

NO.	DATE	BY	REVISIONS

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

CAUTION

1605 PETERSON PLACE - CARRIAGE HOUSE
COVER SHEET

DATE SUBMITTED: 12/01/2020

PREPARED FOR: S. CORROUGH

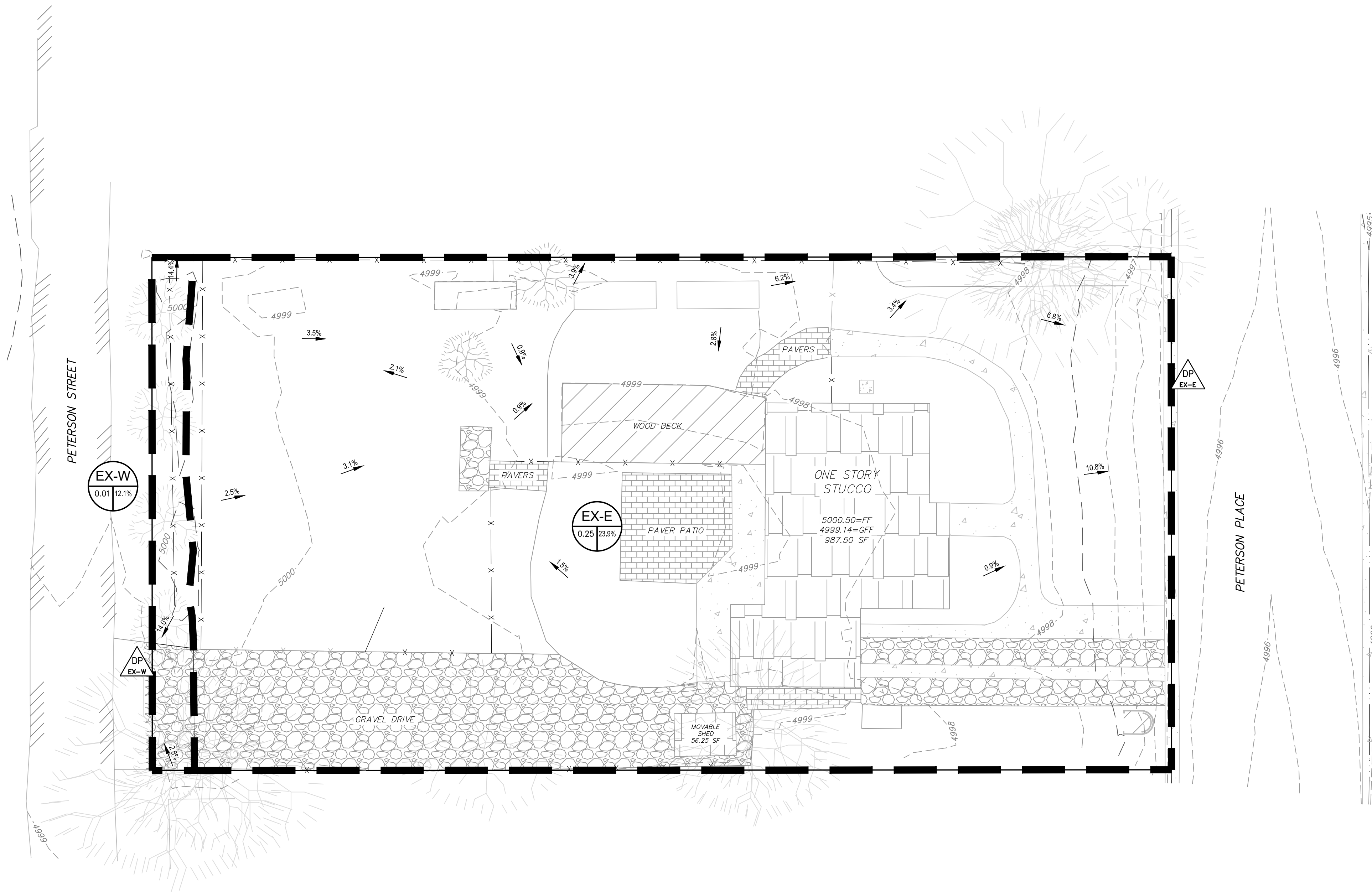
PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NUMBER
CV01
1 OF 05 SHEETS
SCALE
VERTICAL: N/A
HORIZONTAL: 1" = 250'
JOB NUMBER
C20030

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



LEGEND

MAPPING / SITE

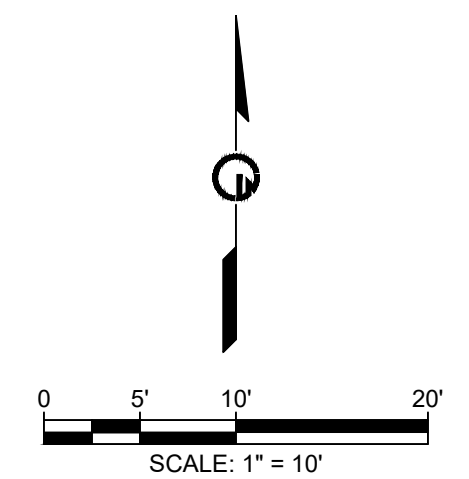
- PROPERTY BOUNDARY
- Curb and Gutter
- - - EXISTING CONTOURS
- x FENCE
- ▨ GRAVEL
- ▩ PAVERS
- ▭ CONCRETE

GRADING

- ▬ BASIN BOUNDARY
- △ DP
d-101 DESIGN POINT
- EX-E
0.25 23.9% BASIN LABEL
MAJOR COEFFICIENT
- BASIN AREA
- 2.4% FLOW DIRECTION

NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE FIELD CONDITIONS ARE AS SHOWN IN THE DRAWINGS. IF THE CONTRACTOR FINDS DISCREPANCIES THE CONTRACTOR SHALL CONTACT THE ENGINEER.



CivilWorx
4025 Automation Way
Suite B2
Fort Collins, CO 80525
(970) 698-6046
CivilWorxeng.com

NO.	DATE	BY	REVISIONS

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.

CAUTION

**1605 PETERSON PLACE - CARRIAGE HOUSE
EXISTING DRAINAGE MAP**

DATE SUBMITTED: 12/01/2020

PREPARED FOR: S. CORROUGH

**PRELIMINARY
NOT FOR
CONSTRUCTION**

SHEET NUMBER
EXDN01
XX OF 05 SHEETS

SCALE
VERTICAL: N/A
HORIZONTAL: 1" = 10'

JOB NUMBER
C20030

December 1, 2020

Dan Mogen
 Development Review Division
 City of Fort Collins Utilities
 281 N. College Ave.
 Fort Collins, Colorado 80524

Re: 1605 Peterson Place, Carriage House – Drainage Narrative

Dan,

I am writing this letter to discuss the drainage impacts associated with the addition of a ‘carriage house’ to the existing duplex located at 1605 Peterson Pl. (the property). The intent of this letter is to satisfy the City of Fort Collins requirements on drainage analysis associated with the proposed improvements to the property.

The owner of the property is proposing a 912 square foot carriage home located at the NW corner of the lot, the drainage from this building will be conveyed eastward to the extent practical. The existing drainage patterns of the site can be summarized by 2 basins, an eastern and a western existing basin. The western basin is a small 0.01 sliver of the property area which abuts and drains to the Peterson St. alley to the west. Most of the property generally drains to the east where flows would enter the curb and gutter at Peterson Pl. The east basin is 0.25 acres in size with slopes varying between 0 and 4%. For a summary of basin areas and surface coverages see Table 1 below.

Surface Type	Area (Sq.Ft.)	Percent Imperv. (%)	I * A
Existing Drainage			
Total Area	11,175	23.4%	2617.6
Asphalt, Concrete	676	100%	675.7
Rooftop	1,044	90%	939.4
Gravel	1,744	40%	697.6
Pavers	396	40%	158.6
Lawn/ Landscaping	7,315	2%	146.3
Proposed Condition Drainage			
Total Area	11,175	31.6%	3534.4
Asphalt, Concrete	676	100%	675.7
Rooftop	1,956	90%	1760.2
Gravel	1,977	40%	790.8
Pavers	464	40%	185.6
Lawn/ Landscaping	6,194	2%	123.9

Table 1) Proposed and Existing Basin characteristics and area cover

Based on initial design scoping meetings with the client, it was requested that this lot improvement would not impact the tenant side of her existing home. To respect this design constraint, the limits of this construction and grading for the proposed project will not address any of the existing drainage on the tenant side of her property. See the construction plans for the proposed limits of construction, but this is to say that we cannot address any existing drainage issues outside of the construction limits.

With the added impervious area, the increase to the anticipated stormwater flows for the 2-year and 100-year design storm were calculated. A summary of the existing and proposed runoff rates can be found below in Table 2 (calculations are available in attachments). This additional runoff generated by the proposed condition will be conveyed eastward via a proposed grass swale as shown on the plans. This swale was positioned as close to the northern property line as possible while maintaining positive drainage away from the existing duplex as well as the property to the north. A Tc of 5 minutes will be assumed based on the December 2018 COFC Stormwater Criteria manual.

Existing drainage conditions will be improved by employing this new swale as there were some very flat areas at the west and north side of the existing home, which should be graded to drain to the proposed swale. In an effort to slow down the runoff as it runs through the swale, I will encourage the client to plant a few rows of taller decorative grasses (buffalo grass, or equivalent) positioned perpendicular to the swale flowline just before the swale reaches the outfall near the sidewalk at Peterson Pl.

Basin	Proposed		Existing	
	Total Flow 2-year (cfs)	Total Flow 100-year (cfs)	Total Flow 2-year (cfs)	Total Flow 100-year (cfs)
East Basin	0.33	1.78	0.29	1.26
West Basin	0.02	0.09	0.01	0.04

Table 2) Flow comparison for existing drainage versus proposed conditions

The addition of the carriage house to this lot is being designed with as little impact to the existing stormwater patterns as reasonably achievable. With the minimal additions to the gravel driveway and maximizing landscaped or lawn area, the resulting runoff increases are modest. Care has been taken not to increase flows to the Peterson St. alley and the Carriage House will have its gutters sloped to convey stormwater to the east, where the downspouts will be outlet towards the proposed swale. With the overall distance that stormwater flows must travel through the swale and the addition of grass buffers to reduce velocities and drop out any sediments within the storm flows. This project's impact on the greater storm sewer in the area should be quite small, and with the efforts taken to help slow the stormwater velocities and reduce sediment transport; the existing downstream infrastructure should handle these flows without issue.

Sincerely,



Scott Nesbitt, PE
Project Engineer
CivilWorx, LLC

ATTACHMENTS

Runoff Coefficients and % Impervious



Basin	Design Pt.	Areas							Composite Imperviousness (%)	NRCS Soil Type	Composite Runoff Coefficients ⁽²⁾		
		Total	Total	Roof ⁽¹⁾ %I = 90%	Asphalt %I = 100%	Walks ⁽¹⁾ %I = 90%	Gravel ⁽¹⁾ %I = 40%	Lawns ⁽¹⁾ %I = 2%			C ₂	C ₁₀₀	C _F
		acres	sf	sf	sf	sf	sf	sf					
Existing Basins													
EX-E	EX-E	0.25	10751	1044	676	0	2028.8	7002	23.9%	C/D	0.409	0.511	
EX-W	EX-W	0.01	419.3	0	0	0	111.2	308	12.1%	C/D	0.316	0.395	
		0.00						0	-		-	-	
Onsite Total		0.3	11170	1044	676	0	2140	7310	23%		0.406	0.507	
Proposed Basins													
PR-E	PR-E	0.24	10468	1956	676	0	2126	5710	32.5%	C/D	0.477	0.596	0.745
PR-W	PR-W	0.02	702	0	0	0	291	411	17.8%	C/D	0.354	0.442	0.553
		0.00						0	-		-	-	
Total		0.3	11170	1956	676	0	2417	6121	32%		0.469	0.596	

Notes:

- (1) Recommended % Imperviousness Values from USDCM Vol 1 - Ch 5 - Table RO-3. Increased Lawns from 0% to 2% Impervious.
- (2) Runoff C is based on %I, UDFCD Eq RO-7 and correction factors in Table RO-4.
- (3) Impervious area assumed to be 2500 s.f. of roof and 500 s.f. of driveway per single family and twin home lot.

Time of Concentration

Basin	Design Pt.	Area <i>acres</i>	Initial Overland Flow Time (t_i)					Travel/Channelized Time of Flow (t_t)					t_i+t_t <i>min</i>	t_c Check for Urbanized			Final t_c ⁽⁶⁾ <i>min</i>
			Initial Ground Type	C_s ⁽¹⁾	Length	Slope	t_i ⁽²⁾	Length	Slope	C_v	Velocity ⁽³⁾	t_t ⁽⁴⁾		Check t_c ?	Total Length	t_c ⁽⁵⁾	
					<i>ft</i>	<i>%</i>	<i>min</i>	<i>ft</i>	<i>%</i>		<i>fps</i>	<i>min</i>		<i>Urban?</i>	<i>ft</i>	<i>min</i>	
Existing Basins																	
EX-E	EX-E	0.2	Roof	0.73			-				-	-	-	Yes	0	5	5
EX-W	EX-W	0.0	Lawn	0.09			-				-	-	-	Yes	0	5	5
		0.0		-			-				-	-	-		-	-	-
Proposed Basins																	
PR-E	PR-E	0.2	Roof	0.73			-				-	-	-	Yes	0	5	5
PR-W	PR-W	0.0	Lawn	0.09			-				-	-	-	Yes	0	5	5
		0.0		-			-				-	-	-		-	-	-

Notes:

⁽¹⁾ C_s based initial ground type and Table RO-5

⁽²⁾ $t_i = [1.8(1.1-C_s)L^{1/2}]/S^{1/3}$, S= slope in %, L=length of overland flow (400' max)

⁽³⁾ $V=C_vS^{0.5}$, S=watercourse slope in ft/ft, UDFCD Equation RO-4

⁽⁴⁾ $t_t=L/(V*60 \text{ sec/min})$

⁽⁵⁾ t_c check (for urban or developed areas only) = total length/180 + 10

⁽⁶⁾ min $t_c = 5 \text{ min}$

Rational Method Peak Runoff

Basin	Design Pt.	Area	Final	Runoff Coefficients		Rainfall Intensity		Peak Discharge	
			$t_c^{(6)}$	C_2	C_{100}	I_2	I_{100}	Q_2	Q_{100}
		acre	min						
Existing Basins									
EX-E	EX-E	0.2	5	0.409	0.511	2.85	9.95	0.29	1.26
EX-W	EX-W	0.0	5	0.316	0.395	2.85	9.95	0.01	0.04
		0.0	-	-	-	-	-	-	-
Totals								0.30	1.29
Proposed Basins									
PR-E	PR-E	0.2	5	0.475	0.742	2.85	9.95	0.33	1.78
PR-W	PR-W	0.0	5	0.354	0.553	2.85	9.95	0.02	0.09
		0.0	-	-	-	-	-	-	-
Totals								0.34	1.86



**Community Development and
Neighborhood Services**
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

January 11, 2019

Shannon Corrough

Re: 1605 Peterson Place Single-Family

Description of project: This is a request to build a single-family detached house at 1605 Peterson Place (parcel #9724210003). Access is taken from Peterson Pl to the east and Peterson St to the west. The proposed project is within the Low Density Mixed-Use Neighborhood (LMN) zone district and is subject to Administrative (Type 1) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Development Review Coordinator, Todd Sullivan at 970-221-6695 or tsullivan@fcgov.com.

Comment Summary:

Planning Services

Contact: Clay Frickey, 970-224-6045, cfrickey@fcgov.com

Clay is no longer in Planning. Todd is checking to see who the Planner will be going forward.

1. For the purposes of this development, we're considering Peterson St. to be an alley rather than a typical public street. This is important as certain standards like our garage door standards change based on this determination.
2. For your formal development application, you will need to submit a site plan showing the location of any existing structure on the lot, the location of the carriage house, and location of parking. You'll also need to include tables describing the size of structures, the amount of parking provided, and size of the site. I can provide you an example of what your site plan should look like with the final comment letter.
3. Since your lot is 75 feet wide, you will need to provide at least one off-street parking space for the new house.
4. The maximum building height in this zone district is 2.5 stories.
5. Will you be replatting your lot as part of this project? If so, you will need to provide a

subdivision plat as part of your formal submittal to the City.

6. Please also provide architectural elevations of the new house as part of your formal submittal.
7. The following setbacks will apply to your new house:

From Peterson St. - 8 feet

Side lot line - 5 feet

8. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
9. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
10. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
11. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
12. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>
13. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
14. When you are ready to submit your formal plans, please make an appointment with your Development Review Coordinator, Todd Sullivan at 970-221-6695 or tsullivan@fcgov.com.

Department: Historical Preservation

Contact: Cassandra Bumgarner, 970-416-2990, cbumgarner@fcgov.com

Cassandra is no longer with the City of Fort Collins. Please reach out to Todd if you have any questions.

1. This property is a potentially eligible resource. At the conceptual review stage, the applicant is responsible for ordering (through historic preservation staff) third-party surveys by an independent contractor of any parcels on or adjacent to the development site that may be eligible for Fort Collins Landmark status. This step will provide your team with accurate, predictable, and official information regarding which abutting

parcels, if any, will need to be considered in terms of the site plan and architecture of new construction. As soon as you have confidence that you will proceed with an application, you will need to pay for the survey of 1605 Peterson Street so that we can get the results of the survey as soon as possible. This is a mandatory requirement as long as the project goes forward.

2. If the property is eligible, the proposed accessory dwelling unit will need to be compatible with the existing dwelling on the parcel. If the property is not eligible, staff will need to identify a reasonable approach to getting information about nearby resources if we think there are some potentially eligible resources inside the 200 foot boundary. If Historic Preservation staff determines that survey is necessary for one or more parcels associated with this development, completed determinations of eligibility for these properties, which are based on the third-party surveys, are now required as part of the presubmittal process for development proposals. Historic Preservation staff cannot sign off on our presubmittal requirements until these survey results are complete and fees are paid. The applicant is responsible for the fees associated with those surveys and should contact Historic Preservation staff before submitting a PDP application to begin the survey process and remit payment.

Please contact me asap at cbumgarner@fcgov.com to request a staff evaluation regarding this presubmittal requirement.

Department: Engineering Development Review

Contact: Spencer Smith, 970-221-6603, smsmith@fcgov.com

1. Please contact Spencer Smith (smsmith@fcgov.com or (970)-221-6603) if you have further questions regarding these conceptual engineering comments or requirements.
2. Typically, development or redevelopment is required to construct adjacent street frontage improvements to current City standards. This would include asphalt, curb and gutter, sidewalk, parkway, etc. In this case, it may not make sense to construct sidewalk for example, when there is no adjacent sidewalk to connect to. Engineering staff likes to look at these kinds of projects on a case-by-case basis to determine what should be required of an applicant. I am going to discuss this project at our Transportation Coordination meeting coming up on Monday, 1/14. I will be able to provide more information on Engineering requirements after that meeting.
3. As with the street frontage improvements mentioned in the previous comment, a project is typically responsible for dedicating any right-of-way (ROW) and easements that are necessary or required by the City. Most easements to be dedicated need to be public easements dedicated to the City. This shall include the standard utility easements that are to be provided behind the ROW (15 foot along an arterial, 8 foot along an alley, and 9 foot along all other street classifications). Based on existing ROW/easements, this project would need to dedicate 10 ½ feet of road ROW along the Peterson Pl. frontage, as well as a 9-foot utility easement (per the City standard Residential Local roadway section). As long as Poudre Fire Authority and the rest of the City departments are okay with the existing 16 foot alley ROW along the west side of this property, Engineering would not likely ask for any additional ROW for the alley (the 16 feet falls within City alley ROW width standards). The City may still require that the standard 8 foot wide alley utility easement be dedicated with this project, however. Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php>

4. All public sidewalk, driveways and ramps, existing or proposed, adjacent or within the site, need to meet ADA standards. If they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. Engineering staff will conduct a site visit to determine the extent of pedestrian facilities that would need to be brought up to current ADA standards. This site inspection would occur after the initial project submittal so that this information can be provided with the first round of staff review comments.
5. All necessary permitting will be required of any proposed work/improvements within the public ROW, prior to construction.
6. Larimer County Road Impact Fees and Transportation Expansion Fees are due at the time of building permit. Please contact Kyle Lambrecht at (970)-221-6566 if you have any questions.
7. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:
<http://www.fcgov.com/engineering/dev-review.php>
8. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
9. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
10. A utility coordination meeting on this site is suggested. Utility coordination meetings, if requested, are typically scheduled after the preliminary submittal of the project, but can be scheduled prior to submittal upon request. Please provide a site plan with a preliminary utility layout for routing with the meeting notice. If you are interested in having a utility coordination meeting, please contact the development review engineer for scheduling.
11. All fences, barriers, posts or other encroachments within the public ROW are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to the Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/landscape plan is in non-compliance.
12. The development/site cannot use the ROW for any Low Impact Development to treat the site's storm runoff.
13. With regards to construction of this site, the public ROW shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the

Development Construction Permit application.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. The anticipated change in traffic volume is not expected to meet the threshold of requiring a Traffic Impact Study. Based on Chapter 4 of the Larimer County Urban Area Street Standards (LCUASS), the Traffic Impact Study is waived.
2. Work with the Engineering Department on any required improvements to roadway frontages.

Department: Water-Wastewater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. Water and Sewer Service (site specific comment):

There are existing 8-inch water and sewer mains in Peterson Place. The new house will be required to install separate service connections at the main and cannot be served from the same service lines as the existing house.

2. Water conservation (standard comment):

The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>

3. Fees (standard comment):

Development fees and water rights will be due at building permit. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact our Utility Fee and Rate Specialists at (970) 416-4252 for questions on fees.

Department: Stormwater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. Master plan and criteria compliance (site specific comment):

The design of this site must conform to the drainage basin design of the Spring Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.

2. Documentation requirements (site specific comment):

If there is an increase in imperviousness greater than 1,000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs. If the increase in impervious area is greater than 350 square feet and less than 1,000 square feet, a drainage letter along with a grading and erosion control plan should be sufficient to document the existing and proposed drainage patterns. A grading plan is required if the increase in imperviousness is less than 350 square feet.

3. Stormwater outfall (site specific comment):

The stormwater outfall options for this site appear to be the adjacent rights-of-way. Drainage into streets and alleys in this area can be problematic, causing damage to downstream and neighboring properties. As part of any development on this property, a drainage analysis will need to be completed by a Civil Engineer addressing any additional drainage created by the development and showing how conveyance of site drainage is conveyed to an adequate public facility without impacting downstream properties.

4. Imperviousness documentation (standard comment):

It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the

time fees are calculated for each building permit.

5. Detention requirements (standard comment):

When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2-year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.

6. Detention drain times (standard comment):

Per Colorado Revised Statute §37-92-602 (8) that became effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins.

7. Standard water quality requirements (standard comment):

When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.

8. LID requirements (standard comment):

When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites

required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:

1. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
2. 75% of all newly added or modified impervious area must be treated by LID techniques.

9. Erosion control requirements (standard comment):

The erosion control report requirements are in Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Stormwater Criteria Manual. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.

10. Fees (standard comment):

The 2019 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 square feet and there is a \$1,045/acre of site review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each

building permit is issued. Information on fees can be found at:

<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact our Utility Fee and Rate Specialists at (970) 416-4252 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

Monthly fees - <http://www.fcgov.com/utilities/business/rates>

Department: Electric Engineering

Contact: Tyler Siegmund, 970-416-2772, tsiegmund@fcgov.com

1. Light and Power currently feeds the existing home with electric service coming from Peterson Place. Light and Power has electric facilities along Peterson St as well that can provide electric service to the new residence.
2. Electric capacity fees, development fees, building site charges and any system modification charges necessary to feed the site will apply to this development. Please contact me or visit the following website for an estimate of charges and fees related to this project:
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>
3. Depending on loading on the existing single phase transformer along Peterson St and the requested electric service size for this new residence, the transformer may have to be upsized to accommodate the new service load. The owner/developer is responsible for any modifications needed to our system to feed the new residence. Please contact me if you would like to discuss Light and Power fees for this project.
4. The new residence will need to be individually metered.
5. Meter location will need to be coordinated with Light and Power. Please how proposed

meter location on the utility plans for the next submittal.

6. Please contact Tyler Siegmund with Light & Power Engineering if you have any questions at 970.416.2772. Please reference our policies, construction practices, development charge processes, electric service standards, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>

Department: Fire Authority

Contact: Andrew Rosen, 970-416-2599, arosen@poudre-fire.org

1. 2018 IFC CODE ADOPTION

Poudre Fire Authority and the City of Fort Collins (Town of Timnath, Larimer County) are in the process of adopting the 2018 International Fire Code. Code adoption is anticipated in early 2019. Building plan reviews shall be subject to the adopted version of the fire code in place at the time of plan review submittal and permit application.

2. HYDRANT

>A hydrant producing 1000gpm at 20psi residual pressure is required within 400ft of all residences. The hydrant at Parker St is approximately 520ft from the Carriage house since access will be taken from Peterson St therefore requiring a new hydrant to be installed.

>Should this not be possible, this out of compliance condition may be mitigated if the proposed residence is designed with an approved residential fire sprinkler system. This would require approval of the Fire Marshal.

3. ACCESS

Access is required to within 150ft of all portions of the exterior perimeter of the proposed Carriage House. This can be measured from Peterson Place and Peterson St since they are both unclassified streets. No further action required on this.

4. ADDRESSING/WAYFINDING

To assist with prompt emergency response the proposed carriage house should be a separate address through GIS. Should this not be possible, a unit designator such as Unit B can be used. Should this be a Peterson Place address, the full address including street name should be clearly visible from Peterson St.

5. SOLAR ARRAYS

Commercial rooftop structures and ground mounted solar arrays require a separate plan review and permit from the Poudre Fire Authority. Please call Plan Review Technician Kerry Koppes at 970-416-4241 with Solar Array questions. Refer to 2018 IFC 1204 for access, pathway, and marking details.

Department: Environmental Planning

Contact: Stephanie Blochowiak, 970-416-4290, sblochowiak@fcgov.com

1. City of Fort Collins Land Use Code [Section 3.2.1 (E)(3)], requires that to the extent reasonably feasible, all plans be designed to incorporate water conservation materials and techniques. This includes use of low-water-use plants and grasses in landscaping or re-landscaping and reducing bluegrass lawns as much as possible. Native plants and wildlife-friendly (ex: pollinators, butterflies, songbirds) landscaping and maintenance are also encouraged. Please refer to the Fort Collins Native Plants document available online and published by the City of Fort Collins Natural Areas Department for guidance

on native plants is: <http://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf>. Also see the City of Fort Collins Plant List : https://www.fcgov.com/forestry/plant_list.pdf.

2. If trees may be impacted then a review of trees shall be conducted with Ralph Zentz, Senior Urban Forester (970-221-6302 or rzentz@fcgov.com) to determine the status of existing trees and any mitigation requirements that could result from the proposed development. LUC Section 3.2.1(C) requires developments to submit a landscape and

tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment. " Note that a significant tree is defined as one having DBH (Diameter at Breast Height) of six inches or more.

3. In regard to outdoor lighting, especially LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian (biological) rhythms for both humans and wildlife. Warmer color temperature (warm white, 3000K or less) for any LED light fixtures is preferred. Please also consider fixtures with motion-sensing or dimming capabilities so that light levels can be adjusted as needed. Site light sources shall be fully shielded and down-directional to minimize up-light, light spillage and glare [see LUC 3.2.4(D)(3)]. Thank you in advance for supporting City of Fort Collins Night Sky Objectives. For further information regarding health effects please see: <http://darksky.org/ama-report-affirms-human-health-impacts-from-leds/>
4. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its residents now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project. Of particular interest may be:

1) ClimateWise Program: <http://fcgov.com/climatewise>, contact

climatewise@fcgov.com or Kelsey Doan at KDoan@fcgov.com, 970-416-2410

2) Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): <http://fcgov.com/recycling/wrap.php>, contact Jonathon Nagel at 970-416-2701 or jnagel@fcgov.com

3) Utilities Building Energy Scoring:

<https://www.fcgov.com/utilities/business/building-energy-scoring> , contact Kirk Longstein at 970-416-4325 or klongstein@fcgov.com

4) Solar Rebate Program: www.fcgov.com/solar, contact Rhonda Gatzke at 970-416-2312 or rgatzke@fcgov.com

5) Integrated Design Assistance Program: <http://fcgov.com/idap>, contact Gary Schroeder at 970-224-6003 or gschroeder@fcgov.com

6) Nature in the City Program: <http://fcgov.com/natureinthecity>, contact Justin Scharton at 970-221-6213 or jscharton@fcgov.com

7) Bike Share Program: <http://fcgov.com/bikeshare>, contact Stacy Sebeczek at Bike Fort Collins at stacy@bikefortcollins.org or 970-481-5577

Department: Forestry

Contact: Molly Roche, 224-616-1992, mroche@fcgov.com

1. 1

1/10/2019: BY FIRST ROUND PDP:

If there will be any impact to existing trees, please schedule an on-site meeting with City

Forestry to obtain tree inventory and mitigation information. Existing significant trees should be retained to the extent reasonably feasible.

Department: Technical Services

Contact: Jeff County, 970-221-6588, jcounty@fcgov.com

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work. Please contact our office for up to date Benchmark Statement format and City Vertical Control Network information.
2. If submitting a replat for this property/project, addresses are not acceptable in the Subdivision Plat title/name. Numbers in numeral form may not begin the title/name. Please contact our office with any questions.

City Staff Information:

Will Lindsey

Associate City Planner

T: 970.224.6164

wlindsey@fcgov.com

Leslie Spencer

Community Development

970.416.4288

lspencer@fcgov.com

Please email your name and full address to Leslie to receive the decision report.

Please email Leslie with any technical questions.

As required by City Council Ordinance 079, 2020, a determination has been made that it is desirable to conduct a remote hearing to provide reasonably available participation by parties—and-interests and the public, because meeting in person would not be prudent.

During the hearing:

- You will join the meeting and be automatically muted. Your video feed will not be on.
- Use the "raise hand" button to let us know you would like to speak. City staff will call on you and unmute you when it's your turn.
- If you are joining by phone, dial *9 to raise your hand and press *6 to unmute yourself in Zoom (you may still need to unmute your phone) .
- Please email your name and full address to lspencer@fcgov.com , so we can send you the decision report.
- If you experience technical issues and need assistance during the hearing, please contact: Leslie Spencer, Community Development, at lspencer@fcgov.com or text 970.219.2645.

Order of Proceedings

1. Project Introduction (staff)
2. Applicant Presentation
3. Staff Presentation
4. Staff Response to Applicant Presentation
5. Public Testimony
6. Applicant Response
7. Staff Response
8. Decision
 - Within 10 business days, Hearing Officer issues written decision
 - May approve, approve with conditions, or deny the development application

9. Decision is mailed to applicant and any person who provided testimony at public hearing

10. Appeal Process

- Appeals are filed with the City Clerk's Office
- Written appeal must be received within 14 calendar days of the decision
- Filing fee of \$100.00
- City Clerk will schedule appeal for City Council

**Type I Administrative Hearing
1605 Peterson Pl – Carriage House FDP200023**

Will Lindsey
Associate City Planner

Agenda Item Overview

- 912 SF Carriage House on rear half of lot
- 2 off-street parking spaces (1 for carriage house, 1 for existing dwelling)



E1, SOUTH ELEVATION



E4, EAST ELEVATION

Agenda Item Overview

- 1605 Peterson Pl -
Area context
- 11,175 SF lot
- Surrounding uses
and features





Agenda Item Overview

- Existing Single-Family Dwelling Unit fronting Peterson Pl.
- Rear portion of lot
- Access from alley/Peterson St

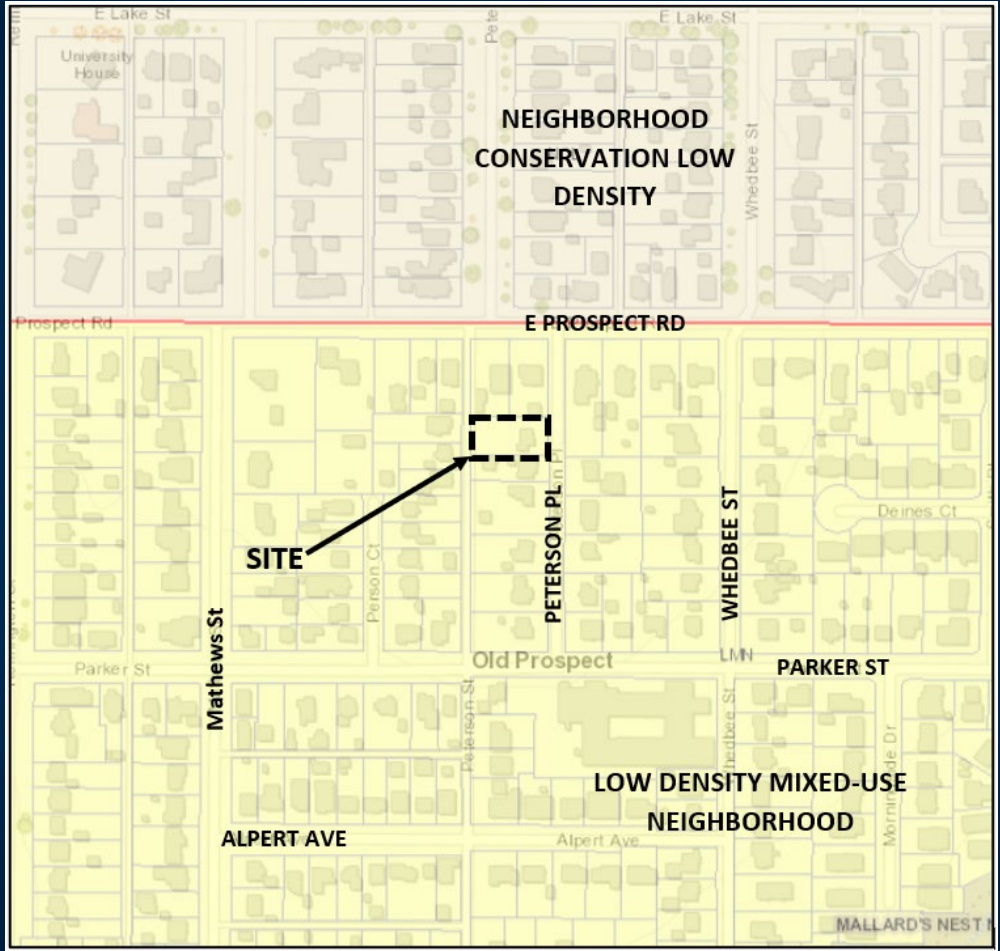
Agenda Item Overview



- 1605 Peterson Pl-
Area context
- View from Street

Existing Zoning

Low Density Mixed-Use Neighborhood (L-M-N)



Minimum Net Density

3 dwelling units per net acre of residential land

- 9.09 dwelling units per net acre
- Calculation: $2 \text{ du} / (.26 - .04) = 9.09$

Maximum Gross Density

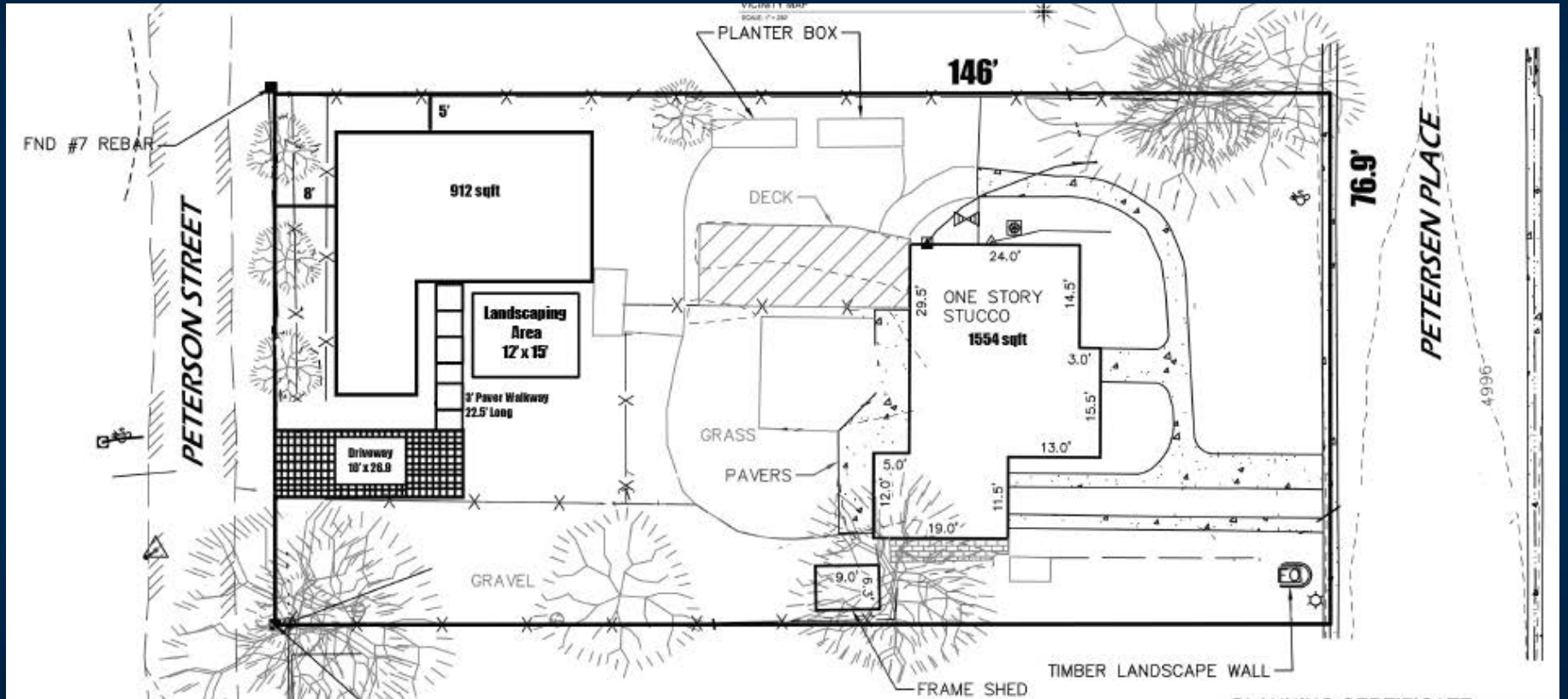
- 9 dwelling units per gross acre
- Calculation: $2 \text{ du} / .26 \text{ acres} = 7.69$

Required vehicular parking:

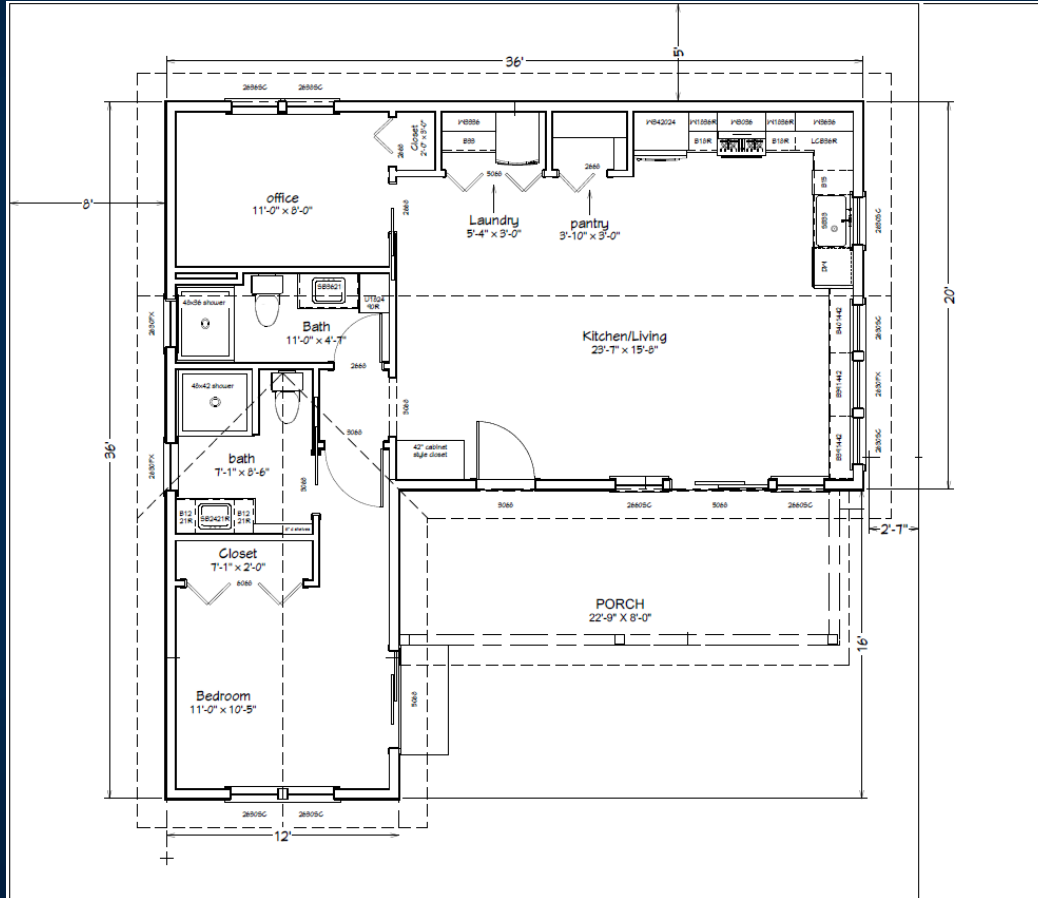
(lots larger than 40 feet wide) = 1 space/single-family dwelling

- 2 off-street parking spaces provided

Site Plan



Building Floorplan/Elevations



912 square feet

- 1 bedroom, 2 bathrooms

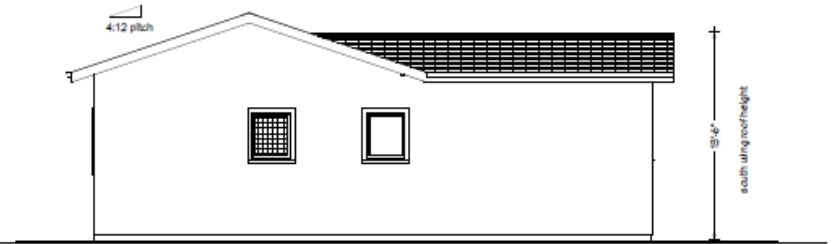
Max. Bldg. height = 2.5 stories

- New Bldg. height = 1 story

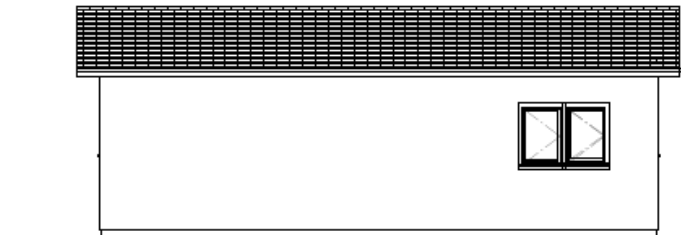
Building Floorplan/Elevations



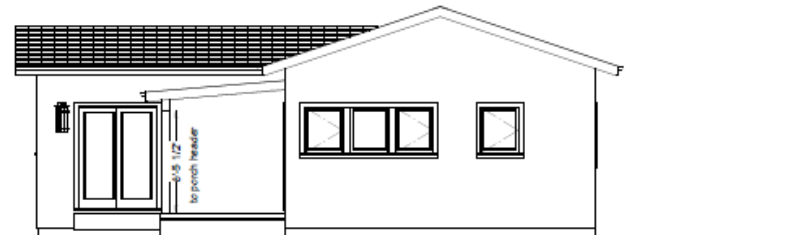
E1, SOUTH ELEVATION



E2, WEST ELEVATION



E3, NORTH ELEVATION



E4, EAST ELEVATION

Building Materials

SHINGLES: GAF Timberline HDZ RS Shingles/Aged Chestnut

(below) STUCCO: White Stucco



FACIA AND WINDOW TRIM: Cedar

(below) WINDOWS: Marvin Matte Black Metal Clad





- The F.D.P. complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The F.D.P. complies with relevant standards located in Article 3 – General Development Standards.
- The Project Development Plan complies with relevant standards located in Division 4.5, Low Density Mixed-Use Neighborhoods (L-M-N) of Article 4.

Staff recommends approval of the 1605 Peterson Place – Carriage House, FDP200023