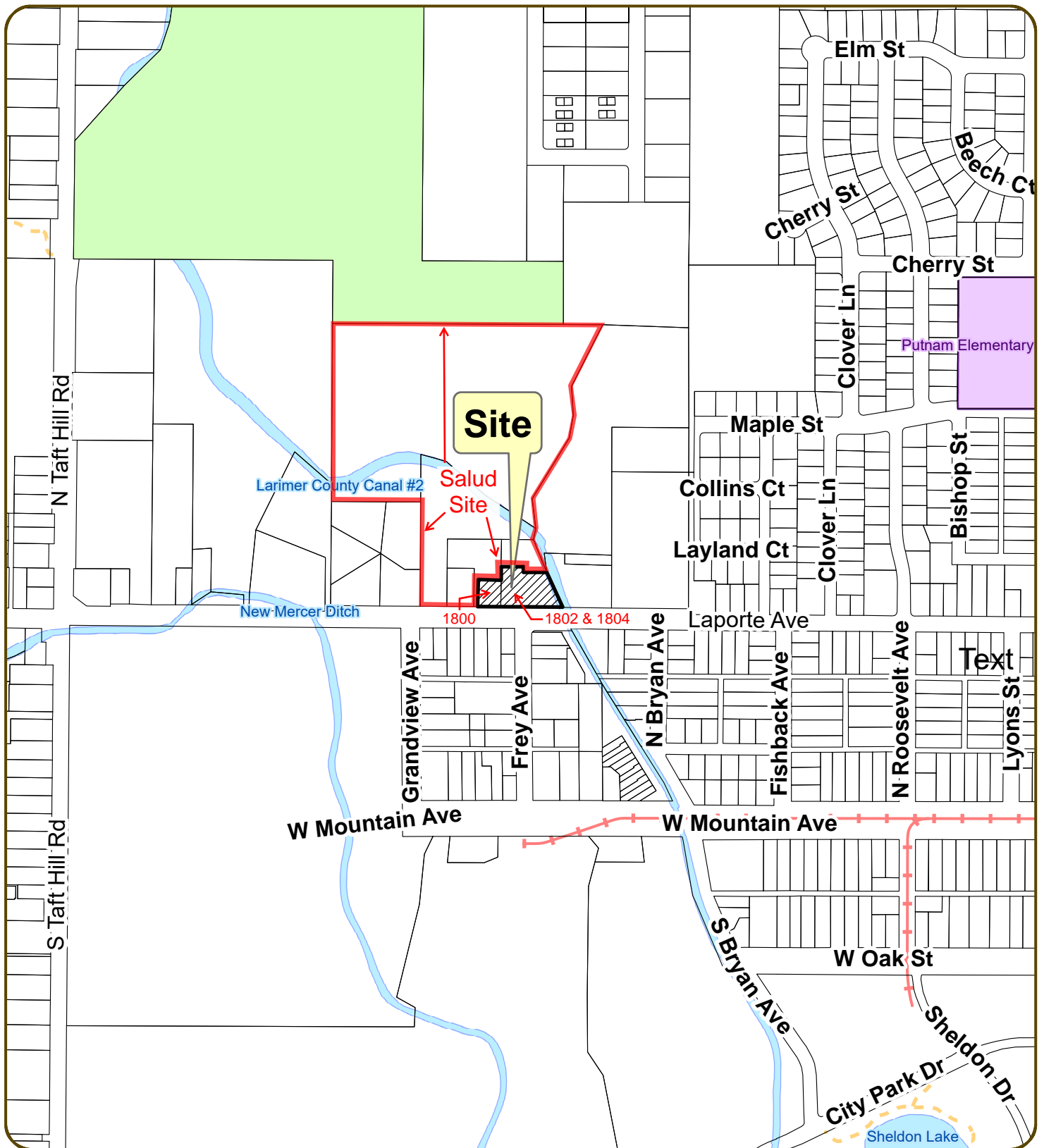
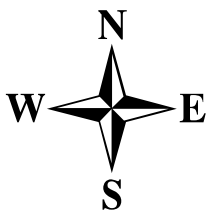


3. Newspaper Posted Notice
4. Proposed Hours of Operation
5. Applicant's Modification Requests
6. Existing Tree Removal Feasibility Letter
7. Planning Set (site and landscape plan, lighting plan, building elevations, tree mitigation plan and fire access exhibit)
8. Preliminary Subdivision Plat
9. Utility Plan
10. Traffic Impact Study Waiver
11. Ecological Characterization Study (ECS)
12. Preliminary Drainage Report
13. Salud ODP (included for reference)
14. Salud PDP (included for reference)



Stodgy Brewing Project Development Plan PDP190012



800 400 0 800 Feet

A scale bar with markings for 800, 400, 0, and 800 feet.



Development Review Center
281 North College Avenue
PO Box 580
Fort Collins, CO 80522-0580
970-221-6689
fcgov.com/DevelopmentReview

«Name»
«Name1»
«Address»
«City», «State» «Zipcode»
100.803100.549110

NOTICE OF PUBLIC HEARING

November 4, 2019

Dear Property Owner or Resident:

This letter is being sent to let you know a public hearing has been scheduled to consider a development proposal near your property. Specific information about this development proposal is to the right and on the back of this letter. A decision regarding the approval or denial of the proposal will be made by an administrative hearing officer following the hearing.

You received this notice because records from the Larimer County Assessor's Office indicate you own property near the proposed development site. Because of the lag time in recordkeeping, or because of rental situations, some neighbors may be missed. Please feel free to notify your neighbors of the public hearing so they can attend. If you own or manage an apartment building, please post this notice in a common area so your residents can participate.

If you are unable to attend the meeting or would like to provide comments in advance, please contact me or Sylvia Tatman-Burruss, Neighborhood Development Review Outreach Specialist, at 970-224-6076 or statman-burruss@fcgov.com. Sylvia is available to assist residents who have questions about the review process and how to participate.

We welcome and encourage your participation, as your input is an important part of the development review process.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Holland".

Jason Holland, PLA | City Planner
City of Fort Collins
281 North College Avenue
Fort Collins, CO 80522
970.224.6126
jholland@fcgov.com

HEARING TIME AND LOCATION

Monday, November 18, 2019
5:30 P.M.
281 N. College Avenue
Conference Room A

PROPOSAL NAME & LOCATION

Stodgy Brewing, PDP190012

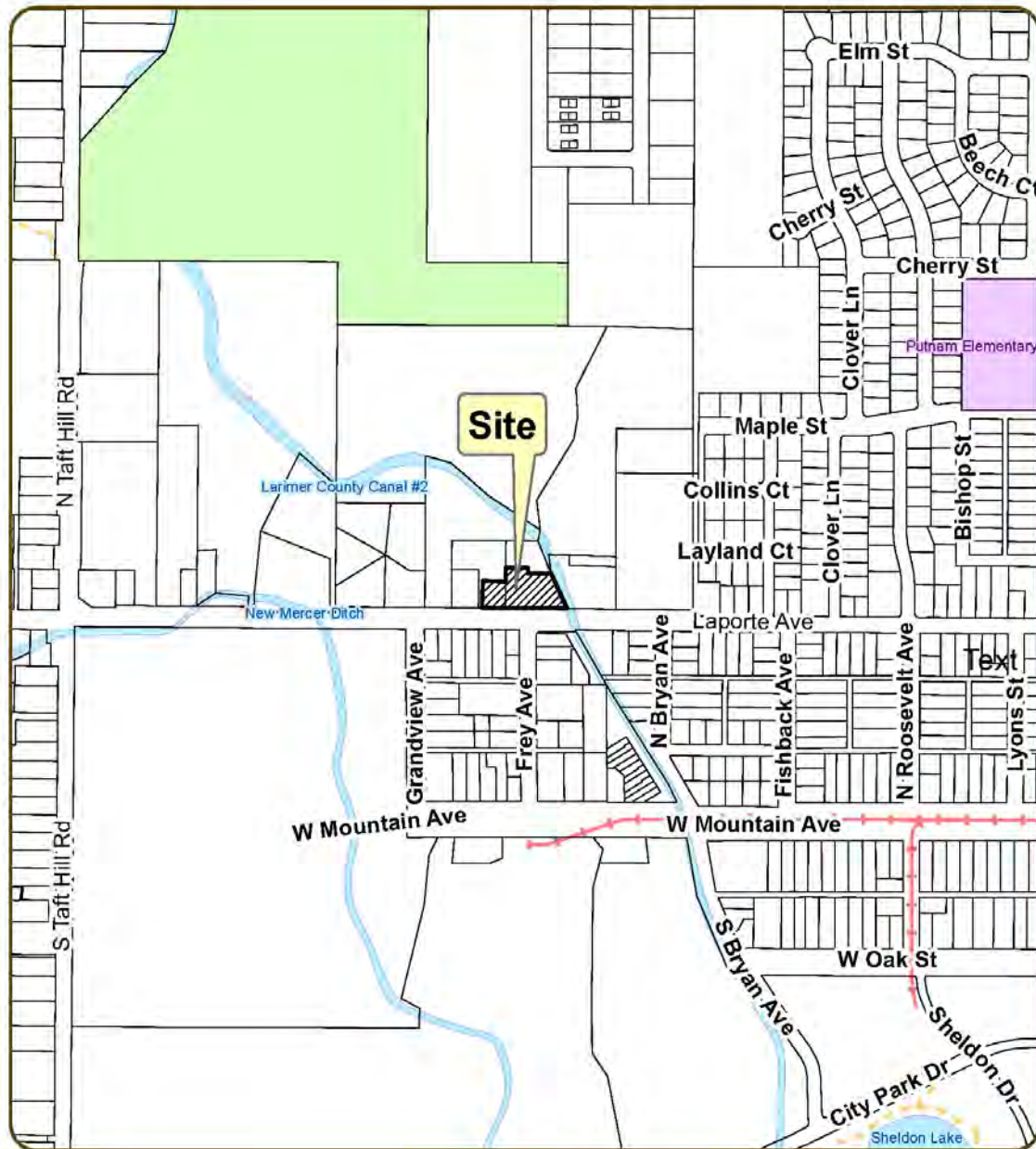
Project Location: 1800, 1802 and 1804
Laporte Avenue (please see map on
reverse)

PROPOSAL DESCRIPTION

- This is a request for a Project Development Plan (PDP) to redevelop the main building at 1802 Laporte Ave. into a microbrewery and taproom.
- To the west, the existing building at 1804 Laporte is proposed to be demolished and replaced with 23 off-street parking spaces. An office use is proposed in the existing building to the east at 1800 Laporte Avenue.
- The project provides a new detached sidewalk along the property's Laporte Avenue frontage.
- The proposed project is within the Limited Commercial (C-L) zone district and is subject to an Administrative Hearing (Type 1) review.

HELPFUL RESOURCES

- Hearing Notice, Plans, and Staff Report: fcgov.com/ReviewAgendas
- Information About the Review Process: fcgov.com/CitizenReview



Stodgy Brewing Project Development Plan PDP190012

800 400 0 800 Feet



The City of Fort Collins will make reasonable accommodations for access to City services, programs, and activities and will make special communication arrangements for persons with disabilities. Auxiliary aids and services are available for persons with disabilities. V/TDD: Dial 711 for Relay Colorado.

Esta es una notificación sobre la reunión de su vecindario o sobre una audiencia pública sobre el desarrollo o proyecto en la propiedad cerca de donde usted es el dueño de propiedad. Si usted desea que esta notificación sea traducida al español sin costo alguno, favor enviar un correo electrónico en español a la siguiente dirección electrónica: translate@fcgov.com.

CONFIRMATION

FORT COLLINS COLORADOAN

1300 Riverside Ave.
Fort Collins, CO 80524

CITY OF FC-PLANNING-LEGAL ADS
281 N COLLEGE AVE
FORT COLLINS CO 80524-

<u>Account</u>	<u>AD#</u>	<u>Ordered by:</u>	<u>PO#</u>	<u>Total Amount</u>	<u>Payment Method</u>	<u>Payment Amount</u>	<u>Amount Due</u>
FTC-003425	0003885106	Leslie Spencer	Stodgy Brewing PD	\$23.86	Invoice	\$0.00	\$23.86

Sales Rep: bgrady

Order Taker: bgrady

Order Created 11/05/2019

Product	# Ins	Start Date	End Date
FTC-Coloradoan.com	1	11/08/2019	11/08/2019
FTC-The Coloradoan	1	11/08/2019	11/08/2019

* ALL TRANSACTIONS CONSIDERED PAID IN FULL UPON CLEARANCE OF FINANCIAL INSTITUTION

Text of Ad: 11/05/2019

NOTICE OF HEARING
Notice is hereby given that on Monday, November 18, 2019, at 5:30 P.M. in Conference Rooms A-D, 281 North College Avenue, Fort Collins, Colorado, a Hearing Officer for the City of Fort Collins will conduct an Administrative Public Hearing to consider a development proposal.

GENERAL DESCRIPTION
The project is referred to as Stodgy Brewing, file # PDP190012. The request proposes to redevelop the main building at 1802 Laporte Ave. into a microbrewery and taproom, with 1800 Laporte acting as accessory offices and 1804 being removed for expanded parking. There are 23 parking spaces proposed. Access will be taken from Laporte Ave. The property is in the Limited Commercial (C-L) Zone District. Administrative Hearing Notice, Plans, and Staff Report can be found online at: fcgov.com/ReviewAgendas. Information about the review process can be found online at: fcgov.com/CitizenReview.

0003885106
Coloradoan
November 8, 2019

Stodgy Brewing Co

Hours of Operation

Monday	12-8pm
Tuesday	12-8pm
Wednesday	12-8pm
Thursday	12-8pm
Friday	12-10pm
Saturday	12-10pm
Sunday	12-8pm

*note that all trash and recycling hours will be limited to after 7am and before 7pm.
We will work with trash collectors to schedule pick-ups as early as possible in the day to
avoid conflicting with business hours (before 12pm).

Stodgy Brewing Co Modification Request Summary

Oct 30th, 2019

Modification Request –

1) Reducing the short-term (commercial) parking spaces to 15 feet x 8 feet.

3.2.2(L) Parking Stall Dimensions (and drive aisle dimensions). Off-street parking areas for automobiles shall meet the following minimum standards for long- and short-term parking of standard and compact vehicles:

Standard Vehicle			Dimensions in feet			
A	B	C	D	E	F	G
0°	8	23	8	23	20	12
30°	8.5	20	17.4	17	20	15
45°	8.5	20	20.2	12	20	15
60°	9	19	21	10.4	24	20
90°	9	19	19	9	24*	20**

2) Reducing the drive aisle width from 24 feet to 22 feet and 20 feet.

3.2.2(L) Parking Stall Dimensions (and drive aisle dimensions). Off-street parking areas for automobiles shall meet the following minimum standards for long- and short-term parking of standard and compact vehicles:

3) Gravel parking surface for the east employee parking area and TrueGrid gravel paver system for the main parking area.

3.2.2(D)(3)(c) Pavement. All open off-street parking and vehicular use areas shall be surfaced with asphalt, concrete or other material in conformance with city specifications.

4) Reducing the front parking ROW setback from 15 feet average/5 feet minimum at any point to a lesser average (TBD).

3.2.2(J) Setbacks. Any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet shall be set back from the street right-of-way and the side and rear yard lot line (except a lot line between buildings or uses with collective parking) consistent with the provisions of this Section, according to the following table:

	<i>Minimum Average of Entire Landscaped Setback Area (feet)</i>	<i>Minimum Width of Setback at Any Point (feet)</i>
Along an arterial street	15	5
Along a nonarterial street	10	5
Along a lot line *	5	5

Details of the Request

Stodgy Brewing Co would like to request the above modifications for a new parking lot on the west side of 1802 Laporte Ave. These requests are necessary to ensure ample parking on-site and to mitigate any parking impacts on the surrounding residential neighborhoods. Currently this design offers 22 parking spaces. Because this is an existing site we are limited on space and need to maximize parking for this project. We will use the east gravel lot for employees only, marking the entrance well and minimizing the traffic on that side of the property. We will indicate one-way traffic to ease in navigating the back-up in the tight drive isles. We believe this proposed plan maximizes parking without compromising customer safety.

Justification

The Land Use Code states that the decision-maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good; and the decision-maker must also find that the modification meets one of four criteria described in the LUC. In this case we believe two of the four criteria are met, specifically 2.8.2(H)(1) and 2.8.2(H)(4).

(1) The plan as submitted will promote the general purpose of the standard for which the modification is request equally well or better than would a plan which complies with the standard for which a modification is requested

All modifications are requested in order to optimize and maximize parking within an existing space. This plan is equal to a plan that meets code because it is able to mitigate the short isles with pull through double parking spots, mitigate the narrow drive isles by limiting it to one-way traffic, limiting gravel parking use by making it employee only, and making the 5'

setbacks attractive and full of plant material and a screening fence. Also, while we do not meet the parking lot depths of a standard parking area, the compact parking spot depths meet 3.2.2(L)2- Compact vehicle spaces in long-term parking lots. In addition, we believe that the TrueGrid paver system will over a cutting edge parking area that will not only look good, but improve water percolation on this site.

- (2) *the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible;*

The proposed modifications make for a parking lot that would otherwise be infeasible while following the LUC in terms of fitting into the existing space and offering ample parking. The resulting parking configuration enhances the development and mediates potential negative impacts of parking in surrounding neighborhoods. In addition, our existing gravel lot cannot feasibly be paved due to it's proximity to the ditch and location in the natural habitat buffer zone.

- (3) *by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant;*

The shape of this lot makes it infeasible to offer ample parking spots without the modification to setbacks, drive isles and parking spot depth. This is a hardship not caused by the owner but by the shape and nature of this infill site and the proposed modifications allow for parking in this area. The gravel lot cannot be changed due to proximity to the ditch and it's placement in the natural habitat buffer zone. Thus the gravel surface of the employee parking lot is a hardship not created by the owner.

- (4) *the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in [Section 1.2.2](#).*

The proposed modifications are nominal when viewing the overall development and the ample parking provided by the proposed layout. Because customers of a brewery tend to

stay for a while, while the parking lot may be packed, the turnover rate will not be very high. Thus navigating the tighter space in this lot will result in less car conflicts.

We believe this is the best parking lot we can possibly design for this site and that this parking lot will benefit not only us, but the neighborhood surrounding this project as it maximizes on-site parking to minimize neighborhood parking.

Sincerely,

Natalie Yoder
Owner
Stodgy Brewing Co.

Existing Tree Removal Feasibility Letter

Stodgy Brewing Co.

1802 Laporte Ave

To the City of Fort Collins,

Our development plan for 1802 Laporte Ave is proposing the removal of 26 of our 56 inventoried trees. 9 of these trees are dead and pose a threat of breakage or falling in heavy winds. Of the 17 remaining trees here is the list and reason for their removal:

Id#	Species	Size	Condition	Reason for Removal
4	Hackberry/Boxelder	4.5"	Fair minus	These two trees are growing together through a metal grate and a truck bed in a junk yard area
5	Spruce	20"	Fair minus	In fair minus condition and in the way of the parking lot
6	Siberian Elm	24"	Fair	Could have kept but city suggested removing it based on species and condition
8	Siberian Elm	15"	Fair minus	Wild origin, conflict with parking lot and existing house
9	Siberian Elm	10"	Poor	Wild origin, conflict with parking lot and existing house
10	Siberian Elm	19"	Fair minus	Parking lot conflict
11	Siberian Elm	15"	Poor	Parking lot conflict
12	Boxelder	4.5"	Fair	Remove- small and will be a problem later
15	Ash	18"	Fair	ROW City required street work (bike lane and sidewalk conflict)
16	Siberian Elm	14",14"	Fair minus	ROW- requested its removal. Sidewalk conflict.
19	Ash	9"	Fair	ROW- City requested it's removal
21	Spruce	24"	Fair	ROW- City requested it's removal
22	Siberian Elm	17"	Fair minus	ROW- City requested it's removal
24	Spruce	4"	Fair minus	Sidewalk will damage tree
26	Buckthorn	9"	Fair	ROW- City requested it's removal
30	Siberian Elm	24"	Fair	ROW- City requested it's removal
33	Norway Maple	6.5"	Fair	ROW- City requested it's removal
34	Norway Maple	5.5"	Fair	ROW- City requested it's removal

36	Boxelder	6"	Fair	ROW- City requested it's removal
45	Spruce	11"	Fair plus	ROW Its proximity to tree #22 and our inability to avoid it with the sidewalk
49	Silver poplar	4"	Fair	Told it was best to remove by city forester and environmentalist
50	Ponderosa pine	5"	Fair minus	ROW Sidewalk conflict
51	Ponderosa pine	4"	Fair minus	ROW Sidewalk conflict
Dead Trees				
2	Siberian Elm	12"	Dead	Dead
3	Black Walnut	6.5"	Dead	Dead
7	Siberian Elm	13"	Dead	Dead
14	Siberian Elm	7.5"	Dead	Dead
20	Black Walnut	22",17"	Dead	Dead
23	Black Walnut	10"	Dead	Dead
27	Aspen	8"	Dead	Dead
28	Black Walnut	20",19"	Dead	Dead
29	Black Walnut	17"	Dead	Dead

Most of our trees were requested to be removed by the city or are being removed due to required city development work (sidewalk, curb and gutter). 2 trees are small and of species that are undesirable. The remaining 7 trees are being removed due to our parking lot installation and desired clean-up of unkempt trees around the parking area. These are mostly Siberian elms on our fence line that have a dangerous amount of dead branches hanging from them and years of neglect make them precarious to our customers person and cars parked in that area. This parking lot area has a proposed 3 new shade trees and 4 new fruit trees, all possible because of the increased light in the area after removing those 7 parking lot trees. This increased light infiltration on our heavily forested property will also allow us space to plant sun loving perennials and shrubs, diversifying the plant material in this development. Because of the density of trees on this property, the remaining inventoried trees after tree removal provide ample canopy to negate effects of our tree removal. We are also proposing 4 additional canopy trees to be planted in the new parkway.

Thank you for considering this Tree Removal Feasibility Letter.

Sincerely,

Natalie Yoder

Stodgy Brewing CO
1802 Laporte Ave
Fort Collins, 80521

STODGY BREWING CO., LLC

BEING A PART OF THE SE 1/4 OF THE NW 1/4

SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST, OF THE 6TH P.M., LARIMER COUNTY, COLORADO

LAND USE TABLE

ZONING DISTRICT: LIMITED / COMMERCIAL / DISTRICT

SITE ACREAGE: 1.19 AC (52,033 SF)

LAND USE: BREWERY

BUILDING HEIGHT

BUILDING A: 13 FT

BUILDING B: 24 FT

BUILDING FOOTPRINT:

TOTAL 7,302 SF

PARKING SPACES:

ADA PARKING 1 SPACE

REGULAR PARKING 22 SPACES

BIKE PARKING 100 SPACES

COVERED BIKE PARKING 1 SPACE

LOT COVERAGE:

GROSS ACRES (1.19 AC)			
DESCRIPTION	SQUARE FEET (SF)	ACRES	%
ROOFS	8,258	0.17	15.9
ASPHALT, CONCRETE	12,831	0.29	24.8
LAWNS, CLAYEY SOIL	18,509	0.01	35.7
GRAVEL ROAD	8,296	0.08	16
SIDEWALK	2,113	0.05	4
DITCH	1,829	0.0	3.5

GROSS ACRES (0.88 AC)			
DESCRIPTION	SQUARE FEET (SF)	ACRES	%
ROOFS	8,258	0.17	21.5
ASPHALT, CONCRETE	1,916	0.04	5.0
LAWNS, CLAYEY SOIL	15,740	.36	41.0
GRAVEL ROAD	8,296	0.08	21.6
SIDEWALK	2,113	0.05	5.5
DITCH	1,829	0.0	4.8

OUTDOOR VENDOR AREA: 605 SF

PROJECT INFORMATION

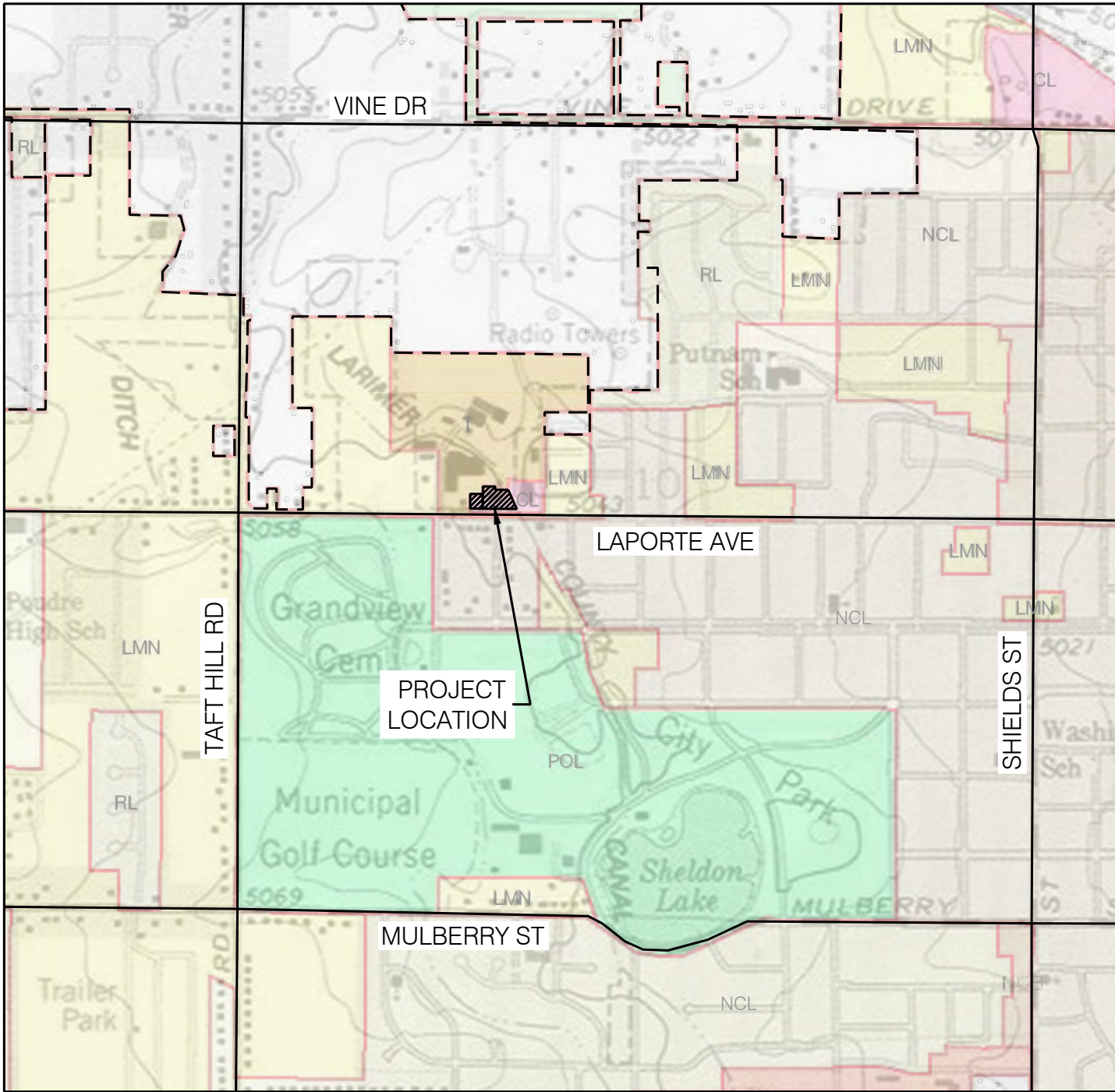
PROJECT LOCATION:
1800-1804 LAPORTE AVENUE,
FORT COLLINS, CO 80521

PROPERTY OWNER:
STODGY BREWING CO., LLC
1205 COLUMBINE COURT, FORT
COLLINS, CO 80521
PH. # 714-348-2007

PLANNER / ENGINEER / PREPARED BY:
AGPROFESSIONALS
CHAD TEVELDE, PE
3050 67TH AVE
GREELEY, CO 80634
PH. # 970-535-9318
Fax. # 970-535-9854

SURVEYOR:
AGPROFESSIONALS
3050 67TH AVE, SUITE 200
GREELEY, CO 80634
PH. # 970-535-9318

PROJECT NUMBER:
AGPRO PROJECT # 2769-02



VICINITY MAP

SCALE: 1" = 1000'

LEGAL DESCRIPTION

BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M., COUNTY OF LARIMER, STATE OF COLORADO.

BASIS OF BEARING: ASSUMING THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST AS BEARING NORTH 89°32'09" WEST BETWEEN THE FOUND MONUMENTS AS SHOWN ON THIS SURVEY, AND WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO, SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER 1/4 CORNER OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M., COUNTY OF LARIMER, STATE OF COLORADO, THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 10 NORTH 89°32'09" WEST FOR A DISTANCE OF 775.09 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 10 NORTH 89°32'09" WEST FOR A DISTANCE OF 248.49 FEET;

THENCE DEPARTING SOUTH LINE NORTH 00°06'21" EAST FOR A DISTANCE OF 200.00 FEET;

THENCE SOUTH 89°32'09" EAST FOR A DISTANCE OF 83.00 FEET;

THENCE SOUTH 00°06'21" WEST FOR A DISTANCE OF 21.00 FEET;

THENCE SOUTH 89°32'36" EAST FOR A DISTANCE OF 86.39 FEET;

THENCE SOUTH 23°40'39" EAST FOR A DISTANCE OF 196.15 FEET TO THE POINT OF BEGINNING;

CONTAINING A CALCULATED AREA OF 1.19 ACRES.

SHEET INDEX

SHEET NO.	SHEET TITLE
G-1	COVER SHEET
G-2	GENERAL NOTES & LEGEND
ST-1	SITE PLAN
LS-1	LANDSCAPE PLAN
LS-2	LANDSCAPE IRRIGATION PLAN
LT-1	LIGHTING PLAN
LT-2	LIGHTING PLAN CUT SHEETS
A-1	BUILDING ELEVATIONS
T-1	TREE IDENTIFICATION PLAN
F-1	FIRE EXHIBIT

PROPERTY OWNER'S CERTIFICATE

I, THE UNDERSIGNED, BEING THE SOLE OWNER IN FEE OF THE ABOVE DESCRIBED PROPERTY, DO HEREBY SUBDIVIDE THE SAME AS SHOWN ON THE ATTACHED MAP. I UNDERSTAND THIS PROPERTY IS LOCATED IN THE A (AGRICULTURAL) ZONE DISTRICT AND IS ALSO INTENDED TO PROVIDE AREAS FOR THE CONDUCT OF OTHER USES BY RIGHT, ACCESSORY USES AND USES BY SPECIAL REVIEW.

TYLER OLPIN & NATALIE YODER FOR
STODGY BREWING CO., LLC

STATE OF COLORADO)

)SS.

COUNTY OF WELD)

THE FOREGOING CERTIFICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__.

MY COMMISSION EXPIRES _____.

WITNESS MY HAND AND SEAL

NOTARY PUBLIC _____

GENERAL NOTE

TRASH AND RECYCLING HOURS OF OPERATION ARE DESCRIBED IN MUNICIPAL CODE SECTION 15-423. UNDER THIS SECTION NO COLLECTOR SHALL OPERATE ANY VEHICLE FOR THE PURPOSE OF COLLECTING SOLID WASTES, RECYCLABLES, FOOD SCRAPS, OR YARD TRIMMINGS ON ANY STREET DESIGNATED BY THE CITY AS "LOCAL RESIDENTIAL" OR RESIDENTIAL COLLECTOR BETWEEN THE HOURS OF 7:00 PM AND 7:00 AM (THE "NIGHTTIME HOURS").

PLANNING CERTIFICATE

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND
NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS,
COLORADO ON THIS ____ DAY OF _____, 20__.

DIRECTOR SIGNATURE _____

STODGY BREWING CO., LLC

COVER SHEET

FT COLLINS, CO

SHEET:

G-1

SHEET 1 OF 10



AGPROfessionals
DEVELOPERS OF AGRICULTURE



3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854



GENERAL NOTES & LEGEND

SITE PLAN NOTES:

- REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
- REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS, AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
- ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
- ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
- [IF APPLICABLE] -- INCLUDE LANGUAGE FOR ANY MODIFICATIONS AND CONDITIONS APPROVED WITH PDP/ODP].
- [IF APPLICABLE] ALL SINGLE FAMILY DETACHED HOMES SHALL MEET OR EXCEED THE GARAGE DOOR STANDARDS AS OUTLINED IN 3.5.2(E) OF THE LAND USE CODE.
- [IF APPLICABLE] A MINIMUM OF (NUMBER TBD) HOUSING MODELS FOR THE SINGLE FAMILY HOMES SHALL BE REQUIRED. THESE HOUSING MODELS SHALL MEET OR EXCEED THE STANDARDS AS OUTLINED IN 3.5.2(C) OF THE LAND USE CODE.
- ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
- SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
- FIRE HYDRANTS MUST MEET OR EXCEED POUDERE FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
- ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
- ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSABLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSABLE PARKING SPACES. ACCESSABLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY THE PROPERTY OWNER OF THE COMMON AREA. THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
- Design AND installation OF ALL parkway/tree lawn and median AREAS in the right-of-way SHALL BE IN ACCORDANCE WITH CITY STANDARDS. UNLESS OTHERWISE AGREED TO BY THE CITY WITH THE FINAL PLANS, aLL ongoing maintenance OF SUCH AREAS is the responsibility of the owner/developer.
- THE PROPERTY OWNER FOR EACH RESIDENTIAL LOT IS RESPONSIBLE FOR SNOW REMOVAL ON ALL STREET SIDEWALKS ADJACENT TO EACH RESIDENTIAL LOT.
- PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&S'), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF XERISCAPE LANDSCAPING, SOLAR/PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), ODOR-CONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AD BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
- PREMISE IDENTIFICATION: AN ADDRESSING PLAN IS REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY AND POUDERE FIRE AUTHORITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. UNLESS THE PRIVATE DRIVE IS NAMED, MONUMENT SIGNAGE MAY BE REQUIRED TO ALLOW WAY FINDING. ALL BUILDINGS SHALL HAVE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE, VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, AND POSTED WITH A MINIMUM OF SIX INCH NUMERALS ON A CONTRASTING BACKGROUND, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

STREET TREE NOTES:

- A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27.31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL MUST BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
- STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES. ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORS WHERE REQUIRED BY CODE. STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
- THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, WITH AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- SUBJECT TO APPROVAL BY THE CITY FORESTER -- STREET TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION IS APPROVED BY THE CITY TO MEET SEPARATION STANDARDS.

TREE PROTECTION NOTES:

- ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL.
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (½) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW:

Tree Diameter at Breast Height (inches)	Auger Distance From Face of Tree (feet)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
Over 19	15

- ALL TREE REMOVAL SHOWN SHALL BE COMPLETED OUTSIDE OF THE SONGBIRD NESTING SEASON (FEB 1 - JULY 31) OR CONDUCT A SURVEY OF TREES ENSURING NO ACTIVE NESTS IN THE AREA.

GENERAL LANDSCAPE NOTES:

- PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
- IRRIGATION: ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN

AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. IRRIGATION SYSTEMS TO BE TURNED OVER TO THE CITY PARKS DEPARTMENT FOR MAINTENANCE MUST BE APPROVED BY THE PARKS MANAGER AND MEET PARKS IRRIGATION STANDARDS. DESIGN REVIEW SHALL OCCUR DURING UTILITIES DEPARTMENT IRRIGATION REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND CONSTRUCTION OBSERVATION AND INSPECTION BY PARKS SHALL BE INCORPORATED INTO THE CONSTRUCTION PROCESS.

- TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.

- SOIL AMENDMENTS: SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. Prior to the issuance of any certificate of occupancy, A written certification MUST BE SUBMITTED TO THE CITY that all planted areas, or areas to be planted, have been thoroughly loosened and the soil amended, consistent with the requirements set forth in SECTION 12-132.

- INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.

- Maintenance: Trees and vegetation, irrigation systems, fences, walls and other landscape elements WITH THESE FINAL PLANS shall be considered as elements of the project in the same manner as parking, building materials and other site details. The applicant, landowner or successors in interest shall be jointly and severally responsible for the regular maintenance of all landscaping elements in good condition. All landscaping shall be maintained free from disease, pests, weeds and litter, and all landscape structures such as fences and walls shall be repaired and replaced periodically to maintain a structurally sound condition.

- REPLACEMENT: ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
- THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:

40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS
10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES.
4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
4 FEET BETWEEN TREES AND GAS LINES

- ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 3.2.1(D)(2)(a).

- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.

- THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.

- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.

- ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.

NATURAL AREA BUFFER NOTES:

- STANDARDS FOR PROTECTION DURING CONSTRUCTION - THE DIRECTOR SHALL ESTABLISH A "LIMITS OF DEVELOPMENT" (LOD) LINE(S) TO ESTABLISH THE BOUNDARY OF THE PROJECT OUTSIDE OF WHICH NO LAND DISTURBANCE ACTIVITIES WILL OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
- SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.
- CONSTRUCTION SHALL BE ORGANIZED AND TIMED TO MINIMIZE THE DISTURBANCE OF SENSITIVE SPECIES OCCUPYING OR USING ON-SITE AND ADJACENT NATURAL HABITATS OR FEATURES.
- CONSTRUCTION OF BARRIER FENCING SHALL BE PROVIDED AT THE LIMITS OF THE DEVELOPMENT DURING CONSTRUCTION.

GENERAL LEGEND

	PROPERTY BOUNDARY
	RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING ELECTRIC
	EXISTING COMMUNICATION
	EXISTING SANITARY SEWER
	EXISTING WOOD FENCE
	EXISTING METAL FENCE
	PROPERTY BOUNDARY
	RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING ELECTRIC
	EXISTING COMMUNICATION
	EXISTING SANITARY SEWER
	EXISTING WOOD FENCE
	EXISTING DECIDUOUS TREE
	EXISTING TREE EVERGREEN
	EXISTING STRUCTURE

STODGY BREWING CO., LLC
GENERAL NOTES & LEGEND

FT COLLINS, CO

SHEET:

G-2

SHEET 2 OF 10

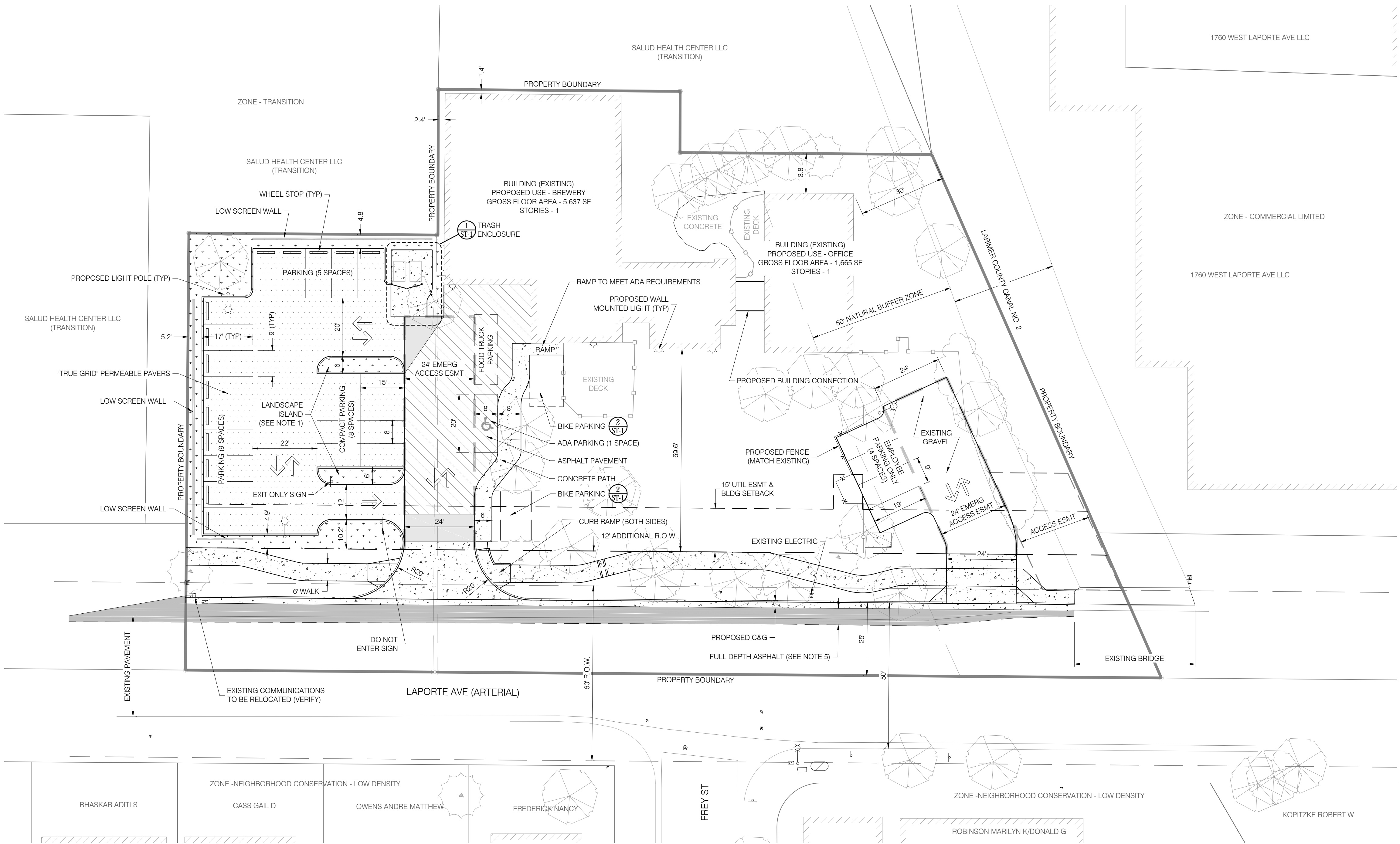
AGPROfessionals
DEVELOPERS OF AGRICULTURE

3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • fax: (970) 535-9854

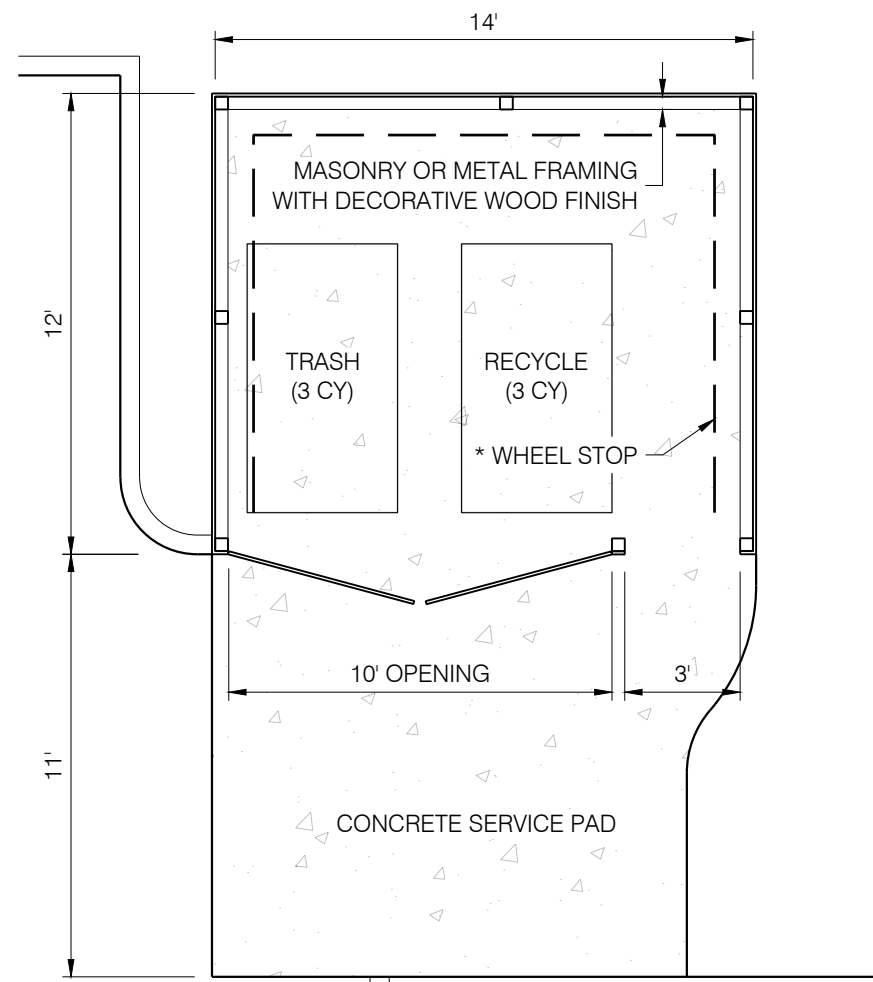


DATE:	October 29, 2019	DRAWN BY:	AGPRO
REVISIONS:			
R1	DESC.		--/--/--
R2	DESC.		--/--/--
R3	DESC.		--/--/--
R4	DESC.		--/--/--
R5	DESC.		--/--/--

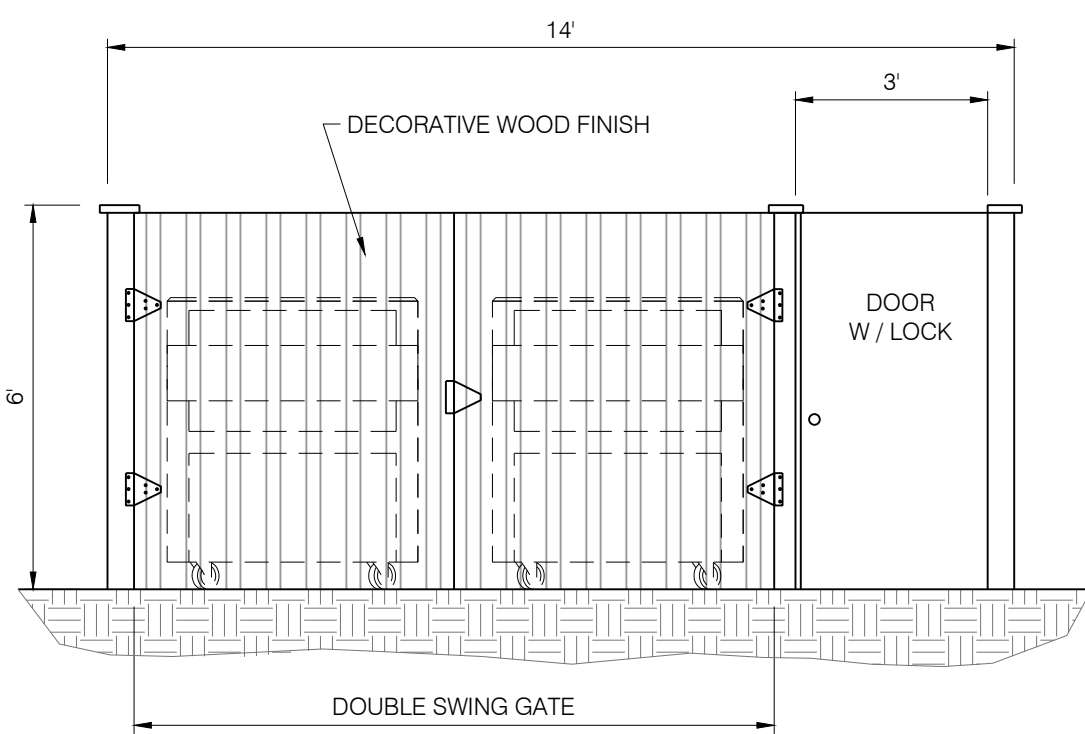
SITE PLAN



PLAN VIEW



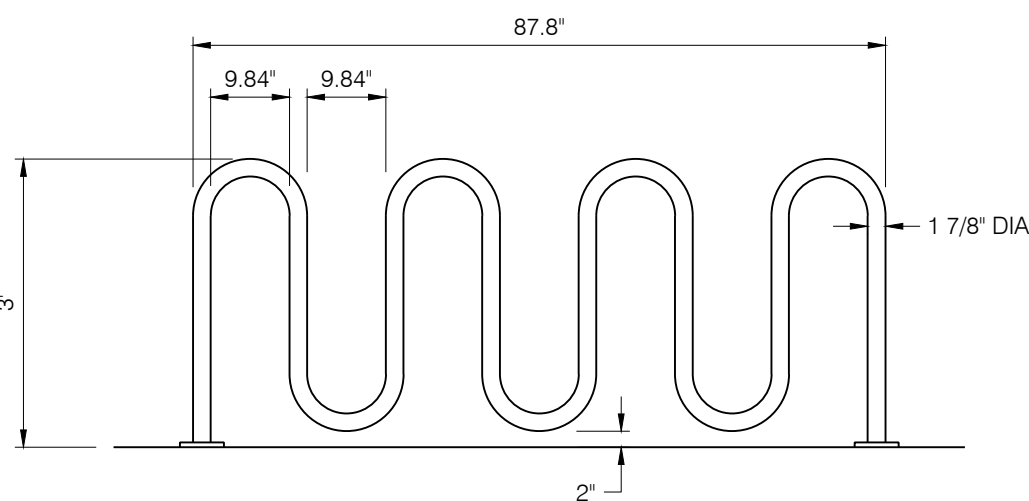
1
ST-1 TRASH ENCLOSURE



ELEVATION

* NOTES:
CONCRETE WHEEL STOP (ANGLE IRON OPTIONAL) SECURED TO SLAB TO PREVENT DUMPSTERS FROM DAMAGING WALLS.
TREE NEIGHBORING DUMPSTER WILL BE MAINTAINED TO PROVIDE OVERHEAD CLEARANCE WHEN SERVICING CONTAINERS.

NATURAL HABITAT BUFFER ZONE	
TOTAL AREA	~ 9,677 SF
EXISTING DEVELOPED	5,159 SF
VEGETATED AREA	4,518 SF
MIN BUFFER DISTANCE	12 FT
MAX BUFFER DISTANCE	50 FT
AVG BUFFER DISTANCE	25 FT



NOTE:
SEE MANUFACTURERS' (PARK BIKE RACK) SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS.

2
ST-1 BIKE RACK

LEGEND

- EXISTING ASPHALT
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED PAVERS
- PROPOSED LANDSCAPE

NOTES

- ALTERNATIVE COMPLIANCE FOR 8' WIDTH OF LANDSCAPE ISLAND.
- THE NATURAL HABITAT BUFFER ZONE IS INTENDED TO BE MAINTAINED IN A NATIVE LANDSCAPE. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUTTER ZONE.
- TRUEGRID MAINTENANCE NOTES:
 - SURFACE SHOULD BE INSPECTED TO IDENTIFY SIGNS OF SLIGHT CELL INFILL LOSS. A 0.5 INCH SURCHARGE OF AGGREGATE SHALL BE MAINTAINED AS A SURFACE WEAR COURSE.
 - ASPHALT ADJACENT TO THE TRUEGRID PAVERS WILL ROUTINELY BE INSPECTED FOR LOOSE GRAVEL AND SWEEP AS NEEDED TO REMOVE LOOSE GRAVEL.
 - MONITOR PAVEMENT TO ENSURE TRAFFIC FREQUENCY AND LOADING DOES NOT EXCEED THE PAVEMENT DESIGN.
 - WHEN SNOW REMOVAL IS REQUIRED, KEEP A METAL EDGED PLOW BLADE FROM COMING IN CONTACT WITH THE SURFACE DURING PLOWING OPERATIONS. USE A PLOW BLADE A MINIMUM OF 1 INCH ABOVE THE SURFACE AND WITH A FLEXIBLE RUBBER EDGE OR WITH SIDES ON THE LOWER OUTSIDE CORNERS SO THE PLOW BLADE DOES NOT COME IN CONTACT WITH THE PAVERS.
 - PONDING, RUTTING OR POOLING SHOULD NOT OCCUR. HOWEVER, ROUTINE INSPECTIONS SHOULD BE PERFORMED TO ENSURE THE TRUEGRID PAVERS ARE PERFORMING AS DESIGNED.
- CONCRETE PAVERS TO BE INSTALLED WHERE SIDEWALK COMES WITHIN 2' OF TREE TRUNKS.
- LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH THE CITY STREET REPAIR STANDARDS.

STODGY BREWING CO., LLC
SITE PLAN
FT COLLINS, CO

SHEET:
ST-1



AGPROprofessionals
DEVELOPERS OF AGRICULTURE
3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854



REVISIONS:	
DATE:	October 29, 2019
BY:	AGPRO
DESC:	
RE:	
RS:	
RS:	
RS:	

LANDSCAPE PLAN

PLAN VIEW

PLANT LIST

Plant Code	Common Name	Scientific Name	Size	Quantity	Hydrozone
NEW PLANTINGS (for existing Trees-See Tree Inventory)					
Trees					
HW	Hot Wings Maple	<i>Acer tartaricum 'Hot Wings'</i>	B&B 2"	1	M
ER	Eastern Redbud	<i>Cercis canadensis</i>	B&B 2"	1	M-H
BM	Bigtooth Maple	<i>Acer grandidentatum</i>	B&B 2"	1	M
CO	Chinkapin Oak	<i>Quercus muehlenbergii</i>	B&B 2"	1	M
CH	Tart Cherry	<i>Prunus cerasus 'Montmorency' and 'Mesabi'</i>	B&B 2"	2	M
APR	Apricot	<i>Prunus armeniaca 'Montrase'</i>	B&B 2"	2	M
Shrubs					
CM	Chieftain manzanita	<i>Arctostaphylos xcalradadoensis 'Chieftain'</i>	5 gal	5	L
PM	Panchito manzanita	<i>Arctostaphylos xcalradadoensis 'Panchito'</i>	5 gal	4	L
FB	Fernbush	<i>Chamaebatia millefolium</i>	5 gal	5	VL-L
PB	Pawnee Buttes sand cherry	<i>Prunus besseyi 'P0115'</i>	5 gal	4	L
EB	Elderberry 'York' and 'Adams'	<i>Sambucus nigra spp Canadensis 'York' and 'Adams'</i>	5 gal	6	M
CC	Crandall clove currant	<i>Ribes odoratum 'Crandall'</i>	5 gal	10-12	L
MN	Mountain Ninebark	<i>Physocarpus monogynus</i>	5 gal	3	M
BMS	Blue Mist Spirea	<i>Caryopteris x clandonensis 'Blue Mist'</i>	5 gal	5	L-M
SM	Smoke Bush	<i>Cotinus coggygria</i>	5 gal	2	M
SUM	Three-leaf Sumac	<i>Rhus aromatica trilobata</i> formerly <i>R. trilobata</i>	5 gal	2	L-M
RBR	Low Rabbitbrush	<i>Chrysothamnus viscidiflorus ssp. viscidiflorus</i> or <i>lanceolatus</i>	5gal	4-6	VL-L
NAN	Nanking Cherry	<i>Prunus tormentosa</i>	5 gal	10	M
Grasses					
BG	Blue Grama blonde ambition	<i>Bouteloua gracilis 'Blonde Ambition'</i>	1 gal	24+	L
RM	Undaunted Ruby Muhly	<i>Muhlenbergia reverchonii 'PUND015'</i>	1 gal	10+	L
SO	Standing Ovation little bluestem	<i>Schizachyrium scoparium 'Standing Ovation'</i>	1 gal	10	L

Perennials					
HOP	Hops	<i>Humulus lupulus 'crystal' 'cascade' 'centennial'</i>	1 gal	6	M
RB	Black-eyed Susan 'Denver Daisy'	<i>Rudbeckia 'Denver Daisy'</i>	1 gal	10-15	L
HYS	Hyssops	<i>Agastache aurantiaca 'Coronado', Agastache rupestris, + others as available</i>	1 gal	10-15	L
TW	Coral canyon twinspur	<i>Diascia integririma 'P0095'</i>	1 gal	10	L
EC	Coneflower, misc	<i>Echinacea tennesseensis, Echinacea purpurea</i>	1 gal	20	L
TL	Regal torch lilly	<i>Kniphofia caulescens</i>	1 gal	5	L
OR	Hopflower oregano	<i>Origanum libanoticum</i>	1 gal	5	L
PEN	Penstemon, misc	<i>Penstemon 'Coral Baby', mensarum, 'mexicali' 'P007S', 'mexicali' 'P008S', 'rostriflorus</i>	1 gal	10	L
SAL	Salvia mix	<i>Salvia 'Windwalker', greggii 'wild thing' & 'Furman's red', pachyphylla</i>	1 gal	10-15	L
Z	Hummingbird trumpet	<i>Zauschneria garretii 'PWWG015'</i>	1 gal	10	L
PMS	Evening Primrose Silver Blade	<i>Oenothera macrocarpa subsp. incana</i>	1 gal	5	L
GR	Golden Rod	<i>Solidago</i>	1 gal	10	L
PQ	Pasque Flower	<i>Pulsatilla patens</i>	1 gal	10	L
Turf					
TURF	Fescue Blend	EnviroTurf fescue blend	SOD	~2,500sqft	M

LANDSCAPE PLAN NOTES:

- ALL PERENNIAL BEDS WILL BE MULCHED WITH WOOD MULCH.
- 3' GRADE CHANGE FROM SOUTH SIDE OF DECK TO PLANTING BEDS.

STREET TREE NOTES :

- A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL MUST BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
- STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES. ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORS WHERE REQUIRED BY CODE. STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
- THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, WITH AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- SUBJECT TO APPROVAL BY THE CITY FORESTER -- STREET TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION IS APPROVED BY THE CITY TO MEET SEPARATION STANDARDS.

TREE PROTECTION NOTES:

- ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL.
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T- POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF" RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE- TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW.

Tree Diameter at Breast Height (inches)	Auger Distance From Face of Tree (feet)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
Over 19	15

GENERAL LANDSCAPE NOTES

- PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
- IRRIGATION: ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. IRRIGATION SYSTEMS TO BE TURNED OVER TO THE CITY PARKS DEPARTMENT FOR MAINTENANCE MUST BE APPROVED BY THE PARKS MANAGER AND MEET PARKS IRRIGATION STANDARDS. DESIGN REVIEW SHALL OCCUR DURING UTILITIES DEPARTMENT IRRIGATION REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND CONSTRUCTION OBSERVATION AND INSPECTION BY PARKS SHALL BE INCORPORATED INTO THE CONSTRUCTION PROCESS.
- TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- SOIL AMENDMENTS: SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA, PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. A WRITTEN CERTIFICATION MUST BE SUBMITTED TO THE CITY THAT ALL PLANTED AREAS, OR AREAS TO BE PLANTED, HAVE BEEN THOROUGHLY LOOSENEED AND THE SOIL AMENDED, CONSISTENT WITH THE REQUIREMENTS SET FORTH IN SECTION 12-132.
- INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- MAINTENANCE: TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- REPLACEMENT: ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
- THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:
 - 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
 - 15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS
 - 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
 - 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES.
 - 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
 - 4 FEET BETWEEN TREES AND GAS LINES
- ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 3.2.10(2)(a).
- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
- THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
- ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.
- NATURAL AREA BUFFER NOTES
 - STANDARDS FOR PROTECTION DURING CONSTRUCTION - THE DIRECTOR SHALL ESTABLISH A "LIMITS OF DEVELOPMENT" ("LOD") LINE(S) TO ESTABLISH THE BOUNDARY OF THE PROJECT OUTSIDE OF WHICH NO LAND DISTURBANCE ACTIVITIES WILL OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
 - SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.
 - CONSTRUCTION SHALL BE ORGANIZED AND TIMED TO MINIMIZE THE DISTURBANCE OF SENSITIVE SPECIES OCCUPYING OR USING ON-SITE AND ADJACENT NATURAL HABITATS OR FEATURES.
 - The Natural Habitat Buffer Zone is intended to be maintained in a native landscape. Please see Section 3.4.1 of the Land Use Code for allowable uses within the Natural Habitat Buffer Zone.
- CONSTRUCTION OF BARRIER FENCING SHALL BE PROVIDED AT THE LIMITS OF THE DEVELOPMENT DURING CONSTRUCTION.

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.

Hydrozone Table

Hydrozone	Area SF	Water Use	Gallons
High Hydrozone	0	18 gallons/square feet/season	0
Moderate Hydrozone	8437	10 gallons/square feet/season	8370
Low Hydrozone	427	3 gallons/square feet/season	1281
Very Low Hydrozone	81	0 gallons/square feet/season	0
Total	8864		85651

SHEET:

LS-1

SHEET 4 OF 10



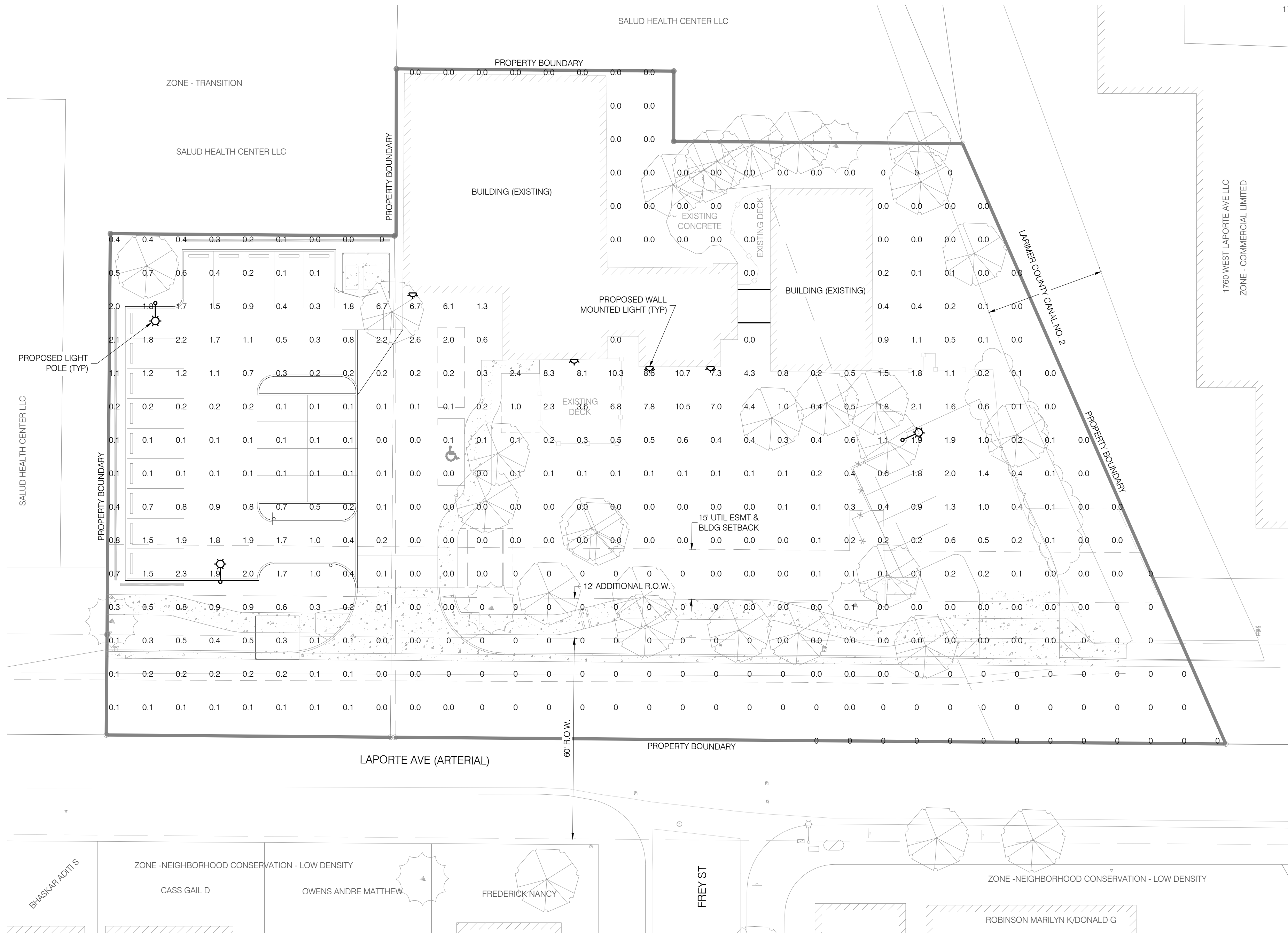
STODGY BREWING CO., LLC
1800-1804 LAPORTE AVE, FORT COLLINS, CO 80521
(714) 348-2007 • (210) 744-3762



STODGY BREWING CO., LLC
LANDSCAPE PLAN
FT COLLINS, CO

DATE:	October 29, 2019	DRAWN BY:	AGPRO
REVISIONS:			
	RY	DESC	-/-/-
	R2	DESC	-/-/-
	R3	DESC	-/-/-
	R4	DESC	-/-/-
	R5	DESC	-/-/-

LIGHTING PLAN



PLAN VIEW

GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDLES	0.55
MAXIMUM FOOT-CANDLES	10.7
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	10.73 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.55 / 0.00

LUMINAIRE SCHEDULE											
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE 1	NOTE 2	NOTE 3	QUANTITY
P		(1) LED, NICHIA 219A 3000K	AS1 LED GEN 1 HLM, 49 LEDs, 350mA DRIVER, 3000K COLOR TEMPERATURE, TYPE 2 LENS	ELECTRONIC	POLE	Lithonia Lighting, AS1 LED 1 49B350/30K SR2	120V 1P 2W	LED INTA-0350C 425 DO,		/28/2011 7/15/2015 SCALED PHOTOMETRY TYPE II, SHORT, BUG RATING: B1 - U0 - G1 4149.2 0.0 LED 59 ARM AS1-LED 244634aa-518b-4179-94d6-8974438f2809 ELECTRONIC NA SCALED FROM ABSOLUTE TEST: LTL20403	3
W		(1) LED, NICHIA 219A 3000K	AS1 LED GEN 1 HLM, 49 LEDs, 350mA DRIVER, 3000K COLOR TEMPERATURE, TYPE 2 LENS	ELECTRONIC	WALL	Lithonia Lighting, AS1 LED 1 49B350/30K SR2	120V 1P 2W	LED INTA-0350C 425 DO,		/28/2011 7/15/2015 SCALED PHOTOMETRY TYPE II, SHORT, BUG RATING: B1 - U0 - G1 4149.2 0.0 LED 59 ARM AS1-LED 244634aa-518b-4179-94d6-8974438f2809 ELECTRONIC NA SCALED FROM ABSOLUTE TEST: LTL20403	4

GENERAL NOTES:
1. LUMINAIRE SHOWN WITH CATALOG NUMBERS ARE THE BASIS OF DESIGN. SIMILAR BY OTHER LISTED MANUFACTURERS ARE ACCEPTABLE.
2. CONTRACTOR TO VERIFY LIGHT FIXTURE CATALOG NUMBER AND INSTALLATION REQUIREMENTS PRIOR TO ORDERING.

NOTES

1. ALL POLE MOUNTED LUMINAIRE SHALL BE ON RAISED CONCRETE BASE UNLESS NOTED OTHERWISE.
2. POLE MOUNTED LUMINAIRE SHALL BE PHOTOCELL ON TIMECLOCK OFF IN THE EVENING AND TIMECLOCK ON PHOTOCELL OFF IN THE MORNING.



AGPROprofessionals
DEVELOPERS OF AGRICULTURE

3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854



STODGY BREWING CO., LLC
LIGHTING PLAN

FT COLLINS, CO

SHEET:

LT-1



1800 SOUTH ELEVATION

NTS



1800 NORTH ELEVATION

NTS



1800 EAST ELEVATION

NTS



1802 SOUTH ELEVATION

NTS



1802 NORTH ELEVATION

NTS



1802 WEST ELEVATION

NTS



1802 EAST ELEVATION

NTS

BUILDING ELEVATIONS

DATE: October 29, 2019		DRAWN BY: AGPRO	
REVISIONS:			
R1	DESC		--f--f--
R2	DESC		--f--f--
R3	DESC		--f--f--
R4	DESC		--f--f--
R5	DESC		--f--f--



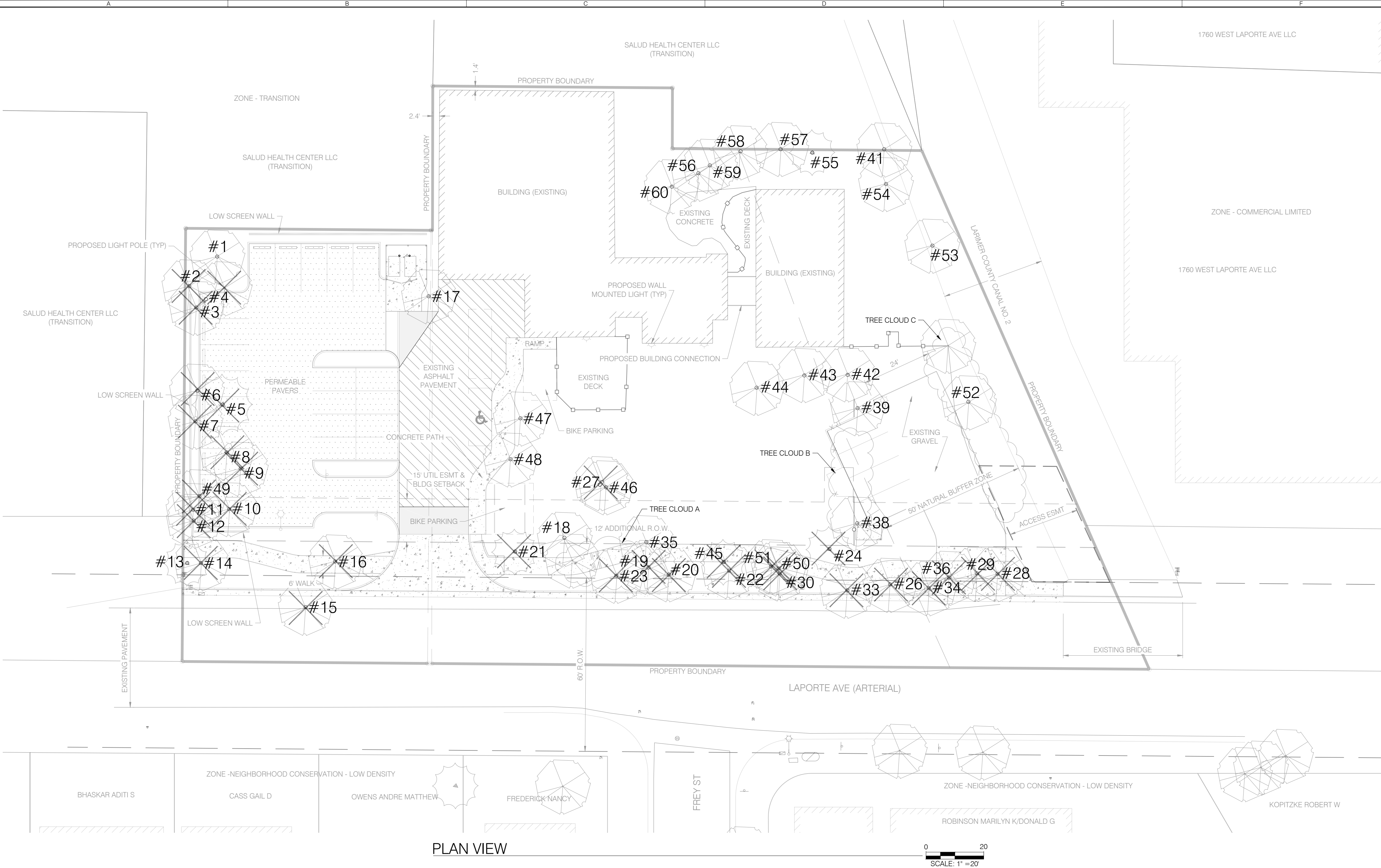
**AGPRO**professionals
DEVELOPERS OF AGRICULTURE

3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854



STODGY BREWING CO., LLC
BUILDING ELEVATIONS
FT COLLINS, CO

TREE IDENTIFICATION PLAN



PLANT LIST

Tree Inventory and Mitigation Information: 1802 W Laporte 2.8.18 (Natalie Yoder - Owner)						
#	Species	DBH	Condition	Mitigation Value	Status	Notes
1	Apple	7"	Fair minus	1	Keep	needs to be pruned, unknown cultivar
2	Siberian Elm	12"	Dead	0	remove	
3	Black walnut	6.5"	Dead	0	remove	
4	Hackberry/Box elder	4.5"	Fair minus	0	remove	Growing out of grate
5	Spruce	20"	Fair minus	2	remove	mitigate
6	Siberian Elm	24"	Fair	1.5	remove	
7	Siberian Elm	13"	Dead	0	remove	fence line
8	Siberian Elm	15"	Fair minus	0.5	remove	chimney line
9	Siberian Elm	10"	Poor	0	remove	chimney line
10	Siberian Elm	19"	Fair minus	1	remove	old fence line
11	Siberian Elm	15"	Poor	0	remove	fence line
12	Boxelder	4.5"	Fair	0	remove	fence line
13	Spruce	17"	Fair minus	2	Keep	
14	Siberian Elm	7.5"	Dead	0	remove	
15	Ash	18"	Fair	2	remove	fence line
16	Siberian Elm	14", 14"	Fair minus	1.5	remove	fence line
17	Siberian Elm	16"	Fair	1.5	Keep	fence line
18	Ash	14"	Fair	1.5	keep	
19	ASH	9"	Fair	1	remove	
20	Black walnut	22", 17"	Dead	0	remove	mill
21	Spruce	24"	Fair	2.5	remove	
22	Siberian Elm	17"	Fair minus	1.5	remove	
23	Black walnut	10"	Dead	0	remove	mill
24	Spruce	4"	Fair minus	0	remove	sidewalk conflict
26	Buckthorn	9"	Fair	0	remove	grade issue
27	Aspen	8"	Dead	0	remove	
27	Aspen	8"	Fair	1	keep	
27	Aspen	8"	Fair	1	keep	
28	Black walnut	20", 19"	Dead	0	remove	mill
29	Black walnut	17"	Dead	0	remove	mill
30	Siberian Elm	24"	Fair	2	remove	sidewalk conflict
33	Norway Maple	6.5"	Fair	1	remove	sidewalk conflict
34	Norway Maple	5.5"	Fair	0	remove	in new road/drive
35	Aspen	5"	Fair plus	0	keep	

GENERAL LANDSCAPE NOTES

- A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- NO TREES SHALL BE REMOVED DURING THE SONGBIRD NESTING SEASON (FEBRUARY 1 TO JULY 31) WITHOUT FIRST HAVING A PROFESSIONAL ECOLOGIST OR WILDLIFE BIOLOGIST COMPLETE A NESTING SURVEY TO IDENTIFY ANY ACTIVE NESTS EXISTING ON THE PROJECT SITE. THE SURVEY SHALL BE SENT TO THE CITY ENVIRONMENTAL PLANNER. IF ACTIVE NESTS ARE FOUND, THE CITY WILL COORDINATE WITH RELEVANT STATE AND FEDERAL REPRESENTATIVES TO DETERMINE WHETHER ADDITIONAL RESTRICTIONS ON TREE REMOVAL AND CONSTRUCTION APPLY.

TREE PROTECTION NOTES

- ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL.
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (3)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW:

Tree Diameter at Breast Height (inches)	Auger Distance From Face of Tree (feet)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
Over 19	15

- ALL TREE REMOVAL SHOWN SHALL BE COMPLETED OUTSIDE OF THE SONGBIRD NESTING SEASON (FEB 1 - JULY 31) OR CONDUCT A SURVEY OF TREES ENSURING NO ACTIVE NESTS IN THE AREA.

#	Species	DBH	Condition	Mitigation Value	Status	Notes
36	boxelder (<i>Acer negundo</i>)	6"	Fair	0	remove	fence line
38	Hackberry	12"	Fair minus	1	keep	line- could be good looking if the other cloud trees are cut out of the
39	ASH	9"	Fair minus	1	keep	fence line
41	Cottonwood	48"+	Fair minus	4.5	keep	NHB: Nils, this is the same as the one you added as #54
42	Crabapple	8"	Fair	1.5	keep	
43	Purple Chokecherry	4-5"	Fair	1	keep	
44	American Elm	34", 30"	Fair minus	4	keep	
45	Spruce	11"	Fair plus	1.5	remove	gas/ water line conflict, sidewalk conflict
46	Scots pine	4"	Fair minus	0	keep	
47	Siberian Elm	36"	Fair minus	2.5	keep	Sidewalk poured on grade to minimize root damage
48	Siberian Elm	40"	Fair	3	keep	Sidewalk poured on grade to minimize root damage
49	Silver poplar	4"	Fair	0	remove	
50	Ponderosa pine	5"	Fair minus	0	remove	sidewalk conflict
51	Ponderosa pine	4"	Fair minus	0	remove	sidewalk conflict
52	Ash	10"	Fair minus	1	Keep	NHBZ
53	Siberian Elm	14"	Fair minus	1	Keep	NHBZ
55	Ponderosa pine	6"	Fair	1	Keep	NHBZ
56	Boxelder	5"	Fair minus	0	Keep	
57	Ash	36"	Fair	3	Keep	Please consider treatment
58	Siberian Elm	12"	Fair minus	1	Keep	
59	Boxelder	7"/8"	Fair minus	1.5	Keep	
60	Cottonwood	38"	Poor	2	Keep	
Cloud Trees						
	Cloud A	1-5"	5-8: Hackberry	Siberian elms.	Ash saplings	and other trees smaller than 6" in diameter
	Cloud B	1-7"	5-8: Hackberry	Siberian elms.	Ash saplings	
	Cloud C	1-36"	5-8: Cottonwood	Siberian elms.	Ash saplings	
Total inventoried trees						
Trees that are dead						
Alive trees to be removed						
Total inventoried trees after development						
Requested Mitigation based on plan						

STODGY BREWING CO., LLC
TREE IDENTIFICATION PLAN

FT COLLINS, CO

SHEET:

T-1

SHEET 9 OF 10

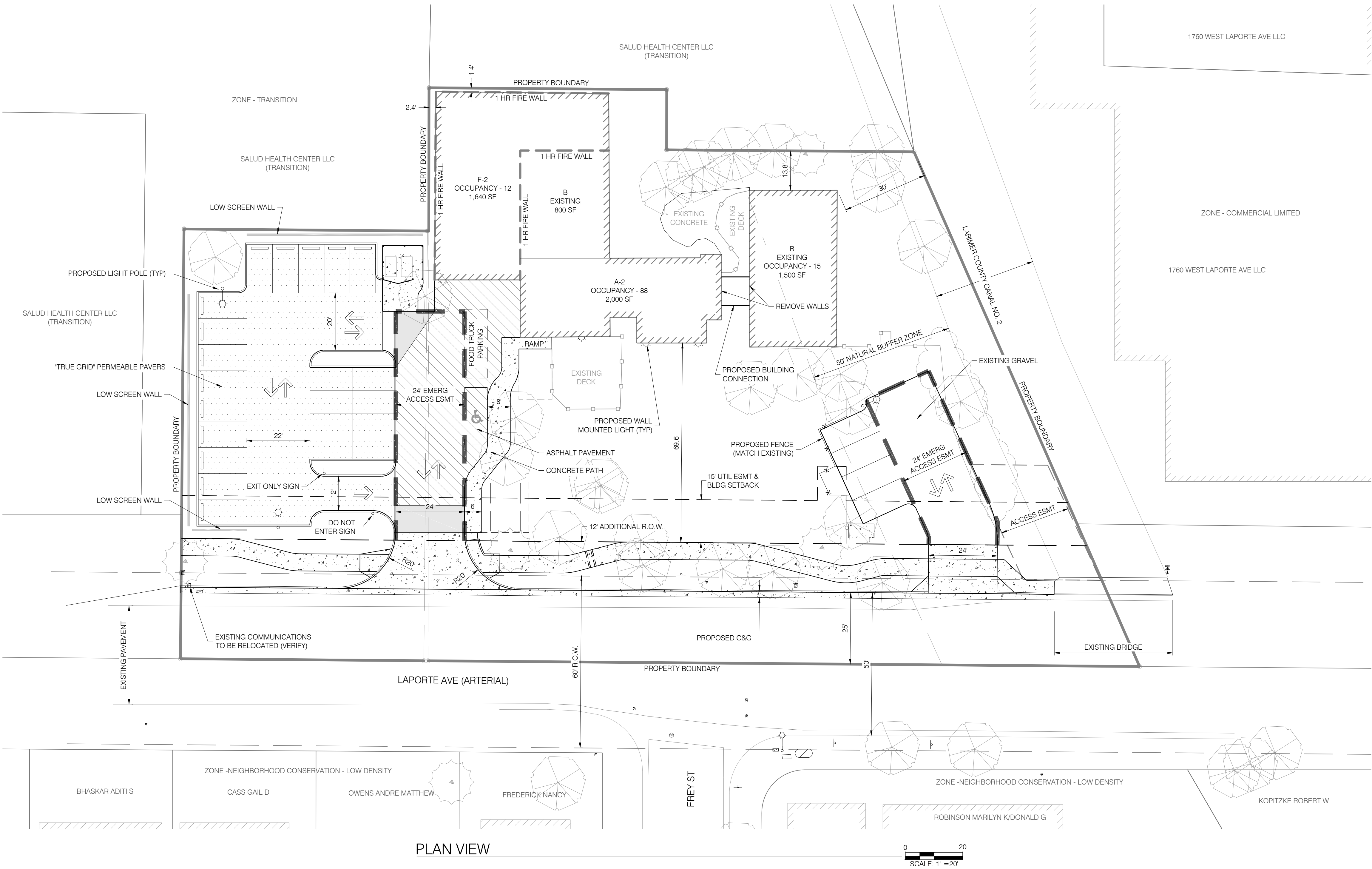


STODGY BREWING CO., LLC
1800-1804 LAPORTE AVE, FORT COLLINS, CO 80521
(714) 348-2007 • (210) 744-3762



DATE: October 29, 2019
DRAWN BY: AGPRO
REVISIONS:
R1 DESC
R2 DESC
R3 DESC
R4 DESC
R5 DESC
R6 DESC
R7 DESC
R8 DESC
R9 DESC
R10 DESC
R11 DESC
R12 DESC
R13 DESC
R14 DESC
R15 DESC
R16 DESC
R17 DESC
R18 DESC
R19 DESC
R20 DESC
R21 DESC
R22 DESC
R23 DESC
R24 DESC
R25 DESC
R26 DESC
R27 DESC
R28 DESC
R29 DESC
R30 DESC
R31 DESC
R32 DESC
R33 DESC
R34 DESC
R35 DESC
R36 DESC
R37 DESC
R38 DESC
R39 DESC
R40 DESC
R41 DESC
R42 DESC
R43 DESC
R44 DESC
R45 DESC
R46 DESC
R47 DESC
R48 DESC
R49 DESC
R50 DESC
R51 DESC
R52 DESC
R53 DESC
R54 DESC
R55 DESC
R56 DESC
R57 DESC
R58 DESC
R59 DESC
R60 DESC
R61 DESC
R62 DESC
R63 DESC
R64 DESC
R65 DESC
R66 DESC
R67 DESC
R68 DESC
R69 DESC
R70 DESC
R71 DESC
R72 DESC
R73 DESC
R74 DESC
R75 DESC
R76 DESC
R77 DESC
R78 DESC
R79 DESC
R80 DESC
R81 DESC
R82 DESC
R83 DESC
R84 DESC
R85 DESC
R86 DESC
R87 DESC
R88 DESC
R89 DESC
R90 DESC
R91 DESC
R92 DESC
R93 DESC
R94 DESC
R95 DESC
R96 DESC
R97 DESC
R98 DESC
R99 DESC
R100 DESC
R101 DESC
R102 DESC
R103 DESC
R104 DESC
R105 DESC
R106 DESC
R107 DESC
R108 DESC
R109 DESC
R110 DESC
R111 DESC
R112 DESC
R113 DESC
R114 DESC
R115 DESC
R116 DESC
R117 DESC
R118 DESC
R119 DESC
R120 DESC
R121 DESC
R122 DESC
R123 DESC
R124 DESC
R125 DESC
R126 DESC
R127 DESC
R128 DESC
R129 DESC
R130 DESC
R131 DESC
R132 DESC
R133 DESC
R134 DESC
R135 DESC
R136 DESC
R137 DESC
R138 DESC
R139 DESC
R140 DESC
R141 DESC
R142 DESC
R143 DESC
R144 DESC
R145 DESC
R146 DESC
R147 DESC
R148 DESC
R149 DESC
R150 DESC
R151 DESC
R152 DESC
R153 DESC
R154 DESC
R155 DESC
R156 DESC
R157 DESC
R158 DESC
R159 DESC
R160 DESC
R161 DESC
R162 DESC
R163 DESC
R164 DESC
R165 DESC
R166 DESC
R167 DESC
R168 DESC
R169 DESC
R170 DESC
R171 DESC
R172 DESC
R173 DESC
R174 DESC
R175 DESC
R176 DESC
R177 DESC
R178 DESC
R179 DESC
R180 DESC
R181 DESC
R182 DESC
R183 DESC
R184 DESC
R185 DESC
R186 DESC
R187 DESC
R188 DESC
R189 DESC
R190 DESC
R191 DESC
R192 DESC
R193 DESC
R194 DESC
R195 DESC
R196 DESC
R197 DESC
R198 DESC
R199 DESC
R200 DESC
R201 DESC
R202 DESC
R203 DESC
R204 DESC
R205 DESC
R206 DESC
R207 DESC
R208 DESC
R209 DESC
R210 DESC
R211 DESC
R212 DESC
R213 DESC
R214 DESC
R215 DESC
R216 DESC
R217 DESC
R218 DESC
R219 DESC
R220 DESC
R221 DESC
R222 DESC
R223 DESC
R224 DESC
R225 DESC
R226 DESC
R227 DESC
R228 DESC
R229 DESC
R230 DESC
R231 DESC
R232 DESC
R233 DESC
R234 DESC
R235 DESC
R236 DESC
R237 DESC
R238 DESC
R239 DESC
R240 DESC
R241 DESC
R242 DESC
R243 DESC
R244 DESC
R245 DESC
R246 DESC
R247 DESC
R248 DESC
R249 DESC
R250 DESC
R251 DESC
R252 DESC
R253 DESC
R254 DESC
R255 DESC
R256 DESC
R257 DESC
R258 DESC
R259 DESC
R260 DESC
R261 DESC
R262 DESC
R263 DESC
R264 DESC
R265 DESC
R266 DESC
R267 DESC
R268 DESC
R269 DESC
R270 DESC
R271 DESC
R272 DESC
R273 DESC
R274 DESC
R275 DESC
R276 DESC
R277 DESC
R278 DESC
R279 DESC
R280 DESC
R281 DESC
R282 DESC
R283 DESC
R284 DESC
R285 DESC
R286 DESC
R287 DESC
R288 DESC
R289 DESC
R290 DESC
R291 DESC
R292 DESC
R293 DESC
R294 DESC
R295 DESC
R296 DESC
R297 DESC
R298 DESC
R299 DESC
R300 DESC
R301 DESC
R302 DESC
R303 DESC
R304 DESC
R305 DESC
R306 DESC
R307 DESC
R308 DESC
R309 DESC
R310 DESC
R311 DESC
R312 DESC
R313 DESC
R314 DESC
R315 DESC
R316 DESC
R317 DESC
R318 DESC
R319 DESC
R320 DESC
R321 DESC
R322 DESC
R323 DESC
R324 DESC
R325 DESC
R326 DESC
R327 DESC
R328 DESC
R329 DESC
R330 DESC
R331 DESC
R332 DESC
R333 DESC
R334 DESC
R335 DESC
R336 DESC
R337 DESC
R338 DESC
R339 DESC
R340 DESC
R341 DESC
R342 DESC
R343 DESC
R344 DESC
R345 DESC
R346 DESC
R347 DESC
R348 DESC
R349 DESC
R350 DESC
R351 DESC
R352 DESC
R353 DESC
R354 DESC
R355 DESC
R356 DESC
R357 DESC
R358 DESC
R359 DESC
R360 DESC
R361 DESC
R362 DESC
R363 DESC
R364 DESC
R365 DESC
R366 DESC
R367 DESC
R368 DESC
R369 DESC
R370 DESC
R371 DESC
R372 DESC
R373 DESC
R374 DESC
R375 DESC
R376 DESC
R377 DESC
R378 DESC
R379 DESC
R380 DESC
R381 DESC
R382 DESC
R383 DESC
R384 DESC
R385 DESC
R386 DESC
R387 DESC
R388 DESC
R389 DESC
R390 DESC
R391 DESC
R392 DESC
R393 DESC
R394 DESC
R395 DESC
R396 DESC
R397 DESC
R398 DESC
R399 DESC
R400 DESC
R401 DESC
R402 DESC
R403 DESC
R404 DESC
R405 DESC
R406 DESC
R407 DESC
R408 DESC
R409 DESC
R410 DESC
R411 DESC
R412 DESC
R413 DESC
R414 DESC
R415 DESC
R416 DESC
R417 DESC
R418 DESC
R419 DESC
R420 DESC
R421 DESC
R422 DESC
R423 DESC
R424 DESC
R425 DESC
R426 DESC
R427 DESC
R428 DESC
R429 DESC
R430 DESC
R431 DESC
R432 DESC
R433 DESC
R434 DESC
R435 DESC
R436 DESC
R437 DESC
R438 DESC
R439 DESC
R440 DESC
R441 DESC
R442 DESC
R443 DESC
R444 DESC
R445 DESC
R446 DESC
R447 DESC
R448 DESC
R449 DESC
R450 DESC
R451 DESC
R452 DESC
R453 DESC
R454 DESC
R455 DESC
R456 DESC
R457 DESC
R458 DESC
R459 DESC
R460 DESC
R461 DESC
R462 DESC
R463 DESC
R464 DESC
R465 DESC
R466 DESC
R467 DESC
R468 DESC
R469 DESC
R470 DESC
R471 DESC
R472 DESC
R473 DESC
R474 DESC
R475 DESC
R476 DESC
R477 DESC
R478 DESC
R479 DESC
R480 DESC
R481 DESC
R482 DESC
R483 DESC
R484 DESC
R485 DESC
R486 DESC
R487 DESC
R488 DESC
R489 DESC
R490 DESC
R491 DESC
R492 DESC
R493 DESC
R494 DESC
R495 DESC
R496 DESC
R497 DESC
R498 DESC
R499 DESC
R500 DESC
R501 DESC
R502 DESC
R503 DESC
R504 DESC
R505 DESC
R506 DESC
R507 DESC
R508 DESC
R509 DESC
R510 DESC
R511 DESC
R512 DESC
R513 DESC
R514 DESC
R515 DESC
R516 DESC
R517 DESC
R518 DESC
R519 DESC
R520 DESC
R521 DESC
R522 DESC
R523 DESC
R524 DESC
R525 DESC
R526 DESC
R527 DESC
R528 DESC
R529 DESC
R530 DESC
R531 DESC
R532 DESC
R533 DESC
R534 DESC
R535 DESC
R536 DESC
R537 DESC
R538 DESC
R539 DESC
R540 DESC
R541 DESC
R542 DESC
R543 DESC
R544 DESC
R545 DESC
R546 DESC
R547 DESC
R548 DESC
R549 DESC
R550 DESC
R551 DESC
R552 DESC
R553 DESC
R554 DESC
R555 DESC
R556 DESC
R557 DESC
R558 DESC
R559 DESC
R560 DESC
R561 DESC
R562 DESC
R563 DESC
R564 DESC
R565 DESC
R566 DESC
R567 DESC
R568 DESC
R569 DESC
R570 DESC
R571 DESC
R572 DESC
R573 DESC
R574 DESC
R575 DESC
R576 DESC
R577 DESC
R578 DESC
R579 DESC
R580 DESC
R581 DESC
R582 DESC
R583 DESC
R584 DESC
R585 DESC
R586 DESC
R587 DESC
R588 DESC
R589 DESC
R590 DESC
R591 DESC
R592 DESC
R593 DESC
R594 DESC
R595 DESC
R596 DESC
R597 DESC
R598 DESC
R599 DESC
R600 DESC
R601 DESC
R602 DESC
R603 DESC
R604 DESC
R605 DESC
R606 DESC
R607 DESC
R608 DESC
R609 DESC
R610 DESC
R611 DESC
R612 DESC
R613 DESC
R614 DESC
R615 DESC
R616 DESC
R617 DESC
R618 DESC
R619 DESC
R620 DESC
R621 DESC
R622 DESC
R623 DESC
R624 DESC
R625 DESC
R626 DESC
R627 DESC
R628 DESC
R629 DESC
R630 DESC
R631 DESC
R632 DESC
R633 DESC
R634 DESC
R635 DESC
R636 DESC
R637 DESC
R638 DESC
R639 DESC
R640 DESC
R641 DESC
R642 DESC
R643 DESC
R644 DESC
R645 DESC
R646 DESC
R647 DESC
R648 DESC
R649 DESC
R650 DESC
R651 DESC
R652 DESC
R653 DESC
R654 DESC
R655 DESC
R656 DESC
R657 DESC
R658 DESC
R659 DESC
R660 DESC
R661 DESC
R662 DESC
R663 DESC
R664 DESC
R665 DESC
R666 DESC
R667 DESC
R668 DESC
R669 DESC
R670 DESC
R671 DESC
R672 DESC
R673 DESC
R674 DESC
R675 DESC
R676 DESC
R677 DESC
R678 DESC
R679 DESC
R680 DESC
R681 DESC
R682 DESC
R683 DESC
R684 DESC
R685 DESC
R686 DESC
R687 DESC
R688 DESC
R689 DESC
R690 DESC
R691 DESC
R692 DESC
R693 DESC
R694 DESC
R695 DESC
R696 DESC
R697 DESC
R698 DESC
R699 DESC
R700 DESC
R701 DESC
R702 DESC
R703 DESC
R704 DESC
R705 DESC
R706 DESC
R707 DESC
R708 DESC
R709 DESC
R710 DESC
R711 DESC
R712 DESC
R713 DESC
R714 DESC
R715 DESC
R716 DESC
R717 DESC
R718 DESC
R719 DESC
R720 DESC
R721 DESC
R722 DESC
R723 DESC
R724 DESC
R725 DESC
R726 DESC
R727 DESC
R728 DESC
R729 DESC
R730 DESC
R731 DESC
R732 DESC
R733 DESC
R734 DESC
R735 DESC
R736 DESC
R737 DESC
R738 DESC
R739 DESC
R740 DESC
R741 DESC
R742 DESC
R743 DESC
R744 DESC
R745 DESC
R746 DESC
R747 DESC
R748 DESC
R749 DESC
R750 DESC
R751 DESC
R752 DESC
R753 DESC
R754 DESC
R755 DESC
R756 DESC
R757 DESC
R758 DESC
R759 DESC
R760 DESC
R761 DESC
R762 DESC
R763 DESC
R764 DESC
R765 DESC
R766 DESC
R767 DESC
R768 DESC
R769 DESC
R770 DESC
R771 DESC
R772 DESC
R773 DESC
R774 DESC
R775 DESC
R776 DESC
R777 DESC
R778 DESC
R779 DESC
R780 DESC
R781 DESC
R782 DESC
R783 DESC
R784 DESC
R785 DESC
R786 DESC
R787 DESC
R788 DESC
R789 DESC
R790 DESC
R791 DESC
R792 DESC
R793 DESC
R794 DESC
R795 DESC
R796 DESC
R797 DESC
R798 DESC
R799 DESC
R800 DESC
R801 DESC
R802 DESC
R803 DESC
R804 DESC
R805 DESC
R806 DESC
R807 DESC
R808 DESC
R809 DESC
R810 DESC
R811 DESC
R812 DESC
R813 DESC
R814 DESC
R815 DESC
R816 DESC
R817 DESC
R818 DESC
R819 DESC
R820 DESC
R821 DESC
R822 DESC
R823 DESC
R824 DESC
R825 DESC
R826 DESC
R827 DESC
R828 DESC
R829 DESC
R830 DESC
R831 DESC
R832 DESC
R833 DESC
R834 DESC
R835 DESC
R836 DESC
R837 DESC
R838 DESC
R839 DESC
R840 DESC
R841 DESC
R842 DESC
R843 DESC
R844 DESC
R845 DESC
R846 DESC
R847 DESC
R848 DESC
R849 DESC
R850 DESC
R851 DESC
R852 DESC
R853 DESC
R854 DESC
R855 DESC
R856 DESC
R857 DESC
R858 DESC
R859 DESC
R860 DESC
R861 DESC
R862 DESC
R863 DESC
R864 DESC
R865 DESC
R866 DESC
R867 DESC
R868 DESC
R869 DESC
R870 DESC
R871 DESC
R872 DESC
R873 DESC
R874 DESC
R875 DESC
R876 DESC
R877 DESC
R878 DESC
R879 DESC
R880 DESC
R881 DESC
R882 DESC
R883 DESC
R884 DESC
R885 DESC
R886 DESC
R887 DESC
R888 DESC
R889 DESC
R890 DESC
R891 DESC
R892 DESC
R893 DESC
R894 DESC
R895 DESC
R896 DESC
R897 DESC
R898 DESC
R899 DESC
R900 DESC
R901 DESC
R902 DESC
R903 DESC
R904 DESC
R905 DESC
R906 DESC
R907 DESC
R908 DESC
R909 DESC
R910 DESC
R911 DESC
R912 DESC
R913 DESC
R914 DESC
R915 DESC
R916 DESC
R917 DESC
R918 DESC
R919 DESC
R920 DESC
R921 DESC
R922 DESC
R923 DESC
R924 DESC
R925 DESC
R926 DESC
R927 DESC
R928 DESC
R929 DESC
R930 DESC
R931 DESC
R932 DESC
R933 DESC
R934 DESC
R935 DESC
R936 DESC
R937 DESC
R938 DESC
R939 DESC
R940 DESC
R941 DESC
R942 DESC
R943 DESC
R944 DESC
R945 DESC
R946 DESC
R947 DESC
R948 DESC
R949 DESC
R950 DESC
R951 DESC
R952 DESC

FIRE EXHIBIT



STODGY BREWING CO., LLC
FIRE EXHIBIT
FT COLLINS, CO

AGPROfessionals
DEVELOPERS OF AGRICULTURE
3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854



DATE: October 29, 2019		DRAWN BY: AGPRO	
REVISIONS:			
R1	DESC		--/--/--
R2	DESC		--/--/--
R3	DESC		--/--/--
R4	DESC		--/--/--
R5	DESC		--/--/--

SHEET:
F-1

STODGY BREWING SUBDIVISION
BEING A PART OF THE SE 1/4 OF THE NW 1/4 SECTION 10,
TOWNSHIP 7 NORTH, RANGE 69 WEST, OF THE 6TH P.M., LARIMER COUNTY, COLORADO

STATEMENT OF OWNERSHIP AND SUBDIVISION:

KNOW ALL PERSONS BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING OWNER(S) OF THE FOLLOWING DESCRIBED LAND.

LEGAL DESCRIPTION:

BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M., COUNTY OF LARIMER, STATE OF COLORADO.

BASIS OF BEARING: ASSUMING THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST AS BEARING NORTH 89°32'09" WEST BETWEEN THE FOUND MONUMENTS AS SHOWN ON THIS SURVEY, AND WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO, SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER 1/4 CORNER OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M., COUNTY OF LARIMER, STATE OF COLORADO, THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 10 NORTH 89°32'09" WEST FOR A DISTANCE OF 775.08 FEET TO THE PONT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 10 NORTH 89°32'09" WEST FOR A DISTANCE OF 334.90 FEET;

THENCE DEPARTING SOUTH LINE NORTH 00°27'51" EAST FOR A DISTANCE OF 150.00 FEET;

THENCE SOUTH 89°32'09" EAST FOR A DISTANCE OF 85.00 FEET;

THENCE NORTH 00°06'21" EAST FOR A DISTANCE OF 49.98 FEET;

THENCE SOUTH 89°32'09" EAST FOR A DISTANCE OF 83.00 FEET;

THENCE SOUTH 00°06'21" WEST FOR A DISTANCE OF 21.00 FEET;

THENCE SOUTH 89°32'36" EAST FOR A DISTANCE OF 86.39 FEET;

THENCE SOUTH 23°40'39" EAST FOR A DISTANCE OF 196.15 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 1.194 ACRES, MORE OR LESS

FOR THEMSELVES AND THEIR SUCCESSORS IN INTEREST (COLLECTIVELY,*OWNER*) HAVE CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED AND SUBDIVIDED INTO LOTS, TRACTS AND STREETS AS SHOWN ON THIS PLAT TO BE KNOWN STODGY BREWING SUBDIVISION (THE "DEVELOPMENT"), SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY NOW OF RECORD OR EXISTING OR INDICATED ON THIS PLAT, THE RIGHTS AND OBLIGATIONS OF THE PLAT SHALL RUN WITH THE LAND.

SURVEYOR'S NOTES:

1. BASIS OF BEARING: ASSUMING THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST AS BEARING NORTH 89°32'09" WEST BETWEEN THE FOUND MONUMENTS AS SHOWN ON THIS SURVEY, AND WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

2. ALL DISTANCE MEASUREMENTS SHOWN ARE IN U.S. SURVEY FOOT.

NOTICE:

ALL RESPONSIBILITIES AND COSTS OF OPERATION, MAINTENANCE AND RECONSTRUCTION OF THE PRIVATE STREETS AND/OR DRIVES LOCATED ON THE PRIVATE PROPERTY THAT IS THE SUBJECT OF THIS PLAT SHALL BE BORNE BY THE OWNERS OF SAID PROPERTY, EITHER INDIVIDUALLY, OR COLLECTIVELY, THROUGH A PROPERTY OWNERS' ASSOCIATION, IF APPLICABLE. THE CITY OF FORT COLLINS SHALL HAVE NO OBLIGATION OF OPERATION, MAINTENANCE OR RECONSTRUCTION OF SUCH PRIVATE STREETS AND/OR DRIVES NOR SHALL THE CITY HAVE ANY OBLIGATION TO ACCEPT SUCH STREETS AND/OR DRIVES AS PUBLIC STREETS OR DRIVES.

CERTIFICATE OF DEDICATION:

THE OWNER DOES HEREBY DEDICATE AND CONVEY TO THE CITY OF FORT COLLINS, COLORADO (HEREAFTER "CITY"), FOR PUBLIC USE, FOREVER, A PERMANENT RIGHT-OF-WAY FOR STREET PURPOSES AND THE "EASEMENTS" AS LAID OUT AND DESIGNATED ON THIS PLAT; PROVIDED, HOWEVER, THAT (1) ACCEPTANCE BY THE CITY OF THIS DEDICATION OF EASEMENTS DOES NOT IMPOSE UPON THE CITY A DUTY TO MAINTAIN THE EASEMENTS SO DEDICATED, AND (2) ACCEPTANCE BY THE CITY OF THIS DEDICATION OF STREETS DOES NOT IMPOSE UPON THE CITY A DUTY TO MAINTAIN STREETS SO DEDICATED UNTIL SUCH TIME AS THE PROVISIONS OF THE MAINTENANCE GUARANTEE HAVE BEEN FULLY SATISFIED. THE STREETS DEDICATED ON THIS PLAT ARE THE FEE PROPERTY OF THE CITY AS PROVIDED IN SECTION

31-23-107 C.R.S. THE CITY'S RIGHTS UNDER THE EASEMENTS INCLUDE THE RIGHT TO INSTALL, OPERATE, ACCESS, MAINTAIN, REPAIR, RECONSTRUCT, REMOVE AND REPLACE WITHIN THE EASEMENTS PUBLIC IMPROVEMENTS CONSISTENT WITH THE INTENDED PURPOSE OF THE EASEMENTS; THE RIGHT TO INSTALL, MAINTAIN AND USE GATES IN ANY FENCES THAT CROSS THE EASEMENTS; THE RIGHT TO MARK THE LOCATION OF THE EASEMENTS WITH SUITABLE MARKERS; AND THE RIGHT TO PERMIT OTHER PUBLIC UTILITIES TO EXERCISE THESE SAME RIGHTS. OWNER RESERVES THE RIGHT TO USE THE EASEMENTS FOR PURPOSES THAT DO NOT INTERFERE WITH THE FULL ENJOYMENT OF THE RIGHTS HEREBY GRANTED. THE CITY IS RESPONSIBLE FOR MAINTENANCE OF ITS OWN IMPROVEMENTS AND FOR REPAIRING ANY DAMAGE CAUSED BY ITS ACTIVITIES IN THE EASEMENTS, BUT BY ACCEPTANCE OF THIS DEDICATION, THE CITY DOES NOT ACCEPT THE DUTY OF MAINTENANCE OF THE EASEMENTS, OR OF IMPROVEMENTS IN THE EASEMENTS THAT ARE NOT OWNED BY THE CITY.

OWNER WILL MAINTAIN THE SURFACE OF THE EASEMENTS IN A SANITARY CONDITION IN COMPLIANCE WITH ANY APPLICABLE WEED, NUISANCE OR OTHER LEGAL REQUIREMENTS. EXCEPT AS EXPRESSLY PERMITTED IN AN APPROVED PLAN OF DEVELOPMENT OR OTHER WRITTEN AGREEMENT WITH THE CITY, OWNER WILL NOT INSTALL ON THE EASEMENTS, OR PERMIT THE INSTALLATION ON THE EASEMENTS, OF ANY BUILDING, STRUCTURE, IMPROVEMENT, FENCE, RETAINING WALL, SIDEWALK, TREE OR OTHER LANDSCAPING (OTHER THAN USUAL AND CUSTOMARY GRASSES AND OTHER GROUND COVER). IN THE EVENT SUCH OBSTACLES ARE INSTALLED IN THE EASEMENTS, THE CITY HAS THE RIGHT TO REQUIRE THE OWNER TO REMOVE SUCH OBSTACLES FROM THE EASEMENTS. IF OWNER DOES NOT REMOVE SUCH OBSTACLES, THE CITY MAY REMOVE SUCH OBSTACLES WITHOUT ANY LIABILITY OR OBLIGATION FOR REPAIR AND REPLACEMENT THEREOF, AND CHARGE THE OWNER THE CITY'S COSTS FOR SUCH REMOVAL. IF THE CITY CHOOSES NOT TO REMOVE THE OBSTACLES, THE CITY WILL NOT BE LIABLE FOR ANY DAMAGE TO THE OBSTACLES OR ANY OTHER PROPERTY TO WHICH THEY ARE ATTACHED.

THE RIGHTS GRANTED TO THE CITY BY THIS PLAT INURE TO THE BENEFIT OF THE CITY'S AGENTS, LICENSEES, PERMITTEES AND ASSIGNS.

OWNER:

BY: _____

STATE OF COLORADO)

) ss.

COUNTY OF LARIMER)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____DAY OF _____, 20_____, AS _____ OF _____.

WITNESS MY HAND OFFICIAL SEAL

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

LIEBHOLDER

BY: _____

STATE OF COLORADO)

) ss.

COUNTY OF LARIMER)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____DAY OF _____, 20_____, AS _____ OF _____.

WITNESS MY HAND OFFICIAL SEAL

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

MAINTENANCE GUARANTEE:

THE OWNER HEREBY WARRANTS AND GUARANTEES TO THE CITY, FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF COMPLETION AND FIRST ACCEPTANCE BY THE CITY OF THE IMPROVEMENTS WARRANTED HEREUNDER, THE FULL AND COMPLETE MAINTENANCE AND REPAIR OF THE IMPROVEMENTS TO BE CONSTRUCTED IN CONNECTION WITH THE DEVELOPMENT WHICH IS THE SUBJECT OF THIS PLAT. THIS WARRANTY AND GUARANTEE IS MADE IN ACCORDANCE WITH THE CITY LAND USE CODE AND/OR THE TRANSITIONAL LAND USE REGULATIONS, AS APPLICABLE. THIS GUARANTEE APPLIES TO THE STREETS AND ALL OTHER APPURTENANT STRUCTURES AND AMENITIES LYING WITHIN THE RIGHTS-OF-WAY, EASEMENTS AND OTHER PUBLIC PROPERTIES, INCLUDING, WITHOUT LIMITATION, ALL CURBING, SIDEWALKS, BIKE PATHS, DRAINAGE PIPES, CULVERTS, CATCH BASINS, DRAINAGE DITCHES AND LANDSCAPING. ANY MAINTENANCE AND/OR REPAIR REQUIRED ON UTILITIES SHALL BE COORDINATED WITH THE OWNING UTILITY COMPANY OR DEPARTMENT.

THE OWNER SHALL MAINTAIN SAID IMPROVEMENTS IN A MANNER THAT WILL ASSURE COMPLIANCE ON A CONSISTENT BASIS WITH ALL CONSTRUCTION STANDARDS, SAFETY REQUIREMENTS AND ENVIRONMENTAL PROTECTION REQUIREMENTS OF THE CITY. THE OWNER SHALL ALSO CORRECT AND REPAIR, OR CAUSE TO BE CORRECTED AND REPAIRED, ALL DAMAGES TO SAID IMPROVEMENTS RESULTING FROM DEVELOPMENT-RELATED OR BUILDING-RELATED ACTIVITIES. IN THE EVENT THE OWNER FAILS TO CORRECT ANY DAMAGES WITHIN THIRTY (30) DAYS AFTER WRITTEN NOTICE THEREOF, THEN SAID DAMAGES MAY BE CORRECTED BY THE CITY AND ALL COSTS AND CHARGES BILLED TO AND PAID BY THE OWNER. THE CITY SHALL ALSO HAVE ANY OTHER REMEDIES AVAILABLE TO IT AS AUTHORIZED BY LAW. ANY DAMAGES WHICH OCCURRED PRIOR TO THE END OF SAID TWO (2) YEAR PERIOD AND WHICH ARE UNREPAIRED AT THE TERMINATION OF SAID PERIOD SHALL REMAIN THE RESPONSIBILITY OF THE OWNER.

REPAIR GUARANTEE:

IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT AND OTHER VALUABLE CONSIDERATION, THE OWNER DOES HEREBY AGREE TO HOLD THE CITY HARMLESS FOR A FIVE (5) YEAR PERIOD, COMMENCING UPON THE DATE OF COMPLETION AND FIRST ACCEPTANCE BY THE CITY OF THE IMPROVEMENTS TO BE CONSTRUCTED IN CONNECTION WITH THE DEVELOPMENT WHICH IS THE SUBJECT OF THIS PLAT, FROM ANY AND ALL CLAIMS, DAMAGES, OR DEMANDS ARISING ON ACCOUNT OF THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS OF THE PROPERTY SHOWN HEREIN; AND THE OWNER FURTHERMORE COMMITS TO MAKE NECESSARY REPAIRS TO SAID PUBLIC IMPROVEMENTS, TO INCLUDE, WITHOUT LIMITATION, THE ROADS, STREETS, FILLS, EMBANKMENTS, DITCHES, CROSS PANS, SUB-DRAINS, CULVERTS, WALLS AND BRIDGES WITHIN THE RIGHT-OF- WAY, EASEMENTS AND OTHER PUBLIC PROPERTIES, RESULTING FROM FAILURES CAUSED BY DESIGN AND/OR CONSTRUCTION DEFECTS. THIS AGREEMENT TO HOLD THE CITY HARMLESS INCLUDES DEFECTS IN MATERIALS AND WORKMANSHIP, AS WELL AS DEFECTS CAUSED BY OR CONSISTING OF SETTLING TRENCHES, FILLS OR EXCAVATIONS.

FURTHER, THE OWNER WARRANTS THAT HE/SHE OWNS FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREES THAT THE CITY SHALL NOT BE LIABLE TO THE OWNER OR HIS/HER SUCCESSORS IN INTEREST DURING THE WARRANTY PERIOD, FOR ANY CLAIM OF DAMAGES RESULTING FROM NEGLIGENCE IN EXERCISING ENGINEERING TECHNIQUES AND DUE CAUTION IN THE CONSTRUCTION OF CROSS DRAINS, DRIVES, STRUCTURES OR BUILDINGS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, AND ANY OTHER MATTER WHATSOEVER ON PRIVATE PROPERTY, ANY AND ALL MONETARY LIABILITY OCCURRING UNDER THIS PARAGRAPH SHALL BE THE LIABILITY OF THE OWNER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO CONVEY SAID LAND ACCORDING TO THIS PLAT.

NOTICE OF OTHER DOCUMENTS:

ALL PERSONS TAKE NOTICE THAT THE OWNER HAS EXECUTED CERTAIN DOCUMENTS PERTAINING TO THIS DEVELOPMENT WHICH CREATE CERTAIN RIGHTS AND OBLIGATIONS OF THE DEVELOPMENT, THE OWNER AND/OR SUBSEQUENT OWNERS OF ALL OR PORTIONS OF THE DEVELOPMENT SITE, MANY OF WHICH OBLIGATIONS CONSTITUTE PROMISES AND COVENANTS THAT, ALONG WITH THE OBLIGATIONS UNDER THIS PLAT, RUN WITH THE LAND. THE SAID DOCUMENTS MAY ALSO BE AMENDED FROM TIME TO TIME AND MAY INCLUDE, WITHOUT LIMITATION, THE DEVELOPMENT AGREEMENT, SITE AND LANDSCAPE COVENANTS, FINAL SITE PLAN, FINAL LANDSCAPE PLAN, AND ARCHITECTURAL ELEVATIONS, WHICH DOCUMENTS ARE ON FILE IN THE OFFICE OF THE CLERK OF THE CITY AND SHOULD BE CLOSELY EXAMINED BY ALL PERSONS INTERESTED IN PURCHASING ANY PORTION OF THE DEVELOPMENT SITE.

ATTORNEY'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN DULY EXECUTED AS REQUIRED PURSUANT TO SECTION 2.2.3(C)(3)(A) THROUGH (E) INCLUSIVE OF THE LAND USE CODE OF THE CITY OF FORT COLLINS AND THAT ALL PERSONS SIGNING THIS SUBDIVISION PLAT ON BEHALF OF A CORPORATION OR OTHER ENTITY ARE DULY AUTHORIZED SIGNATORIES UNDER THE LAWS OF THE STATE OF COLORADO. THIS CERTIFICATION IS BASED UPON THE RECORDS OF THE CLERK AND RECORDER OF LARIMER COUNTY, COLORADO AS OF THE DATE OF EXECUTION OF THE PLAT AND OTHER INFORMATION DISCOVERED BY ME THROUGH REASONABLE INQUIRY AND IS LIMITED AS AUTHORIZED BY SECTION 2.2.3(C)(3)(F) OF THE LAND USE CODE.

ATTORNEY:_____

ADDRESS:_____

REGISTRATION NO.:_____

SURVEYOR'S STATEMENT:

I, _____, A COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY STATE THAT THIS SUBDIVISION PLAT WAS PREPARED FROM AN ACTUAL SURVEY UNDER MY PERSONAL SUPERVISION, THAT THE MONUMENTATION AS INDICATED HEREON WERE FOUND OR SET AS SHOWN, AND THAT THE FORGOING PLAT IS AN ACCURATE REPRESENTATION THEREOF, ALL THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

(NAME)

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR # _____

APPROVED AS TO FORM, CITY ENGINEER:

BY THE CITY ENGINEER OF THE CITY OF FORT COLLINS, COLORADO THIS____DAY OF _____A.D.,_____

CITY ENGINEER

PLANNING APPROVAL:

BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES THE CITY OF FORT COLLINS, COLORADO THIS

____DAY OF_____A.D.,_____

DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES

CLIENT/ENGINEER: AGPROFESSIONALS
3050 67TH AVE. SUITE 200
GREELEY, CO 80634

HAMMER LAND SURVEYING, INC.
3050 67TH AVENUE, SUITE 200
GREELEY, CO 80634
PH: 970-535-9318

OWNER/APPLICANT: STODGY
BREWING CO, LLC.
1205 COLUMBINE COURT
FORT COLLINS, CO 80521

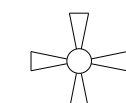
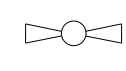





SECTION 10, TOWNSHIP 7 NORTH
RANGE 69 WEST, 6TH P.M.

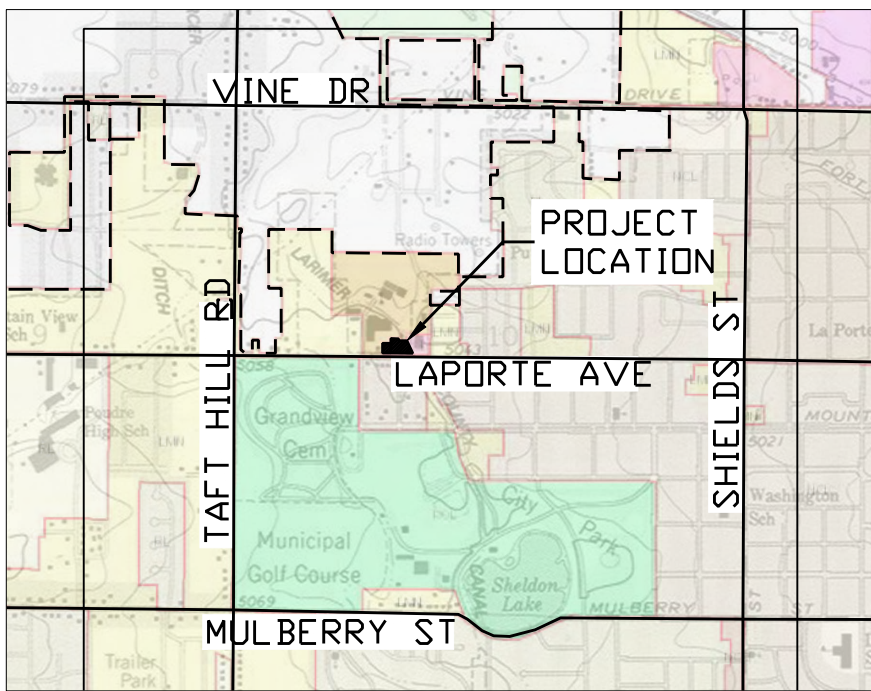
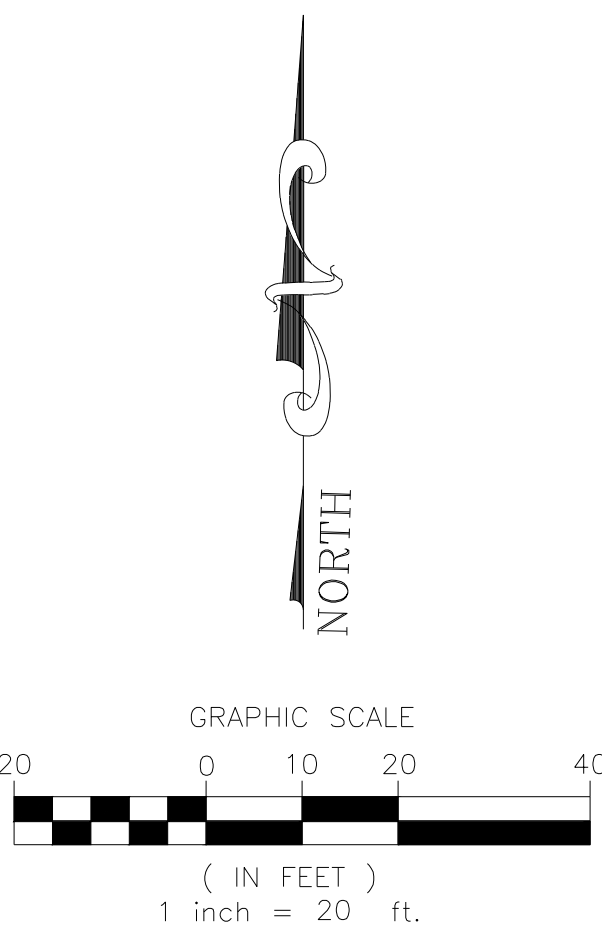
DATE: 09/30/19 JOB#2769-02

NO.	DATE	DESCRIPTION	BY

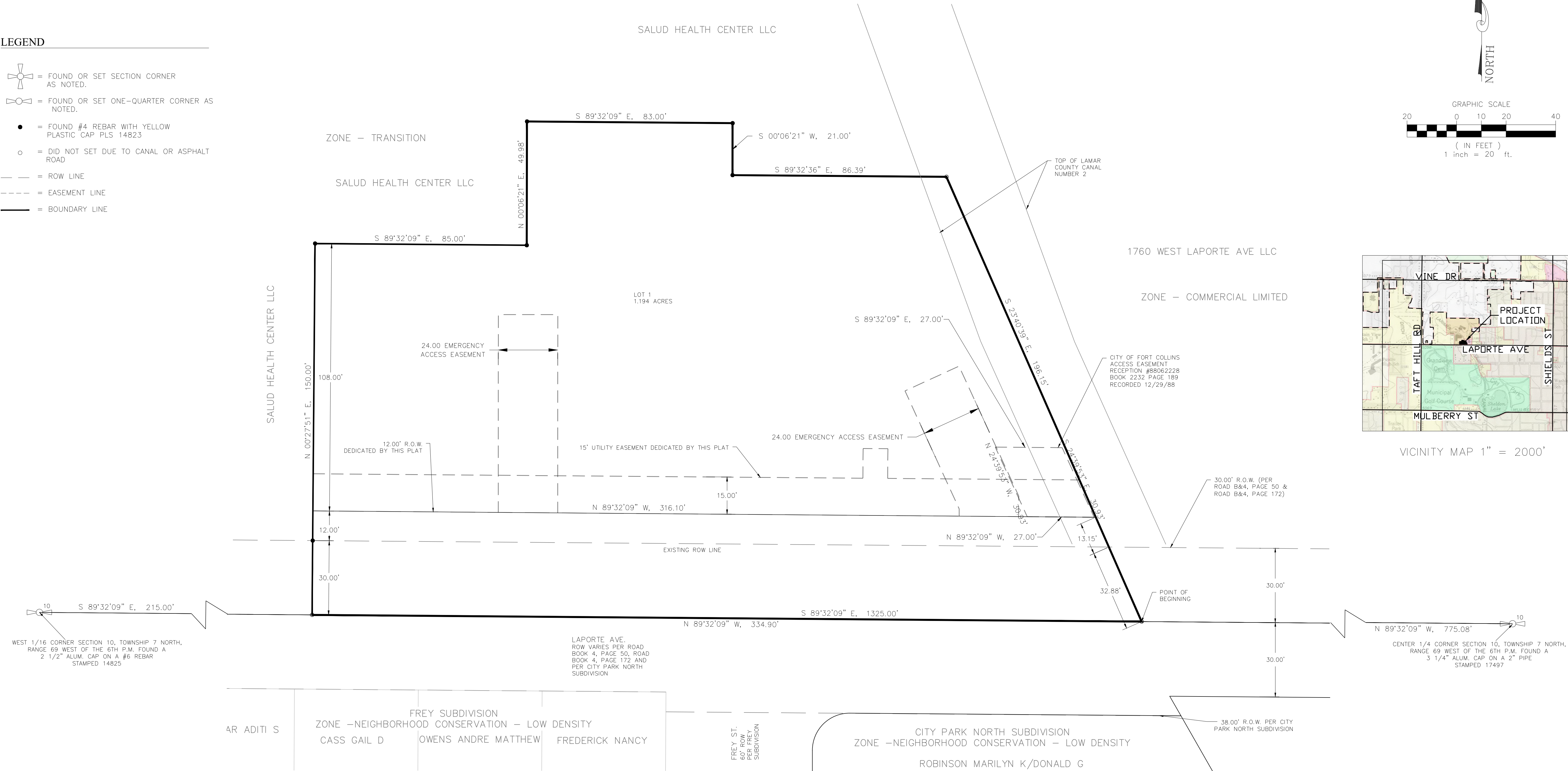
STODGY BREWING SUBDIVISION
BEING A PART OF THE SE 1/4 OF THE NW 1/4 SECTION 10,
TOWNSHIP 7 NORTH, RANGE 69 WEST, OF THE 6TH P.M., LARIMER COUNTY, COLORADO

LEGEND

-  = FOUND OR SET SECTION CORNER AS NOTED.
-  = FOUND OR SET ONE-QUARTER CORNER AS NOTED.
-  = FOUND #4 REBAR WITH YELLOW PLASTIC CAP PLS 14823
-  = DID NOT SET DUE TO CANAL OR ASPHALT ROAD
-  = ROW LINE
-  = EASEMENT LINE
-  = BOUNDARY LINE



VICINITY MAP 1" = 2000'



NO.	DATE	DESCRIPTION	BY

CLIENT/ENGINEER: AGPROFESSIONALS
3050 67TH AVE. SUITE 200
GREELEY, CO 80634

HAMMER LAND SURVEYING, INC.
3050 67TH AVENUE, SUITE 200
GREELEY, CO 80634
PH: 970-535-9318

OWNER/APPLICANT: STODGY
BREWING CO, LLC.
1205 COLUMBINE COURT
FORT COLLINS, CO 80521

SECTION 10, TOWNSHIP 7 NORTH
RANGE 69 WEST, 6TH P.M.

DATE: 09/30/19 JOB#2769-02

UTILITY PLANS
FOR
STODGY BREWING CO., LLC

BEING A PART OF THE SE 1/4 OF THE NW ¼ SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST, OF THE 6TH P.M., LARIMER COUNTY, COLORADO

10 / 02 / 2019

GENERAL NOTES

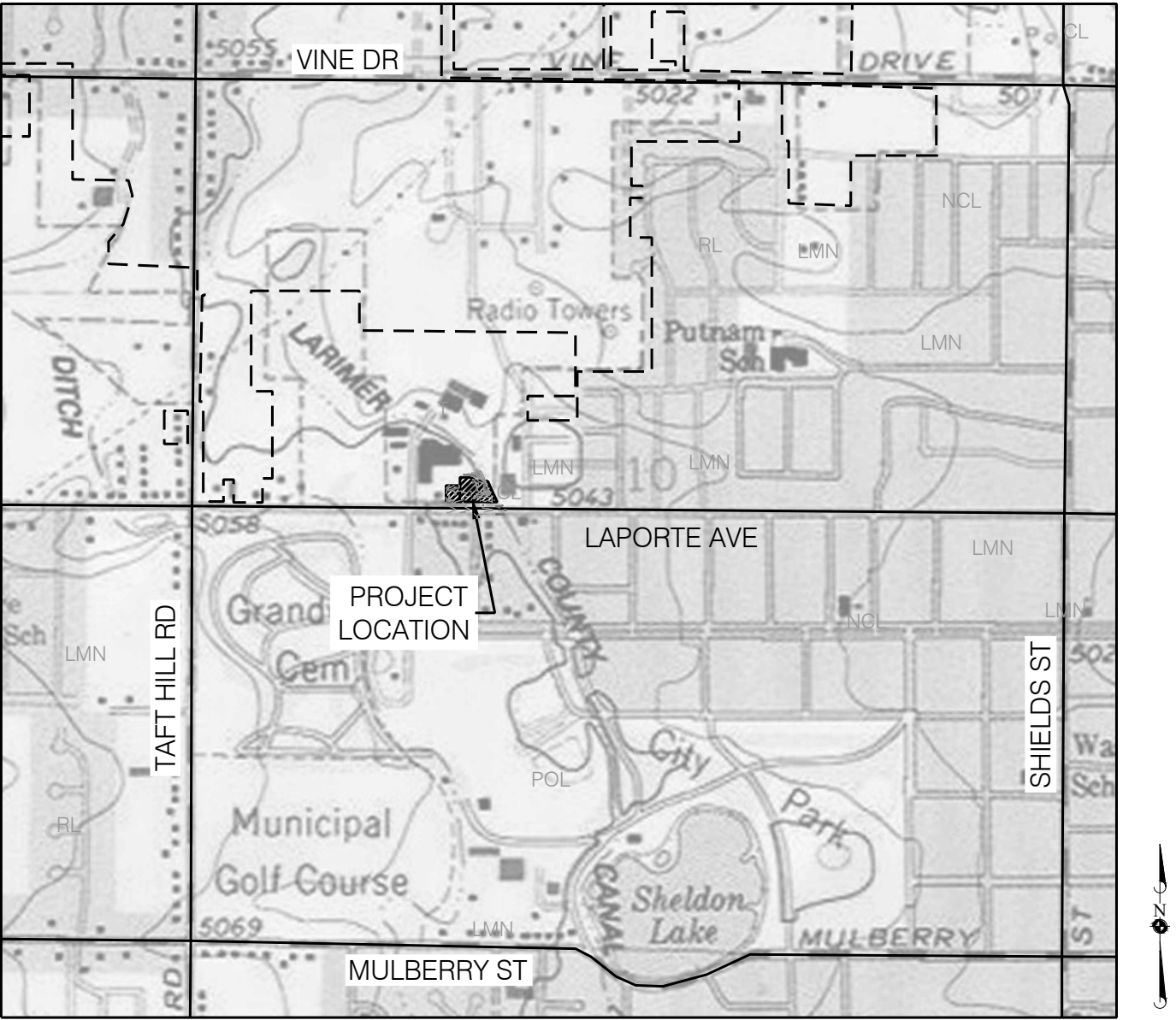
1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
2. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
3. THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY ENGINEER. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
4. THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE LOCAL ENTITY, AS BENEFICIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS BY THE LOCAL ENTITY ENGINEER SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE LOCAL ENTITY, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.
5. ALL SANITARY SEWER, STORM SEWER, AND WATER LINE CONSTRUCTION, AS WELL AS POWER AND OTHER "DRY" UTILITY INSTALLATIONS, SHALL CONFORM TO THE LOCAL ENTITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF APPROVAL OF THE PLANS BY THE LOCAL ENTITY ENGINEER.
6. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
7. THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH / IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. IT SHALL BE.
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
9. IF A CONFLICT EXISTS BETWEEN EXISTING AND PROPOSED UTILITIES AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
10. THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
11. NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE DEVELOPER NOTIFIES THE UTILITY PROVIDER. THE UTILITY PROVIDER SHALL BE A MINIMUM OF 2 WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
12. THE DEVELOPER SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
13. THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.
14. A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
15. THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, (303) 692-3590), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
16. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ONSITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).
17. PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE LOCAL ENTITY, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BE SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR SINGLE FAMILY UNITS. FOR COMMERCIAL PROPERTIES, CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT.
18. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES SUSTAINED IN THIS DEVELOPMENT AS A RESULT OF GROUNDWATER SEEPAGE, WHETHER RESULTING FROM GROUNDWATER.
19. ALL RECOMMENDATIONS OF THE FINAL DRAINAGE AND EROSION CONTROL STUDY IN THE FINAL DRAINAGE REPORT, 09/16/2019 BY AGPROFESSIONALS SHALL BE FOLLOWED AND IMPLEMENTED.
20. TEMPORARY EROSION CONTROL DURING CONSTRUCTION SHALL BE PROVIDED AS SHOWN ON THE EROSION CONTROL PLAN. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE DEVELOPER, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
21. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED WITHIN 24 HOURS BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
22. NO WORK MAY COMMENCE WITHIN ANY IMPROVED OR UNIMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE.
23. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEERING INSPECTOR (FORT COLLINS - 221-6605) AND THE LOCAL ENTITY EROSION CONTROL INSPECTOR (FORT COLLINS - 221-6700) AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE DEVELOPER MAY COMMENCE WORK IN THE ENGINEER ABSENCE, HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
24. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE AND PRIOR TO THE PLACEMENT OF CURB, GUTTER, SIDEWALK AND PAVEMENT. IF THE FINAL SOILS/PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBJECT PAVEMENT SECTION OR, THE DEVELOPER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTION(S). REGARDLESS OF THE OPTION USED, ALL FINAL SOILS/PAVEMENT DESIGN REPORTS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF 10 WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF CURB, GUTTER, SIDEWALK, BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE LOCAL ENTITY ENGINEER APPROVES THE FINAL REPORT.
25. THE CONTRACTOR SHALL HIRE A LICENSED ENGINEER OR LAND SURVEYOR TO SURVEY THE CONSTRUCTED ELEVATIONS OF THE STREET SUBGRADE AND THE GUTTER FLOWLINE AT ALL INTERSECTIONS, INLETS, AND OTHER LOCATIONS REQUESTED BY THE LOCAL ENTITY INSPECTOR. THE ENGINEER OR SURVEYOR MUST CERTIFY IN A LETTER TO THE LOCAL ENTITY THAT THESE ELEVATIONS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ANY DEVIATIONS SHALL BE NOTED IN THE LETTER AND THEN RESOLVED WITH THE LOCAL ENTITY BEFORE INSTALLATION OF BASE COURSE OR ASPHALT WILL BE ALLOWED ON THE STREETS.
26. ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW RESIDENTIAL ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK EXCEPT C/G ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE STUBBED TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
27. PORTIONS OF LARIMER COUNTY ARE WITHIN OVERLAY DISTRICTS. THE LARIMER COUNTY FLOODPLAIN RESOLUTION SHOULD BE REFERRED TO FOR ADDITIONAL CRITERIA FOR ROADS WITHIN THESE DISTRICTS.
28. ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAT APPROVAL.
29. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE LOCAL ENTITY FORESTER TO SCHEDULE A SITE INSPECTION FOR ANY TREE REMOVAL REQUIRING A PERMIT.
30. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.

31. THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
32. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNS OF ANY TYPE, THE CONTRACTOR SHALL CONTACT LOCAL ENTITY TRAFFIC OPERATIONS DEPARTMENT, WHO WILL TEMPORARILY REMOVE OR RELOCATE THE SIGN AT NO COST TO THE CONTRACTOR, HOWEVER, IF THE CONTRACTOR MOVES THE TRAFFIC SIGN THEN THE CONTRACTOR WILL BE CHARGED FOR THE LABOR, MATERIALS AND EQUIPMENT TO REINSTALL THE SIGN AS NEEDED.
33. THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR THE INITIAL INSTALLATION OF TRAFFIC SIGNING AND STRIPING FOR THE DEVELOPMENT RELATED TO THE DEVELOPMENT'S LOCAL STREET OPERATIONS. IN ADDITION, THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR TRAFFIC SIGNING AND STRIPING RELATED TO DIRECTING TRAFFIC ACCESS TO AND FROM THE DEVELOPMENT.
34. THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.
35. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
36. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
37. THE DEVELOPER SHALL HAVE, ONSITE AT ALL TIMES, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
38. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
39. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES. UPON COMPLETION OF THE WORK, THE CONTRACTOR(S) SHALL SUBMIT RECORD DRAWINGS TO THE LOCAL ENTITY ENGINEER.
40. THE DESIGNER SHALL PROVIDE, IN THIS LOCATION ON THE PLAN, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARKS (2) FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS. THE INFORMATION SHALL BE AS FOLLOWS:

BENCHMARKS — LOCAL ENTITY SURVEY.
B.M. NUMBER: LL1030 ELEV. =5010.39,
DESCRIPTION: NGS MONUMENT.

41. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
42. DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS. PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
43. WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE LOCAL ENTITY CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ENTITY STREET REPAIR STANDARDS. THE FINISHED PATCH SHALL BLEND IN SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE LOCAL ENTITY ENGINEER AND/OR THE LOCAL ENTITY INSPECTOR AT THE TIME THE CUTS ARE MADE.
44. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
45. STANDARD HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.
46. AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A MINIMUM PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.
47. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTENANT IMPROVEMENTS, INCLUDING STORM DRAINAGE STRUCTURES AND PIPES, FOR THE FOLLOWING PRIVATE STREETS: N / A
48. APPROVED VARIANCES ARE LISTED AS FOLLOWS:

THE REQUEST TO ALLOW FOR TWO ACCESS POINTS OUT TO LAPORTE AVENUE WHICH DO NOT CONFORM TO LCJASS CHAPTER 9 ACCESS RESTRICTION AND SPACING STANDARDS IS APPROVED. THE ACCESS ON THE EAST SIDE OF THE SITE SHALL BE FOR EMPLOYEE AND BUSINESS OPERATION USE ONLY AND SHALL NOT BE FOR PUBLIC USE. UPON FURTHER DEVELOPMENT OF THE PROPERTY, THE ACCESS POINT MAY BE REEVALUATED IN CONJUNCTION WITH ANY SITE OR USE CHANGES.



VICINITY MAP

SCALE: 1" = 1000'

ENGINEER STATEMENT

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE CITY OF FORT COLLINS AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DESIGN, REVISIONS, AND RECORD CONDITIONS THAT I HAVE NOTED ON THESE PLANS.

INDEMNITY STATEMENT

THESE PLANS HAVE BEEN REVIEWED BY THE LOCAL ENTITY FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE LOCAL ENTITY ENGINEER, OR THE LOCAL ENTITY FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED FOR ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE LOCAL ENTITY FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

SHEET INDEX

SHEET NO.	SHEET TITLE
G-1	COVER SHEET
G-2	CONSTRUCTION NOTES
E-1	EXISTING CONDITIONS & DEMOLITION PLAN
GR-1	GRADING & EROSION CONTROL PLAN
GR-2	GRADING DETAILS
UT-1	UTILITY PLAN
UT-2	UTILITY DETAILS
DR-2	DRAINAGE PLAN
RD-1	LAPORTE AVE PLAN & PROFILE
RD-2	ROAD DETAILS

PROJECT INFORMATION

PROJECT LOCATION:
1800-1804 LAPORTE AVENUE,
FORT COLLINS, CO 80521

PROPERTY OWNER:
STODGY BREWING CO., LLC
1205 COLUMBINE COURT, FORT
COLLINS, CO 80521
PH. # 714-348-2007

PLANNER / ENGINEER / PREPARED BY:
AGPROFESSIONALS
CHAD TEVELDE, PE
3050 67TH AVE
GREELEY, CO 80634
PH. # 970-535-9318
Fax. # 970-535-9854

SURVEYOR:
HAMMER LAND SURVEYING, INC.
3050 67TH AVE, SUITE 200
GREELEY, CO 80634
PH. # 970-535-9318

PROJECT NUMBER:
AGPRO PROJECT # 2769-02

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____	City Engineer	_____	Date
CHECKED BY: _____	Water & Wastewater Utility	_____	Date
CHECKED BY: _____	Stormwater Utility	_____	Date
CHECKED BY: _____	Parks & Recreation	_____	Date
CHECKED BY: _____	Traffic Engineer	_____	Date
CHECKED BY: _____	Environmental Planner	_____	Date

COVER SHEET

STODGY BREWING CO., LLC
COVER SHEET

SHEET:

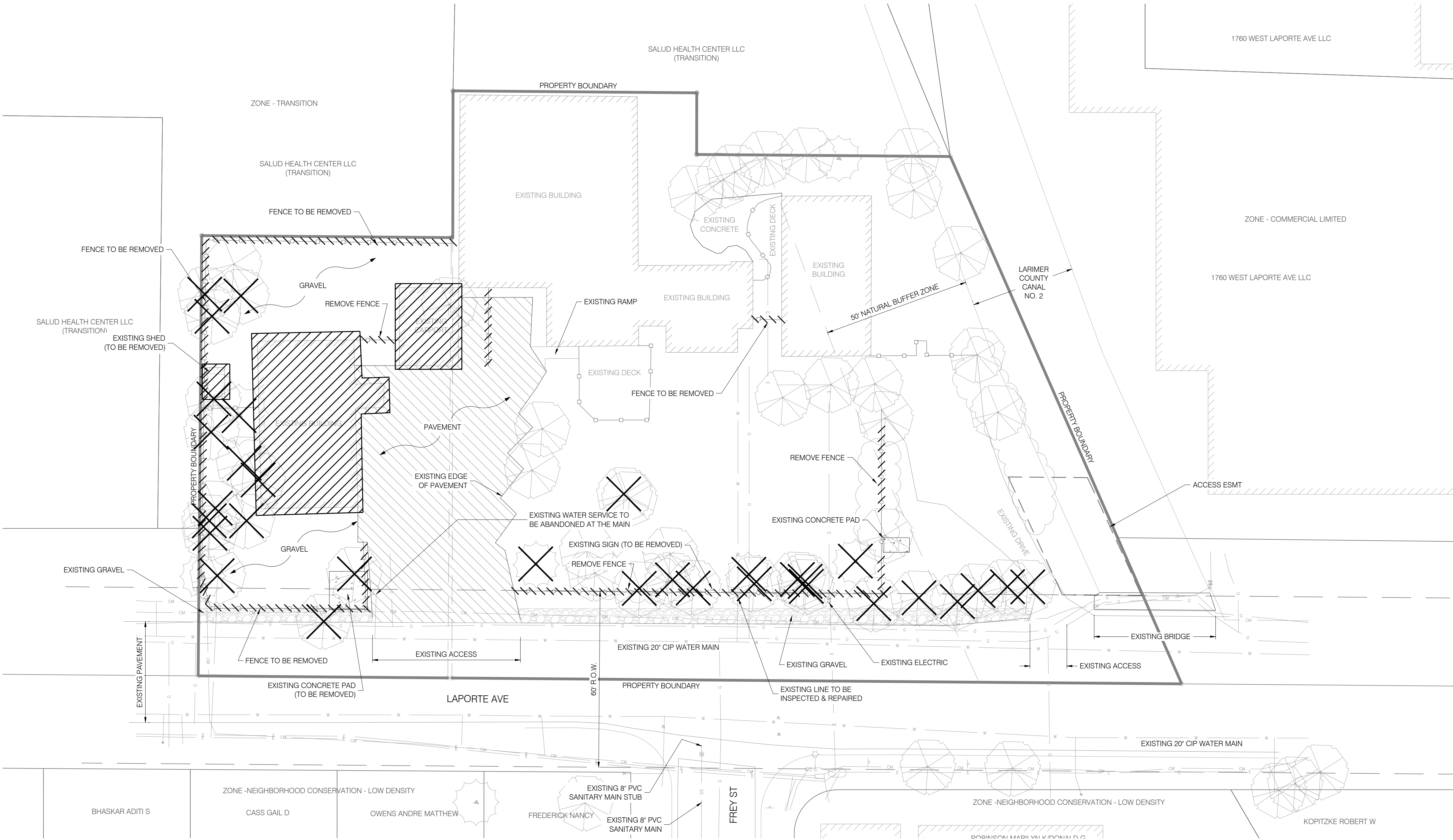
G-1

SHEET 1 OF 10

BEING A PART OF THE SE 1/4 OF THE NW ¼ SECTION 10, TOWNSHIP 7 NORTH, RANGE 69 WEST, OF THE 6TH P.M., LARIMER COUNTY, COLORADO

SHEET 2 OF 10

EXISTING CONDITIONS & DEMOLITION PLAN



City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

LEGEND

EXISTING FENCE

REMOVE FENCE

REMOVE STRUCTURE

REMOVE TREE / SHRUB

STODGY BREWING CO., LLC
EXISTING CONDITIONS &
DEMOLITION PLAN
FT COLLINS, CO



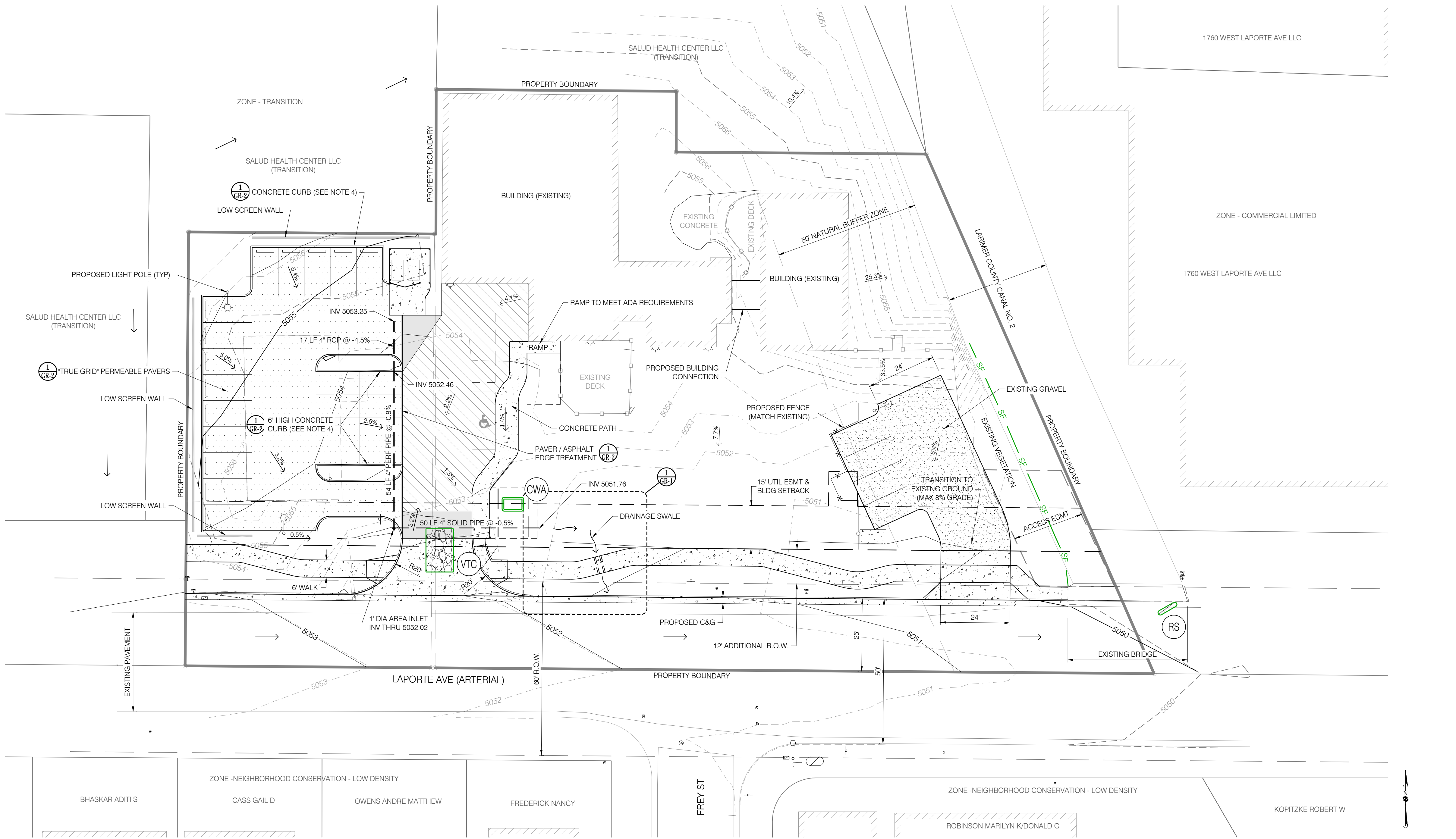
AGPROprofessionals
DEVELOPERS OF AGRICULTURE

3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854



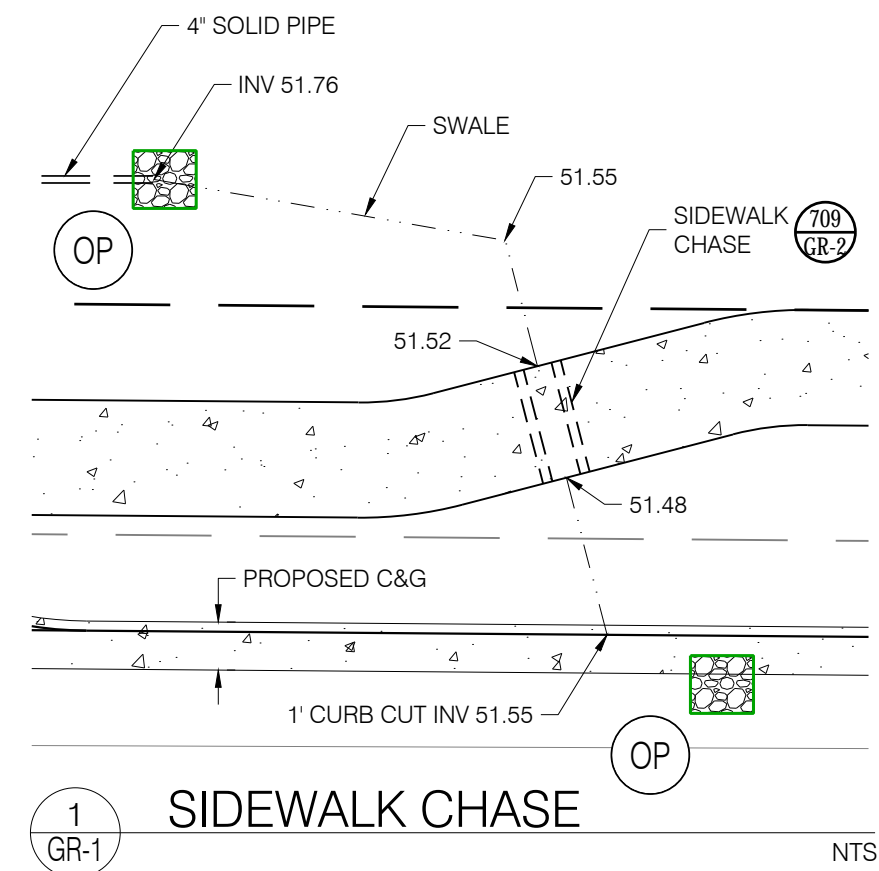
DATE: October 29, 2019		DRAWN BY: AGPRO				
REVISIONS:						
R1	DESC					-/-/-
R2	DESC					-/-/-
R3	DESC					-/-/-
R4	DESC					-/-/-
R5	DESC					-/-/-

GRADING & EROSION CONTROL PLAN



LEGEND	
	EXISTING GROUND SURFACE CONTOUR AND ELEVATION, FT
	PROPOSED GROUND SURFACE CONTOUR AND ELEVATION, FT
	EXISTING ASPHALT
	PROPOSED ASPHALT
	PROPOSED PAVERS
	SILT FENCE
	ROCK SOCK
	CONCRETE WASHOUT AREA
	OUTLET PROTECTION
	VEHICLE TRACKING CONTROL
	FLOW DIRECTION AND SLOPE

- NOTE**
- NO 100-YR FLOODPLAIN MAPPED IN THIS AREA.
 - TRUEGRID MAINTENANCE NOTES:
 - SURFACE SHOULD BE INSPECTED TO IDENTIFY SIGNS OF SLIGHT CELL INFILL LOSS. A 0.5 INCH SURCHARGE OF AGGREGATE SHALL BE MAINTAINED AS A SURFACE WEAR COURSE.
 - ASPHALT ADJACENT TO THE TRUEGRID PAVERS WILL ROUTINELY BE INSPECTED FOR LOOSE GRAVEL AND SWEEP AS NEEDED TO REMOVE LOOSE GRAVEL.
 - MONITOR PAVEMENT TO ENSURE TRAFFIC FREQUENCY AND LOADING DOES NOT EXCEED THE PAVEMENT DESIGN.
 - WHEN SNOW REMOVAL IS REQUIRED, KEEP A METAL EDGED PLOW BLADE FROM COMING IN CONTACT WITH THE SURFACE DURING PLOWING OPERATIONS. USE A PLOW BLADE A MINIMUM OF 1 INCH ABOVE THE SURFACE AND WITH A FLEXIBLE RUBBER EDGE OR WITH SIDES ON THE LOWER OUTSIDE CORNERS SO THE PLOW BLADE DOES NOT COME IN CONTACT WITH THE PAVERS.
 - PONDING, RUTTING OR POOLING SHOULD NOT OCCUR. HOWEVER, ROUTINE INSPECTIONS SHOULD BE PERFORMED TO ENSURE THE TRUEGRID PAVERS ARE PERFORMING AS DESIGNED.
 - SEE SHEET GR-2 FOR TYPICAL DETAILS
 - TRUE GRID PAVERS EDGE TREATMENT SHALL BE CONCRETE. ALL CONCRETE SHALL BE THE SAME ELEVATION AS ADJACENT PAVERS EXCEPT WHERE SHOWN. SEE DETAIL 1, SHEET GR-2.



City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

STODGY BREWING CO., LLC
GRADING & EROSION CONTROL PLAN
FT COLLINS, CO

SHEET:
GR-1

SHEET 4 OF 10

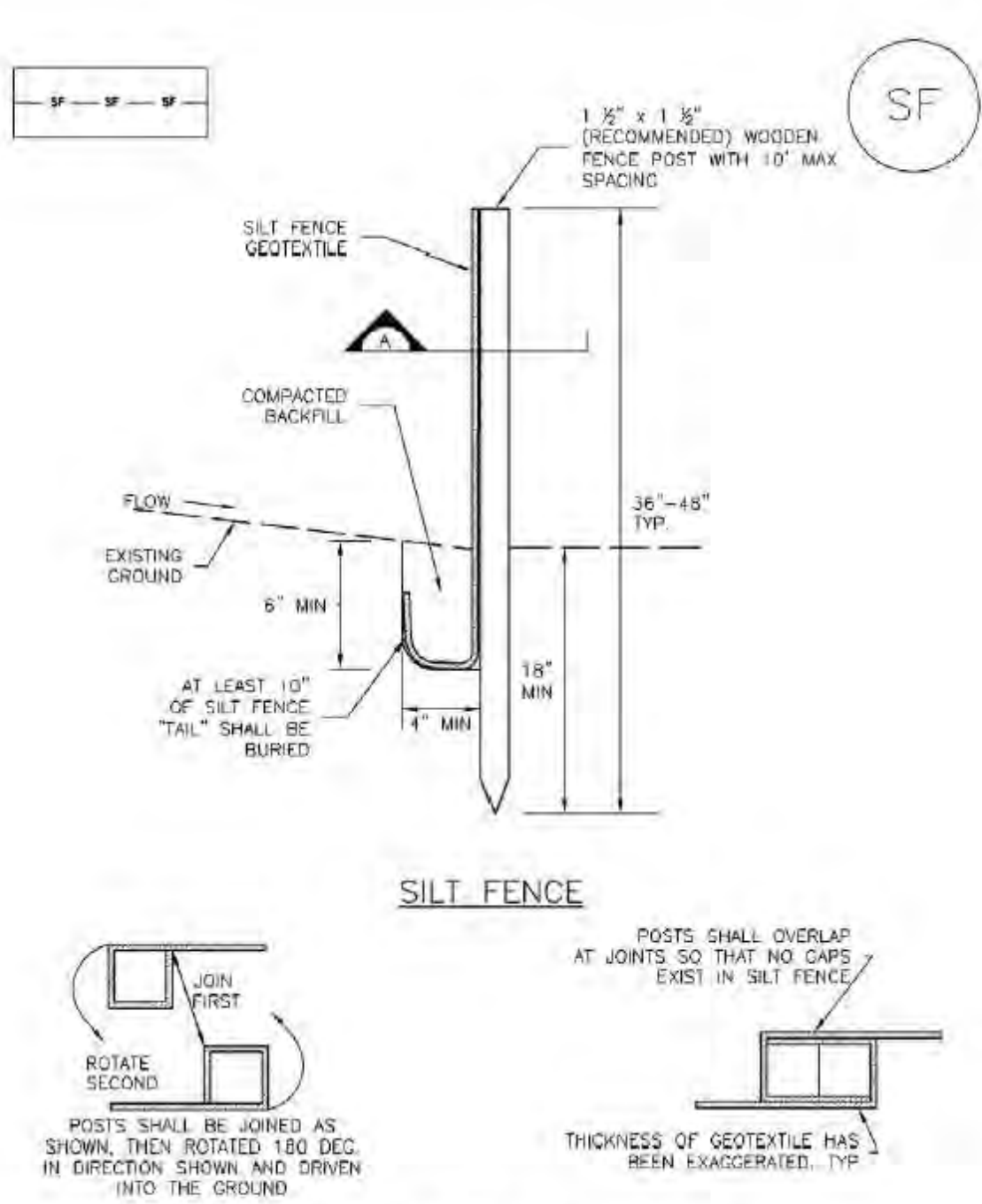


AGPROfessionals
DEVELOPERS OF AGRICULTURE
3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854



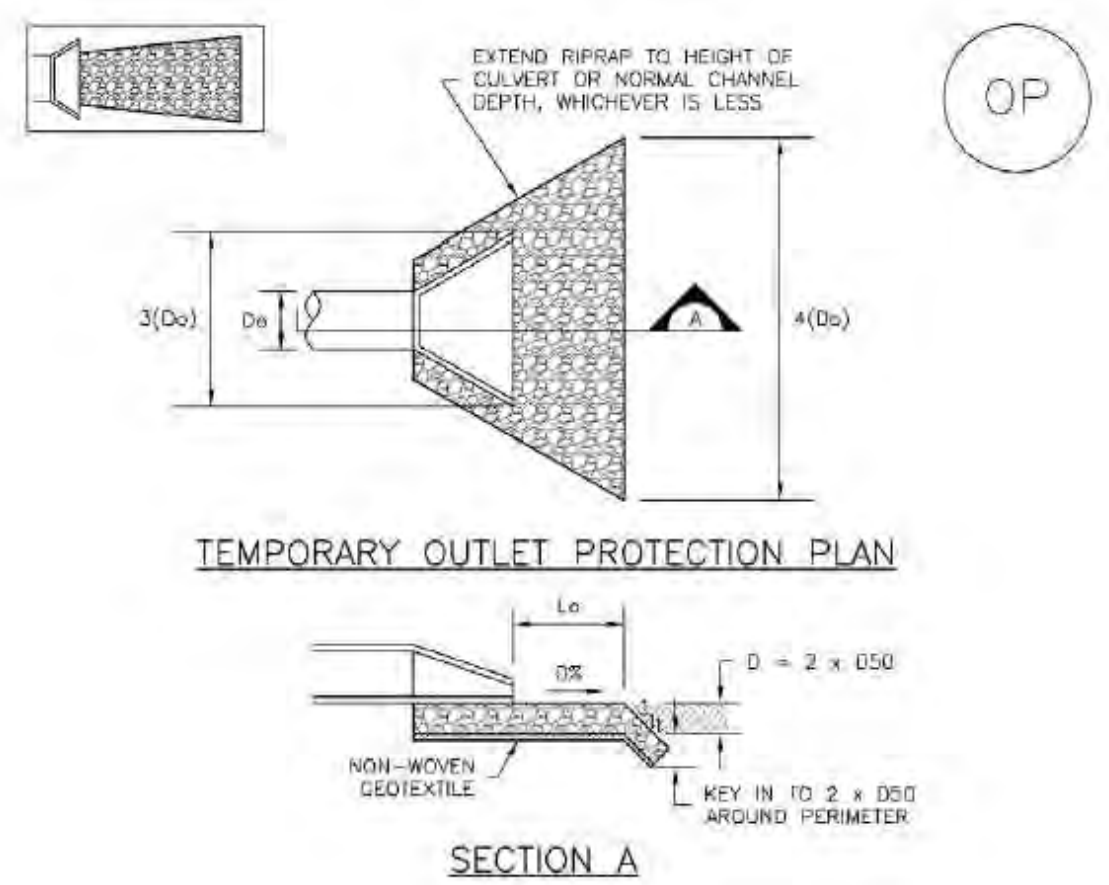
REVISIONS	
DATE	October 29, 2019
BY	DESC
R1	DESC
R2	DESC
R3	DESC
R4	DESC
R5	DESC

Silt Fence (SF) SC-1



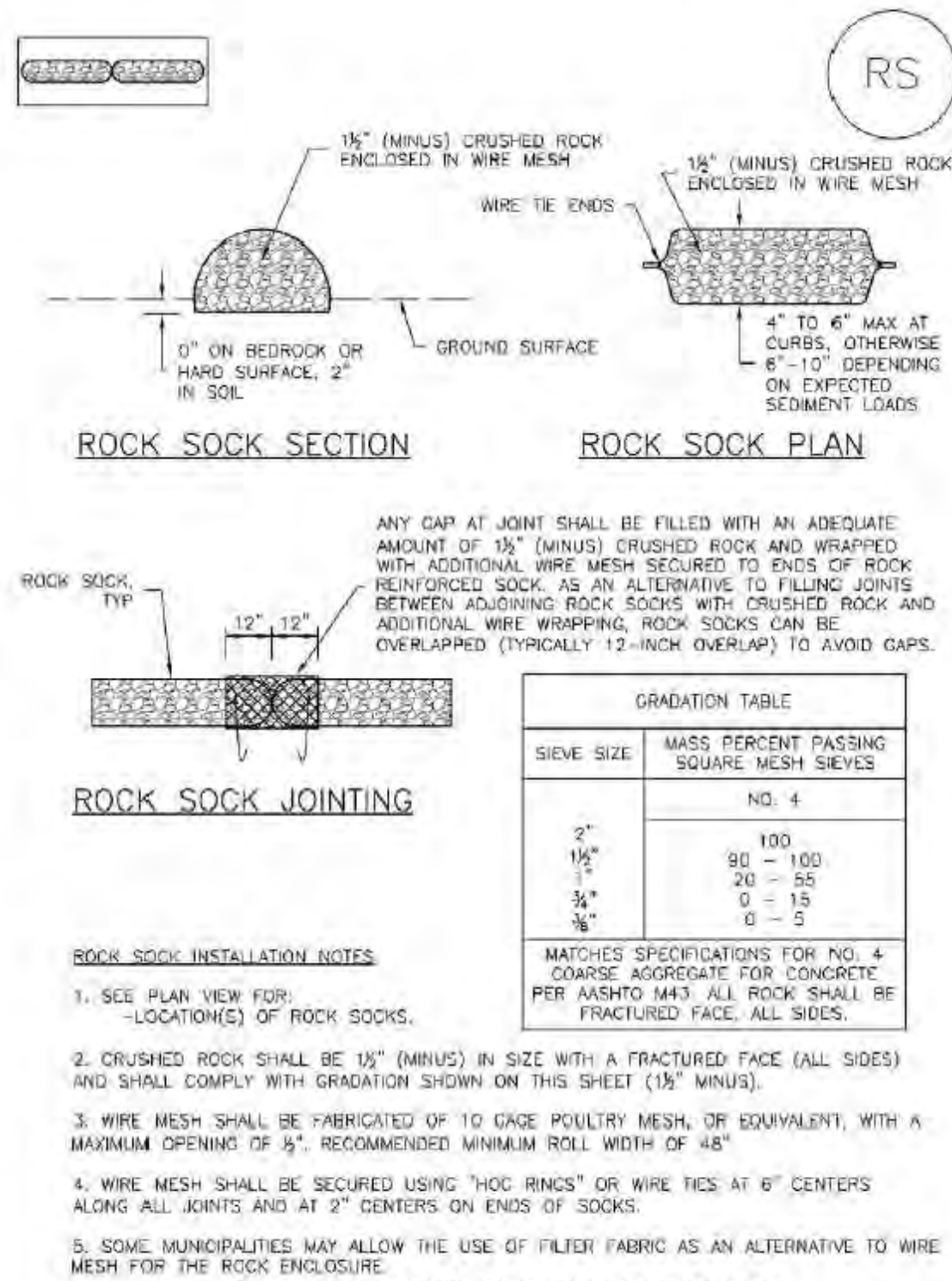
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

EC-8 Temporary Outlet Protection (TOP) OP



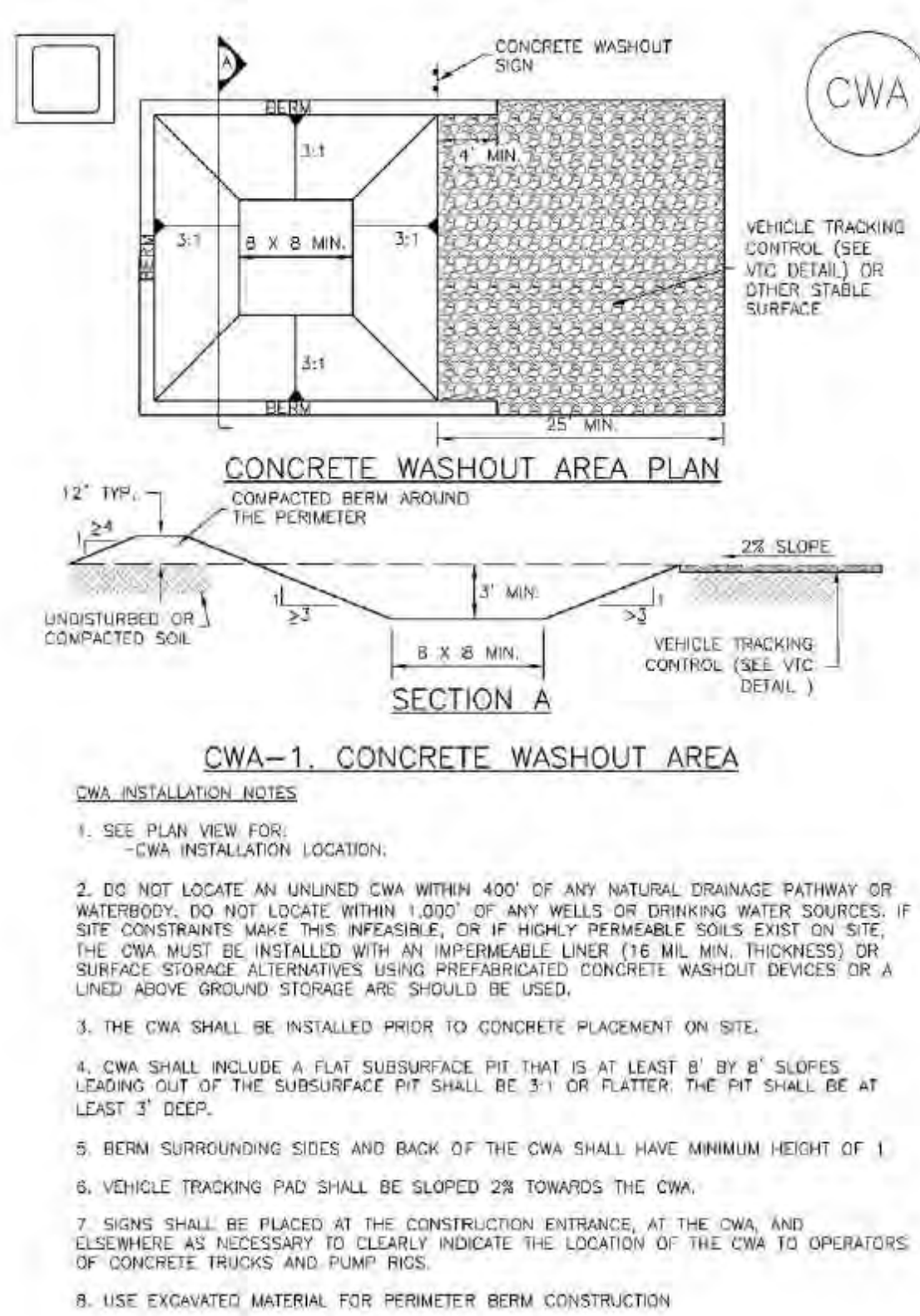
TOP-2 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

SC-5 Rock Sock (RS)



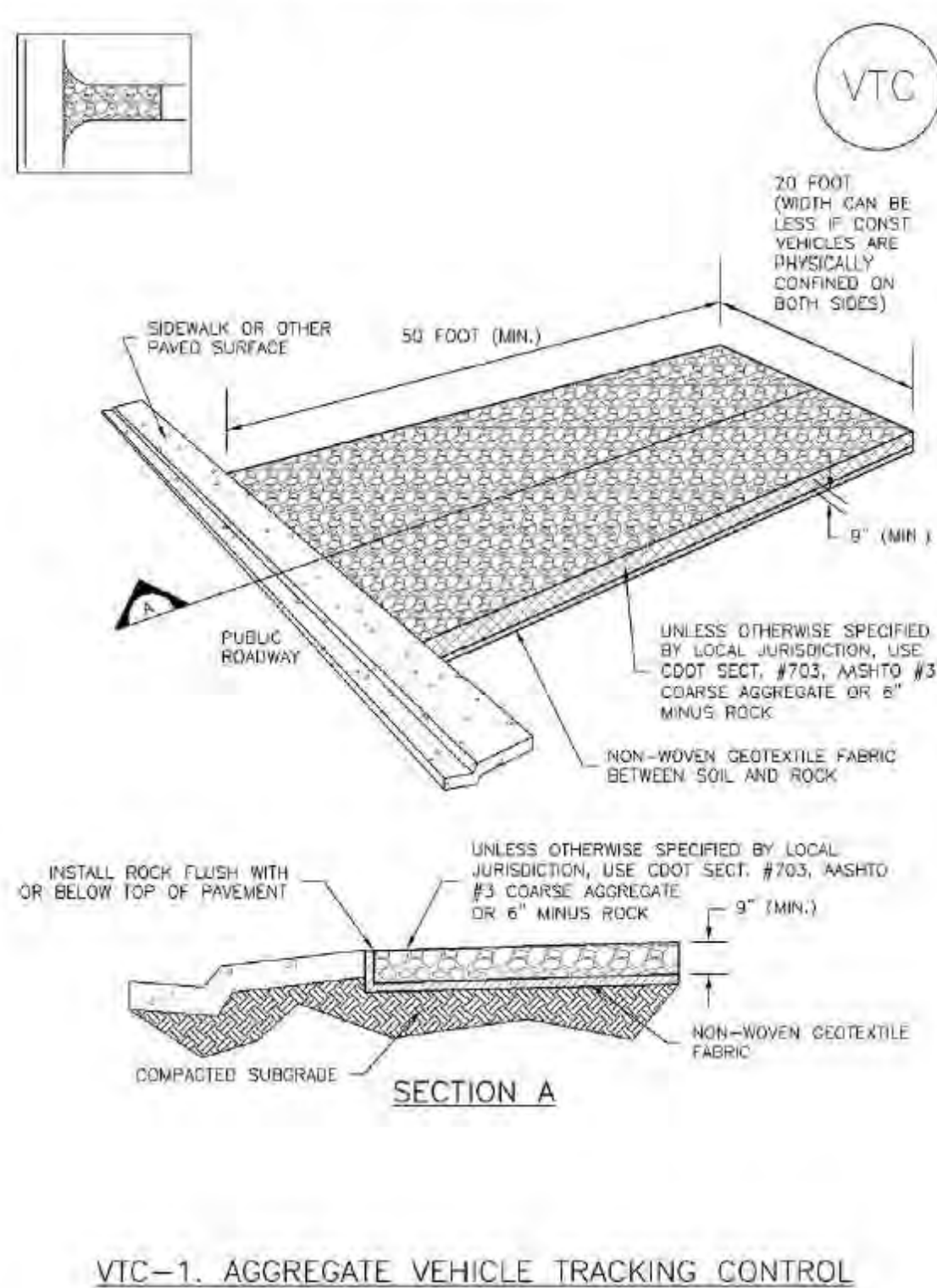
RS-2 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Concrete Washout Area (CWA) MM-1

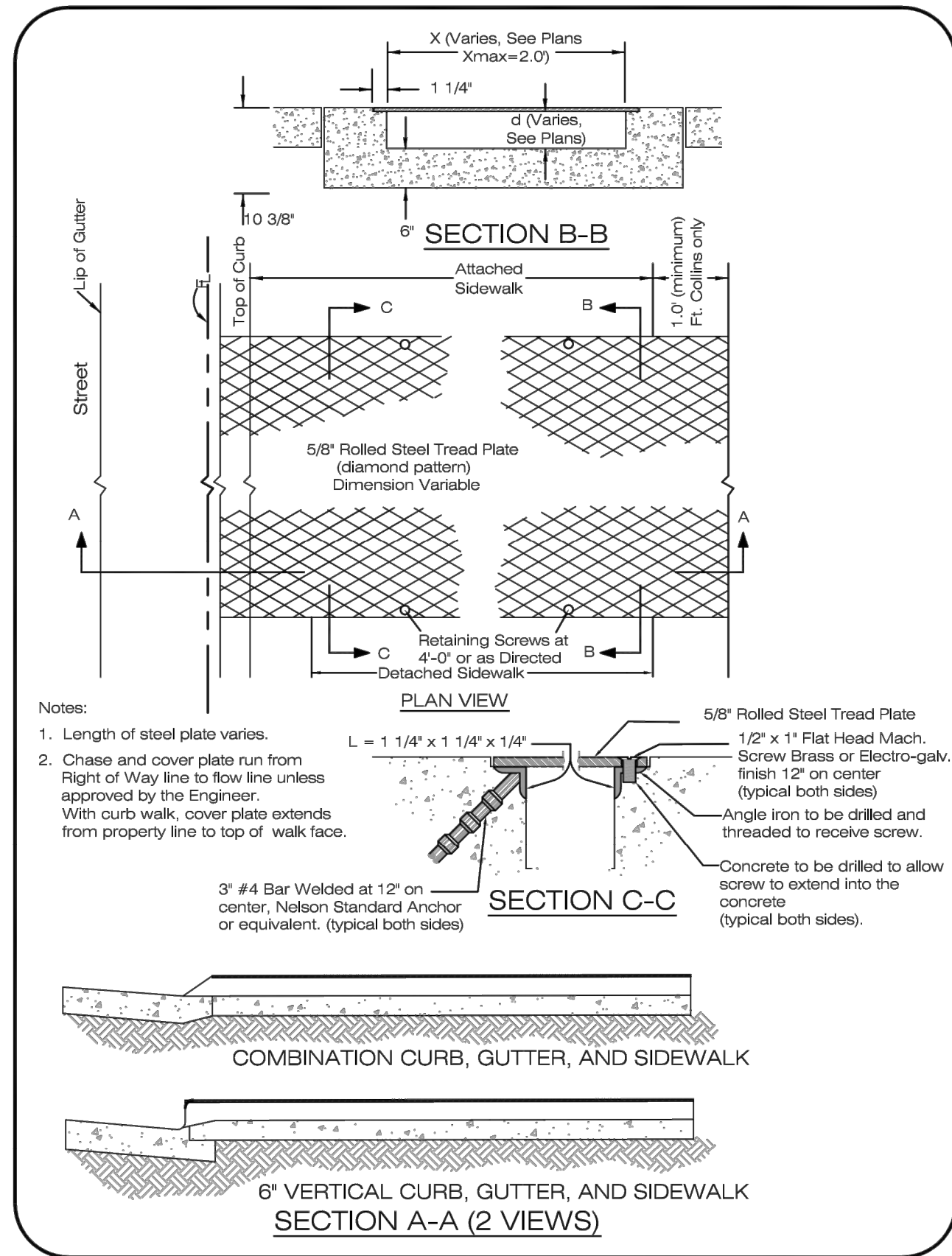


November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-3

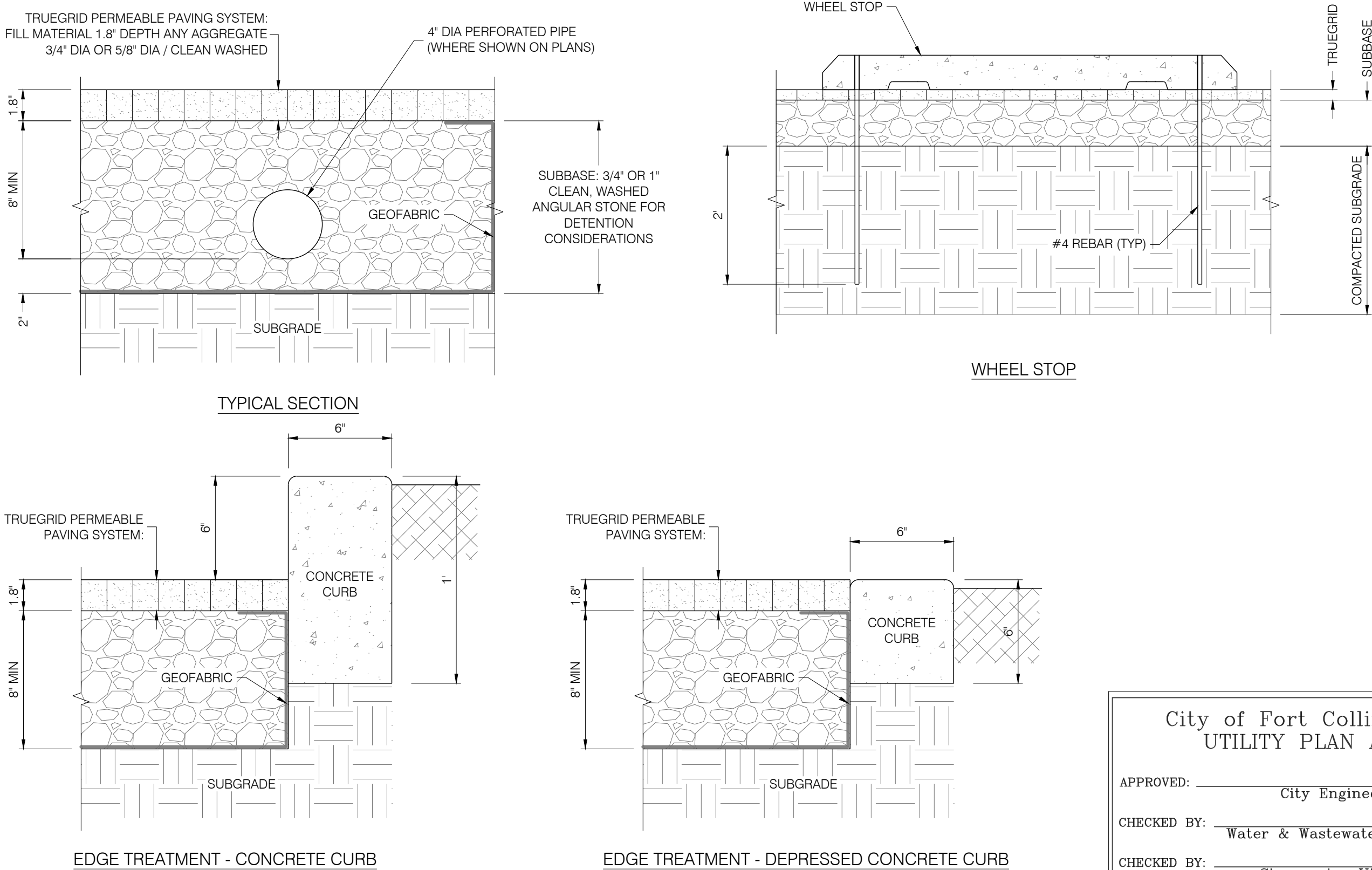
Vehicle Tracking Control (VTC) SM-4



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

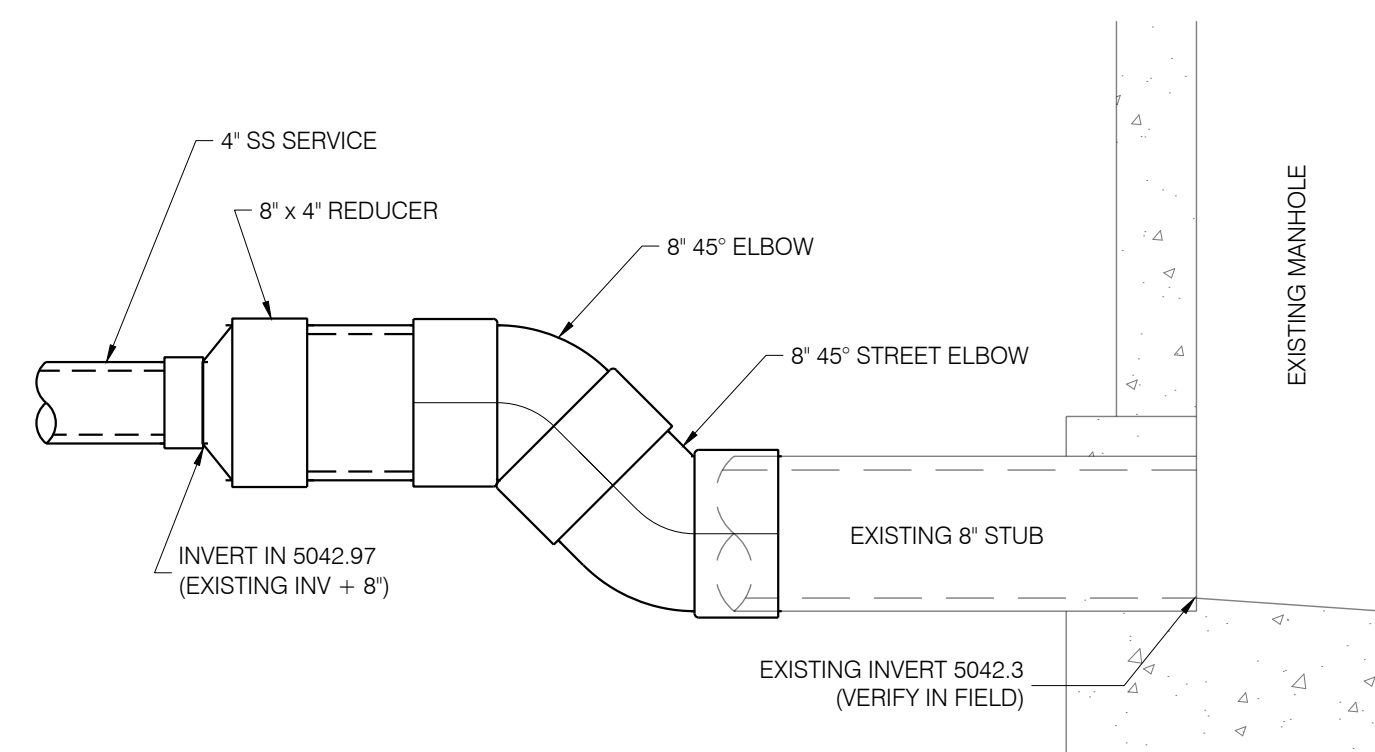
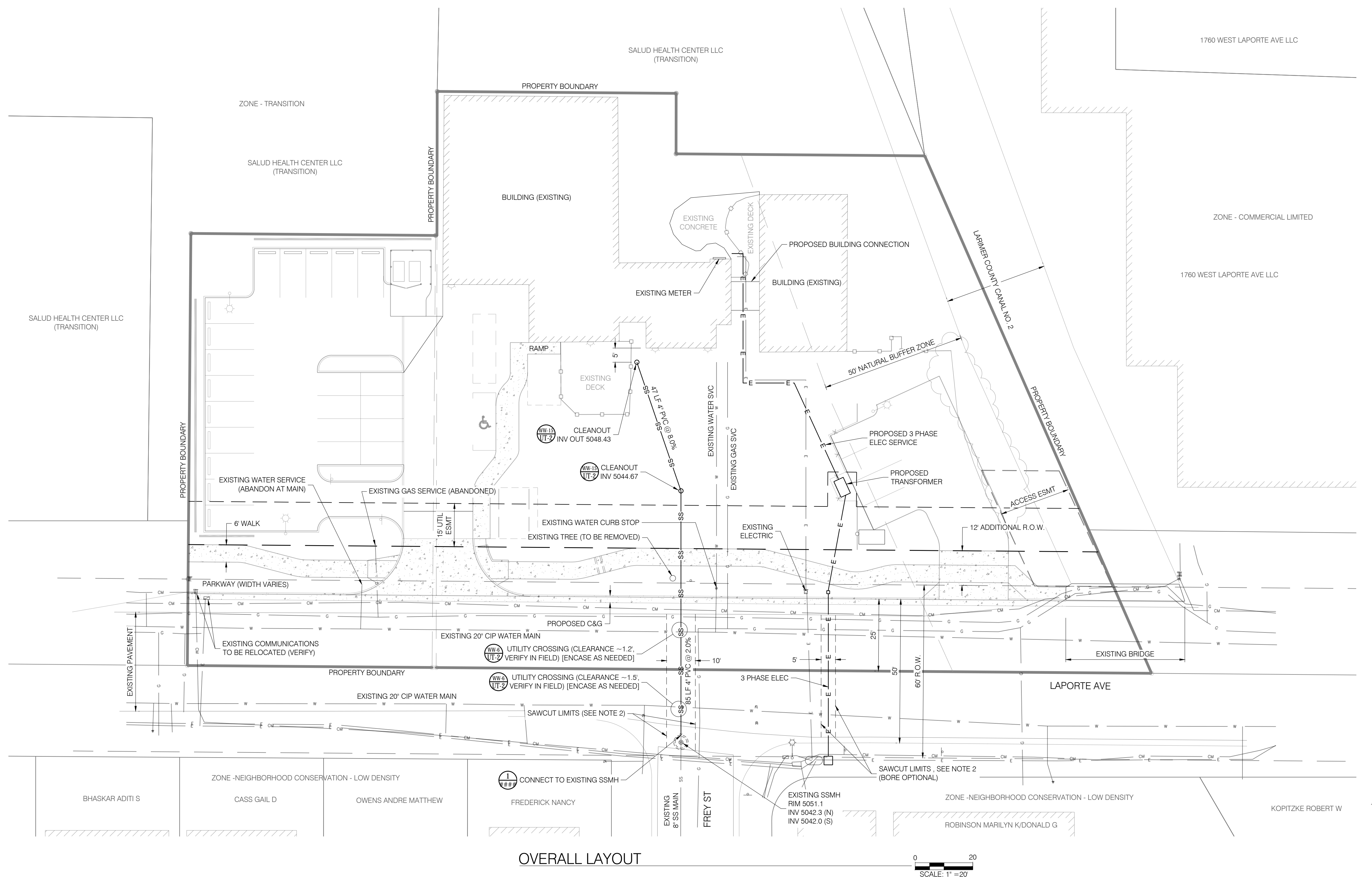


STANDARD DETAILS FOR DRAINAGE UNDER SIDEWALK			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1	DRAWING 709
		DATE: 04/01/07	






City of Fort Collins, Colorado UTILITY PLAN APPROVAL			
APPROVED:	City Engineer	Date	
CHECKED BY:	Water & Wastewater Utility	Date	
CHECKED BY:	Stormwater Utility	Date	
CHECKED BY:	Parks & Recreation	Date	
CHECKED BY:	Traffic Engineer	Date	
CHECKED BY:	Environmental Planner	Date	

UTILITY PLAN



1 SANITARY SERVICE TO MANHOLE CONNECTION

LEGEND

- | | |
|---|---------------------|
|  | PROPERTY BOUNDARY |
|  | RIGHT-OF-WAY |
|  | EXISTING EASEMENT |
| | PROPOSED SS SERVICE |
| | PROPOSED ELECTRIC |

NOTES

1. SEE SHEET UT-2 FOR TYPICAL DETAILS.
2. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH THE CITY STREET REPAIR STANDARDS.

<p align="center">City of Fort Collins, Colorado UTILITY PLAN APPROVAL</p>		
APPROVED:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY:	_____	_____
	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date

STODGY BREWING CO., LLC
UTILITY PLAN
FT COLLINS, CO

AGPROessionals
DEVELOPERS OF AGRICULTURE

3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • fax: (970) 535-9854



SHEET:

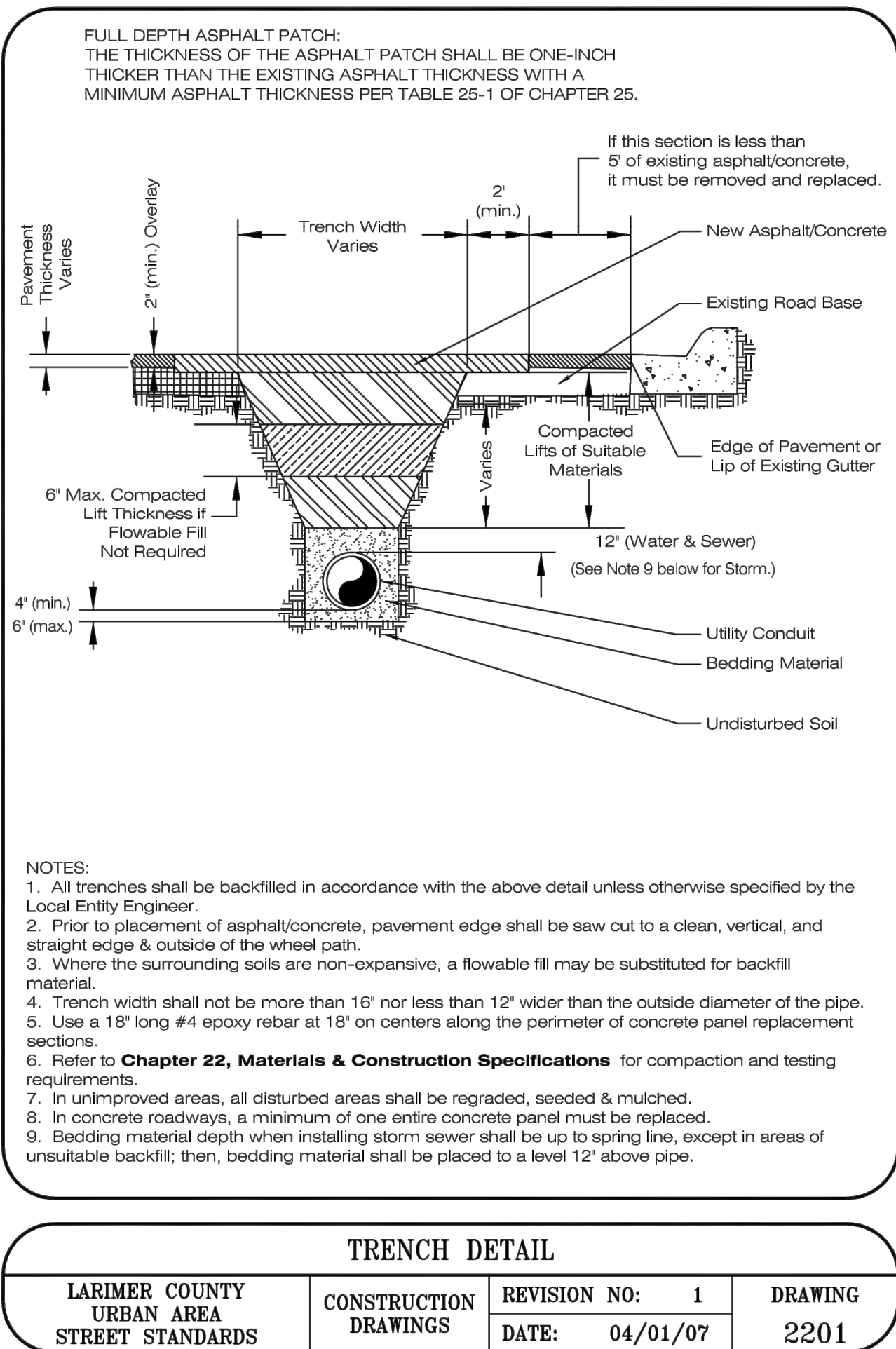
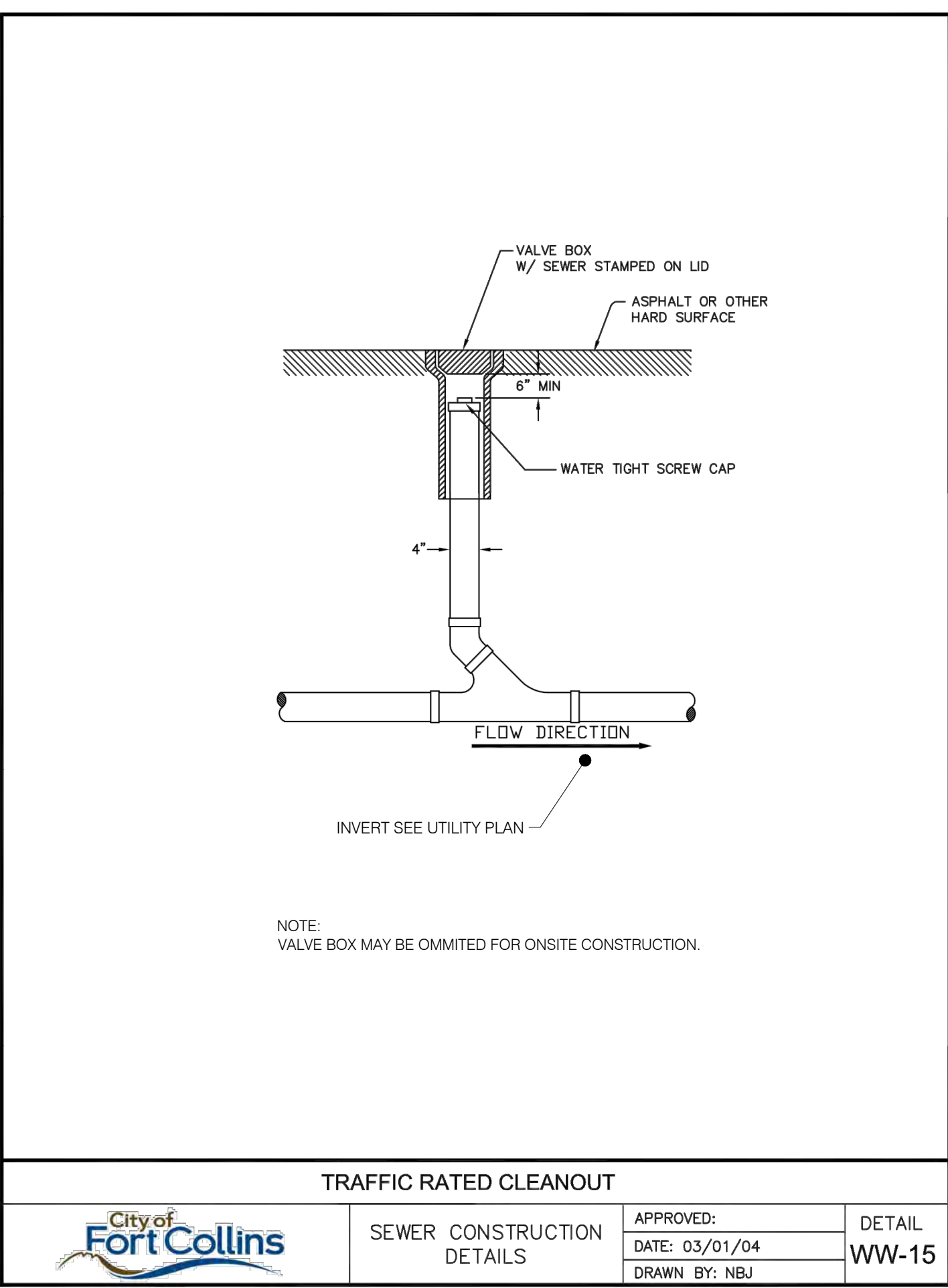
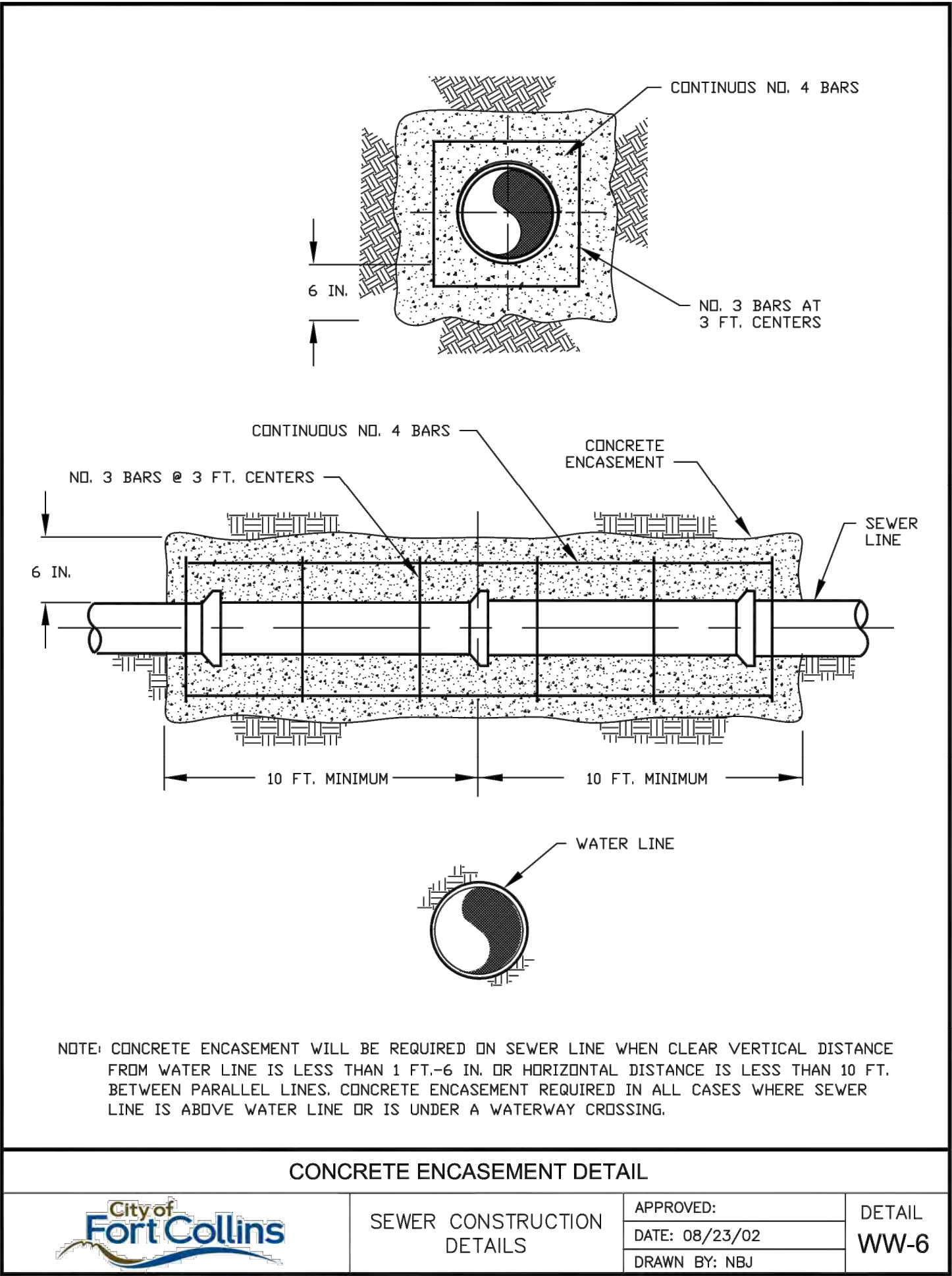
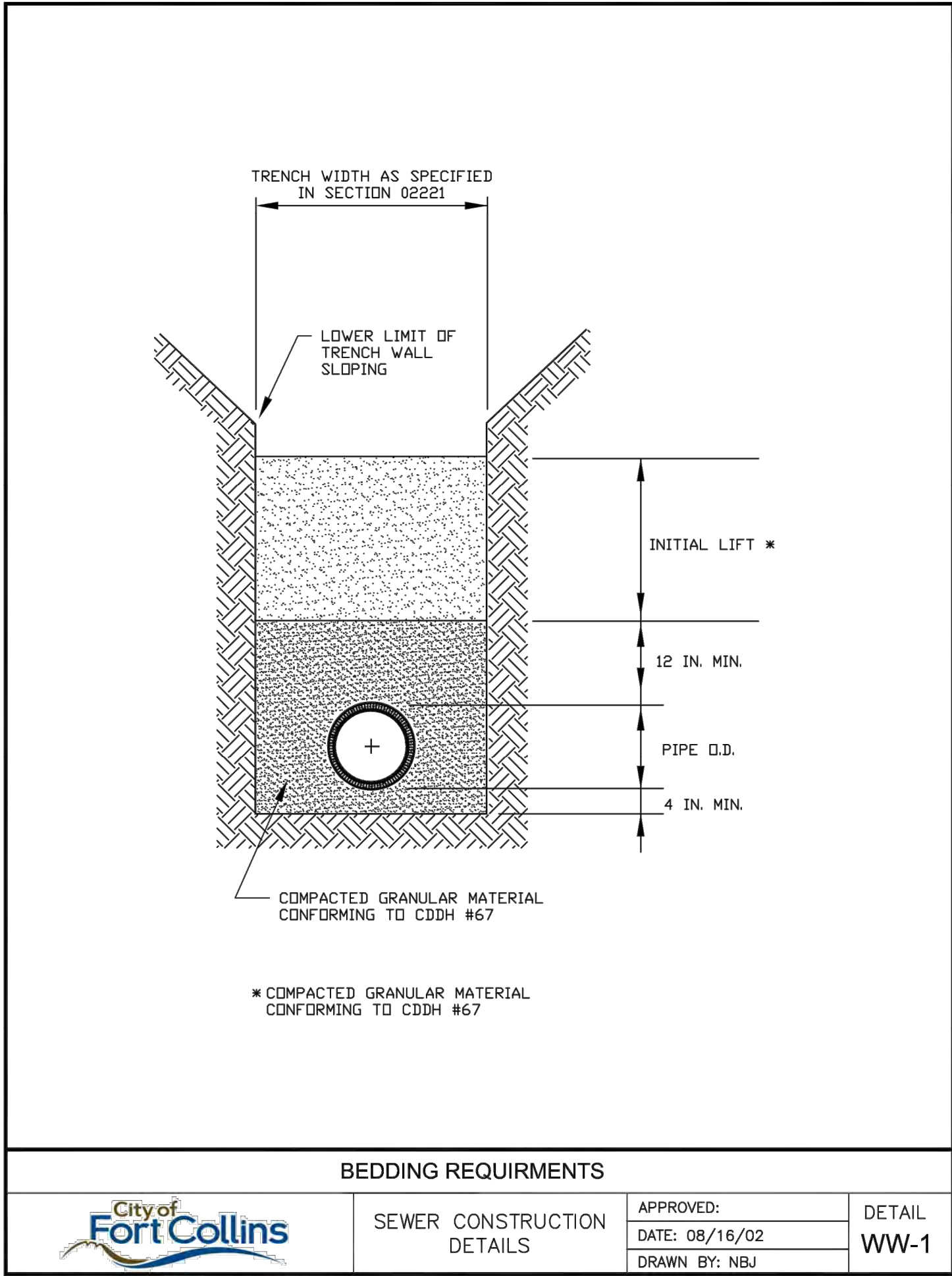
UT-1

SHEET # OF 10

DATE:	October 29, 2019	DRAWN BY: AGPRO	
		REVISIONS:	
R1	DESC		--f--f--
R2	DESC		--f--f--
R3	DESC		--f--f--
R4	DESC		--f--f--
R5	DESC		--f--f--



UTILITY DETAILS



City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

STODGY BREWING CO., LLC
UTILITY DETAILS
FT COLLINS, CO

AGPROprofessionals
DEVELOPERS OF AGRICULTURE

3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854

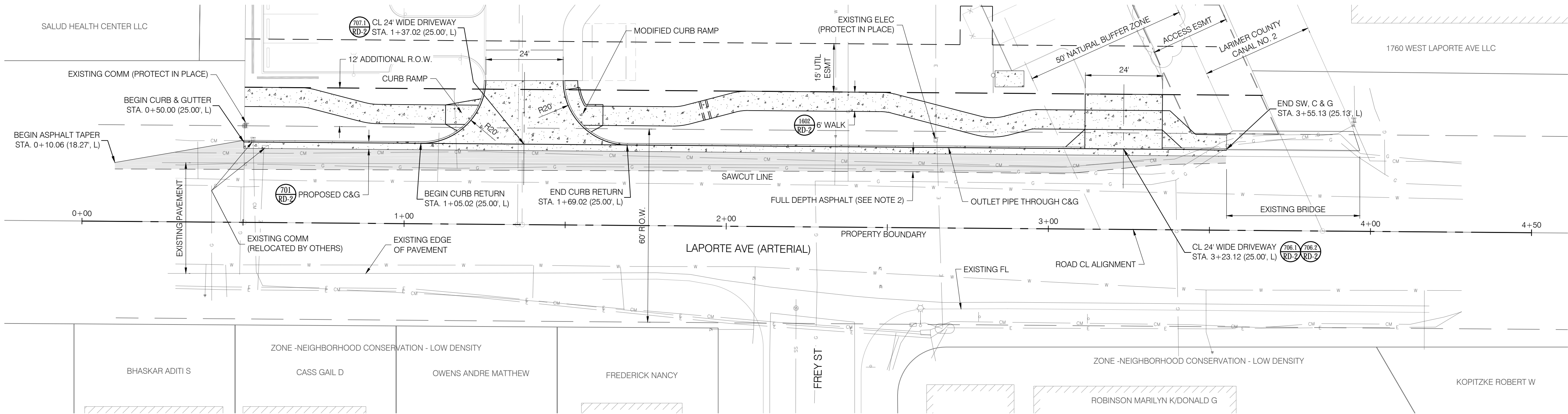
811
CALL 811
(COM)

DATE: October 29, 2019

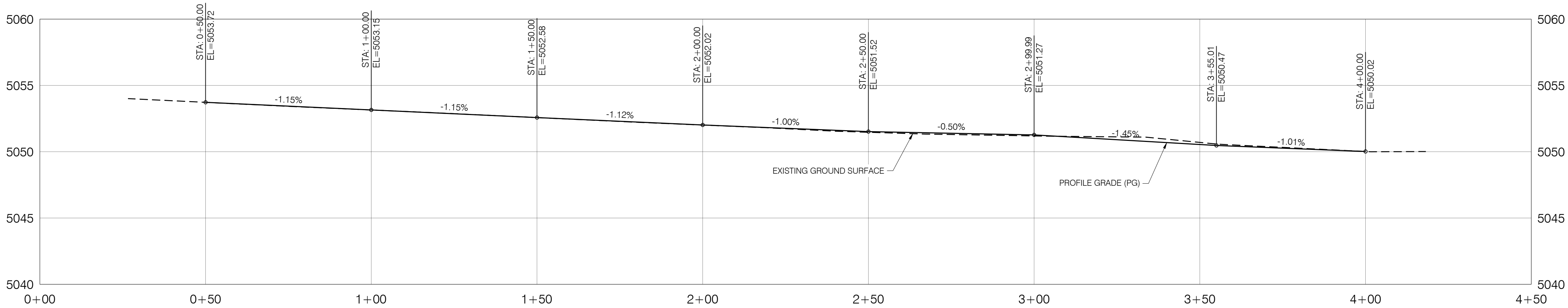
REVISIONS:				
REV	DESC	REV	DESC	REV
R1	DESC	R2	DESC	R3
R4	DESC	R5	DESC	



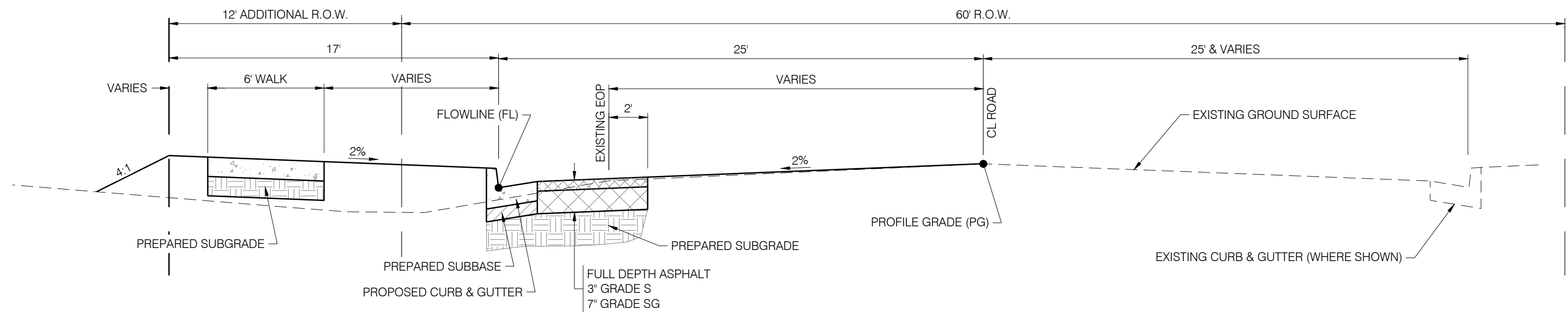
SHEET 8 OF 10



PLAN VIEW



PROFILE VIEW



TYPICAL ROAD CROSS SECTION (LAPORTE AVE)

NTS

NOTE

1. SEE SHEET RD-2 FOR TYPICAL DETAILS.
2. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.



AGPROprofessionals
DEVELOPERS OF AGRICULTURE

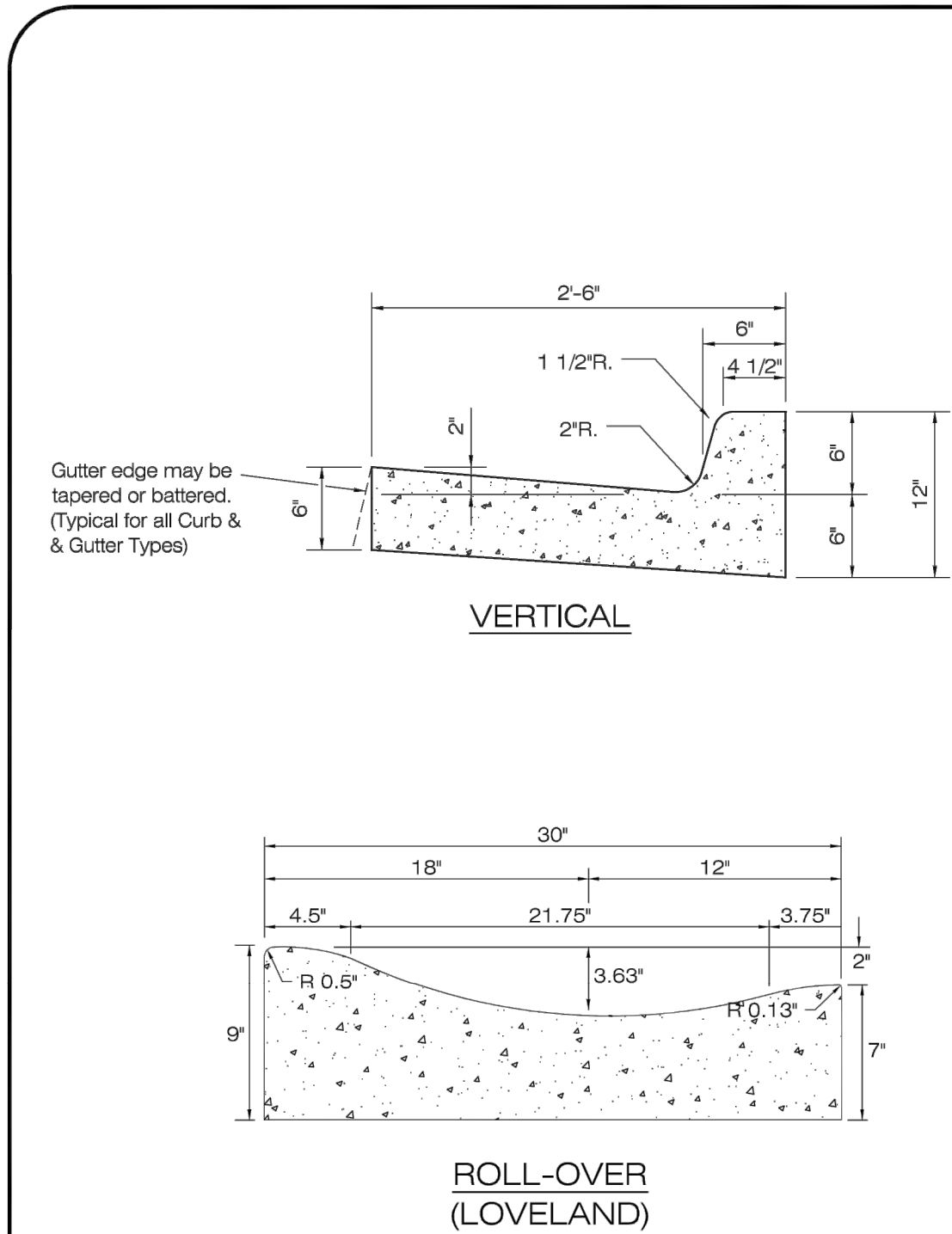
3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854



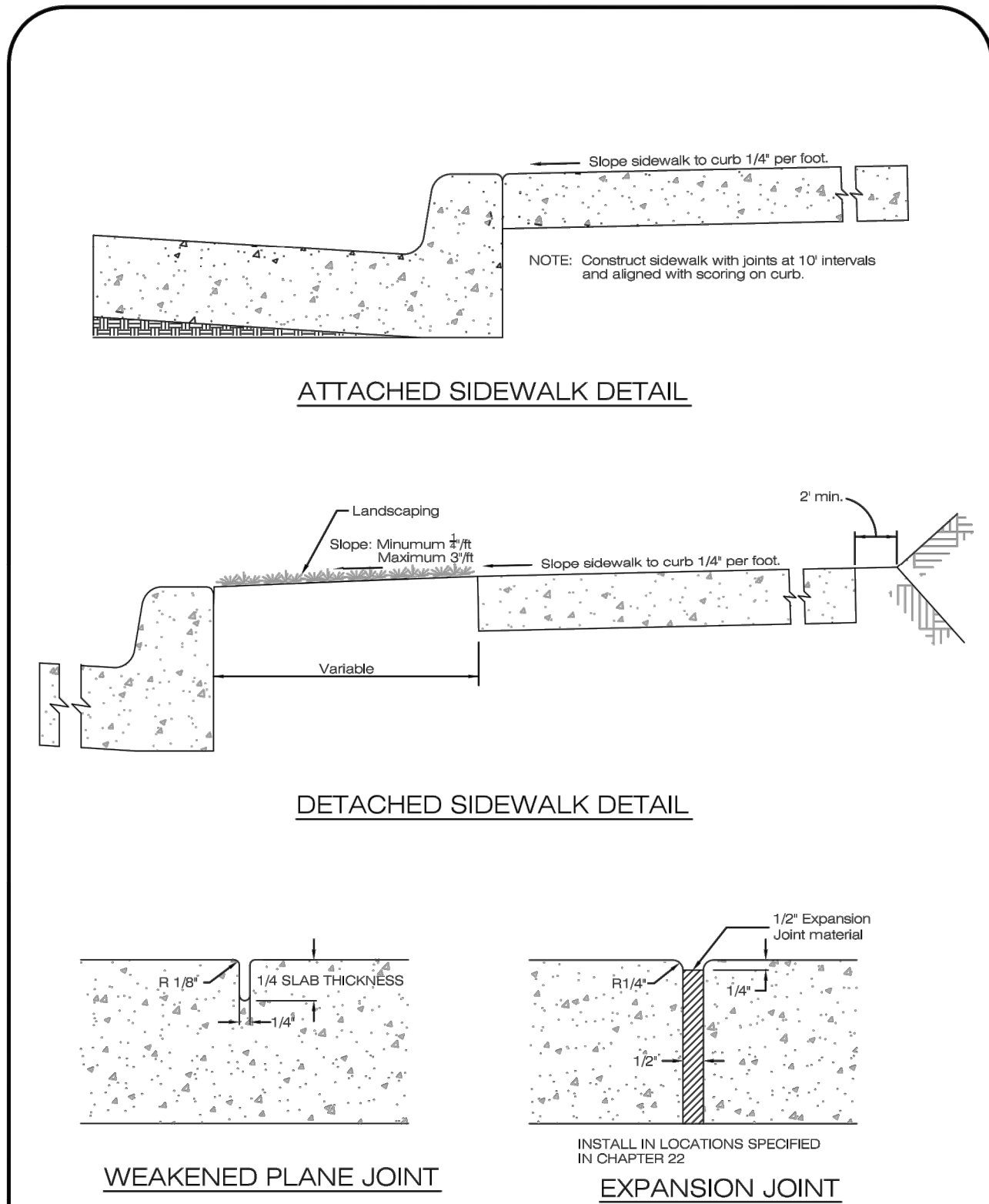
STODGY BREWING CO., LLC
LAPORTE AVE PLAN & PROFILE
FT COLLINS, CO

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

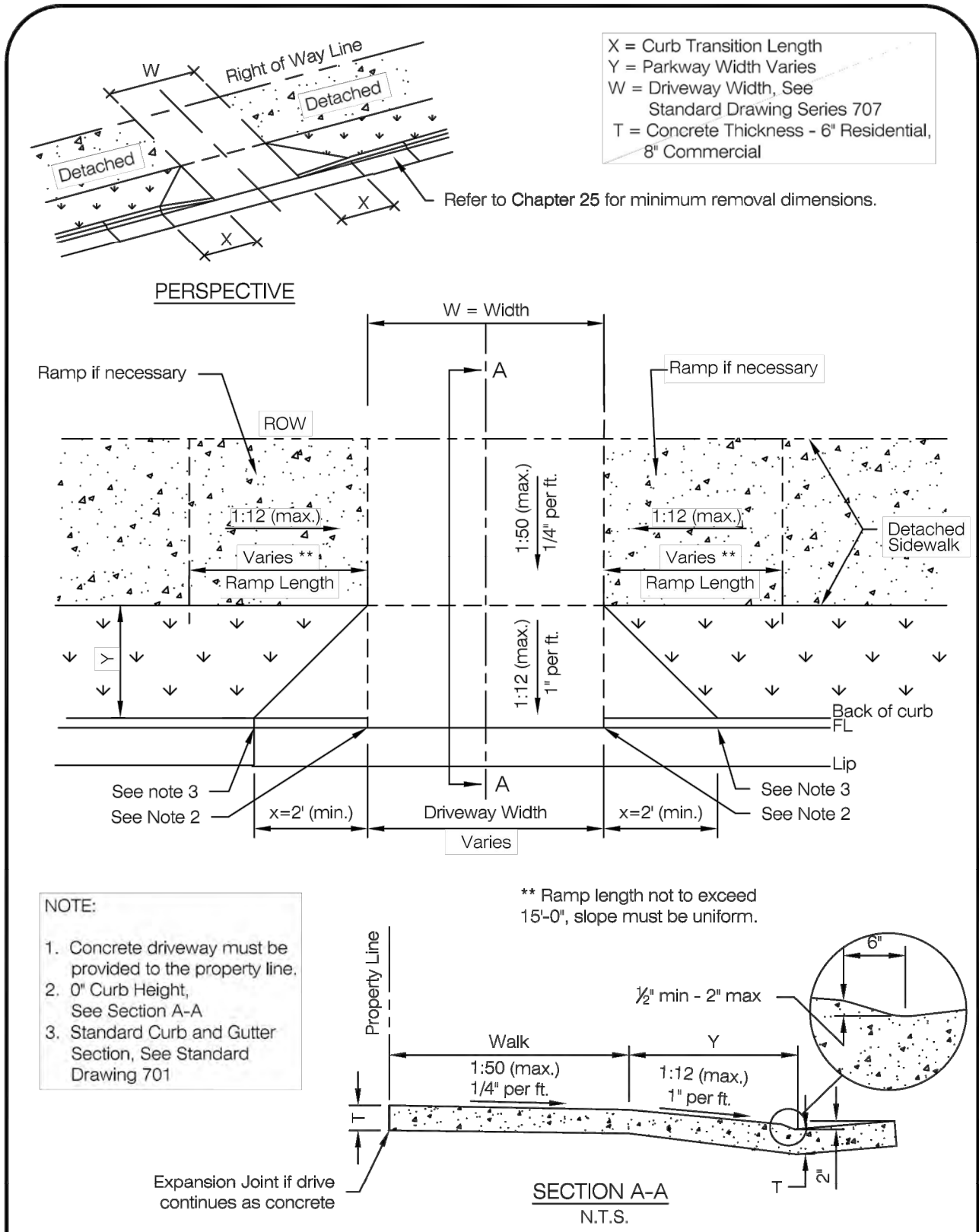
LAPORTE AVE PLAN & PROFILE



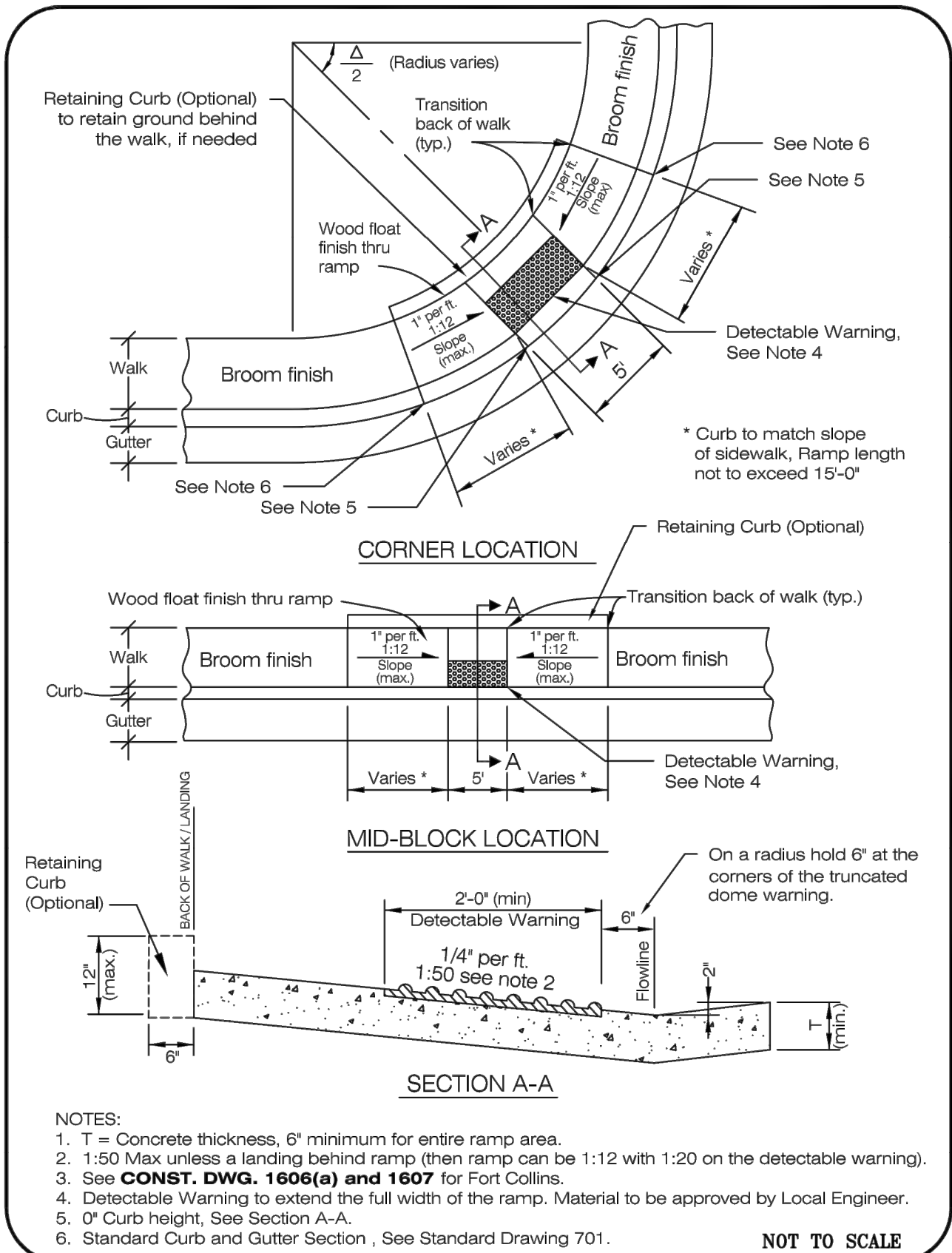
CURB AND GUTTER			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/01/02	DRAWING 701



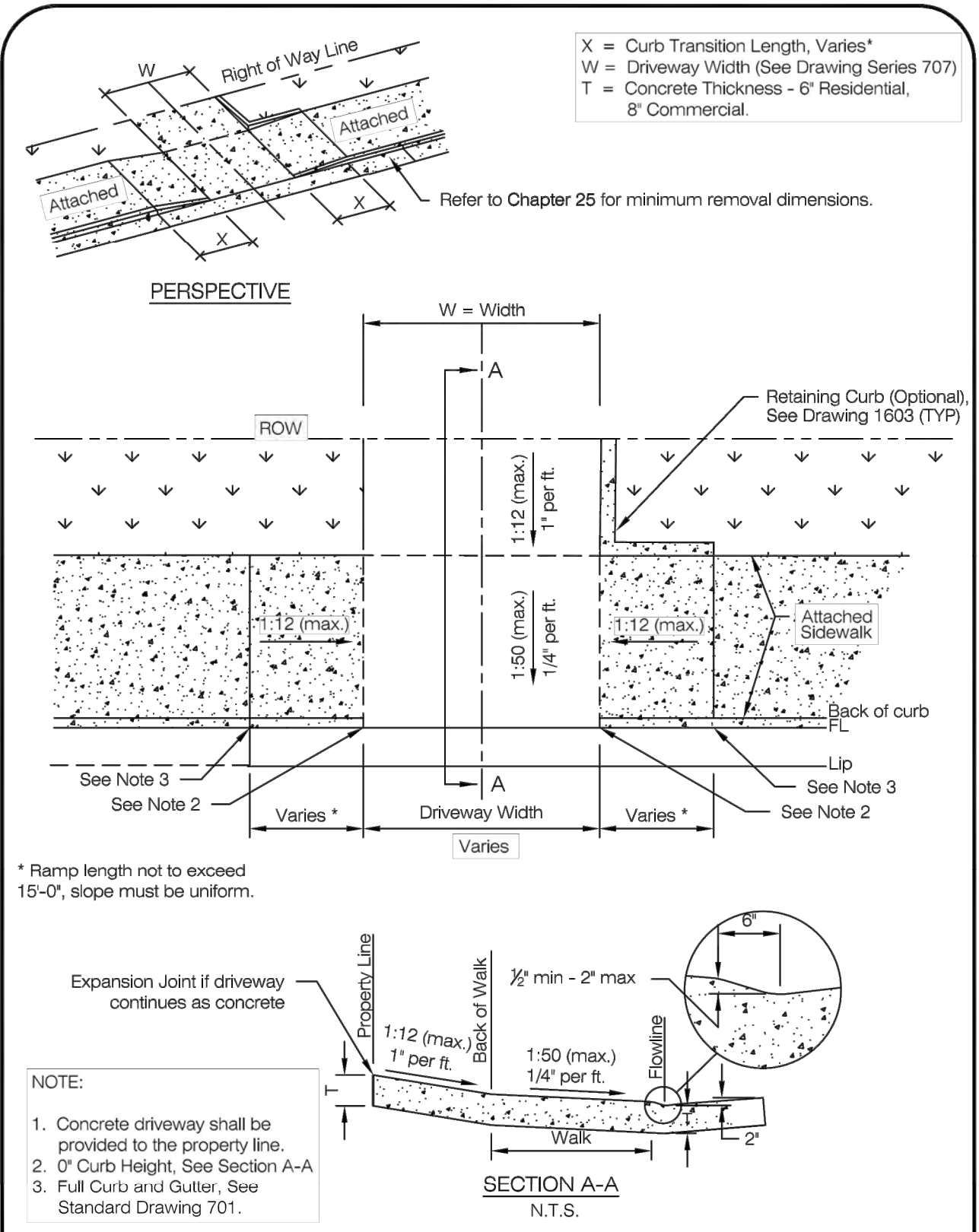
SIDEWALK DETAIL			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 04/01/07	DRAWING 1602



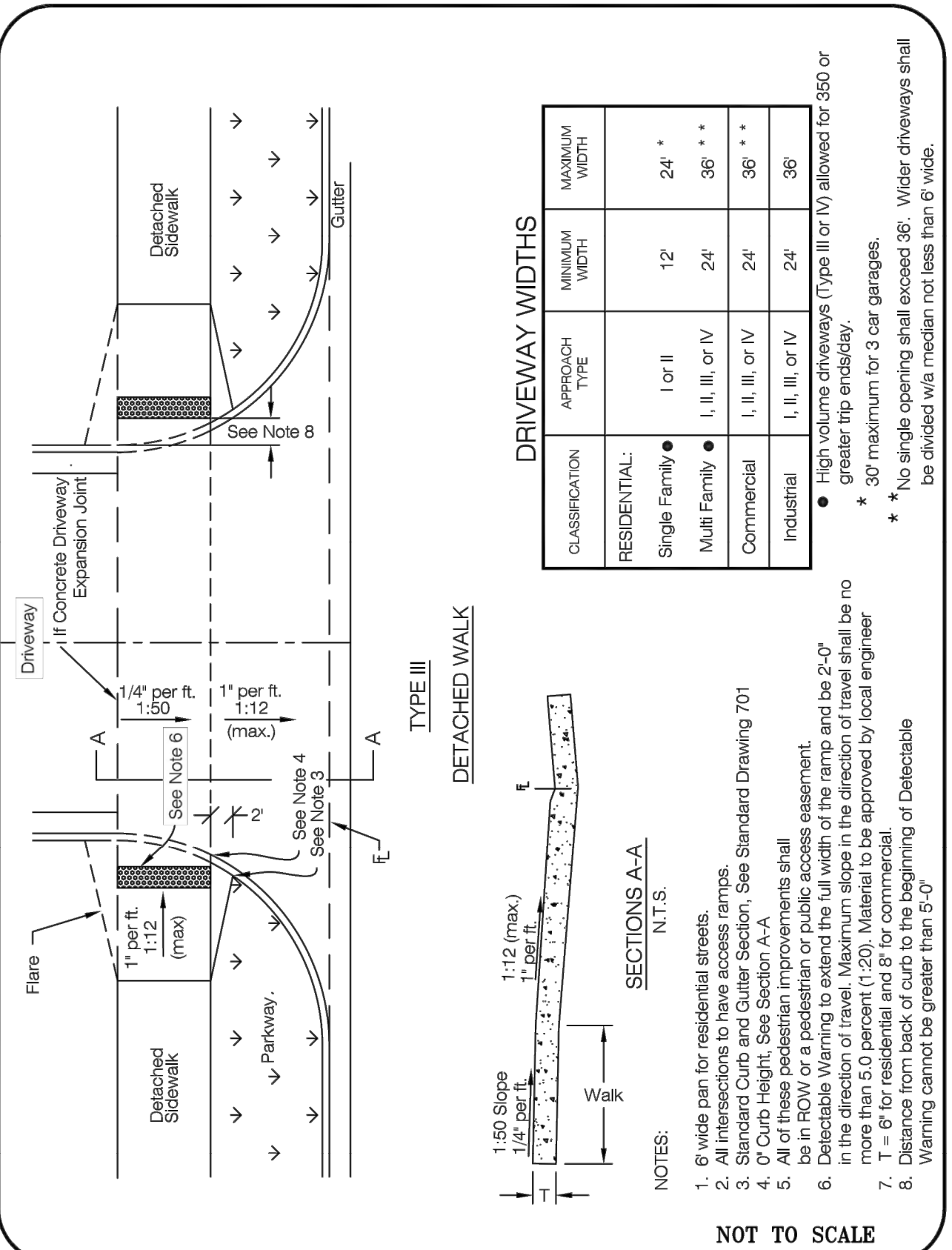
STANDARD DRIVEWAY APPROACH DETACHED WALK (Type I)			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 02/17/15	DRAWING 706.1



ACCESS RAMP DETAILS			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 02/17/15	DRAWING 1603



STANDARD DRIVEWAY APPROACH ATTACHED WALK (TYPE II)			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 02/17/15	DRAWING 706.2



STANDARD DRIVEWAY APPROACH (HIGH VOLUME DRIVE TYPE III)			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 02/17/15	DRAWING 707.1

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED: _____	City Engineer	_____ Date
CHECKED BY: _____	Water & Wastewater Utility	_____ Date
CHECKED BY: _____	Stormwater Utility	_____ Date
CHECKED BY: _____	Parks & Recreation	_____ Date
CHECKED BY: _____	Traffic Engineer	_____ Date
CHECKED BY: _____	Environmental Planner	_____ Date

ROAD DETAILS

811
CALL 811
(COM)

AGPROfessionals
DEVELOPERS OF AGRICULTURE

3050 67th Avenue, Suite 200, Greeley, CO 80634
(970) 535-9318 • Fax: (970) 535-9854

STODGY BREWING CO., LLC
ROAD DETAILS
FT COLLINS, CO

APPROVAL
ONLY
FOR
CONSTRUCTION

APPROVAL
ONLY
FOR
CONSTRUCTION

APPROVED: _____ Date

CHECKED BY: _____ Date

CHECKED BY: _____ Date

CHECKED BY: _____ Date

CHECKED BY: _____ Date

CHECKED BY: _____ Date

SHEET:
RD-2

SHEET 10 OF 10

1802 Laporte Ave
Proposed Use: Small Brewery and Taproom

Traffic Narrative

The proposed change to 1802 Laporte Ave includes partial use of the warehouse for a 10 barrel brewery, and use of the front (fireplace showrooms) as a 1290 sq ft taproom (including bar and service area) as well as a patio out front during good weather. Our business plan predicts the sale of 220 barrels a year, which would provide enough pints of beer for 29,472 customers a year (at an average of 2 pints/customer). The brewery will be open 7 days a week with an average 81 customers served per day. While this will flux during the week, we anticipate ~70 customers/day Mon-Thur and ~105 customers/day Fri-Sun.

In addition, this location makes the brewery a prime spot for biking and walking. It's located in a commercial pocket within a heavily residential area making it extremely accessible from the homes of our customers. Biking and walking will be encouraged by installing an aesthetically appealing sidewalk as well as a bike lane and ample bike parking.

Use of Salud's parking lot on weekends and after business hours is currently being negotiated.

This development project includes funding to widen Laporte Ave and install a center turn lane (expanding the road from local to arterial).

Sincerely,

Natalie Yoder and Tyler Olpin

Owners

Stodgy Brewing Company

natalie@stodgybrewing.com

On Thu, Jul 12, 2018, 3:32 PM Tim Tuttle <ttuttle@fcgov.com> wrote:

Hi Natalie,

I reviewed your narrative and based on the anticipated number of customers/vehicle trips a formal Traffic Study is not required. We'll continue to work with you and our Engineering department on the street improvements you mentioned in your email. Let me know if you have any questions.

Thanks,

Tim Tuttle, P.E.

Traffic Engineer

City of Fort Collins Traffic Operations

ttuttle@fcgov.com

970-221-6820



July 2, 2019

Tyler Olpin
1205 Columbine Court
Fort Collins, CO 80525

RE: Stodgy Brewing Company Ecological Characterization Study

Mr. Olpin:

This report is submitted to satisfy the requirements of Section 3.4.1 (D) (1) of the Land Use Code of the City of Fort Collins regarding the preparation of an Ecological Characterization Study (ECS). This report is required by the City of Fort Collins Community Development and Neighborhood Services Department due to the presence of wetlands along an irrigation ditch near the northern property boundary of the project.

The site was visited by Craig Severn with Blue Mountain Environmental Consulting on June 21, 2019. A riparian forest that is associated with an irrigation ditch, Larimer County Number 2 Canal, occurs along the eastern and northeastern property boundaries. The wetland was sampled in accordance with Army Corps of Engineer's methodologies and flagged in the field. Please note that the wetland boundary should be surveyed and incorporated into subsequent versions of the site plan.

Feel free to contact me with any questions you may have.

Sincerely,
Matt Tobler

Natural Resource Specialist, Certified Ecologist
Blue Mountain Environmental Consulting, LLC

1.0 Project Background

The project is located at 1800, 1802 and 1804 Laporte Avenue in Fort Collins, Larimer County, Colorado. The development proposal includes the remodel of an existing building at 1804 Laporte Avenue into a brewery and the potential demolition of an adjacent building for the creation of a parking lot. This Ecological Characterization Study is required due to the proximity to the property of the Larimer County Number 2 Canal and the associated riparian forest habitat. The property is surrounded by residential neighborhoods and various commercial establishments including Salud Medical Center to the west and several businesses to the east. The Grandview Cemetery and its numerous mature trees is located across Laporte Avenue to the southwest of the property.

2.0 Ecological Characterization

The elements of the Ecological Characterization Study are summarized in this section in the order listed in Section 3.4.1 (D) (1) of the City of Fort Collins Land Use Code. Site maps are provided in Appendix A; site photos are provided in Appendix B. Photo points are indicated on the Natural Features and Habitats Map in Appendix A.

2.1 Wildlife

Due to the property's suburban location and human disturbance level, wildlife value is moderate. The property consists primarily of dense, overgrown vegetation mostly associated with the irrigation ditch to the north and east of the property as well as overgrown landscaping throughout the property. Most wildlife use is expected to be transitional as animals travel to other small, isolated open habitat in the neighborhood. Seasonal and/or year-round use can be expected by a number of avifauna including American robin (*Turdus migratorius*), northern flicker (*Colaptes auratus*), mourning dove (*Zenaidura macroura*), western kingbird (*Tyrannus verticalis*), magpie (*Pica pica*), crow (*Corvus brachyrhynchos*) and raven (*Corvus corax*). Raptors would probably utilize the site primarily for hunting rodents and small birds. Numerous nest cavities were observed in mature cottonwood trees, but stick nests were not observed. Mammals such as mice, voles, fox squirrel (*Sciurus niger*), eastern cottontail rabbit (*Sylvilagus floridanus*) and raccoon (*Procyon lotor*) could utilize the property year round.

2.2 Wetlands

A narrow strip of riparian forest occurs on the east side of the property and is associated with the Larimer County Canal Number 2. This forest is classified as scrub/shrub and is composed of woody vegetation that is less than six meters high. The wetland fringe on the eastern side of the irrigation ditch was delineated with pink flagging in accordance with the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Great Plains Region (Version 2.0). Water was flowing in the ditch at a high level at the time of flagging.

Wetland vegetation was demonstrated with the Dominance Test. Dominant hydrophytic species observed include reed canarygrass (*Phalaris arundinaceae*), eastern cottonwood (*Populus deltoides*) and green ash (*Fraxinus pennsylvanica*). Hydric soils were demonstrated via Redox Dark Surface (F6) and hydrology was demonstrated by Saturation (A3), High Water Table (A2), and Surface Water (A1). The transition to upland status was marked by a shift in dominance to choke cherry (*Prunus virginiana*), European buckthorn (*Rhamnus cathartica*) and other upland species. Wetland data forms are available upon request.

The Natural Habitats and Features Map (Appendix A) identifies the riparian forest of .06 acres in area that occurs on the eastern boundary of the property. The riparian forest is comprised of the unvegetated irrigation ditch channel and the vegetated banks on either side of the ditch. The ditch bank on the east side of the property has a steep slope of approximately 90 percent which limits the development of a wetland vegetation fringe due to the steep hydrologic gradient. No disturbances are proposed for the wetland as part of this development proposal. The 50-foot wetland buffer should be measured from the wetland boundary.

The riparian forest/wetlands associated with the Larimer County Canal No. 2 are mapped by the U.S. Fish and Wildlife Service National Wetlands Inventory (NWI) as R5UBFx (riverine, unconsolidated bottom, semipermanently flooded, excavated).

2.3 Prominent Views

The property is mostly screened from view on Laporte Avenue by dense vegetation and views of the foothills are mostly obscured from within the property by tall, dense trees. These trees and a small stretch of visible canal add to the visual character of the area as viewed from Laporte Avenue.

2.4 Native Trees and Vegetation

Various native trees and shrubs were observed including aspen (*Populus tremuloides*), ash (*Fraxinus* spp.), dogwood (*Cornus* spp.), choke cherry (*Prunus virginiana*), box elder (*Acer negundo*), blue spruce (*Picea pungens*), common juniper (*Juniperus communis*), apple (*Malus* spp.), lodgepole pine (*Pinus contorta*), ponderosa pine (*Pinus ponderosae*), American elm, (*Ulmus americana*), various maples (*Acer* spp.), common hackberry (*Celtis occidentalis*), trumpet vine (*Campsis radicans*) and Virginia creeper (*Parthenocissus quinquefolia*). Several dead black walnut trees (*Juglans nigra*) were also observed on the property. Native forbs and grasses were not abundant, but common yarrow (*Achillea millefolium*), lamb's quarters (*Chenopodium berlandieri*) and foxtail barley (*Hordeum jubatum*) were observed.

2.5 Non-native Trees and Vegetation

Non-native trees and shrubs are abundant. Observed species include Siberian elm (*Ulmus pumila*), silver poplar (*Populus alba*), Nanking cherry, (*Prunus tomentosa*), Tatarian honeysuckle (*Lonicera tatarica*) and lilac (*Syringa vulgaris*). Non-native forb species were mostly ornamentals and include Russian sage (*Perovskia atriplicifolia*), Oriental poppy (*Papaver orientale*), peony (*Paeonia* spp.), vinca (*Vinca minor*) and creeping bellflower (*Campanula rapunculoides*). Several species on the Colorado Noxious Weeds list were identified on the property and include Canada thistle (*Cirsium arvense*), field bindweed (*Convolvulus arvensis*) and cheat grass (*Bromus tectorum*). Noxious species were most abundant in or near wetland areas. Smooth brome (*Bromus inermis*), quack grass (*Elymus repens*), orchard grass (*Dactylis glomerata*) and alfalfa (*Medicago sativa*) were observed at the edges of the landscaped sections of the property.

2.6 Bank, Shoreline and High Water Mark of Perennial Water

According to the City of Fort Collins Floodplain Maps and Documents (<https://gisweb.fcgov.com/HTML5Viewer/Index.html?Viewer=FCMaps&LayerTheme=Floodplains>, accessed on June 27, 2019), the property is located on FEMA Map Panel 08069C0978G. The property does not occur within a floodplain designated by the Federal Emergency Management Agency or the City of Fort Collins. The ordinary high-water mark was below water at the time of sampling. The top of bank is marked by abrupt change in slope and transition to level ground.

2.7 Sensitive and Specially Valued Species

The property does not have potential habitat for Preble's meadow jumping mouse (*Zapus hudsonius preblei*). The property has no potential habitat (wetlands or floodplains) for Ute lady's tresses orchid (*Spiranthes diluvialis*) or Colorado butterfly plant (*Gaura neomexicana* ssp. *Coloradensis*). There are no known occurrences of these three species on or near the property. No old or active prairie dog colonies are located on the property. No raptors or stick nests were observed on the property.

2.8 Special Habitat Features

Special habitat features include 0.06 acres of riparian forested wetland and numerous mature trees located throughout the property. The irrigation ditch provides connectivity to adjoining properties while the mature trees and dense vegetation provide thermal cover and nesting habitat for a variety of small birds.

2.9 Wildlife Migration Corridors

Connectivity to surrounding properties is accommodated by the irrigation ditch corridor; other migration corridors do not exist.

2.10 General Ecological Functions

The property is comprised of commercial and residential structures and associated parking areas with dense woody vegetation. An irrigation ditch extends along the eastern property boundary, which supports a narrow riparian corridor comprised of sparse herbaceous vegetation, dense shrubs and a several mature American and Siberian elm, eastern cottonwood and green ash trees. The central portion of the property is comprised of overgrown ornamental plants and landscaping and the portion directly fronting Laporte Avenue is densely vegetated with overgrown trees and shrubs. General ecological functions include water conveyance, groundwater recharge and limited wildlife habitat. Flowing water can be found in the irrigation ditch during the growing season; trees and other vegetation may accommodate forage, escape and thermal cover needs for small mammals and deer. Mature trees provide vertical structure, thermal cover, nesting, roosting and forage habitat for a variety of avian species. Ecological function is limited by the property's location and local habitat fragmentation.

2.11 Timing of Development in Relation to Ecological Character

The primary concern for the timing of development is protection of migratory birds. Under the Migratory Bird Treaty Act of 1918, it is unlawful for anyone to take, possess, import, export, transport, sell, purchase, barter or offer for sale, purchase or barter, any migratory bird or the parts, nests or eggs. Avoid tree maintenance and removal from between April 1 and August 15.

2.12 Mitigation Measures

Blue Mountain Environmental Consulting recommends the following mitigation:

- Retain native trees and shrubs where possible.
- If tree maintenance or removal is necessary, include the following note on the tree mitigation plan and/or landscape plan, as appropriate: "NO TREES SHALL BE REMOVED DURING THE SONGBIRD NESTING SEASON (FEBRUARY 1 TO JULY 31) WITHOUT FIRST HAVING A PROFESSIONAL ECOLOGIST OR WILDLIFE BIOLOGIST COMPLETE A NESTING SURVEY TO IDENTIFY ANY ACTIVE NESTS EXISTING ON THE PROJECT SITE. THE SURVEY SHALL BE SENT TO THE CITY ENVIRONMENTAL PLANNER. IF ACTIVE NESTS ARE FOUND, THE CITY WILL COORDINATE WITH RELEVANT STATE AND FEDERAL REPRESENTATIVES TO DETERMINE WHETHER ADDITIONAL RESTRICTIONS ON TREE REMOVAL AND CONSTRUCTION APPLY."
- Re-seed disturbed soils and landscape with native xeric cool- and warm-season grasses

and forbs to reduce water consumption and create pollinator habitat.

- Manage noxious species that proliferate as a result of site disturbance with mechanical, cultural or chemical means.
- Maintain a 50-foot buffer on the wetland per City Land Use Code 3.4.1(E) or pursue mitigation as required by the City of Fort Collins. (Army Corps of Engineers compliance is required if disturbance to the wetland is proposed.)

3.0 Conclusions and Recommendations

The team at Blue Mountain Environmental Consulting believes that no significant ecological resources will be adversely impacted by development because the proposed site plan will maintain mature trees and a wetland buffer along the irrigation ditch.

References

City of Fort Collins Floodplain Maps and Documents. <http://www.fcgov.com/utilities/what-we-do/stormwater/flooding/floodplain-maps-documents>

Colorado Parks and Wildlife Recommended Buffer Zones and Seasonal Restrictions for Raptors. <http://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RaptorBufferGuidelines2008.pdf>

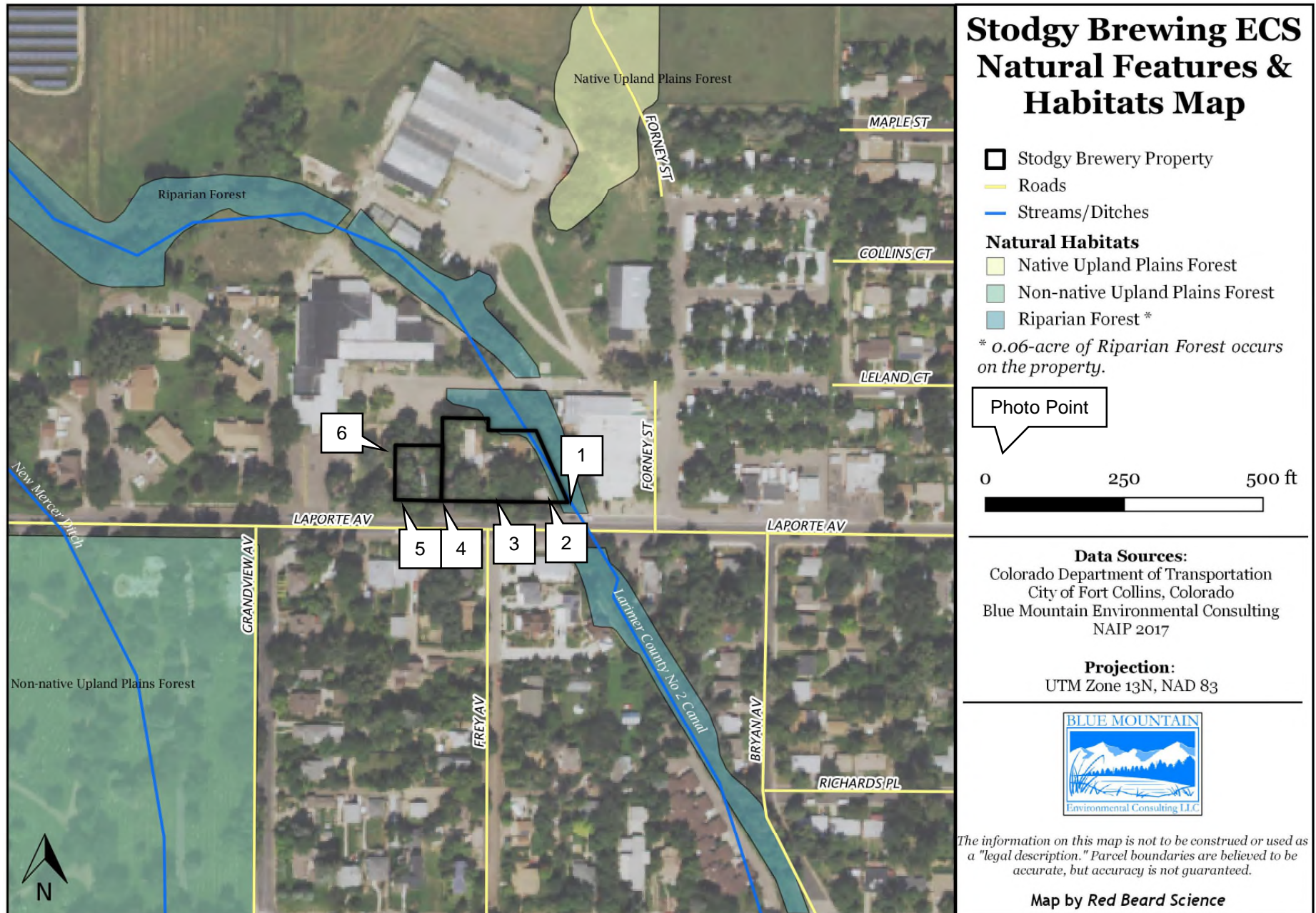
National Wetland Inventory Mapper. Accessed on November 5, 2018. <http://www.fws.gov/wetlands/Data/Mapper.html>

Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors (<https://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RaptorBufferGuidelines2008.pdf>).


Wildlife Management Guidelines, City of Fort Collins. <http://www.fcgov.com/naturalareas/pdf/wildlife-management-guidelines.pdf>

Appendix A: Project Maps

Natural Features and Habitats Map



Appendix B: Site Photos

Map Number:	
1	
Photo Direction:	
North	
Looking north from Laporte Avenue along the irrigation ditch that forms the western property boundary.	

Map Number:	
1	
Photo Direction:	
West	
Looking west along Laporte Avenue along the southern property boundary.	

Map Number:	
2	
Photo Direction:	
North	
Looking north from Laporte Avenue into driveway at eastern edge of Property.	

Map Number:	
3	
Photo Direction:	
North	
Looking north into parking lot from Laporte Avenue at center of property.	

Map Number:	
4	
Photo Direction:	
North	
Looking north into center of property from Laporte Avenue.	

Map Number:	
5	
Photo Direction:	
North	

Looking north into property at western edge from Laporte Avenue.

Map Number:	
6	
Photo Direction:	
East	
Looking east into property from western edge.	