



ITEM NO 1
MEETING DATE May 24, 2017
STAFF Ryan Mounce

ADMINISTRATIVE HEARING OFFICER

STAFF REPORT

PROJECT: Faith Family Hospitality Transitional House,
PDP160044

APPLICANT: Annette Zacharias
Faith Family Hospitality
300 E. Oak Street
Fort Collins, CO 80524

OWNER: City of Fort Collins
PO Box 580
Fort Collins, CO 80522

PROJECT DESCRIPTION:

This is a request for consideration of a Project Development Plan (PDP) to use a City-owned structure as a group home for families transitioning out of homelessness. Up to 21 residents and an on-site manager are proposed to be housed within the existing 8,974 square foot building. No additions or exterior alterations are proposed beyond the repair or replacement of damaged or worn exterior features and materials. An existing garage located on the rear of the lot will be removed and replaced with a parking lot for six vehicles along with associated alley, stormwater, and drainage improvements. The project site is located on two lots totaling .44 acres at 317 and 321 South Sherwood Street in the Neighborhood Conservation Medium Density (NCM) zone district.

Three Modification of Standard requests accompany the proposal, the first two to Sections 4.8(D)(2)(4) and 4.8(E)(4) of the Land Use Code related to the size (floor area) and height of the existing building, and the third to Section 3.8.6(B) of the Land Use Code to increase the maximum number of group home residents and decrease separation distances from another nearby group home.

RECOMMENDATION:

Staff recommends approval of the requested Modification of Standards to Sections 4.8(D)(2)(4), 4.8(E)(4), and 3.8.6(B) of the Land Use Code, and approval of the Faith Family Hospitality Transitional House, PDP160044.

EXECUTIVE SUMMARY:

The Faith Family Hospitality Transitional House Project Development Plan complies with the applicable requirements of the City of Fort Collins Land Use Code, more specifically:

- The Project Development Plan complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Project Development Plan complies with relevant standards of Article 3 – General Development Standards, with the exception of Section 3.8.6(B), to which a Modification of Standard has been requested.
- The Project Development Plan complies with relevant standards located in Division 4.8 Neighborhood Conservation Medium Density District (N-C-M) of Article 4 – Districts, with the exception of Sections 4.8(D)(2)(4) and 4.8(E)(4), to which Modification of Standards have been requested.

COMMENTS:

1. Background

The project is located on two lots at 317 and 321 S. Sherwood Street, west of Downtown Fort Collins. The two lots originally featured single family homes constructed in the early 1900s (317 S. Sherwood) and the 1920s (321 S. Sherwood), and remained as private residences for many decades.

In the 1980s, the City of Fort Collins purchased and then leased the properties to Crossroads Safehouse, a domestic violence shelter. A central addition connecting the two buildings was completed in 1987. Further additions and modifications throughout the 1980s and 1990s would expand the building to its present size of 8,974 square feet and 16 bedrooms.

Crossroads Safehouse remained at the site until 2011 when it moved to a larger facility. Since Crossroads' departure, the building and site have remained vacant. Although the safehouse occupied the site as a group home, due to the abandonment of the use for more than 12-months, a future group home at this location requires new land use approval. In reestablishment of the group home is approved, City Council must also separately agree to a lease agreement for the operator, Faith Family Hospitality.

Previous funding for the safehouse and building upgrades came from the Community Development Block Grant (CDBG) program, which placed time-limited restrictions on how the properties could be used or divested. These restrictions ended in 2014 and the City then began exploring potential options for the property, such as a lease or sale to another social service provider. In 2014, 2015, and 2016, neighborhood meetings and

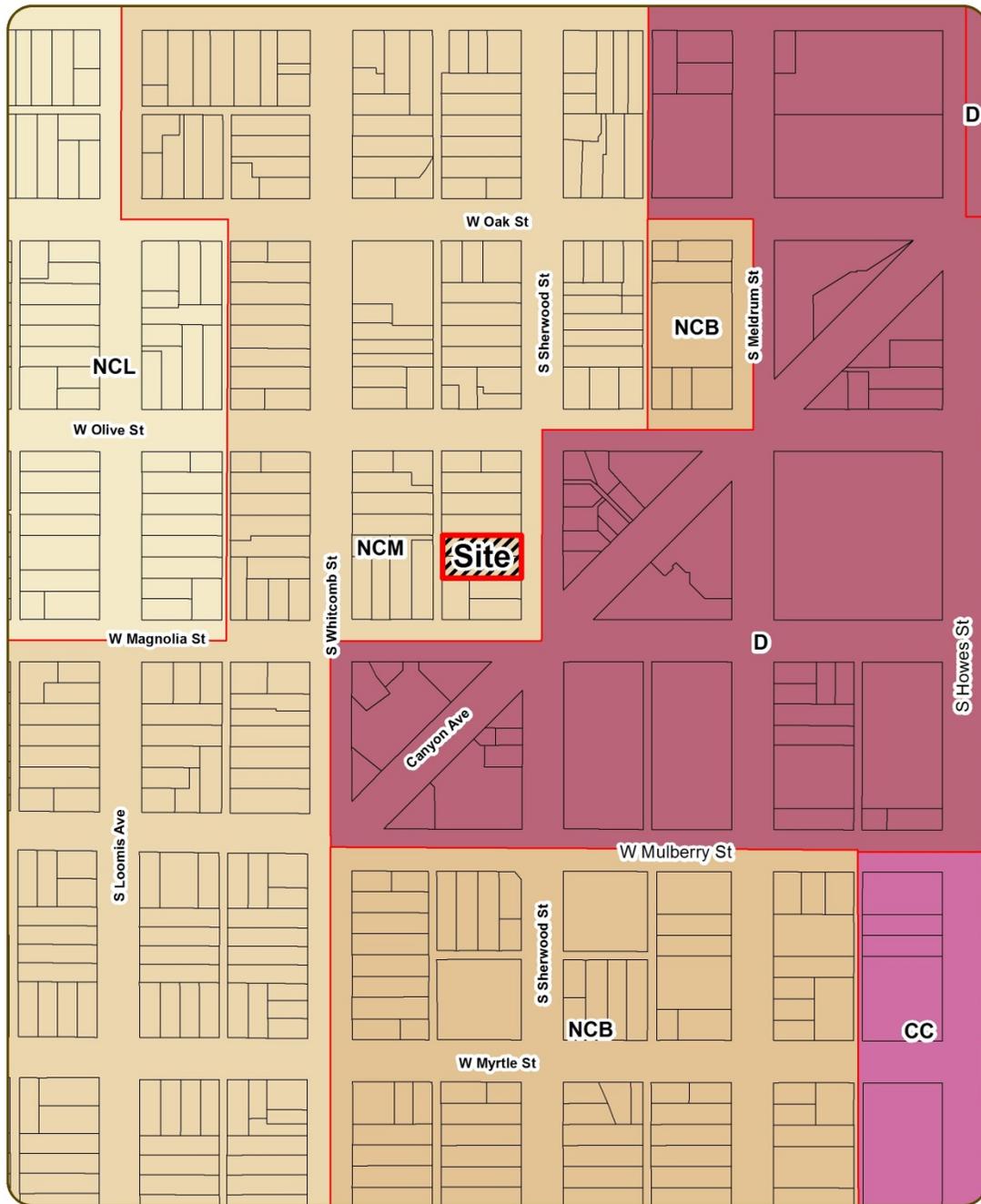
open houses invited neighbors and service providers to provide input on the properties, and indicated some interest in a continued social service use at this location. Meeting summaries from these events are included as an attachment to this staff report.

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Neighborhood Conservation Medium Density (N-C-M)	Single-family residential
South	Neighborhood Conservation Medium Density (N-C-M), Downtown (D)	Single-family or small multifamily residential, office, retail
East	Downtown (D)	Single-family residential, office
West	Neighborhood Conservation Medium Density (N-C-M)	Single-family residential

A zoning vicinity map is presented on the following page:

Site & Zoning Vicinity Map



Faith Family Hospitality Transitional House



2. Compliance with Article 4 of the Land Use Code – Neighborhood Conservation Medium Density (N-C-M), Division 4.8:

The project complies with all applicable Article 4 standards as follows:

A. Section 4.8(B) – Permitted Uses

The proposed land-use is classified as a group-home (large group care facility), a permitted use in the NCM district, subject to Administrative (Type 1) review.

The proposal calls for the housing of homeless families in a planned facility with individual family living quarters (connected bedrooms) and shared living spaces such as bathrooms, kitchens, living rooms and play-spaces for children. An on-site resident manager will be located on site and residents will participate in financial support and educational services.

The Land Use Code definition of a group home was recently updated in response to new group home applications, including the Faith Family Hospitality Transitional House, which feature the primary aspects of a typical group home land use, such as communal living spaces, support services, and on-site management, but which are not licensed by a governmental agency, a requirement under the prior definition.

While the former group home definition lists many types of group homes, including for homelessness, specific language stated such facilities must be “licensed by or operated by a governmental agency.” The updated definition now includes the language, “licensed by or operated by a governmental agency, or by an organization that is equally qualified as a government agency and having a demonstrated capacity for oversight as determined by the Director...”

Faith Family Hospitality, the proposed operator of the group home has been operating a similar program transitioning families out of homelessness through a partner network of community churches, whereby families move week-to-week from one church to another. Their program has been underway for several years, receives oversight from a board and donor network, and has developed stringent resident entrance screening requirements, demonstrating as an organization their capability to operate a group home. As property owner for the site, the City of Fort Collins can provide oversight and responsibility for operation and maintenance of the site as the property owner.

As the Land Use Code amendment altering the group home definition was recently adopted, the physical and online versions of the Land Use Code

are not yet updated with the new language. A copy of the signed City Council ordinance is attached to this report.

B. Section 4.8(D)(1) – Required Lot Area

The group home is located on two parcels totaling 19,000 square feet (.44 acres), greater than the minimum 6,000 square foot lot size required for all uses other than single-family dwellings in the NCM zone district.

C. Section 4.8(D)(2)(a)(4) – Allowable Floor Area on Lots

The allowable floor area for uses other than single-family dwellings in the NCM zone district is limited to 40% of the lot area, or 7,600 square feet on a 19,000 square foot lot. A modification of standard has been requested as the existing building proposed to house the group home exceeds the standard at 8,974 square feet in size.

Land Use Code Modification of Standard Criteria

The decision maker may grant a modification of standard only if it finds that the granting of the modification would not be detrimental to the public good, and that:

(1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or

(2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or

(3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

Any finding made under subparagraph (1), (2), (3) or (4) above shall be supported by specific findings showing how the plan, as submitted, meets the requirements and criteria of said subparagraph (1), (2), (3) or (4).”

Summary of Applicant’s Justification:

The applicant’s modification of standard narrative focuses on the size of the structure as an existing condition and that the size and appearance is similar to other buildings located on the same block, especially when viewed from the front. Further, the City has plans and policies in place to support the development of housing options and services for the homeless as part of the Affordable Housing Strategic Plan, and the proposed group home would result in a defined community benefit. The applicant’s complete modification of standard request can be found as an attachment to this staff report.

Staff Analysis & Findings:

Staff finds the applicant’s modification request is justified by the applicable standards of Land Use Code Section 2.8.2(H)(2), and that the granting of the modification would not be detrimental to the public good.

Criteria 2.8.2(H)(2)

The Fort Collins Affordable Housing Strategic Plan, adopted in 2015, identifies policies to support housing, programs, and services designed to help groups which may not be adequately served by market-driven development. *Policy 4.3, Increase Housing and Associated Supportive Services for People with Special Needs*, specifically lists homelessness as a category the City can help support to generate additional supply of housing options and services.

One objective of this policy states the City should, “continue to encourage the development of programs that meet the housing and supportive services needs of populations within the identified special needs categories.” The group home will offer low-cost housing options for families transitioning out of homelessness as well as supportive services to help families become self-sufficient and find permanent housing in the future.

Although the proposed group home building is larger than what current standards permit, locating the group home in an existing building that was specifically modified in the past to support group-living will help meet the policies and objectives of the City as outlined in the Affordable Housing Strategic Plan. The use of the large structure is not detrimental to the public

good as it is an existing non-conforming building built prior to stricter floor area requirements that went into effect in the 2013. No additions are proposed that would enlarge the structure as part of the proposal.

D. Section 4.8(D)(3) – Allowable Floor Area on Rear Half of Lots

Up to 33% of the size of the rear half of the lot may be used as floor area in the NCM district. The existing building contains 1,369 square feet on the rear half of the lot, less than the maximum 3,135 square feet indicated by this standard.

E. Section 4.8(E) – Dimensional Standards

The proposal is located on lots that meet standards for a minimum lot width of 50-ft for uses other than a single family home, a minimum front yard setback of 15-ft, and minimum rear yard setback from an alley of 5-ft.

F. Section 4.8(E)(4) – Minimum Side Yard and Maximum Wall Height

This code section requires a minimum interior side yard setback of 5-ft. In addition, if portions of the building height at the side yard setback are greater than 18-feet, an additional one foot of setback distance is required for every two feet or fraction thereof of building height.

The existing structure meets the minimum 5-ft side yard setback on the north side of the property; however, portions of the building height at the side yard setback along the southern property line are approximately 21.5-ft tall, requiring an 8-ft side yard setback, while the current structure's setback is 7-ft. As the existing building is out of compliance, the proposal includes a modification of standard request to this requirement.

Land Use Code Modification of Standard Criteria

The criteria for the granting of a modification of standard can be found on page 7 of the staff report.

Summary of Applicant's Justification:

The applicant's modification of standard narrative focuses on the size of the structure as an existing condition and that the size and appearance is similar to other buildings located on the same block, especially when viewed from the front. Further, the City has plans and policies in place to support the development of housing options and services for the homeless as part of the Affordable Housing Strategic Plan, and the proposed group home would result in a defined community benefit. The applicant's complete modification of standard request can be found as an attachment to this staff report.

Staff Analysis & Findings:

Staff finds that the applicant’s modification request is justified by the applicable standards of Land Use Code Section 2.8.2(H)(2), and that the granting of the modification would not be detrimental to the public good. The justification for the modification is substantially similar to the rationale iterated as part of the modification to Section 4.8(D)(2)(a)(4) of the Land Use Code.

Criteria 2.8.2(H)(2)

The Fort Collins Affordable Housing Strategic Plan, adopted in 2015, identifies policies to support housing, programs, and services designed to help groups which may not be adequately served by market-driven development. *Policy 4.3, Increase Housing and Associated Supportive Services for People with Special Needs*, specifically lists homelessness as a category the City can help support to generate additional supply of housing options and services.

One objective of this policy states the City should, “continue to encourage the development of programs that meet the housing and supportive services needs of populations within the identified special needs categories.” The group home will offer low-cost housing options for families transitioning out of homelessness and supportive services to help families become self-sufficient and find their own permanent housing.

Although the height of the existing building at the southern side yard setback is taller than what current standards now permit, locating the group home in a building that was specifically modified in the past to support group-living will help meet the policies and objectives of the City as outlined in the Affordable Housing Strategic Plan. The current height and setback distances are an existing condition constructed prior to stricter height and setback standards that went into effect in 2013, and no changes that would cause the building to further deviate from the standards are proposed.

G. *Section 4.8(F)(2)(a) – Building Height*

The group home structure is two stories tall, meeting the maximum height requirement for buildings in the NCM zone district of two stories.

H. *Section 4.8(F)(6) – Site Design*

This code section requires off-street parking areas for uses other than single-family dwellings to be set back further than the distance the principal building is located from the street, although temporary parking in driveways is permitted. The existing site features two concrete driveways located in front of the buildings that will continue to be used for temporary parking. One of these driveways spaces will become a newly-designated handicap accessible space as it is located adjacent to the ADA-accessible

ramp given its location adjacent to an ADA-accessible ramp leading to the primary building entrance. In addition to these two existing space, six new permanent off-street parking spaces will be located behind the existing building, accessed from a rear alley.

3. Compliance with Article 3 of the Land Use Code – General Development Standards:

The project complies with all applicable General Development Standards as detailed below.

A. Section 3.2.1 – Landscaping and Tree Protection

The proposed landscaping plan is consistent with the applicable requirements of Land Use Code Division 3.2.1, *Landscaping and Tree Protection*, with additional explanation for specific subsections below:

3.2.1(D) – Tree Planting Standards

The existing site already features a number of mature trees that meet requirements for street trees, tree-stocking, and diversity/size requirements. No new trees will be planted as part of the proposal and all existing trees are planned to remain in place. The City Forester has conducted an on-site tree inventory with the project applicants and determined all site trees are in fair or good condition.

3.2.1(E)(1) – Buffering Between Incompatible Uses and Activities

Existing mature landscaping, trees, and fencing help buffer the proposed group home from adjacent residential properties. These elements help establish privacy and buffer adjacent properties from potential visual impacts of the rear parking area and mitigate for the potential of reduced privacy as a result of additional residents at this location than would typically be anticipated if the site were used as single family dwellings.

3.2.1(E)(2) – Landscape Area Treatment

All site areas not covered by buildings or paving will feature existing or new landscaped areas consisting primarily of turf grass, rock/cobble, and shrub and planting beds located near the rear parking area or front porches.

3.2.1(E)(4) – Parking Lot Perimeter Landscaping

Parking lot perimeter landscaping and requirements to screen headlights are met with a combination of new parking lot perimeter shrub plantings and existing fencing and trees located on the site's north and south property lines.

3.2.1(E)(5) – Parking Lot Interior Landscaping

The new rear parking area will be defined by raised concrete curbs and feature landscape islands adjacent to the alley providing interior landscaping coverage. Only shrubs will be planted within these landscape islands out of consideration for driver sight distances accessing the alley.

B. Section 3.2.2(J) – Setbacks

The new six space rear parking area meets the minimum 5-ft setback requirements from lot lines. The parking area will be set back 5-ft from the rear lot line (alley), 5-ft from the north property line, and approximately 25-ft from the south property line.

C. Section 3.2.2(K) – Required Number of Off-Street Spaces for Type of Use

Vehicle parking space requirements for group homes are derived from the following formula: two parking spaces for every three employees and one parking space for each four adult residents, unless the residents are prohibited from owning or operating a vehicle.

The Faith Family Hospitality Transitional House group home will include one employee, an on-site resident manager, and space for up to 7 families or 21 total residents. If all 7 families included only adult residents, such as a set of parents and adult (18+) children, there could theoretically be up to 21 adult residents. The combined vehicle parking requirement for this resident and employee mix is six spaces. A total of eight spaces are located on the site, and parking requirements are met.

Based on the current operating characteristics of the Faith Family Hospitality program at community churches, it is anticipated the population of group home residents will be nearly evenly split amongst adults and younger children. It is also anticipated half of the families will not own or operate a personal vehicle given financial constraints, and that the required number of parking spaces proposed will exceed resident and employee parking demand.

D. *Section 3.2.2(K)(5) – Handicap Parking*

One of the eight overall parking spaces will be designated as a van-accessible space with an adjoining access aisle and marked with sign or pavement markings, meeting code standards.

E. *Section 3.2.2(L) – Parking Stall Dimensions*

All site parking spaces meet code standards for minimum width and depth for standard vehicle spaces, as well as access widths for drive aisles in the rear parking lot.

F. *Section 3.2.4 – Site Lighting*

The prior domestic violence shelter occupying the site featured a mix of backyard and building security lighting. The new group home proposal anticipates the removal of most lighting. Replacement of remaining light fixtures will meet Land Use Code standards for fixtures that are fully-shielded, down directional.

G. *Section 3.2.5 – Trash and Recycling Enclosures*

A new trash enclosure is proposed as part of the proposal and will be located adjacent to the new rear parking area. The enclosure meets all code requirements for construction on a concrete surface, equal space for trash and recycling containers, and separate walk-in access without the need to open the main gates.

H. *Section 3.3.1(D)(5) – Stormwater Drainage*

The project site is located in a low-spot in relation to nearby surroundings and features new impervious areas in the form of the rear parking area. A drainage report and proposed stormwater and low impact development stormwater improvements have been reviewed by City stormwater staff and meet City requirements. Proposed stormwater features include permeable paver parking spaces, a dry well, and use of previously-constructed drainage pans and chases located on the site and within drainage easements on a neighboring property to the north. Stormwater drainage for new alley paving required as part of the project will also take place in a newly constructed gutter along the alley to convey water south to Magnolia Street.

I. *Section 3.3.1(D)(5) – Streets, Alleys and Paths*

The project will take access to the new rear parking lot from an unimproved alley. As required by Fort Collins City Code, the project has

designed and will construct alley improvements from the site's northern edge south to Magnolia Street. These improvements will include new alley pavement, gutter/drainage, and a reconstructed alley approach at Magnolia Street.

J. *Section 3.3.3 – Water Hazards*

The project site is located within the City-regulated Old Town 100-year floodplain. City floodplain staff has reviewed project details and compliance with City floodplain regulations contained in Chapter 10 of City Code. A floodplain use permit must be approved prior to commencing any construction activities on the site.

K. *Section 3.4.7 – Historic and Cultural Resources*

The existing structure was evaluated for historic designation eligibility by the City's Historic Preservation department in 2015. Due to the extensive nature of previous additions and alterations, it was determined the property is not eligible for designation. As no additional building additions are proposed beyond like-for-like repair or replacement of exterior features, historic and cultural resource standards of the Land Use Code are being as part of the project.

L. *Section 3.5.1 – Building and Project Compatibility*

This section of the Land Use Code contains standards relating to building form (size, height, bulk, mass, scale), materials, and outdoor storage. As the proposal does not include new buildings or additions, the current form of the building is to remain as-is, with minor repair or replacement of existing exterior elements.

The overall structure's current size, height, bulk, and mass is moderately larger than other nearby buildings on the block, but appears consistent with the residential neighborhood as the size is broken up into different building wings that help mitigate its visual impact. Viewed publically from the front, the largest portions of the building are blocked by the modest scale of the two original single-family homes facades.

The structure also features common building elements and materials consistent with the neighborhood that facilitate compatibility. These include brick and wood siding as predominant materials, and the use of residential-scaled front porches and patios.

M. *Section 3.8.6(B) – Group Home Regulations and Shelters for Victims of Domestic Violence*

The Land Use Code specifies maximum group home resident sizes and separation distances from nearby group homes by zone district. In the NCM district, the maximum number of residents in a large group care facility based on this project's lot size is 15. The proposed group home is requesting up to 21 residents as part of a Modification of Standard to this code section.

Separately, this code section also specifies minimum separation distances from other group homes. In the NCM district, the minimum separation distance required is 1,000 feet. Choice House, a group home for adults with mental illnesses, is located approximately 560 feet to the northwest at 214 S Whitcomb Street. This proposal is requesting a Modification of Standard to locate the new group home at a distance of 560 feet from the Choice House.

Land Use Code Modification of Standard Criteria

The criteria for the granting of a modification of standard can be found on page 7 of the staff report.

Summary of Applicant's Justification:

The applicant's modification of standard narrative speaks to the defined community benefit of helping an identified population attain housing options and supportive services as justification for allowing both a greater number of residents beyond current Land Use Code standards and a smaller separation distance from an existing group home. Policies from both the Affordable Housing Strategic Plan and the City's comprehensive plan encourage the development of services and housing options to serve special populations such as the homeless. Using a facility that was originally designed and tailored for a number of residents larger than current code standards, and that serves a different population than a nearby group home, will help facilitate the services provided by Faith Family Hospitality, which is unique in the community. The applicant's complete modification of standard request can be found as an attachment to this staff report.

Staff Analysis & Findings:

Staff finds that the applicant's modification request is justified by the applicable standards of Land Use Code Section 2.8.2(H)(2), and that the granting of the modification would not be detrimental to the public good.

Criteria 2.8.2(H)(2)

The Fort Collins Affordable Housing Strategic Plan, adopted in 2015, identifies policies to support housing, programs, and services designed to help groups which may not be adequately served by market-driven

development. *Policy 4.3, Increase Housing and Associated Supportive Services for People with Special Needs*, specifically lists homelessness as a category the City can help support to generate additional supply of housing options and services.

The Faith Family Hospitality program is unique to the community in providing support tailored specifically to families transitioning out of homelessness. As part of their existing program using community churches along with the move to a more permanent group home location, the organization will help provide a community benefit defined as part of an adopted policy and plan to increase the supply of housing options and support for the homeless.

The existing structure proposed to house the group home was designed and tailored to support communal living and support services as a former domestic violence shelter. The structure contains 16 bedrooms, administrative space, and shared bathroom, kitchen, living, and play-areas. The building already contains more bedrooms than current Land Use Code standards permit for overall group home residents, and a copy of prior correspondence with the Crossroads Safehouse indicate the shelter operated with 20 residents.

While the current proposal seeks to house up to 21 residents, it is anticipated there will be fewer adult residents compared to the domestic violence shelter. Additional residents beyond the NCM zone district limit of 15 allows for the efficient use of the existing structure which was specifically modified to support this level of communal living, while helping meet unmet community demand to house homeless families.

Additionally, most other zone districts which permit group homes grant the decision-maker the ability to determine a higher number of residents based on several criteria. While this option is not available to a group home in the NCM district, these criteria are useful to help frame the evaluation of the modification that it is not detrimental to the public good. The criteria include:

- *The adjacent street system is sufficient to accommodate the traffic impacts generated by the large group care facility*
- *The large group care facility has made adequate, on-site accommodations for its parking needs*

The Faith Family Hospitality program has been underway for several years using local churches. Based on the characteristics of the families served in the existing program, approximately half do not own vehicles. With up to 7 families expected to be housed at the location, approximately 4 vehicles for the resident population is needed. The parking demand for residents as well as the on-site manager are met

and exceeded by the 8 on-site vehicle parking spaces provided. This level of traffic impact can also be met by the existing street network and the required alley paving improvements the group home will construct as part of the proposal.

- *The architectural design of the large group care facility is compatible with the character of the surrounding neighborhood*

The group care facility was created by connecting two existing single family homes dating from the establishment of the neighborhood. The architectural character of the building still resembles that of two single family homes, consistent with the residential character of the block.

- *The size and scale of the large group care facility is compatible with the character of the surrounding neighborhood*

The group home is expected to operate as independent, communal residences for families, similar to the character of the residential block. The size and scale of the structure itself is moderately larger than most nearby homes, but is on a lot twice the size, and the overall intensity is similar to other potential land uses permitted by the zone district, such as 6-8 unit multifamily development.

- *The types of treatment activities or the rendering of services proposed to be conducted upon the premises are substantially consistent with the activities permitted in the zone district in which the facility is proposed to be located.*

As opposed to group homes for residents with physical, mental, or substance abuse conditions, the population at the Faith Family Hospitality group home is expected to be independent, with education and financial support services provided, rather than medical treatment. The independent nature of the families at the group home is consistent with that of a residential neighborhood featuring a mix of single-family and small multifamily dwellings.

In addition to the requested increase in the maximum number of group home residents, the proposal also requests a reduction in the separation distance from an existing group home. The Choice House, a group home for adults with mental illnesses, is located approximately 560 feet away. When the site was in operation as a domestic violence shelter, both facilities coexisted for many years and the reestablishment of the group home would be returning to a prior condition.

Staff does not believe the establishment of a group home use at this location is detrimental to the public good by creating an undue concentration of group homes in a limited location given the two group homes are located on separate streets, serve different populations, and both maintain screening, and on-site management and supervision of residents. Further, the successful outcome of the Faith Family Hospitality program is for group home residents to live on an independent basis, similar to if they were living at a small multifamily development which is otherwise permitted by the NCM zone district and similar in context to a residential block adjacent to downtown.

N. Section 3.8.6(C)(1)

This subsection of the supplementary group home standards states the decision maker shall establish the specific type of group home permitted and the maximum number of residents allowed. Staff recommends the group home at this location be permitted only to serve homeless families for up to 21 residents if the Modification of Standard to Section 3.8.6(B) is approved. Proposed changes to the type of group home population being served or increasing the number of group home residents would constitute a change in character, requiring a major amendment and an additional public hearing.

4. Neighborhood Meetings:

A series of neighborhood meetings and an open house were held to share information and collect input about the project. A meeting in the fall of 2014 was designed to solicit input from neighbors and service providers on City options for the site, and whether to continue to lease the facility or pursue a sale. Feedback at the meeting indicated some interest for the City to continue to use the property for a social service provider use.

An open house in the summer of 2015 was held for neighbors and service providers to tour the inside of the properties and identify potential conflicts or issues for the continued use of the properties for a service provider or other use.

A neighborhood meeting was held in early 2016 to discuss this specific proposal for a group home to house families transitioning out of homelessness. This meeting was structure other development review meetings to share details with neighbors and hear about concerns or ideas regarding the proposal.

Key topics and questions discussed at the neighborhood meetings or from neighbor communications are presented below. Summaries from the two neighborhood meetings are also attached to this staff report.

- Questions and concerns raised about the number of residents proposed at the group home and the parking impacts generated by the number of resident in a neighborhood already experiencing parking issues.

The original proposal idea discussed at the 2016 neighborhood meeting by project applicants included up to 30 residents at the group home along with day-center activities, such as laundry service, to non group-home residents. The number of group home residents proposed has since been lowered to 21 and day-center activities are no longer an element of the project. The number of group home residents proposed still exceeds the maximum of 15 residents specified by the Land Use Code for the NCM zone district, and a Modification of Standard has been requested by project applicants..

Operating data shared by the project applicants indicate approximately 50% of the families taking part in their program do not own or operate a personal vehicle. Further, of the 21 residents proposed for the facility, many will be younger children unable to drive. Many of the families rely on walking, biking, public transportation, or volunteer services for personal mobility. Since the 2016 neighborhood meeting, a residential parking permit program has also implemented in the neighborhood. Similar to other residences on the block, the proposed group home could only obtain a limited number of permits for on-street parking, but any vehicles without a permit would be ticketed if parking in the permit zone encompassing the block.

- Questions on whether the proposed facility should be processed as a group home or considered a different type of land-use.

Staff believes a group home (large group care facility) is the appropriate classification of the land use based on the proposed operating characteristics of as a facility with communal living quarters, on-site supervisory personnel, and supportive services for a specialized population. The facility differs from a hotel or lodging establishment by providing more than short-term lodging (an average of a 6-month stay for the typical family) and on-site support services. Similarly, it differs from a homeless shelter by providing longer-term residence and a small charge for the program may be collected in addition to program screening requirements.

- Safety and process concerns about the a group home as a critical facility located in a floodplain.

City floodplain staff have reviewed the proposal for compliance with floodplain regulations as part of the City-administered 100-year Old Town Floodplain. The group home population being served is independent and physically capable of evacuation from the facility, unlike other potential group home populations with mental or physical disabilities that may need special assistance. If the proposal is approved, additional review and oversight will

take place as the project must apply for a floodplain use permit issued by the City prior to commencing construction activities.

5. Findings of Fact / Conclusion:

In evaluating the request for the Faith Family Hospitality Transitional House Project Development Plan, PDP160044, staff makes the following findings of fact:

- A. The Modification of Standard to Section 4.8(D)(2)(4) proposed with this Project Development Plan meets the applicable requirements of Section 2.8.2(H)(2) of the Land Use Code, and the granting of the modification would not be detrimental to the public good.

The request satisfies Criteria 2.8.2(H)(2)

The proposed project results in a substantial benefit to the City by using an existing structure to provide housing options and supportive services to homeless families, a population identified in the Fort Collins Affordable Housing Strategic Plan with unmet housing needs and where development of additional developments providing housing options and services should be encouraged.

- B. The Modification of Standard to Section 4.8(E)(4) proposed with this Project Development Plan meets the applicable requirements of Section 2.8.2(H)(2) of the Land Use Code, and the granting of the modification would not be detrimental to the public good.

The request satisfies Criteria 2.8.2(H)(2)

The proposed project results in a substantial benefit to the City by using an existing structure to provide housing options and supportive services to homeless families, a population identified in the Fort Collins Affordable Housing Strategic Plan with unmet housing needs and where development of additional developments providing housing options and services should be encouraged.

- C. The Modification of Standard to Section 3.8.6(B) proposed with this Project Development Plan meets the applicable requirements of Section 2.8.2(H)(2) of the Land Use Code, and the granting of the modification would not be detrimental to the public good.

The request satisfies Criteria 2.8.2(H)(2)

The proposed project results in a substantial benefit to the City by using an existing structure to provide housing options and supportive services to homeless families, a population identified in the Fort Collins Affordable Housing Strategic Plan with unmet housing needs and where

development of additional developments providing housing options and services should be encouraged.

The building has served in the past as a home to the requested number of 21 group home residents and has been specifically enlarged and tailored to this style of operation. Based on the population being served, parking and traffic demands can be met on-site and the population is intended to be independent, similar to other permitted residential land uses that could occupy this site in the NCM zone district. Further, the site has demonstrated the capability to safely and compatibly house a group home within less than required distance from another facility due to different populations being served, their location on separate streets, and each group home's on-site management and supervision without detrimental impact to the community due to their proximity.

- D. The Project Development Plan complies with the applicable procedural and administrative requirements of Article 2 of the Land Use Code.
- E. The Project Development Plan complies with relevant standards located in Article 3 – General Development Standards, provided that the modification of standard to Section 3.8.6(B) is approved.
- F. The Project Development Plan complies with relevant standards located in Division 4.8 Neighborhood Conservation Medium Density District (N-C-M) of Article 4 – Districts, provided that the modification of standards to Sections 4.8(D)(2)(4) and 4.8(E)(4) are approved.

RECOMMENDATION:

Staff recommends approval of the modification of standards to Sections 4.8(D)(2)(4), 4.8(E)(4), and 3.8.6(B), and approval of the Faith Family Hospitality Transitional House Project Development Plan, PDP160044.

ATTACHMENTS:

1. Applicant's Statement of Planning Objectives
2. Planning Document Set (Site Plan, Landscape Plan, Elevations)
3. Utility Plans & Drainage Report
4. Modification of Standard Requests
5. Land Use Code Changes - Group Home Definition
6. Zoning Communication for Number of Residents at Crossroads Safehouse
7. 2014 Neighborhood Meeting Summary
8. 2016 Neighborhood Meeting Summary
9. Public Comments

December 14, 2016

Faith Family Hospitality

Statement of Planning Objectives

This request is for approval of a PDP for the proposed Faith Family Hospitality Transitional House for Homeless Families to be located at 317 and 321 S. Sherwood St. Major cross streets are Magnolia and Sherwood. The project proposes the renovation of two two-story, 8,974 square feet houses with an outdoor play area, and paved parking area along the alley located on the west side of the property. There will be six parking spaces located in the parking lot. The property will house 7 families (average 3 people per family) and one resident manager on site. The building will have suited bedrooms for each family as well as kitchens, bathrooms, laundry rooms, dining and living rooms which will be shared by all.

The property is in the Neighborhood Conservation Medium Density – NCM zoning district and is subject to a Type I hearing.

(i) Statement of City Plan and Principles and Policy achieved by the proposed plan:

This proposal meets the applicable City Plan Principles and Policies:

Affordable Housing Strategic Plan

Policy AHP 4.3 - Increase Housing and Associated Supportive Services for People with Special Needs

Continue to encourage the development of projects that meet the housing and associated supportive services needs of populations within the identified special needs categories. These categories include housing for people experiencing homelessness.

Housing will be offered at an affordable cost so residents have more resources for the rest of their needs and have a better chance of greater personal wellbeing. Supportive services will be provided and can be necessary for some households to achieve housing success.

The proposed group home will stabilize vulnerable homeless families through extensive case management, resource development and support services to provide them with the tools to obtain permanent housing and self-sufficiency. This project both increases housing and provided supportive services to a population with special needs and furthers the City's affordable housing plan.

City Plan: Identifies housing as a key issue and speaks to:

- Funding, supporting, and developing affordable housing.
- Serving the housing needs of many diverse groups and changing demographics.

Community and Neighborhood Livability

Policy LIV 7.5 – Address Special Needs Housing

Plan for and meet the housing needs of special populations within the community. Disperse residential care facilities, shelters, group homes, and senior housing throughout the Growth Management Area.

This proposal is for a group home to provide six months of transitional housing for homeless families. There is no other group homes of this kind in the Growth Management Area.

Policy LIV 8.4 – Retain Existing Affordable Housing

Retain affordable housing options in existing neighborhoods so that long-term residents can “age in place” and to meet the housing needs of various household types.

Transportation

Principle T10.1 – Transit Stops

There are bus routes within walking distance. The project supports active lifestyles by having on-street sidewalks.

Principle T12.1 – Connections

The location of the site will promote and support the idea of resident families utilizing alternative modes of transportation (biking/walking) or public transportation. 50% of the families served are without cars and will utilize public transportation.

- (ii) Description of proposed open space, wetlands, natural habitats and features, landscaping, circulation, transition areas and associated buffering on site and in the general vicinity of the project.**

There are no wetlands or significant natural habitats within the boundaries of the site.

- (iii) Statement of proposed ownership and maintenance of public and private open space areas; applicant's intentions with regard to future ownership of all or portions of the project development plan.**

There is no public or private open space within the project boundaries. The building is currently owned by the City of Fort Collins. The intention is to lease the property for a period of time after which the nonprofit will purchase the property from the City of Fort Collins for its continued use as a group home for families.

- (iv) Estimate number of employees for business, commercial and industrial use.**

n/a

- (v) Description of rationale behind assumptions and choice made by applicant.**

The rationale behind this project is to renovate unused existing property which was previously used as a group home for victims of domestic violence to be used to shelter vulnerable families experiencing homelessness. For the past five years, the applicant has provided emergency shelter to homeless families in area churches. The need for longer term, more intensive assistance has been required to assist families overcome homelessness. In cooperation with the existing emergency shelter program, this project will provide the most vulnerable families with children a short

term housing option (six months) to further stabilize them while they work on securing long term housing and employments.

- (vi) The applicant shall submit as evidence of successful completion of the applicable criteria, the completed documents pursuant to these regulations for each proposed use. The planning Director may require, or the applicant, may choose to submit, evident that is beyond what is required in that section. Any variance from the criteria shall be described.**

Applicable criteria is documented in the submittal.

- (vii) Narrative description of how conflicts between land uses or disturbances to avoid wetlands, natural habitats and features an or wildlife are being avoided to the maximum extent feasible or are mitigated.**

There are not existing wetlands, natural habitats or features currently located on site.

- (viii) Written narrative addressing each concern/issue raised at the neighborhood meeting. If a meeting has been held.**

There was a neighborhood meeting held on February 10, 2016.

- (ix) Name of the project as well as any previous name the project may have had during the Conceptual Review.**

The project is named the Faith Family Hospitality Transitional House.

IMPROVEMENT FOR:

FAITH FAMILY HOSPITALITY

321 South Sherwood Street
FORT COLLINS, COLORADO

Fort Collins

GENERAL NOTES

- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, CODES, AND OWNER REQUIREMENTS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THIS SHALL BE DONE PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- PROSPECTIVE SUB-CONTRACTORS SHALL SECURE ALL DATA AT THE SITE OF PROPOSED CONSTRUCTION SUCH AS CONVENIENCE OF RECEIVING AND SORTING MATERIALS, STAGING AREAS, LOCATION OF PUBLIC SERVICES, AND OTHER INFORMATION WHICH WILL HAVE INFLUENCE ON MAKING THEIR PROPOSALS OR ON THE EXECUTION OF THE WORK. NO ALLOWANCES WILL BE MADE FOR FAILURE OF THE SUB-CONTRACTOR TO OBTAIN SUCH ON-SITE INFORMATION PRIOR TO SIGNING OF THE CONTRACT.
- SHOULD EITHER THE DRAWINGS AND THE SPECIFICATIONS, OR ANY PARTICULAR SPECIFICATION, AND THE GENERAL CONDITIONS CONTRADICT EACH OTHER IN ANY POINT, OR REQUIRE CLARIFICATION, THE CONTRACTOR MUST CALL THE SAME TO THE ATTENTION OF THE ARCHITECT, AND HIS DECISION SHALL BE OBTAINED PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT AND IN THE PROPOSED CONSTRUCTION BUILDING OR SITE OR SURROUNDINGS. NO CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREA.
- EACH CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENT AND SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCIES OR OMISSION HE MAY DISCOVER. FURTHER, THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH HE BELIEVES TO BE CONTRARY TO HIS KNOWLEDGE OF GOOD CONSTRUCTION STANDARDS AND PRACTICES AND SHALL NOT USE ANY SUBSTANDARD MATERIAL.
- CONTRACTOR SHALL FOLLOW SIZES IN SPECIFICATIONS OR DIMENSIONED FIGURES ON DRAWINGS IN PREFERENCE TO SCALE MEASUREMENTS AND FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS.
- WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK, OR OF A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIOUS AND SO CONSTRUCTED.
- CONTRACTOR IS TO VERIFY THAT ALL EQUIPMENT AND FIXTURES ARE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS. THE CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT ANY EQUIPMENT NOT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS. THE CONTRACTOR IS TO ASSURE THAT THE PLACEMENT OF EQUIPMENT IS POSSIBLE BEFORE CONSTRUCTION OF ALL INTERIOR PARTITIONS ARE COMPLETED.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE.
- THE GENERAL CONTRACTOR SHALL MAKE NO CHANGES IN THE WORK WITHOUT A CHANGE ORDER SIGNED BY THE OWNER, OR A CONSTRUCTION CHANGE DIRECTIVE ISSUED BY THE ARCHITECT.
- IT WILL BE ASSUMED THAT EACH TRADE HAS ACCEPTED THE QUALITY OF THE WORK OF OTHERS UPON WHICH HIS WORK MUST BE APPLIED, UNLESS THE ARCHITECT AND OWNERS INFORMED TO THE CONTRARY AT LEAST 24 HOURS BEFORE COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR THE PROPER INSTALLATION OR CONFORMANCE WITH CODES OR STANDARDS LISTED OR DEPICTED HEREIN SHALL BE INCLUDED IN THE WORK.

Kenney Lee

architecture group, inc.

L o v e l a n d • C o l o r a d o
(9 7 0) 6 6 3 - 0 5 4 8

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AS REQUIRED BY FORT COLLINS, COLORADO:

- 2012 INTERNATIONAL BUILDING CODE (IBC)
- 2012 INTERNATIONAL MECHANICAL CODE (IMC)
- 2014 NATIONAL ELECTRICAL CODE (NEC)
- 2012 INTERNATIONAL PLUMBING CODE (IPC)
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

ACCESSIBILITY REQUIREMENTS SHALL BE IN ACCORDANCE WITH:

- 2010 ADA STANDARDS
- STATE LAW CRS 9-5
- ICC / ANSI A117.1-2003

SCOPE OF WORK

SCOPE OF WORK UNDER THIS PERMIT GENERALLY INCLUDES THE FOLLOWING:

- NEW PARKING LOT AT REAR ALLEY
- PARTIAL PAVE OF EXISTING ALLEY
- NEW TRASH ENCLOSURE
- MISC SITE IMPROVEMENTS
- REFINISHED EXTERIOR (REPLACE EXISTING FINISHES AS NEEDED)
- MINOR INTERIOR CHANGES (DOOR RELOCATION, ADDING CLOSETS, NEW BATHROOMS, MODIFIED KITCHENS)
- EXTERIOR DEMO WORK OF CONCRETE AND WOOD DECKS / PATIOS
- NEW EXTERIOR PATIOS AND COVERED PATIO
- ELECTRICAL DEMO AND NEW WORK

Colorado

SHEET INDEX

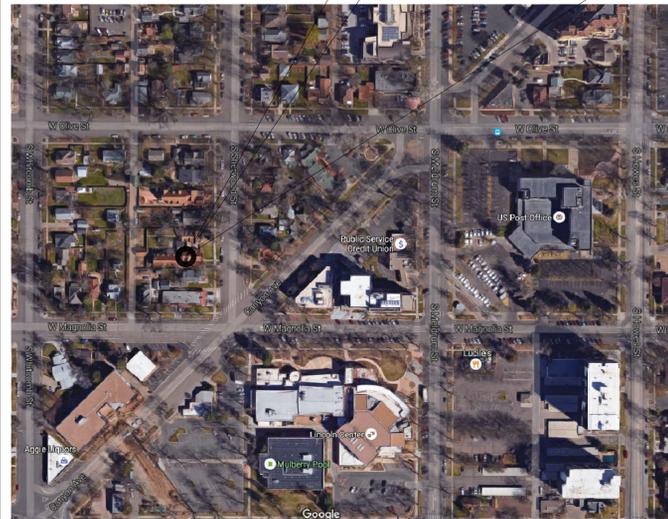
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|----------------------|------------------------------------|
| A1.0 | COVER SHEET |
| CIVIL | |
| C1.0 | COVER SHEET |
| C1.1 | GENERAL NOTES I |
| C1.2 | GENERAL NOTES II |
| C2.0 | HORIZONTAL CONTROL, UTILITY & DEMO |
| C3.0 | GRADING PLAN |
| C4.0 | DRAINAGE & EROSION CONTROL PLAN |
| C5.0 | ALLEY PLAN & PROFILE |
| C6.0 | SITE DETAILS |
| C6.1 | EROSION CONTROL DETAILS |
| ARCHITECTURAL | |
| A1.0 | COVER SHEET |
| A1.1 | ARCHITECTURAL SITE PLAN |
| A1.2 | ARCHITECTURAL LANDSCAPE PLAN |
| A1.3 | SITE PLAN DETAILS |
| A5.1 | EXTERIOR SCOPE |
| A5.2 | EXTERIOR SCOPE |
| A5.3 | EXTERIOR SCOPE |

CONSULTANTS

ARCHITECT
KENNEY LEE ARCHITECTURE GROUP, INC.
209 EAST FOURTH STREET
LOVELAND, COLORADO 80531
(970) 663-0548

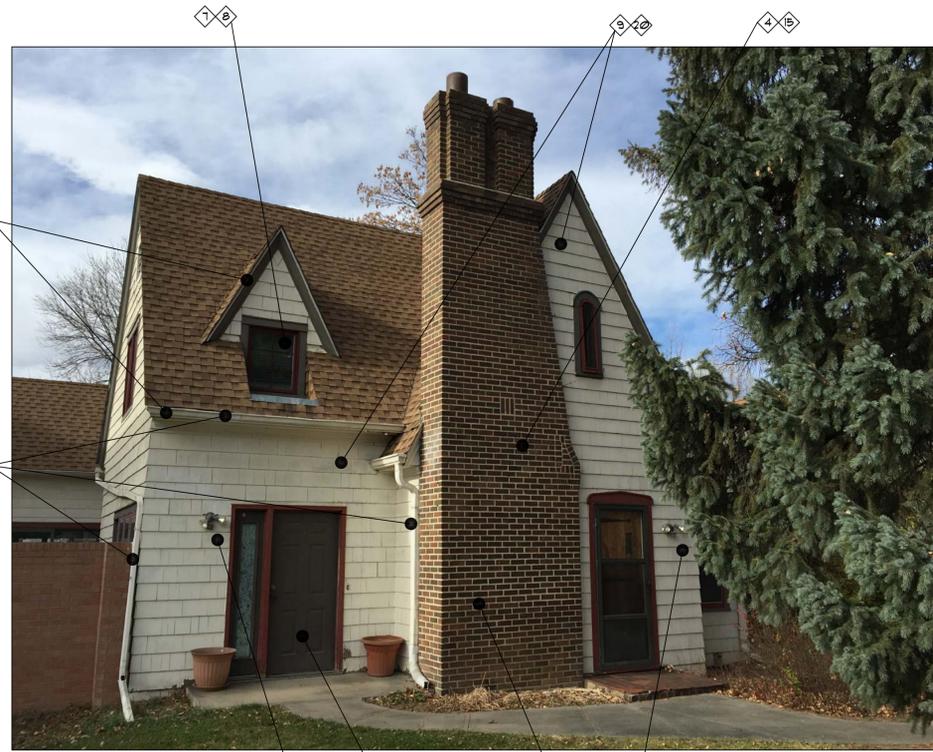
CIVIL ENGINEER
QUALITY ENGINEERING, LLC
4045 ST CLOUD DRIVE, SUITE 180
LOVELAND, COLORADO 80538
(970) 416-1891

Project location:
321 South Sherwood St
Fort Collins, CO 80525

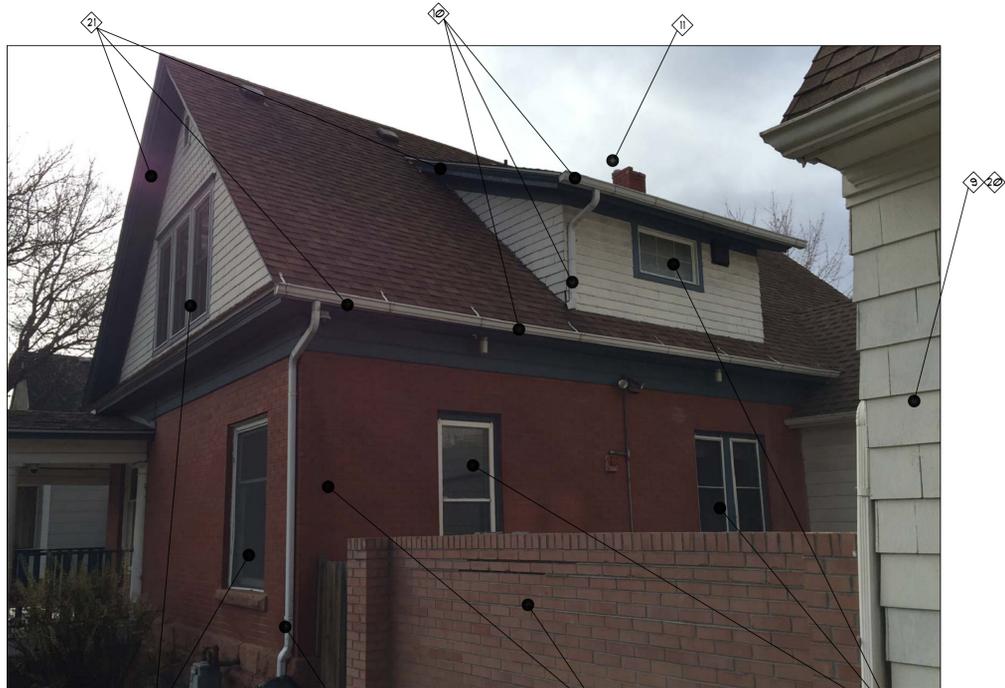




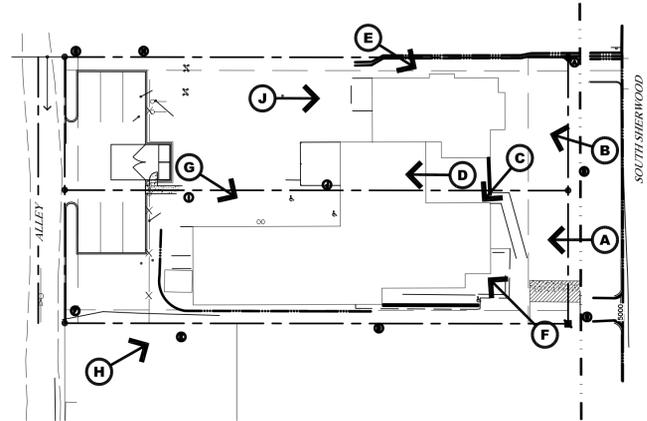
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(B)



(C)



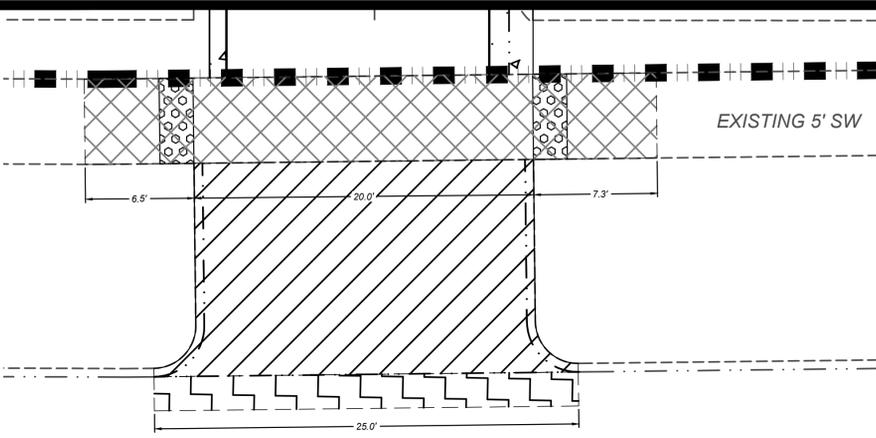
1 PHOTO KEY PLAN
N.T.S.

EXTERIOR ELEVATION KEY NOTES	
1.	REPLACE EXISTING WOOD PORCH COLUMNS w/ NEW FIBERGLASS COLUMN
2.	REPLACE EXISTING WOOD COLUMN BASE w/ NEW
3.	REPAIR / REPLACE ALL PORCH TRIM & FRAMING AS REQUIRED
4.	RE-POINT ALL BRICK AS REQUIRED, MATCH EXISTING GROUT COLOR
5.	REMOVE EXISTING WALK, REPLACE w/ NEW
6.	REPAIR OR REPLACE EXISTING FRONT CONC. STEPS
7.	INSPECT ALL WINDOW SILLS FOR ROT, REPLACE / REPAIR AS NEEDED
8.	INSPECT ALL EXTERIOR WINDOW SCREENS, REPAIR / REPLACE AS NEEDED
9.	POWER WASH & PREPARE ALL EXTERIOR SIDING SURFACES FOR PAINTING, REPLACE ANY DAMAGED SIDING AS REQUIRED
10.	INSPECT ALL GUTTERS, CLEAN & REPAIR OR REPLACE AS NEEDED
11.	REPLACE BRICKS AS NEEDED TO RE-FINISH CHIMNEY
12.	INSPECT PORCH CEILING, REPAIR / REPLACE AS NEEDED
13.	PROVIDE METAL GRATE OVER BASEMENT WINDOW
14.	VERIFY NEED FOR VENT, PROVIDE METAL VENT COVER IF REQUIRED, PATCH IN NEW SIDING IF NOT REQUIRED.
15.	CLEAN EXISTING BRICK
16.	RE-POINT EXISTING STONE WORK
17.	FILL IN ALL HOLES IN EXISTING BRICK AND STONE FINISH
18.	REMOVE EXISTING TV ANTENNA & FILL IN HOLES (NOT PICTURED)
19.	REPLACE EXISTING LIGHT FIXTURES
20.	REPAIR ALL POPPED NAILS IN SIDING
21.	REPAIR / REPLACE SOFFITS AND FASCIA AS REQUIRED, FIX ALL BUCKLING
22.	EXISTING DECK TO BE REMOVED
23.	REPLACE DOOR w/ WINDOW, SEE FLOOR PLAN NOTES
24.	-
25.	-
26.	-
27.	-
28.	-
29.	-

THESE PHOTOS REPRESENT TYPICAL EXISTING CONDITIONS, BUT ARE NOT ALL OF THE EXTERIOR CONDITIONS THAT NEED TO BE CORRECTED, THESE ARE ONLY INDICATIVE OF THE TYPE OF WORK REQUIRED.

NOTICE: CITY OF COOPERATION - Because of these plans, contractors, other specialists, the owner, the architect, designer and consultant have performed their services in good faith and diligence, they cannot guarantee perfection. Completion is imperfect and every contingency cannot be anticipated. Any negligence or discrepancy cannot be anticipated. A failure to cooperate by a third party to the architect will relieve the architect from responsibility for all consequences. Changes made from the plans without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes. THIS SET IS NULL & VOID SHOULD SHIT. A1 OR THE COVER SHIT. A1 OR THE COVER SHIT BE OMITTED FROM THIS SET.

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FAITH FAMILY HOSPITALITY
 321 S. SHERWOOD ST.
 Ft. Collins Colorado
 Kenney Lee architecture group, inc.
 (970) 663-0548
 04/04/2017
 DRAWN BY
 CHECKED KML
 JOB NO.



ALLEY/MAGNOLIA INTERSECTION DEMOLITION DETAIL

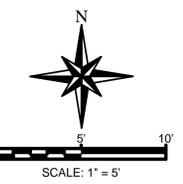
SCALE: 1" = 5'

DEMOLITION NOTES

- REMOVE SIDEWALK
- RECONSTRUCT ALLEY ACCESS
- PERFORM STREET CUT

STREET CUT NOTES:

FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.



UTILITY NOTES

- (1) THE UTILITIES SHOWN HEREON ARE FROM VISIBLE SURFACE EVIDENCE AND FROM THE UTILITY LOCATIONS PROVIDED BY ACCURATE UNDERGROUND. THERE MAY BE BURIED UTILITIES ON OR ADJACENT TO THIS PROPERTY THAT ARE NOT SHOWN DUE TO INSUFFICIENT SURFACE EVIDENCE. NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS OR THE EXISTENCE OF OVERHEAD OR UNDERGROUND CONTAINERS OR FACILITIES WHICH MAY AFFECT THE DEVELOPMENT OF THIS TRACT.
- (2) PRIOR TO START OF ANY WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MATERIAL TYPE FOR ALL EXISTING UNDERGROUND UTILITIES THROUGHOUT THE SITE AND AT THE POINT OF CONNECTION. THE CONTRACTOR SHALL VERIFY THAT THE PROPOSED UTILITY SERVICE WILL MEET THE INDICATED PIPE SLOPES AND IMMEDIATELY NOTIFY THE CLIENT REPRESENTATIVE OF ANY CONDITIONS THAT WILL PREVENT CONSTRUCTION OF NEW UTILITY SERVICES AS INDICATED ON THE PLANS.
- (3) ALL SANITARY SEWER, WATER, AND STORMWATER CONSTRUCTION SHALL CONFORM TO THE CITY OF FORT COLLINS WATER, WASTEWATER, AND STORMWATER DEVELOPMENT CONSTRUCTION STANDARDS AND DETAILS.
- (4) FINAL STREET SAW CUT LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.

NOTE: ALL EXISTING TREES TO BE PROTECTED IN PLACE

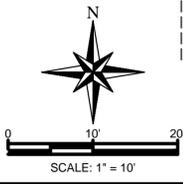
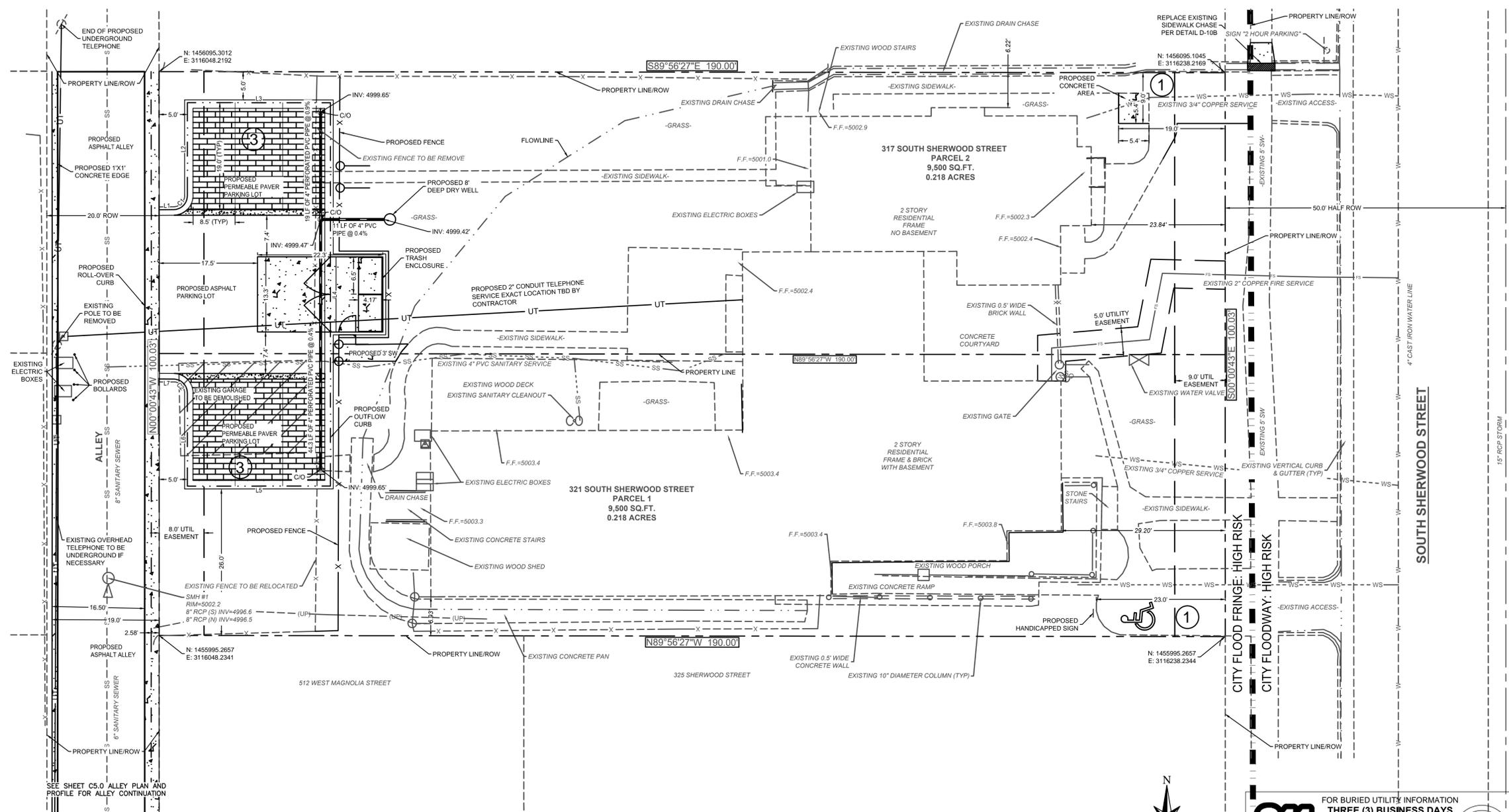
LINE #	BEARING	DISTANCE
L1	N89°55'01"E	2.65
L2	N00°00'42"W	16.50
L3	S89°57'20"E	25.51
L4	S00°00'35"W	68.00
L5	S89°57'20"W	25.49
L6	N00°00'43"E	16.52
L7	N89°56'27"W	2.64

CURVE #	LENGTH	RADIUS	DELTA
C1	3.793	2.489	087.3293
C2	3.773	2.489	086.8616

NOTE:
1.) ALL LINE AND CURVE TAGS ARE MEASURED AS THE FLOWLINE UNLESS OTHERWISE NOTED

SYMBOL LEGEND

- EXISTING**
- RIGHT-OF-WAY
 - PROPERTY BOUNDARY
 - FLOW LINE
 - EDGE OF ASPHALT
 - GAS LINE
 - UNDER GROUND POWER
 - UNDER GROUND TELEPHONE
 - OVERHEAD UTILITY
 - WATER MAIN
 - WATER SERVICE LINE
 - SANITARY LINE
 - FENCE
 - EASEMENT
 - CENTER LINE
 - CONCRETE SIDEWALK
 - MINOR CONTOUR
 - MAJOR CONTOUR
 - SANITARY SEWER MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
- PROPOSED**
- WATER SERVICE LINE
 - WATER LINE
 - FIRE LINE
 - STORM SEWER PIPE
 - SANITARY LINE
 - RIGHT-OF-WAY
 - UNDERGROUND ELECTRIC LINE
 - FLOW LINE
 - EMERGENCY ACCESS BOUNDS
 - CONCRETE SIDEWALK
 - CONCRETE/ASPHALT DRIVE
 - MINOR CONTOUR
 - MAJOR CONTOUR
 - SPOT ELEVATION
 - DIRECTION OF FLOW WITH SLOPE AMOUNT
 - STORM SEWER MANHOLE
 - WATER METER/CURB STOP
 - SANITARY SEWER MANHOLE



811 FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS BEFORE YOU DIG
CALL 811
(OR 1-800-922-1987)
UTILITY NOTIFICATION
CENTER OF COLORADO (UNCC)
WWW.UNCC.ORG

CITY OF FORT COLLINS, COLORADO
UTILITY PLAN APPROVAL

APPROVED:	CITY ENGINEER	DATE
CHECKED BY:	WATER & WASTEWATER UTILITY	DATE
CHECKED BY:	STORMWATER UTILITY	DATE
CHECKED BY:	PARKS AND RECREATION	DATE
CHECKED BY:	TRAFFIC ENGINEER	DATE
CHECKED BY:	ENVIRONMENTAL PLANNER	DATE

QUALITY ENGINEERING
2637 WINDMOUNT DRIVE, SUITE E
FORT COLLINS, CO 80521
WWW.QUALITY-ENGINEERING.COM
(970) 416-7891

NO.	REVISIONS	DATE

FAITH FAMILY HOSPITALITY
317-321 SHERWOOD STREET
FORT COLLINS, CO 80521

HORIZONTAL CONTROL, UTILITY, & DEMO PLAN

FOR REVIEW ONLY

NOT FOR CONSTRUCTION

CHECKED BY: CAG
DESIGNED BY: RJP
DRAWN BY: RJP
DATE: MAY 2017
SCALE: 1:10
PROJECT NO.: 7040-007

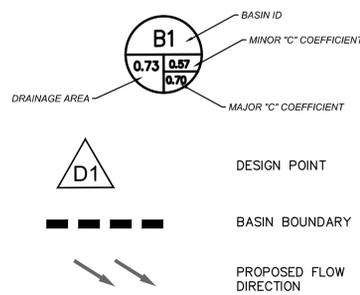
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SHEET 4 OF 9

SEQUENCE FOR INSTALLATION & REMOVAL OF BMP'S

BEFORE GRADING ACTIVITIES BEGIN	SITE GRADING	UTILITY INSTALLATION	PAVING OPERATIONS	FINAL STABILIZATION
INLET PROTECTION & CURB SOCKS (ALONG PRIVATE DRIVE & EX. INLET)				
EROSION CONTROL LOGS OR SILT FENCE				
VEHICLE TRACKING PAD & CONCRETE WASHOUT				
INLET PROTECTION (PROPOSED INLET, FES, SIDEWALK CULVERT)				
RIP RAP OUTLET PROTECTION				
WADDE DIKE SWALE PROTECTION				
REVEGETATE DISTURBED AREAS				

FAITH FAMILY PARKING IMPROVEMENT LID	
Pervious Pavement	
New Pavement Area	2,104 sq. ft.
Required Minimum Area of Porous Pavement	526 sq. ft.
Area of Paver Section #1	424 sq. ft.
Run-on area for Paver Section #1 (up to 3:1 is permitted)	900 sq. ft.
Area of Paver Section #2	424 sq. ft.
Run-on area for Paver Section #1 (up to 3:1 is permitted)	1,137 sq. ft.
Total Porous Pavement Area	848 sq. ft.

DRAINAGE LEGEND



FLOODPLAIN NOTES

- A FLOODPLAIN USE PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY CONSTRUCTION ACTIVITIES (REMODEL THE EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, PARKING LOT, UTILITY WORK, LANDSCAPING, ETC.) IN THE CITY-REGULATED 100-YEAR FLOODPLAIN.
 - A NO-RISE CERTIFICATION WILL BE REQUIRED BEFORE BEGINNING ANY CONSTRUCTION ACTIVITIES (REMODEL THE EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, PARKING LOT, UTILITY WORK, LANDSCAPING, ETC.) IN THE CITY-REGULATED 100-YEAR FLOODWAY.
 - THE STORAGE OF EQUIPMENT AND MATERIALS IS NOT ALLOWED WITHIN THE 100-YEAR FLOODWAY.
- NOTE:** ALL EXISTING TREES TO BE PROTECTED IN PLACE

HISTORIC BASIN FLOWS						
BASIN DESIGNATION	BASIN NUMBER	AREA (AC)	2 YEAR "C"	100 YEAR "C"	Q ₂ (CFS)	Q ₁₀₀ (CFS)
E1	E1	0.074	0.51	0.63	0.11	0.47
E2	E2	0.362	0.58	0.72	0.45	2.19
ALLEY	ALLEY	0.094	0.37	0.46	0.08	0.38

PROPOSED BASIN FLOWS						
BASIN DESIGNATION	BASIN NUMBER	AREA (AC)	2 YEAR "C"	100 YEAR "C"	Q ₂ (CFS)	Q ₁₀₀ (CFS)
D1	B1	0.074	0.54	0.68	0.11	0.50
D2	B2	0.362	0.58	0.72	0.45	2.19
ALLEY	ALLEY	0.094	0.91	1.00	0.24	0.94

Detention Requested: 330 cu.ft.
 Detention Provided: 343 cu.ft.

SYMBOL LEGEND

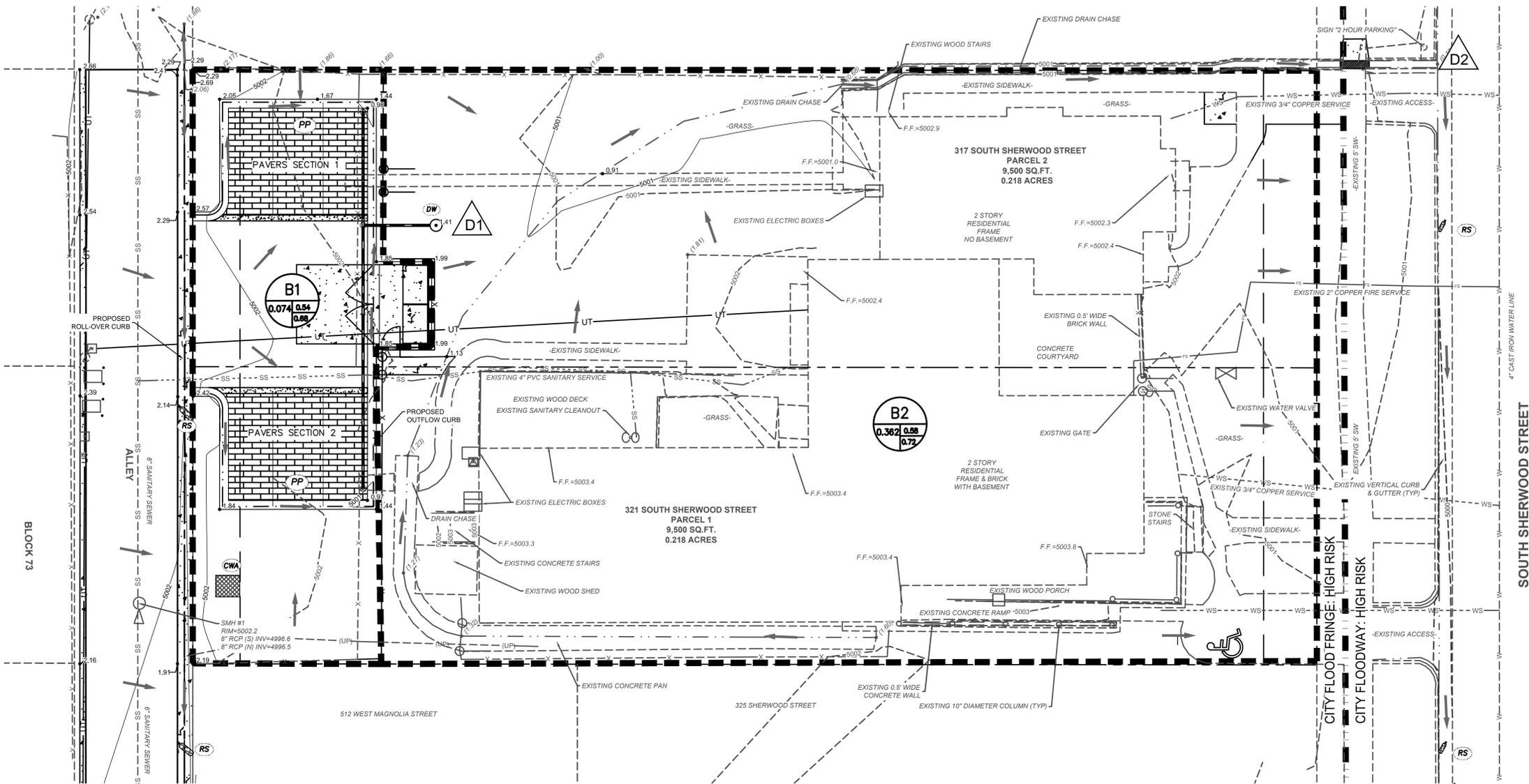
- EXISTING**
- R/W RIGHT-OF-WAY
 - PROPERTY BOUNDARY
 - FLOW LINE
 - EDGE OF ASPHALT
 - G GAS LINE
 - (UP) UNDER GROUND POWER
 - (UT) UNDER GROUND TELEPHONE
 - (OHP) OVERHEAD UTILITY
 - W WATER MAIN
 - WS WATER SERVICE LINE
 - SS SANITARY LINE
 - X FENCE
 - EASEMENT
 - CENTER LINE
 - CONCRETE SIDEWALK
 - 6019 MINOR CONTOUR
 - 6020 MAJOR CONTOUR
 - SMH SANITARY SEWER MANHOLE
 - FH FIRE HYDRANT
 - WV WATER VALVE
- PROPOSED**
- WS WATER SERVICE LINE
 - W WATER LINE
 - FL FIRE LINE
 - SS STORM SEWER PIPE
 - SS SANITARY LINE
 - R/W RIGHT-OF-WAY
 - E UNDERGROUND ELECTRIC LINE
 - FLOW LINE
 - EMERGENCY ACCESS BOUNDS
 - CONCRETE SIDEWALK
 - CONCRETE/ASPHALT DRIVE
 - DEMOLISH EXISTING STRUCTURE
 - 6019 MINOR CONTOUR
 - 6020 MAJOR CONTOUR
 - 10.00 SPOT ELEVATION
 - 2.05% DIRECTION OF FLOW WITH SLOPE AMOUNT
 - D STORM SEWER MANHOLE
 - M WATER METER/CURB STOP
 - SMH SANITARY SEWER MANHOLE

EROSION CONTROL LEGEND

- CWA CONCRETE WASHOUT, PER DETAIL, SHEET C6.1
- VTC VEHICLE TRACKING CONTROL, PER DETAIL, SHEET C6.1
- RS ROCK SOCK (GUTTER), PER DETAIL, SHEET C6.1

L.I.D. LEGEND

- PP PERMEABLE PAVERS
- DW DRY WELL



NOTE: VEHICLE TRACKING CONTROL TO BE INSTALLED AT THE ALLEY ACCESS AT MAGNOLIA AND ROCK SOCKS ARE TO BE INSTALLED EVERY 50' EAST OF THE ALLEY ACCESS UNTIL EXISTING STORM INLET

811 FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS BEFORE YOU DIG
 CALL 811
 (OR 1-800-922-1987)
 UTILITY NOTIFICATION
 CENTER OF COLORADO (UNCC)
 WWW.UNCC.ORG



SCALE: 1" = 10'

CITY OF FORT COLLINS, COLORADO UTILITY PLAN APPROVAL	
APPROVED:	CITY ENGINEER
CHECKED BY:	WATER & WASTEWATER UTILITY
CHECKED BY:	STORMWATER UTILITY
CHECKED BY:	PARKS AND RECREATION
CHECKED BY:	TRAFFIC ENGINEER
CHECKED BY:	ENVIRONMENTAL PLANNER

QUALITY ENGINEERING
 2837 HERRINGTON DRIVE, SUITE E
 FORT COLLINS, CO 80521
 WWW.QUALITY-ENGINEERING.COM
 (970) 416-7891

NO.	REVISIONS	DATE

FAITH FAMILY HOSPITALITY
 317-321 SHERWOOD STREET
 FORT COLLINS, CO 80521

DRAINAGE AND EROSION CONTROL PLAN

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

CHECKED BY: CAG
 DESIGNED BY: RJP
 DRAWN BY: RJP
 DATE: MAY 2017
 SCALE: 1:10
 PROJECT NO.: 7040-007

C4.0
 SHEET 6 OF 9

DRAINAGE REPORT

FOR

Faith Family

317-321 Sherwood Street
Fort Collins, CO 80521

Prepared for:

Kenny Lee Architecture Group Inc.
209 E 4th Street
Loveland, CO 80537

Prepared by:



www.quality-engineering.com
2637 Midpoint Drive, Suite E
Fort Collins, Colorado 80524
(970) 416-7891

QE Project No: 7040-007

Date: May 2017

Faith Family

FINAL DRAINAGE REPORT

ENGINEER'S CERTIFICATION

I hereby certify that this Final Drainage Report for the design of stormwater management facilities for the Faith Family Project was prepared by me, or under my direct supervision, in accordance with the provisions of the City of Fort Collins *Storm Drainage Design Criteria and Construction Standards* for the owners thereof.

Cody Geisendorfer, P.E.
Registered Professional Engineer
State of Colorado No. 41326

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I. GENERAL LOCATION AND DESCRIPTION

A. Location

The proposed site is located in the southeast quarter (NE ¼) of Section 11, Township 7 North, Range 69 West of the 6th P.M. in Larimer County, Colorado. Specifically, the property is located on Sherwood Street between Magnolia Street and Olive Street. The property address is 317-321 Sherwood Street, Fort Collins, Colorado, 80521. (Please see the vicinity map located in the Appendix A).

B. Description of Property

The property's parcel number are 9711420904 and 9711420903. The site is located on Lots 3 and 4, Block 73 City of Fort Collins and is currently 0.436 acres of residential land surrounded by the residential lots to the north and south, an alley to the west, and Sherwood Street to the east. The site can be accessed from Sherwood Street and the existing alley. Two gravel patches provide on-site parking and the site can be accessed from the alley.

The existing property is a residential building with no occupants located in the central portion of the Old Town Basin. The site drains east to Sherwood Street through a drainage channel along the northern property line. Sherwood Street drains south to the existing inlet, where it is conveyed to the Poudre River. Runoff from the alley flows south to West Magnolia Street, where it flows east to an existing storm inlet. There are generally no offsite flows that drain toward the property. The site is within the city-regulated 100-year Old Town floodplain. More specifically, the entire site is located within the City of Fort Collins Flood Fringe. The City of Fort Collins Floodway encompasses all of Sherwood Street and West Magnolia Street and extends to the back of the sidewalk. The site is located with the FEMA Firm Panel 08069C0979H. (see City Flood Risk Map and the FEMA Firm Panel in Appendix A).

According to the NRCS soils map survey, the native soils consist of Fort Collins Loam, which is a Type "C" soils. These soils consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

There are no irrigation facilities located within the proposed site area.

The existing building will be remodeled to serve as temporary housing for homeless families. The proposed development will consist of the construction of an off-street permeable paver parking lot that will act as a parking for the residents and employees of Faith Family. The permeable paver parking lot will have an underdrain network of 4"

perforated that drains into an 8' dry well. The existing gravel alley will also be paved with asphalt from the northern property line to Magnolia Street.

II. DRAINAGE BASINS AND SUB-BASINS

A. Major Basin Description

The proposed site is located within the Old Town Basin. The Old Town Drainage Basin is located in north-central Fort Collins. The basin has a drainage area of approximately 2,120 acres, including approximately 400 acres of the Colorado State University campus. The entire basin is urbanized, with some development dating back to the late 1800s. Generally, the basin drains from west to east. The Old Town Basin receives some runoff water from the Canal Importation Basin directly west of Old Town. Most of the water from Old Town drains to the Poudre River, just to the east.

B. Sub-Basin Description

Historically, most of the site drains east to Sherwood Street.

The developed site is delineated into two sub-basins, with underground detention designed to provide the required water quality capture volume.

Sub-basin B1, (0.074 acres), consists of an existing shed to be removed and gravel parking lot. The existing gravel patch is to be constructed into an asphalt parking lot with permeable paver parking spots. Rainfall travels via overland flow from east to west, into a permeable paver system. Once the flow enters the paver system, it is conveyed to an 8' deep dry well. The flow from the site eventually infiltrates into the ground surface.

Sub-basin B2, (0.362 acres), consists of an existing building, landscaped area, and concrete walkways. The addition of the dry well and replacing the sidewalk chase are the only proposed changes to sub-basin B2. Rainfall travels via overland flow to a grass swale, where it will be conveyed to a concrete drainage channel. Once the flow is concentrated into the channel, it is conveyed to the flowline Sherwood Street. The flow from the site eventually drains into the Poudre River.

Currently, flows from the alley enter the site from the west. The proposed curb and gutter will prevent off-site flows from entering the site.

III. DRAINAGE CRITERIA

A. Regulations

Drainage design criteria specified in the City of Fort Collins Storm Drainage Design Criteria and Construction Standards manual (FCSDCM) and the Urban Storm Drainage Criteria Manual, Volume 3 by the Urban Drainage and Flood Control District (UDFCD) have been referenced in the preparation of this study. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options: a) 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious or b) 75% of all newly added or modified impervious area must be treated by LID techniques. For this site, we are following option a). The site improvements propose a 2,100 ft² asphalt parking lot, 850 ft² of which will be permeable pavers. 100% percent of the flow from the impervious area will be directed toward the pavers sections, which make up 40% of the proposed parking lot.

B. Implementation of the “Four Step Process”

The overall stormwater management strategy employed with this parking lot and alley improvements utilizes the “Four Step Process” to minimize adverse impacts of urbanization on receiving waters. The following is a description of how the proposed development has incorporated each step.

Step 1 – Employ Runoff Reduction Practices. The first consideration taken in trying to reduce the stormwater impacts of this development is the site selection itself. By selecting a site with historically undetained runoff, the burden of development will be significantly less with underground detention. Also, permeable pavers are used to reduce the area of impervious surfaces, reducing the effects of imperviousness.

Step 2 – Implement BMPs That Provide a Water Quality Capture Volume (WQCV) with Slow Release. Demolishing the existing shed, adding landscaped areas, and constructing permeable pavers will cause stormwater runoff to increase from the site. The runoff will be released through the bottom of a dry well and paver sub-base. The primary water quality will occur in the permeable pavers and dry well. Refer to the map pocket for permeable paver details and cross-sections. The permeable pavers will increase water quality and promote infiltration. Water quality treatment for 50% of the site is provided for in the Udall Natural Area water treatment facility.

Step 3 – Stabilize Drainageways. The Poudre River is the governing drainageway for the proposed site. The proposed project indirectly helps achieve a better stabilized drainageway nonetheless. By improving the water quality and increasing infiltration, the likelihood of bed and bank erosion from this site is greatly reduced.

Step 4 – Implement Site Specific and Other Source Control BMPs.

The Family Faith site contains a plethora of source control BMPs.

Permeable Pavement Systems: Flow from the parking lot will directly flow into the void area of the pavers avoiding any extra pollutant-flow contact time. The sub-base of the pavers will work to filter out any pollutants.

Dry Well: Flow entering the dry well will slowly infiltrate into the soil, after filtering out any pollutants.

C. Development Criteria Reference and Constraints

The criteria used as the basis for analysis and design of stormwater management improvements for this site are those found in the references cited.

To the knowledge of the author, there are no other capital drainage improvements planned for this portion of the site; aside from those referred to above, that would constrain or otherwise influence the design of the stormwater improvements for this site.

D. Hydrological Criteria

Stormwater runoff from the respective sub-basins of the site is analyzed for storms with 2-year and 100-year return frequencies.

Due to the relatively small aggregate area of the tributary drainage sub-basins, the Rational Method was chosen for use in the design of the stormwater management improvements. The Rational Method provides that:

$Q = CIA$, where:

Q = Design flow in cubic feet per second (cfs)

C = Coefficient of runoff for the area under consideration

I = Rainfall intensity for the design storm duration (in/hr)

A = Area of the drainage sub-basin under consideration (ac)

Peak flows were calculated using the Rational Method for the 2-year and 100-year storm events. This software uses the local 1-hour rainfall depth and Fort Collins rainfall intensities developed calculate rainfall intensities as a function of the time of concentration. These values were obtained by the City of Fort Collins Rainfall Intensity-Duration-Frequency (IDF) curve/table; Figure 3-1 and Table 3-1a, and can be found in the Appendix. Additionally, per City of Fort Collins, the coefficients have been multiplied by the appropriate storm factors.

Percent imperviousness values were taken from Table RO-3, Recommended Percentage Imperviousness Values, UDCM (See Appendix). Soils of hydrologic soil type “C” dominate the site. Onsite runoff was calculated to determine the runoff differential between existing and developed conditions for use in sizing the WQCV as required by the FCSDM. The hydrologic basin parameters and runoff rates are included in the Appendices and include quantification of the allowable volume reduction.

On-site detention is not required, but permeable pavers have built in detention within the sub-base. The permeable paver sub-base is separated into two layers of subbase, a 4” layer of #57 base and a 15” layer of #2 base. The detention volume of the system can be found using the following equation: Volume = (area of pavers) X (depth of #2 sub-base) X (void space). The sub-base of the permeable pavers is assumed to have a void space of 30%. The total area of permeable pavers is 850 ft², therefore the detention volume of the sub-base is 318 ft³. The storage volume ($V = \pi r^2 h$) in the 8’ dry well is 25 ft³. The total detention volume for the site is 343 ft³. Detention is being utilized in the sub-base of the pavers to prevent surface ponding.

The design worksheets included in the Appendices to this Final Drainage Report present documentation of the hydrologic calculations for the on-site storm drainage systems.

E. Hydraulic Criteria

Within this development, all runoff will be conveyed on the surface, initially as sheet flow and subsequently as concentrated flow in shallow pans and gutters. The assessment of required capacity and the sizing of the respective components of the drainage system are based on the anticipated runoff from the 100-year storm event.

F. Modifications of Criteria

There are no modifications or variances requested in connection with the design of the stormwater management for the Faith Family site development.

IV. DRAINAGE FACILITY DESIGN

A. General Concept

The storm drainage system is designed to safely convey developed storm flows by sheet flow, concentrated pan, and gutter flow to the street flowlines.

The design worksheets included in the Appendices to this Final Drainage Report present details of the hydrologic and hydraulic calculations pertinent to the design of the on-site

storm drainage system. A drainage plan, showing the proposed development of the site and developed drainage patterns is included in the map pocket following the Appendices.

B. Specific Details

There are a number of collection and conveyance scenarios within the drainage regime associated with this development. The respective scenarios are described below.

Sub-basin B1, (0.074 acres), consists of a permeable parking lot and landscaped areas. The runoff created by a 100-Year event is increased from 0.47 cfs to 0.50 cfs with the proposed improvements to the parking lot. Runoff will infiltrate through the permeable pavers to a network of 4" perforated PVC pipes and drains into a proposed 8' dry well. The well-draining soil was encountered 22' below ground surface. The water table was encountered 15.5' below ground surface. Because the well-draining soils are below the water table, it is impractical to construct the dry well to well-draining soils. The 8' of depth dry well and permeable pavers sub-base provides adequate infiltration rates for the small basin area. Flows in excess of the 100-year event will be conveyed east to the existing concrete drainage channel on the north side of the site. (See Appendix B for calculations.)

Sub-basin B2, (0.362 acres), consists of an existing building, landscaped area, and concrete walkways. Rainfall travels via overland flow to a grass swale, where it will be conveyed to a concrete drainage channel. Once the flow is concentrated into the channel, it is conveyed to the flowline Sherwood Street. The flow from the site eventually drains into the Poudre River. There is no change in sub-basin B2 from the existing condition.

Alley, (0.094 acres), consists of an existing gravel alley that is to be paved with asphalt. The alley design follows Fort Collins Alley Option B (drainage to one side), with a roll-over curb. The alley flows north to south, and has a slope of 0.5%. The high point is located at the northern property line of the site to prevent developed flows entering the neighbor's property to the north. The access to the alley will be reconstructed to match the proposed flowline of the alley. The undeveloped portion of the alley follows existing drainage patterns, flowing north to the flowline of Olive Street.

V. CONCLUSIONS

A. Compliance with Standards

The drainage design for the Faith Family site is in compliance with the requirements of the City of Fort Collins *Storm Drainage Design Criteria and Construction Standards Manual* as well as the City's floodplain regulations. The criteria and recommendations of the *Urban Storm Drainage Criteria Manual* are also reflected in the design of the drainage systems.

B. Drainage Concept

The drainage design for the Faith Family will be adequate to safely convey onsite flows through the development. Development of the site, as proposed, should have a beneficial impact on water quality in downstream drainage facilities and drainage ways by reducing and delaying the initial discharge of runoff from the site such that sediments and other potential pollutants typically carried by this first flush are removed from the flow. The proposed drainage improvements cause no adverse impact to the adjacent properties.

VI. REFERENCES

“City of Fort Collins Stormwater Criteria Manual”, City of Fort Collins, Adopted December 2011

“City of Fort Collins Municipal Code”, Chapter 10 – Flood Protection and Prevention City of Fort Collins, 1987

Urban Storm Drainage Criteria Manual, Volumes 1, 2, and 3, Urban Drainage and Flood Control District, April 2008

APPENDIX A: Hydrologic Computations

Vicinity Map

Fort Collins Flood Map

FEMA Firm Panel 08069C0979H

USGS Soil Map

Soilogic Soils Report

Fort Collins Rainfall Intensity Curve

Fort Collins Rainfall Intensity Table

Table RO-3 Recommended Percentage Imperviousness Values

Rational Method Calculated Runoff Coefficients

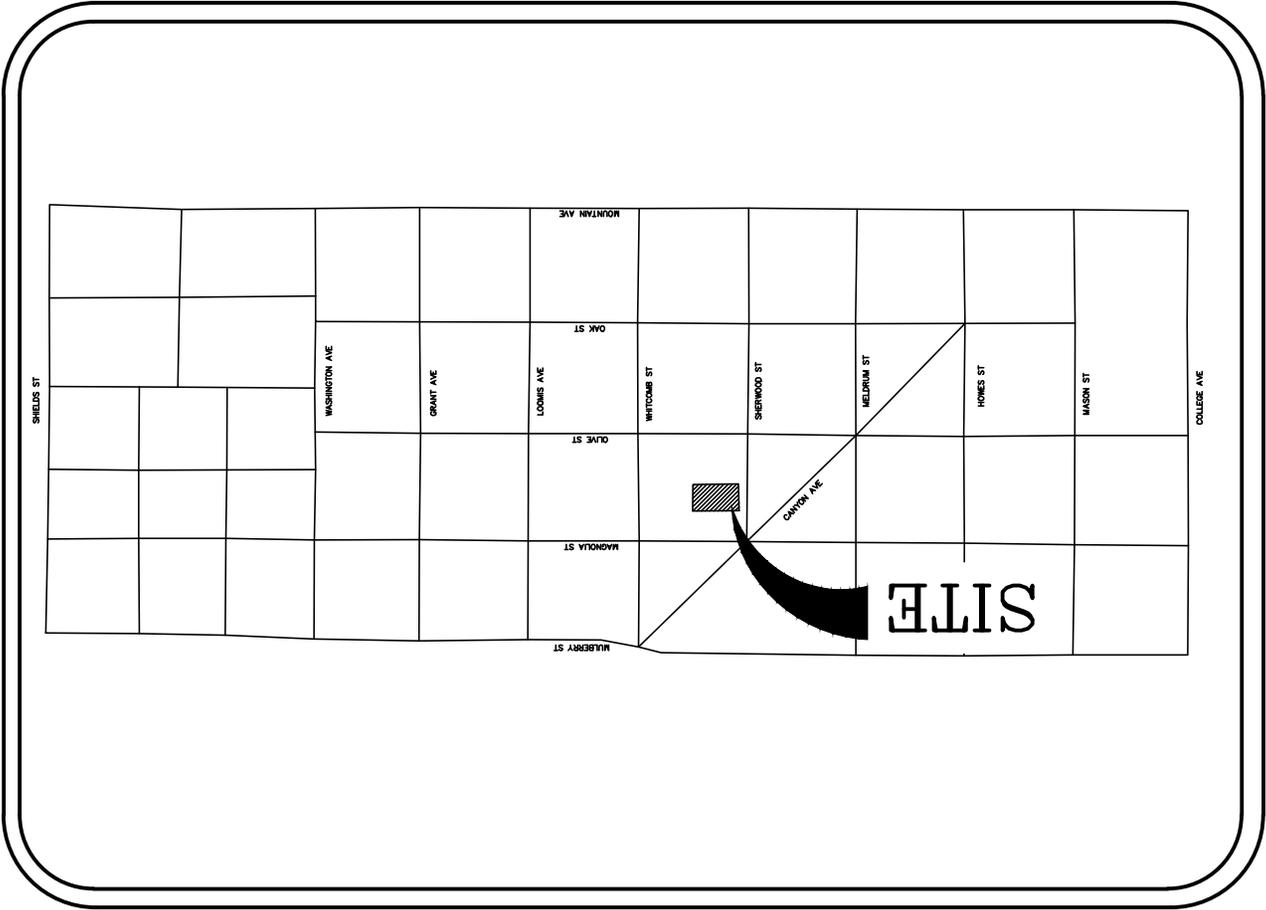
Rational Method Calculated Imperviousness

Rational Method Calculated Flows

Rational Method Calculated Composite C Tables

Rational Method Calculated Imperviousness

Rational Method Calculated Flows



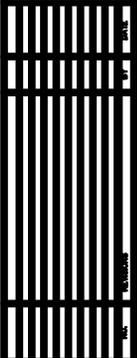
VICINITY MAP

NTS



DESIGNED BY: CJS
 DRAWN BY: MJS
 DATE: 05/20/08
 SCALE: 1" = 100'
 PROJECT NO.: 2008-01

FAITH FAMILY
 317-321 SHERWOOD STREET
 FORT COLLINS CO, 80524
 VICINITY MAP



**QUALITY
ENGINEERING**
 2837 MIDPOINT AVENUE, SUITE E
 FORT COLLINS, CO 80524
 WWW.QUALITYENGINEERING.COM
 (970) 419-7891

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was the Colorado State Plane North zone (FIPSZONE 5011). The **horizontal datum** was NAD83, GRS1980 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of the FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov/> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, NINGS12
National Geodetic Survey
SSM-C-3, #9202
1315 East-West Highway
Silver Spring, MD 20910-3282

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov/>.

Base map information on this FIRM was provided by the Larimer County GIS and Mapping Department. Additional input was provided by the City of Fort Collins Geographic Information Services Division. These data are current as of 2010.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

For information and questions about this map, available products associated with this FIRM including historic versions of this FIRM, how to order products or the National Flood Insurance Program in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the **FEMA Map Service Center** website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website. Users may determine the current map date for each FIRM panel by visiting the **FEMA Map Service Center** website or by calling the FEMA Map Information eXchange.

Accredited Levee Notes to Users: Check with your local community to obtain more information, such as the estimated level of protection provided (which may exceed the 1-percent-annual-chance level) and Emergency Action Plan, on the levee system(s) shown as providing protection for areas on this panel. To mitigate flood risk in residual risk areas, property owners and residents are encouraged to consider flood insurance and floodproofing or other protective measures. For more information on flood insurance, interested parties should visit the FEMA Website at <http://www.fema.gov/business/nfp/index.shtm>.



NOTE: THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. FOR ADDITIONAL INFORMATION, SEE THE "ACCREDITED LEVEE NOTE" IN NOTES TO USERS.

NOTE: MAP AREA SHOWN ON THIS PANEL IS LOCATED WITHIN TOWNSHIP 68 WEST, RANGE 7 NORTH.

LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A
No Base Flood Elevations determined.

ZONE AE
Base Flood Elevations determined.

ZONE AH
Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AO
Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.

ZONE AR
Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

ZONE A99
Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE V
Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

ZONE VE
Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X
Areas determined to be outside the 0.2% annual chance floodplain.

ZONE D
Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

- Floodplain boundary
- Floodway boundary
- Zone D boundary
- Zone A boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
- Base Flood Elevation line and value; elevation in feet*
- Base Flood Elevation value where uniform within zone; elevation in feet*
- * Referenced to the North American Vertical Datum of 1988 (NAVD 88)
- Cross section line
- Transect line
- Geographic coordinates referenced to the North American Datum of 1983 (NAD 83)
- 1000-meter Universal Transverse Mercator grid ticks, zone 13
- 5000-foot grid ticks: Colorado State Plane coordinate system, north zone (FIPSZONE 5011), Lambert Conformal Conic
- Bench mark (see explanation in Notes to Users section of this FIRM panel)
- M1.5
River Mile

MAP REPOSITORIES
Refer to Map Repositories list on Map Index

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP
December 19, 2005

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL
June 17, 2008

May 2, 2012 - to change Special Flood Hazard Areas, to change floodway, to reflect updated topographic information, to change Base Flood Elevations, and to incorporate previously issued Letters of Map Revision.

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 500'

250 0 500 1000 FEET
150 0 150 300 METERS

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0979H

FIRM
FLOOD INSURANCE RATE MAP
LARIMER COUNTY,
COLORADO
AND INCORPORATED AREAS

PANEL 979 OF 1420
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
LARIMER COUNTY	080101	0979	H
FORT COLLINS, CITY OF	080102	0979	H

Notes to User: The **Map Number** shown below should be used when placing map orders. The **Community Number** shown above should be used on insurance applications for the subject community.

MAP NUMBER
08069C0979H

MAP REVISED
MAY 2, 2012

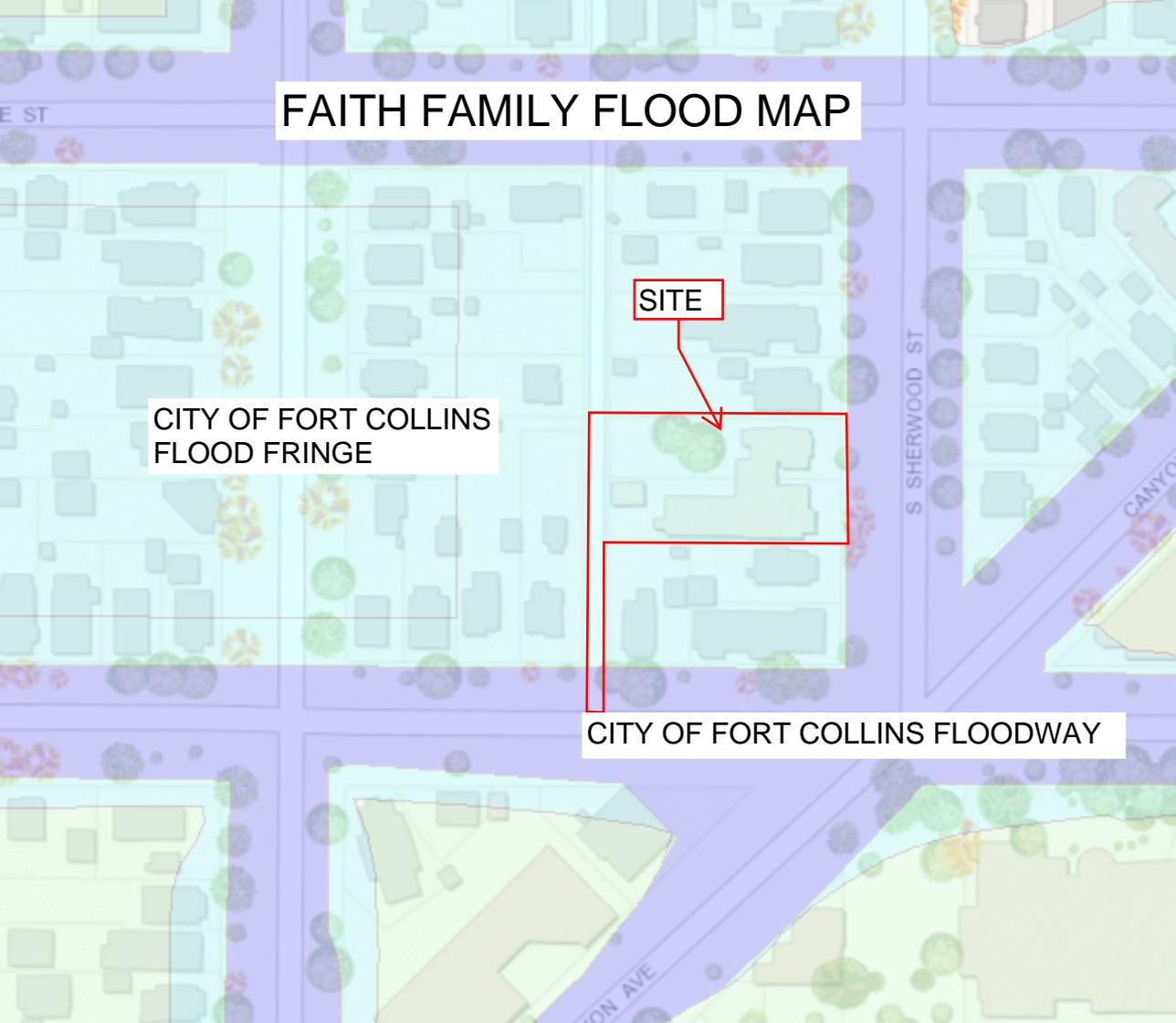
Federal Emergency Management Agency

FAITH FAMILY FLOOD MAP

CITY OF FORT COLLINS
FLOOD FRINGE

SITE

CITY OF FORT COLLINS FLOODWAY





March 23, 2017

Quality Engineering, LLC
2637 Midpoint Drive, Suite E
Fort Collins, Colorado 80234

Attn: Ms. Lisa Denke, P.E.

Re: Geotechnical Subsurface Exploration
317-321 Sherwood Street Dry Well
Fort Collins, Colorado
Soilogic Project # 17-1053

Ms. Denke:

Soilogic, Inc. (Soilogic) personnel have completed the geotechnical subsurface exploration you requested for the proposed dry well to be constructed at 317-321 Sherwood Street in Fort Collins, Colorado. Results of our subsurface exploration and estimated permeability rates are included with this report.

To develop subsurface information in the proposed dry well area, one (1) soil boring was extended to a depth of approximately 25 feet below present site grade. The boring location was established in the field by Soilogic personnel based on a provided site plan, the accessibility of the site and by pacing and estimating angles and distances from identifiable site references. The boring location should be considered accurate only to the degree implied by the methods used to make the field measurements. A diagram indicating the approximate boring location is included with this report. A graphic log of the auger boring is also included.

The test hole was advanced using 4-inch diameter continuous flight auger powered by a truck-mounted CME-45 drill rig. Samples of the subsurface materials were obtained at regular intervals using California barrel sampling procedures in general accordance with ASTM specification D-1586. As part of the D-1586 sampling procedure, the standard sampling barrel is driven into the substrata using a 140-pound hammer falling a distance of 30 inches. The number of blows required to advance the sampler a distance of 12 inches is recorded and helpful in estimating the consistency or relative density of the soils and/or bedrock encountered. In the California barrel sampling procedure, lesser

disturbed samples are obtained in removable brass liners. Samples of the subsurface materials obtained in the field were sealed and returned to the laboratory for further evaluation, classification and testing.

The samples collected were visually and tactually evaluated in the laboratory to determine soil type classification and associated estimated permeability rates. Permeability rates are outlined below in Table 1 and on the attached boring log.

SUBSURFACE CONDITIONS

The subsurface materials encountered in the completed site boring can be summarized as follows. Approximately 6 inches of gravel surfacing was encountered at the surface at the boring location. The gravel surfacing was underlain by brown silty sand and gravel. The sand and gravel extended to a depth of approximately 18 inches below ground surface and was underlain by light brown, silty lean clay/sandy silt. The silty lean clay/sandy silt extended to a depth of approximately 9 feet below ground surface and was underlain by tan to light reddish brown sandy lean clay. The lean clay extended to a depth of approximately 18 feet below ground surface and was underlain by light reddish brown sandy lean to fat clay. The lean to fat clay extended to a depth of approximately 22 feet below ground surface and was underlain by reddish brown sand and gravel. The sand and gravel extended to the bottom of boring B-1 at a depth of approximately 25 feet below present site grade.

Groundwater was encountered in the completed site boring at a depth of approximately 15½ feet below ground surface at the time of drilling. When checked about 3 days after completion of drilling, groundwater levels remained unchanged. Groundwater levels will vary seasonally and over time based on weather conditions, site development, irrigation practices and other hydrologic conditions. Perched and/or trapped groundwater conditions may also be encountered at times throughout the year. Perched water is commonly encountered in soils overlying less permeable soil layers and/or bedrock. Trapped water is typically encountered within more permeable zones of layered soil and bedrock systems. The location and amount of perched/trapped water can also vary over time.

Geotechnical Subsurface Exploration Report
Wells Fargo Parking Lot
112 West Magnolia Street, Fort Collins, Colorado
Soilogic # 16-1181

TABLE 1: SUMMARY OF ESTIMATED PERMEABILITY RATES		
Depth (ft)	Soil Type	Estimated Permeability Rate (cm/sec)
1½-9	Silty Lean Clay/Sandy Silt	0.0006
9-18	Sandy Lean Clay	0.0004
18-22	Sandy Lean to Fat Clay	0.0002
22-25	Sand and Gravel	0.008

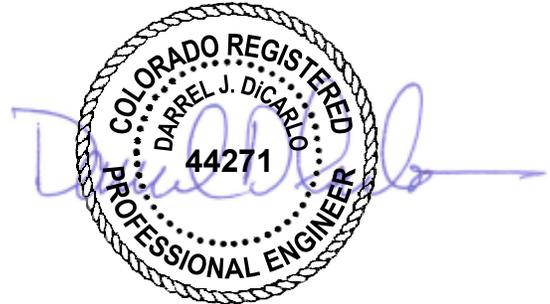
We appreciate the opportunity to be of service to you on this project. If we can be of further service to you in any way or if you have any questions concerning the enclosed information, please do not hesitate to contact us.

Very Truly Yours,
Soilogic, Inc.



Wolf von Carlowitz, P.E.
Principal Engineer

Reviewed by:



Darrel DiCarlo, P.E.
Senior Project Engineer

MARCH 2017
PROJECT # 17-1053

BORING LOCATION DIAGRAM



317-321 SHERWOOD STREET DRY WELL
FORT COLLINS, COLORADO

317-321 SHERWOOD STREET DRY WELL

FORT COLLINS, COLORADO

Project # 17-1053

March 2017



LOG OF BORING B-1

Sheet	1/1	Drilling Rig:	CME 45	Water Depth Information
Start Date	3/6/2017	Auger Type:	4" CFA	During Drilling 15.5'
Finish Date	3/6/2017	Hammer Type:	Automatic	After Drilling 15.5'
Surface Elev.	-	Field Personnel:	CP/ZG	3 Days After Drilling 15.5'

USCS	SOIL DESCRIPTION	Depth (ft)	Sampler	"N"	MC (%)	DD (pcf)	Estimated Permeability Rate (cm/s)	Swell Pressure (psf)	Atterberg Limits		% Passing # 200 Sieve (%)
									LL	PI	
	6" GRAVEL SURFACING	-									
SM-GM	SILTY SAND AND GRAVEL brown	1									
		-									
		2									
		-									
		3									
		-									
CL-ML	SILTY LEAN CLAY/SANDY SILT light brown medium stiff	4									
		-									
		5	CS	9			0.0006				
		-									
		6									
		-									
		7									
		-									
		8									
		-									
		9									
		-									
		10	CS	15			0.0004				
		-									
		11									
		-									
		12									
		-									
		13									
		-									
		14									
		-									
		15	CS	7			0.0004				
		-									
		16									
		-									
		17									
		-									
		18									
		-									
		19									
		-									
CL-CH	SANDY LEAN TO FAT CLAY light reddish brown very stiff	20	CS	22			0.0002				
		-									
		21									
		-									
		22									
		-									
		23									
		-									
		24									
		-									
SP-GP	SAND AND GRAVEL reddish brown medium dense	25	CS	39			0.008				

UNIFIED SOIL CLASSIFICATION SYSTEM

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests^A

				Soil Classification		
				Group Symbol	Group Name ^B	
Coarse Grained Soils More than 50% retained on No. 200 sieve	Gravels More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels Less than 5% fines ^C	$Cu \geq 4$ and $1 \leq Cc \leq 3^E$	GW	Well graded gravel ^F	
			$Cu < 4$ and/or $1 > Cc > 3^E$	GP	Poorly graded gravel ^F	
	Sands 50% or more of coarse fraction passes No. 4 sieve	Gravels with Fines More than 12% fines ^C	Fines classify as ML or MH		GM	Silty gravel ^{F,G,H}
			Fines classify as CL or CH		GC	Clayey gravel ^{F,G,H}
		Sands with Fines More than 12% fines ^D	Clean Sands Less than 5% fines ^D	$Cu \geq 6$ and $1 \leq Cc \leq 3^E$	SW	Well graded sand ^I
				$Cu < 6$ and/or $1 > Cc > 3^E$	SP	Poorly graded sand ^I
Fine-Grained Soils 50% or more passes the No. 200 sieve	Silts and Clays Liquid limit less than 50	Inorganic	$PI > 7$ and plots on or above "A" line ^J	CL	Lean clay ^{K,L,M}	
			$PI < 4$ or plots below "A" line ^J	ML	Silt ^{K,L,M}	
		Organic	Liquid limit - oven dried	< 0.75	OL	Organic clay ^{K,L,M,N}
			Liquid limit - not dried			Organic silt ^{K,L,M,O}
	Silts and Clays Liquid limit 50 or more	Inorganic	PI plots on or above "A" line	CH	Fat clay ^{K,L,M}	
			PI plots below "A" line	MH	Elastic silt ^{K,L,M}	
		Organic	Liquid limit - oven dried	< 0.75	OH	Organic clay ^{K,L,M,P}
			Liquid limit - not dried			Organic silt ^{K,L,M,O}
Highly organic soils	Primarily organic matter, dark in color, and organic odor			PT	Peat	

^ABased on the material passing the 3-in. (75-mm) sieve

^BIf field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^CGravels with 5 to 12% fines require dual symbols: GW-GM well graded gravel with silt, GW-GC well graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

^DSands with 5 to 12% fines require dual symbols: SW-SM well graded sand with silt, SW-SC well graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay

$$^E Cu = D_{60}/D_{10} \quad Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$$

^FIf soil contains $\geq 15\%$ sand, add "with sand" to group name.

^GIf fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

^HIf fines are organic, add "with organic fines" to group name.

^IIf soil contains $\geq 15\%$ gravel, add "with gravel" to group name.

^JIf Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.

^KIf soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

^LIf soil contains $\geq 30\%$ plus No. 200 predominantly sand, add "sandy" to group name.

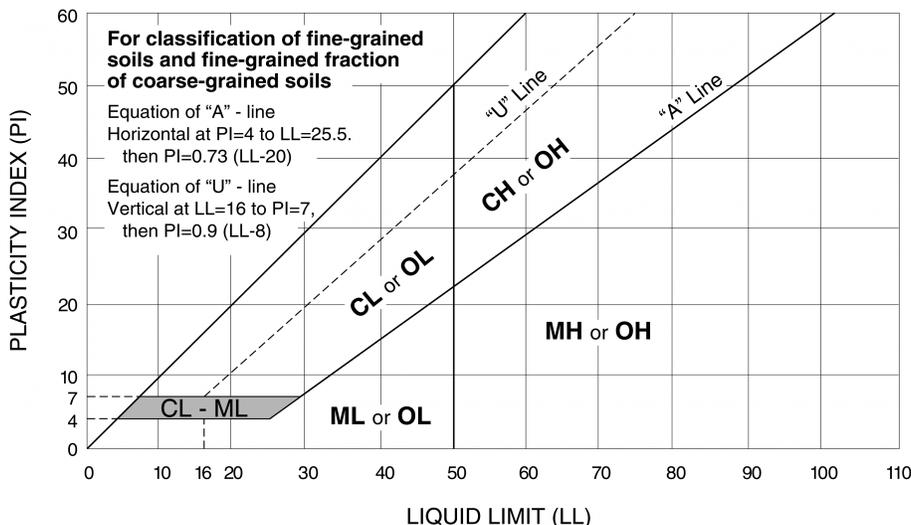
^MIf soil contains $\geq 30\%$ plus No. 200, predominantly gravel, add "gravelly" to group name.

^N $PI \geq 4$ and plots on or above "A" line.

^O $PI < 4$ or plots below "A" line.

^P PI plots on or above "A" line.

^Q PI plots below "A" line.



GENERAL NOTES

DRILLING & SAMPLING SYMBOLS:

SS:	Split Spoon - 1 $\frac{3}{8}$ " I.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
ST:	Thin-Walled Tube – 2.5" O.D., unless otherwise noted	PA:	Power Auger
RS:	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
CS:	California Barrel - 1.92" I.D., 2.5" O.D., unless otherwise noted	RB:	Rock Bit
BS:	Bulk Sample or Auger Sample	WB:	Wash Boring or Mud Rotary

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value". For 2.5" O.D. California Barrel samplers (CB) the penetration value is reported as the number of blows required to advance the sampler 12 inches using a 140-pound hammer falling 30 inches, reported as "blows per inch," and is not considered equivalent to the "Standard Penetration" or "N-value".

WATER LEVEL MEASUREMENT SYMBOLS:

WL:	Water Level	WS:	While Sampling
WCI:	Wet Cave in	WD:	While Drilling
DCI:	Dry Cave in	BCR:	Before Casing Removal
AB:	After Boring	ACR:	After Casing Removal

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

DESCRIPTIVE SOIL CLASSIFICATION: Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

FINE-GRAINED SOILS

<u>(CB)</u> <u>Blows/Ft.</u>	<u>(SS)</u> <u>Blows/Ft.</u>	<u>Consistency</u>
< 3	0-2	Very Soft
3-5	3-4	Soft
6-10	5-8	Medium Stiff
11-18	9-15	Stiff
19-36	16-30	Very Stiff
> 36	> 30	Hard

COARSE-GRAINED SOILS

<u>(CB)</u> <u>Blows/Ft.</u>	<u>(SS)</u> <u>Blows/Ft.</u>	<u>Relative</u> <u>Density</u>
0-5	< 3	Very Loose
6-14	4-9	Loose
15-46	10-29	Medium Dense
47-79	30-50	Dense
> 79	> 50	Very Dense

BEDROCK

<u>(CB)</u> <u>Blows/Ft.</u>	<u>(SS)</u> <u>Blows/Ft.</u>	<u>Consistency</u>
< 24	< 20	Weathered
24-35	20-29	Firm
36-60	30-49	Medium Hard
61-96	50-79	Hard
> 96	> 79	Very Hard

RELATIVE PROPORTIONS OF SAND AND GRAVEL

<u>Descriptive Terms of</u> <u>Other Constituents</u>	<u>Percent of</u> <u>Dry Weight</u>
Trace	< 15
With	15 – 29
Modifier	> 30

GRAIN SIZE TERMINOLOGY

<u>Major Component</u> <u>of Sample</u>	<u>Particle Size</u>
Boulders	Over 12 in. (300mm)
Cobbles	12 in. to 3 in. (300mm to 75 mm)
Gravel	3 in. to #4 sieve (75mm to 4.75 mm)
Sand	#4 to #200 sieve (4.75mm to 0.075mm)
Silt or Clay	Passing #200 Sieve (0.075mm)

RELATIVE PROPORTIONS OF FINES

<u>Descriptive Terms of</u> <u>Other Constituents</u>	<u>Percent of</u> <u>Dry Weight</u>
Trace	< 5
With	5 – 12
Modifiers	> 12

PLASTICITY DESCRIPTION

<u>Term</u>	<u>Plasticity Index</u>
Non-plastic	0
Low	1-10
Medium	11-30
High	30+



March 28, 2017

Quality Engineering, LLC
2637 Midpoint Drive, Suite E
Fort Collins, Colorado 80234

Attn: Ms. Lisa Denke, P.E.

Re: Geotechnical Subsurface Exploration and Pavement Design Report
317-321 Sherwood Street Alleyway Pavements
Fort Collins, Colorado
Soilogic Project # 17-1053

Ms. Denke:

Soilogic, Inc. (Soilogic) personnel have completed the geotechnical subsurface exploration and pavement section design you requested for the alleyway paving to be completed as part of the off-site improvements associated with 317-321 Sherwood Street in Fort Collins, Colorado. The results of our subsurface exploration and pertinent geotechnical engineering recommendations are included with this report. A structural pavement section designs are also included.

The purpose of our exploration was to describe the subsurface conditions encountered in the completed site borings and develop the test data necessary to provide recommendations concerning development of the alleyway subgrade soils and a pavement section design options for the alleyway. The conclusions and recommendations outlined in this report are based on results of the completed field and laboratory testing and our experience with subsurface conditions in this area.

This project involves the paving of the alleyway located behind 317-321 Sherwood Street extending from West Magnolia Street north approximately 200 feet. At the time of our site exploration, the alleyway was in service and we expect the sewer utility had been in-place for an extended period. The alleyway was at approximate finish subgrade elevation at the time of drilling.

FIELD EXPLORATION

To develop subsurface information for use in the pavement design, two (2) soil borings were advanced within the alleyway alignment to a depth of approximately ten (10) feet below alleyway subgrade level in accordance with the Larimer County Urban Area Street Standards (LCUASS). The boring locations were established in the field by Soilogic personnel by pacing and estimating angles and distances from identifiable site references. The boring locations should be considered accurate only to the degree implied by the methods used to make the field measurements. A diagram indicating the approximate boring locations is included with this report. Graphic logs of the auger borings are also included.

The test holes were advanced using 4-inch diameter continuous-flight auger powered by a truck-mounted CME-45 drill rig. Samples of the subsurface materials were obtained at regular intervals using California barrel sampling procedures in general accordance with ASTM specification D-1586. As part of the D-1586 sampling procedure, standard sampling barrels are driven into the substrata using a 140-pound hammer falling a distance of 30 inches. The number of blows required to advance the samplers a distance of 12 inches is recorded and helpful in estimating the consistency or relative density of the soils encountered. In the California barrel sampling procedure, lesser disturbed samples are obtained in removable brass liners. Samples of the subsurface materials obtained in the field were sealed and returned to the laboratory for further evaluation, classification and testing.

LABORATORY TESTING

The samples collected were tested in the laboratory to measure natural moisture content and visually and/or manually classified in accordance with the Unified Soil Classification System (USCS). The USCS group symbols are indicated on the attached boring logs. An outline of the USCS classification system is included with this report.

As part of the laboratory testing, a calibrated hand penetrometer (CHP) was used to estimate the unconfined compressive strength of essentially cohesive specimens. The CHP also provides a more reliable estimate of soil consistency than tactual observation

alone. Dry density, Atterberg limits, -200 wash and swell/consolidation tests were completed on selected samples to help establish specific soil characteristics. Atterberg limits tests are used to determine soil plasticity. The percent passing the #200 size sieve (-200 wash test) is used to determine the percentage of fine grained materials (clay and silt) in a sample. Swell/consolidation tests are performed to evaluate soil volume change potential with variation in moisture content. Swell/consolidation tests completed on samples obtained at a depth of approximately 2 feet below ground surface were inundated with water at a 150 psf confining pressure. As part of the completed laboratory testing, one (1) resistance value (R-value) test was completed on a representative subgrade sample for use in pavement design. The results of the completed laboratory tests are outlined on the attached boring logs and swell/consolidation summary sheets.

SUBSURFACE CONDITIONS

The subsurface materials encountered in the completed site borings can be summarized as follows. Approximately 6 inches of recycled asphalt pavement (RAP) was encountered at the surface at the boring locations. At the location of boring B-2, the RAP was underlain by apparent fill/utility backfill consisting of brown clayey sand and gravel. The RAP encountered at the location of boring B-3 and apparent fill encountered at the location of boring B-2 was underlain by light reddish brown to brown silty lean clay. The silty lean clay varied from soft to stiff in terms of consistency, exhibited low swell potential at in-situ moisture and density conditions and extended to depths ranging from approximately 7 to 8 feet below ground surface where it transitioned to tan to light reddish brown sandy lean to fat clay. The lean to fat clay was stiff in consistency and extended to the bottom of both borings at a depth of approximately 10 feet below present site grades.

The stratigraphy indicated on the included boring logs represents the approximate location of changes in soil types. Actual changes may be more gradual than those indicated.

Groundwater was not encountered in either of the completed site borings at the time of drilling. Groundwater levels will vary seasonally and over time based on weather conditions, site development, irrigation practices and other hydrologic conditions.

Perched and/or trapped groundwater conditions may also be encountered at times throughout the year. Perched water is commonly encountered in soils overlying less permeable soil layers and/or bedrock. Trapped water is typically encountered within more permeable zones of layered soil and bedrock systems. The location and amount of perched and/or trapped water can also vary over time.

ANALYSIS AND RECOMMENDATIONS

Roadway Subgrade Development

The lean clay subgrade soils encountered in the completed site borings exhibited low swell potential at in-situ moisture and density conditions. The clayey sand and gravel encountered near surface at boring location B-2 would be expected to be non-expansive or possess low swell potential based on the materials physical properties and engineering characteristics. Based on results of the completed field and laboratory testing, it is our opinion the clayey sand and gravel and silty lean clay could be used for direct support of the alleyway pavements. Immediately prior to paving, we recommend the exposed subgrade soils be scarified to a depth of 9 inches, adjusted in moisture content and compacted to at least 95% of the materials standard Proctor maximum dry density. The moisture content of the scarified subgrade soils should be adjusted to be within the range of $\pm 2\%$ of standard Proctor optimum moisture content at the time of compaction. If fly ash stabilization of the pavement subgrade soils will be completed, reconditioning of the subgrade soils prior to fly ash treatment would not be required.

Care should be taken to avoid disturbing the developed subgrade soils prior to paving. In addition, efforts to maintain the proper moisture content in the subgrade soils should be made. If subgrade soils are disturbed by the construction activities or allowed to dry out or become elevated in moisture content, those materials should be reworked in place or removed and replaced prior to surfacing.

Proof-rolling of the alleyway subgrade soils should be completed prior to paving to help identify any areas of soft/unstable soils. Those areas identified as unstable would need to be mended prior to paving. Isolated areas of instability can be mended on a case by case basis. If more extensive areas of subgrade instability are encountered and depending on

the time of year when construction occurs and other hydrologic conditions, stabilization of the subgrade soils may become necessary to develop a suitable paving platform. Based on the materials encountered in the completed site borings and results of laboratory testing, it is our opinion fly ash stabilization of the pavement subgrades could be completed to develop a suitable paving platform. With the increase in support strength developed by the stabilization procedures, it is our opinion the zone of stabilized subgrade could be included in the pavement section design, slightly reducing the required thickness of overlying aggregate base course. Pavement section design options incorporating some structural credit for the fly ash stabilized subgrade soils are outlined below in Table I. Fly ash stabilization can eliminate some of the uncertainty associated with attempting to pave during periods of inclement weather.

For half credit and if fly ash stabilization will be completed, we recommend the addition of 12% class 'C' fly ash based on component dry unit weights. A 12-inch thick stabilized zone should be constructed by thoroughly blending the fly ash with the in-place subgrade soils. Some "fluffing" of the finish subgrade level should be expected with the stabilization procedures. The blended materials should be adjusted to within $\pm 2\%$ of standard Proctor optimum moisture content and compacted to at least 95% of the material's standard Proctor maximum dry density within two (2) hours of fly ash addition.

Pavement Design

Site pavement could be supported directly on stable reconditioned subgrade soils or fly ash treated subgrade soils developed as outlined above. The pavement subgrade soils are expected to consist of reconditioned silty lean clay and clayey sand and gravel. The silty lean clay soils classify as A-6 soils in accordance with The American Association of State Highway and Transportation Officials (AASHTO) classification system and would be expected to exhibit low remolded shear strength. An R-value of less than 5 was determined on a representative subgrade sample obtained from the borings and used in pavement section design. Design ESAL's were provided by City of Fort Collins personnel. Serviceability loss and reliability were obtained from the current LCUASS.

Outlined below in Table I. are pavement section design options for the project alleyway.

TABLE 1 – PAVEMENT SECTION DESIGN	
Roadway Classification ESAL's Reliability % Loss Resilient Modulus (Mr) Design Structural Number	317-321 Sherwood Street Alleyway Alley/Local Residential 73,000 80% 2.5% 3025 (2.83)
Option A – Composite Surface Asphalt (Grading S or SX) Aggregate Base (Class 5 or 6) (Structural Number)	5" (0.44/inch) 6" (0.11/inch) (2.86)
Option B – Composite on Fly Ash Asphalt (Grading S or SX) Aggregate Base (Class 5 or 6) Fly Ash Treated Subgrade (Structural Number)	4" (0.44/inch) 5" (0.11/inch) 12" (10 @ .05/inch) (2.81)

Asphaltic concrete should consist of a bituminous plant mix composed of a mixture of aggregate, filler, binders and additives if required meeting the design requirements of the City of Fort Collins (LCUASS). Aggregate used in the asphaltic concrete for local residential roadways should meet specific gradation requirements for Colorado Department of Transportation (CDOT) grading S (3/4 inch minus) or SX (1/2 inch minus) mixes. Hot mix asphalt designed using “Superpave” criteria should be compacted to within 92 to 96% of the materials Maximum Theoretical Density. Aggregate base should be consistent with CDOT requirements for Class 5 or 6 aggregate base, placed in loose lifts not to exceed 9 inches thick and compacted to at least 95% of the materials standard Proctor maximum dry density.

The proposed pavement section design does not include an allowance for excessive loading conditions imposed by heavy construction vehicles or equipment. The recommended pavement sections are minimums and periodic maintenance efforts should be expected. A preventative maintenance program can help increase the service life of the roadway pavement.

Drainage

Positive drainage is imperative for long term performance of the alleyway pavements. Water which is allowed to pond adjacent to alleyway pavements can result in a loss of subgrade support and premature failure of the overlying pavement section.

LIMITATIONS

This report was prepared based upon the data obtained from the completed site exploration, laboratory testing, engineering analysis and any other information discussed. The completed borings provide an indication of subsurface conditions at the boring locations only. Variations in subsurface conditions can occur in relatively short distances away from the borings. This report does not reflect any variations which may occur across the site or away from the borings. If variations in the subsurface conditions anticipated become evident, the geotechnical engineer should be notified immediately so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any biological or environmental assessment of the site or identification or prevention of pollutants or hazardous materials or conditions. Other studies should be completed if concerns over the potential of such contamination or pollution exist.

The geotechnical engineer should be retained to review the plans and specifications so that comments can be made regarding the interpretation and implementation of our geotechnical recommendations in the design and specifications. The geotechnical engineer should also be retained to provide testing and observation services during construction to help determine that the design requirements are fulfilled.

This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with the generally accepted standard of care for the profession. No warranties express or implied, are made. The conclusions and recommendations contained in this report should not be considered valid in the event that any changes in the nature, design or location of the project as outlined in

this report are planned, unless those changes are reviewed and the conclusions of this report modified and verified in writing by the geotechnical engineer.

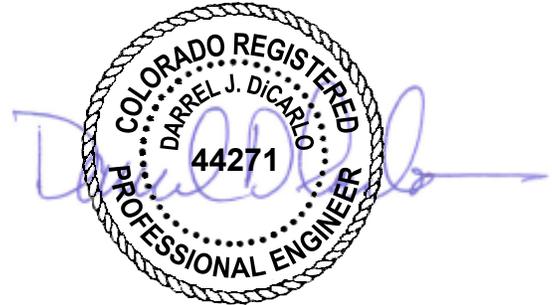
We appreciate the opportunity to be of service to you on this project. If you have any questions concerning the enclosed information or if we can be of further assistance to you in any way, please do not hesitate to contact us.

Very Truly Yours,
Soilogic, Inc.



Wolf von Carlowitz, P.E.
Principal Engineer

Reviewed by:



Darrel DiCarlo, P.E.
Senior Project Engineer

MARCH 2017
PROJECT # 17-1053

BORING LOCATION DIAGRAM



317-321 SHERWOOD STREET ALLEYWAY PAVEMENTS
FORT COLLINS, COLORADO

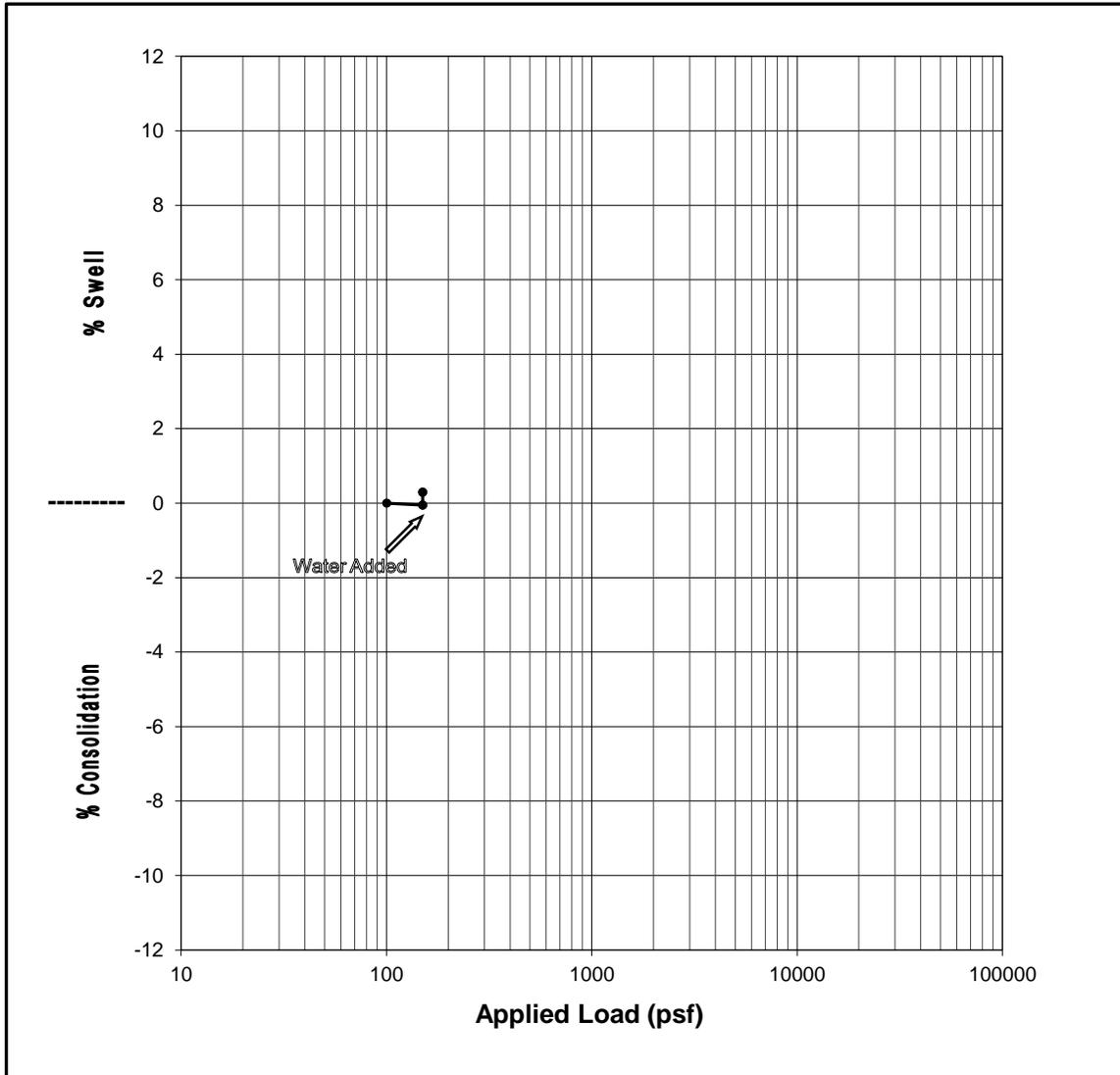
317-321 SHERWOOD STREET ALLEYWAY PAVEMENTS

FORT COLLINS, COLORADO

Project # 17-1053

March 2017

SWELL/CONSOLIDATION TEST SUMMARY



Sample ID: B-2 @ 2

Sample Description:

(Swell Only)

Initial Moisture	18.9%	Liquid Limit	-
Final Moisture	19.5%	Plasticity Index	-
% Swell @ 500 psf	0.4%	% Passing #200	-
Swell Pressure (psf)	-	Dry Density (pcf)	108.2

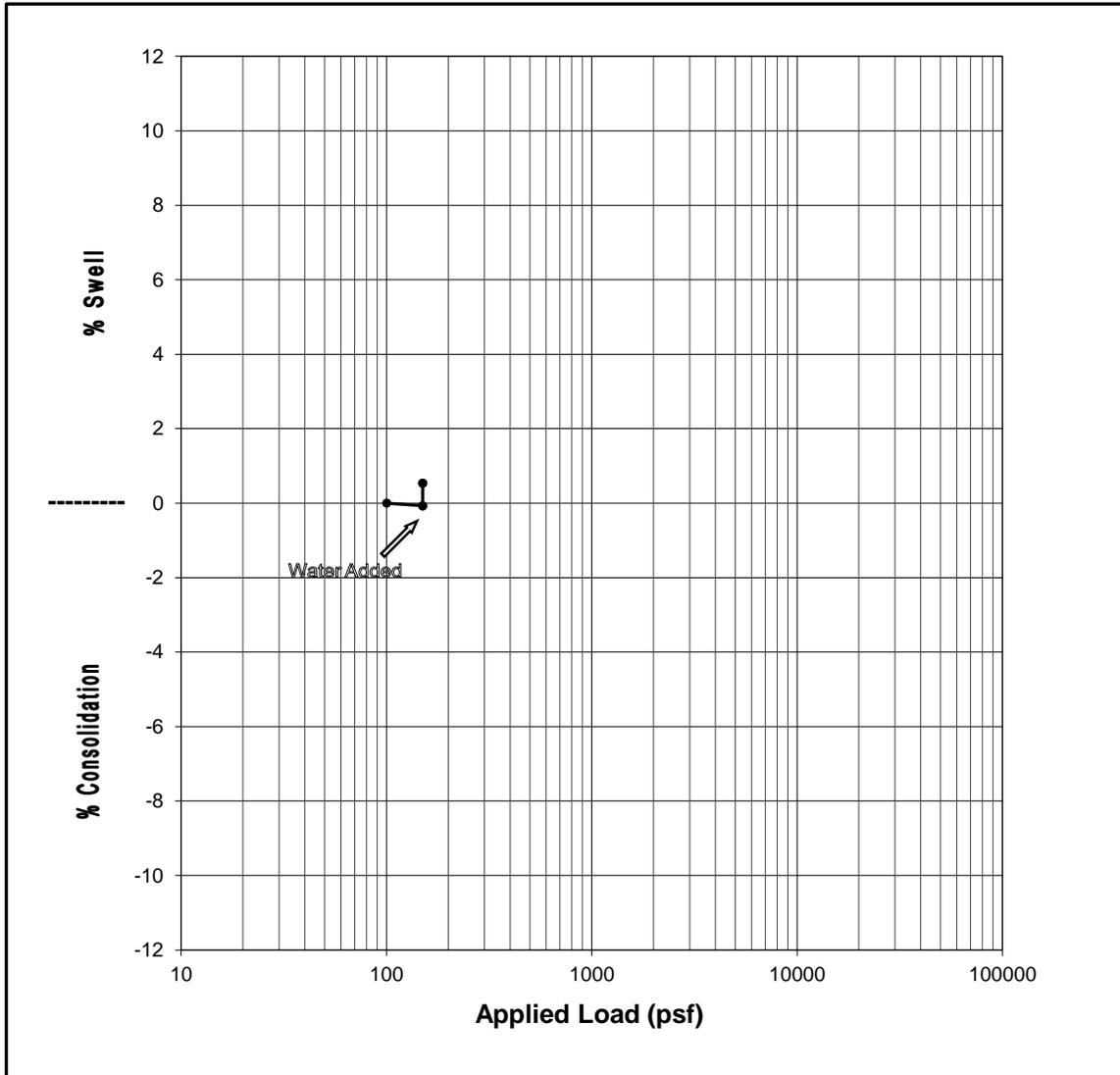
317-321 SHERWOOD STREET ALLEYWAY PAVEMENTS

FORT COLLINS, COLORADO

Project # 17-1053

March 2017

SWELL/CONSOLIDATION TEST SUMMARY



Sample ID: B-3 @ 2

Sample Description:

(Swell Only)

Initial Moisture	17.6%	Liquid Limit	-
Final Moisture	19.1%	Plasticity Index	-
% Swell @ 500 psf	0.6%	% Passing #200	-
Swell Pressure (psf)	-	Dry Density (pcf)	110.8

UNIFIED SOIL CLASSIFICATION SYSTEM

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests^A

				Soil Classification		
				Group Symbol	Group Name ^B	
Coarse Grained Soils More than 50% retained on No. 200 sieve	Gravels More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels Less than 5% fines ^C	$Cu \geq 4$ and $1 \leq Cc \leq 3^E$	GW	Well graded gravel ^F	
			$Cu < 4$ and/or $1 > Cc > 3^E$	GP	Poorly graded gravel ^F	
	Sands 50% or more of coarse fraction passes No. 4 sieve	Gravels with Fines More than 12% fines ^C	Fines classify as ML or MH		GM	Silty gravel ^{F,G,H}
			Fines classify as CL or CH		GC	Clayey gravel ^{F,G,H}
		Sands with Fines More than 12% fines ^D	Clean Sands Less than 5% fines ^D	$Cu \geq 6$ and $1 \leq Cc \leq 3^E$	SW	Well graded sand ^I
				$Cu < 6$ and/or $1 > Cc > 3^E$	SP	Poorly graded sand ^I
Fine-Grained Soils 50% or more passes the No. 200 sieve	Silt and Clays Liquid limit less than 50	Inorganic	$PI > 7$ and plots on or above "A" line ^J	CL	Lean clay ^{K,L,M}	
			$PI < 4$ or plots below "A" line ^J	ML	Silt ^{K,L,M}	
		Organic	Liquid limit - oven dried	< 0.75	OL	Organic clay ^{K,L,M,N}
			Liquid limit - not dried			Organic silt ^{K,L,M,O}
	Silt and Clays Liquid limit 50 or more	Inorganic	PI plots on or above "A" line	CH	Fat clay ^{K,L,M}	
			PI plots below "A" line	MH	Elastic silt ^{K,L,M}	
		Organic	Liquid limit - oven dried	< 0.75	OH	Organic clay ^{K,L,M,P}
			Liquid limit - not dried			Organic silt ^{K,L,M,O}
Highly organic soils	Primarily organic matter, dark in color, and organic odor			PT	Peat	

^ABased on the material passing the 3-in. (75-mm) sieve

^BIf field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^CGravels with 5 to 12% fines require dual symbols: GW-GM well graded gravel with silt, GW-GC well graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

^DSands with 5 to 12% fines require dual symbols: SW-SM well graded sand with silt, SW-SC well graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay

$$^E Cu = D_{60}/D_{10} \quad Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$$

^FIf soil contains $\geq 15\%$ sand, add "with sand" to group name.

^GIf fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

^HIf fines are organic, add "with organic fines" to group name.

^IIf soil contains $\geq 15\%$ gravel, add "with gravel" to group name.

^JIf Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.

^KIf soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

^LIf soil contains $\geq 30\%$ plus No. 200 predominantly sand, add "sandy" to group name.

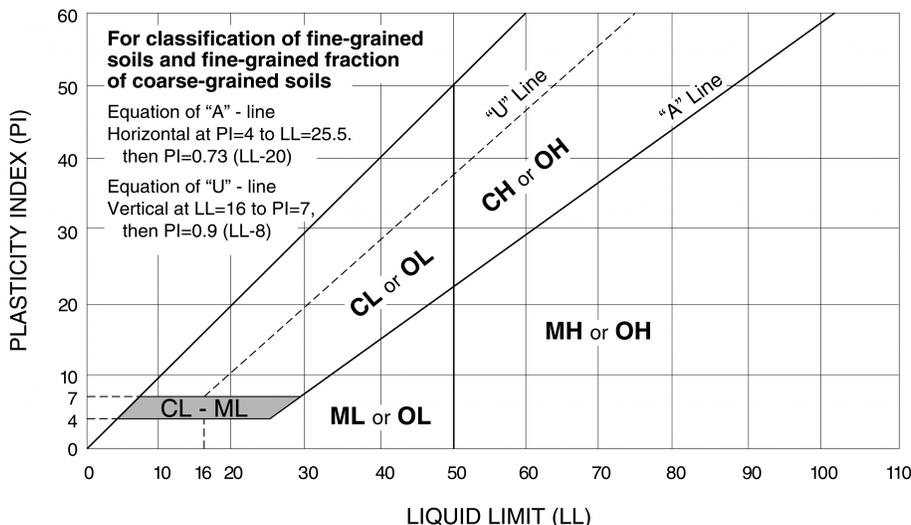
^MIf soil contains $\geq 30\%$ plus No. 200, predominantly gravel, add "gravelly" to group name.

^N $PI \geq 4$ and plots on or above "A" line.

^O $PI < 4$ or plots below "A" line.

^P PI plots on or above "A" line.

^Q PI plots below "A" line.



GENERAL NOTES

DRILLING & SAMPLING SYMBOLS:

SS:	Split Spoon - 1 3/8" I.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
ST:	Thin-Walled Tube – 2.5" O.D., unless otherwise noted	PA:	Power Auger
RS:	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
CS:	California Barrel - 1.92" I.D., 2.5" O.D., unless otherwise noted	RB:	Rock Bit
BS:	Bulk Sample or Auger Sample	WB:	Wash Boring or Mud Rotary

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value". For 2.5" O.D. California Barrel samplers (CB) the penetration value is reported as the number of blows required to advance the sampler 12 inches using a 140-pound hammer falling 30 inches, reported as "blows per inch," and is not considered equivalent to the "Standard Penetration" or "N-value".

WATER LEVEL MEASUREMENT SYMBOLS:

WL:	Water Level	WS:	While Sampling
WCI:	Wet Cave in	WD:	While Drilling
DCI:	Dry Cave in	BCR:	Before Casing Removal
AB:	After Boring	ACR:	After Casing Removal

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

DESCRIPTIVE SOIL CLASSIFICATION: Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

FINE-GRAINED SOILS

<u>(CB)</u> <u>Blows/Ft.</u>	<u>(SS)</u> <u>Blows/Ft.</u>	<u>Consistency</u>
< 3	0-2	Very Soft
3-5	3-4	Soft
6-10	5-8	Medium Stiff
11-18	9-15	Stiff
19-36	16-30	Very Stiff
> 36	> 30	Hard

COARSE-GRAINED SOILS

<u>(CB)</u> <u>Blows/Ft.</u>	<u>(SS)</u> <u>Blows/Ft.</u>	<u>Relative</u> <u>Density</u>
0-5	< 3	Very Loose
6-14	4-9	Loose
15-46	10-29	Medium Dense
47-79	30-50	Dense
> 79	> 50	Very Dense

BEDROCK

<u>(CB)</u> <u>Blows/Ft.</u>	<u>(SS)</u> <u>Blows/Ft.</u>	<u>Consistency</u>
< 24	< 20	Weathered
24-35	20-29	Firm
36-60	30-49	Medium Hard
61-96	50-79	Hard
> 96	> 79	Very Hard

RELATIVE PROPORTIONS OF SAND AND GRAVEL

<u>Descriptive Terms of</u> <u>Other Constituents</u>	<u>Percent of</u> <u>Dry Weight</u>
Trace	< 15
With	15 – 29
Modifier	> 30

GRAIN SIZE TERMINOLOGY

<u>Major Component</u> <u>of Sample</u>	<u>Particle Size</u>
Boulders	Over 12 in. (300mm)
Cobbles	12 in. to 3 in. (300mm to 75 mm)
Gravel	3 in. to #4 sieve (75mm to 4.75 mm)
Sand	#4 to #200 sieve (4.75mm to 0.075mm)
Silt or Clay	Passing #200 Sieve (0.075mm)

RELATIVE PROPORTIONS OF FINES

<u>Descriptive Terms of</u> <u>Other Constituents</u>	<u>Percent of</u> <u>Dry Weight</u>
Trace	< 5
With	5 – 12
Modifiers	> 12

PLASTICITY DESCRIPTION

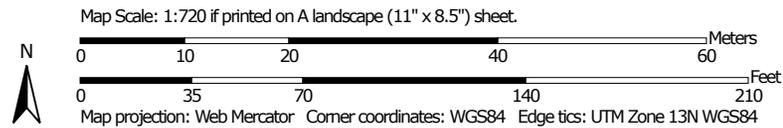
<u>Term</u>	<u>Plasticity Index</u>
Non-plastic	0
Low	1-10
Medium	11-30
High	30+



Soil Map—Larimer County Area, Colorado



Warning: Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Larimer County Area, Colorado
 Survey Area Data: Version 10, Sep 22, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

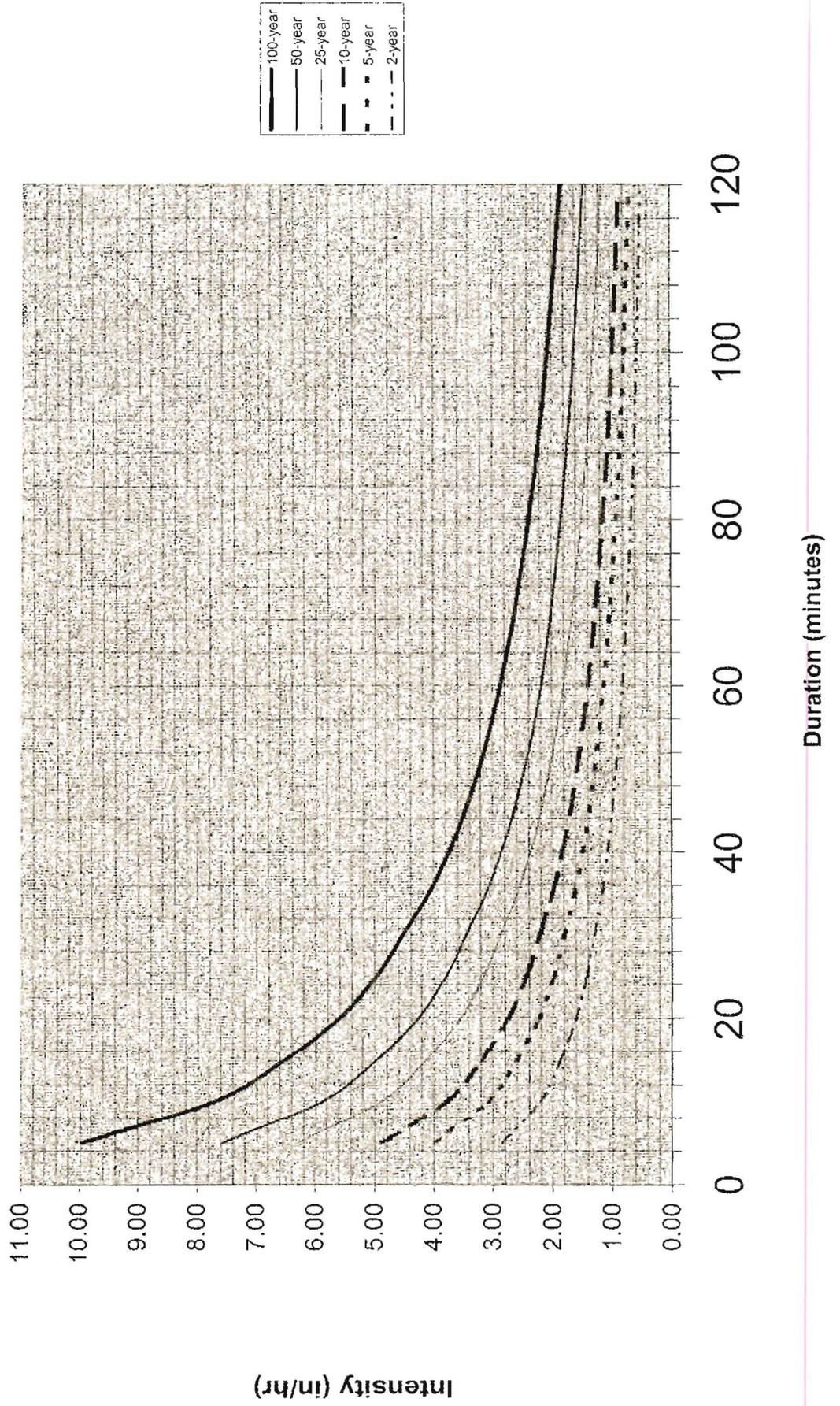
Date(s) aerial images were photographed: Apr 22, 2011—Apr 28, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Larimer County Area, Colorado (CO644)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
35	Fort Collins loam, 0 to 3 percent slopes	0.5	100.0%
Totals for Area of Interest		0.5	100.0%

Figure 3-1
City of Fort Collins, Colorado
Rainfall Intensity-Duration-Frequency Curve
City of Fort Collins Precipitation Frequency Analysis, 1999 (Regional Analysis)



City of Fort Collins
Rainfall Intensity-Duration-Frequency Table
 for using the Rational Method
 (5 minutes – 30 minutes)
 Figure 3-1a

Duration (minutes)	2-year Intensity (in/hr)	10-year Intensity (in/hr)	100-year Intensity (in/hr)
5.00	2.85	4.87	9.95
6.00	2.67	4.56	9.31
7.00	2.52	4.31	8.80
8.00	2.40	4.10	8.38
9.00	2.30	3.93	8.03
10.00	2.21	3.78	7.72
11.00	2.13	3.63	7.42
12.00	2.05	3.50	7.16
13.00	1.98	3.39	6.92
14.00	1.92	3.29	6.71
15.00	1.87	3.19	6.52
16.00	1.81	3.08	6.30
17.00	1.75	2.99	6.10
18.00	1.70	2.90	5.92
19.00	1.65	2.82	5.75
20.00	1.61	2.74	5.60
21.00	1.56	2.67	5.46
22.00	1.53	2.61	5.32
23.00	1.49	2.55	5.20
24.00	1.46	2.49	5.09
25.00	1.43	2.44	4.98
26.00	1.40	2.39	4.87
27.00	1.37	2.34	4.78
28.00	1.34	2.29	4.69
29.00	1.32	2.25	4.60
30.00	1.30	2.21	4.52

Table RO-3—Recommended Percentage Imperviousness Values

Land Use or Surface Characteristics	Percentage Imperviousness
Business:	
Commercial areas	95
Neighborhood areas	85
Residential:	
Single-family	*
Multi-unit (detached)	60
Multi-unit (attached)	75
Half-acre lot or larger	*
Apartments	80
Industrial:	
Light areas	80
Heavy areas	90
Parks, cemeteries	5
Playgrounds	10
Schools	50
Railroad yard areas	15
Undeveloped Areas:	
Historic flow analysis	2
Greenbelts, agricultural	2
Off-site flow analysis (when land use not defined)	45
Streets:	
Paved	100
Gravel (packed)	40
Drive and walks	90
Roofs	90
Lawns, sandy soil	0
Lawns, clayey soil	0

* See Figures RO-3 through RO-5 for percentage imperviousness.

$$C_A = K_A + (1.31i^3 - 1.44i^2 + 1.135i - 0.12) \text{ for } C_A \geq 0, \text{ otherwise } C_A = 0 \quad (\text{RO-6})$$

$$C_{CD} = K_{CD} + (0.858i^3 - 0.786i^2 + 0.774i + 0.04) \quad (\text{RO-7})$$

$$C_B = (C_A + C_{CD})/2$$

Composite C Values

FAITH FAMILY

Design Point	Basin(s)	Asphalt Area (acres) <i>(C = 0.95)</i>	Concrete Area (acres) <i>(C = 0.95)</i>	Gravel (acres) <i>(C = 0.50)</i>	Roofs (acres) <i>(C = 0.95)</i>	Lawns (acres) <i>(C = 0.15)</i>	Total Area (acres)	Minor (2-YR) Composite "C"	Major (100-YR) Composite "C" (Cf x C)
Existing									
E1	E1	0.000	0.000	0.055	0.009	0.010	0.074	0.51	0.63
E2	E2	0.000	0.051	0.000	0.143	0.168	0.362	0.58	0.72
ALLEY	ALLEY	0.000	0.000	0.058	0.000	0.036	0.094	0.37	0.46
Developed									
D1	B1	0.016	0.012	0.019	0.000	0.027	0.074	0.54	0.68
D2	B2	0.000	0.051	0.000	0.143	0.168	0.362	0.58	0.72
ALLEY	ALLEY	0.072	0.017	0.000	0.000	0.005	0.094	0.91	1.00

Notes:

Composite C values obtained from Table R0-11

Major Storm Runoff factored per Table R0-12

Imperviousness

FAITH FAMILY

Design Point	Basin (s)	Asphalt Area (acres) <i>(I = 100)</i>	Concrete Area (acres) <i>(I = 100)</i>	Gravel (acres) <i>(I = 40)</i>	Roofs (acres) <i>(I = 90)</i>	Lawns (acres) <i>(I = 0)</i>	Total Area (acres)	Percent Imperviousness
Existing								
E1	E1	0.000	0.000	0.055	0.009	0.010	0.0740	41%
E2	E2	0.000	0.051	0.000	0.143	0.168	0.3620	50%
ALLEY	ALLEY	0.000	0.000	0.058	0.000	0.036	0.0940	25%
Developed								
D1	B1	0.016	0.012	0.019	0.000	0.027	0.074	48%
D2	B2	0.000	0.051	0.000	0.143	0.168	0.362	50%
ALLEY	ALLEY	0.072	0.017	0.000	0.000	0.005	0.094	95%

Notes:

Percent Impervious Values per Table R0-3, Urban Drainage Manual

Table R0-3—Recommended Percentage Imperviousness Values

Land Use or Surface Characteristics	Percentage Imperviousness
Business:	
Commercial areas	95
Neighborhood areas	85
Residential:	
Single-family	*
Multi-unit (detached)	60
Multi-unit (attached)	75
Half-acre lot or larger	*
Apartments	80
Industrial:	
Light areas	80
Heavy areas	90
Parks, cemeteries	5
Playgrounds	10
Schools	50
Railroad yard areas	15
Undeveloped Areas:	
Historic flow analysis	2
Greenbelts, agricultural	2
Off-site flow analysis (when land use not defined)	45
Streets:	
Paved	100
Gravel (packed)	40
Drive and walks	90
Roofs	90
Lawns, sandy soil	0
Lawns, clayey soil	0

Basin Flow Calculations

FAITH FAMILY

Design Point	Basin (s)	Area (acres)	Minor Composite "C"	Major Composite "C"	Initial/Overland Time				Travel Time					Final T _c		Intensity (in/hr)			Basin Flows (cfs)		
					Length (ft)	Slope (%)	Minor t _{ov} (min) ^a	Major t _{ov} (min) ^a	Length (ft)	Slope (%)	Channel Type	Velocity (fps) ^c	t _t (min)	Minor T _c (min)	Major T _c (min)	2-yr	10-yr	100-yr	2-yr	10-yr	100-yr
Existing																					
E1	E1	0.0740	0.51	0.63	17	0.84	4.84	3.81	0	0.40	PA	1.26	0.00	5.00	5.00	2.85	4.87	9.95	0.11	0.18	0.47
E2	E2	0.3620	0.58	0.72	110	1.20	9.62	6.95	86	0.75	PA	1.73	0.83	10.45	7.78	2.17	3.71	8.38	0.45	0.78	2.19
ALLEY	ALLEY	0.0940	0.37	0.46	15	1.20	5.00	4.38	200	0.40	PA	1.26	2.64	7.64	7.01	2.46	4.21	8.80	0.08	0.14	0.38
Developed																					
D1	B1	0.0740	0.54	0.68	40	2.00	5.23	3.96	0	0.50	PA	1.41	0.0000	5.23	5.00	2.85	4.87	9.95	0.11	0.20	0.50
D2	B2	0.3620	0.58	0.72	110	1.20	9.62	6.95	86	0.75	PA	1.73	0.8275	10.45	7.78	2.17	3.71	8.38	0.45	0.78	2.19
ALLEY	ALLEY	0.0940	0.91	1.00	15	1.50	1.22	0.63	200	0.50	PA	1.41	2.3570	5.00	5.00	2.85	4.87	9.95	0.24	0.42	0.94

Notes:

$$t_{ov} = \frac{1.87(1.1 - CC_p)D^{1/2}}{S^{1/3}}$$

^b HM = Heavy Meadow, TF = Tillage/field, PL = Short pasture and lawns, BG = Nearly bare ground, GW = Grassed Waterway, PA = Paved Areas

^c Velocity values from Figure 3-3/Table RO-2 Estimate of Average Flow Velocity for use with the Rational Method

APPENDIX B: Hydraulic Computations

Fort Collins Modified FFA Method
Infiltration Calculation



Infiltration Calculator

Infiltration Rate f= in/hr or ft/sec

* Infiltration Rate taken from soils report

Surface Area sq. ft.

Allowable Infiltrating Flow cfs Safty Factor

Final Allowable Infiltrating Flow cfs

100-YR Event Volume cubic ft

Time to Drain 13089 seconds or hrs

APPENDIX C: Map Pocket

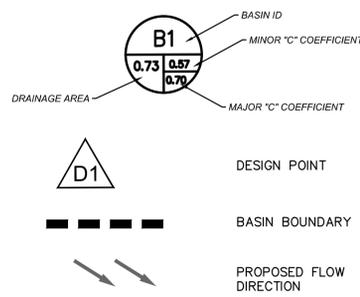
Drainage Plan

SEQUENCE FOR INSTALLATION & REMOVAL OF BMP'S

BEFORE GRADING ACTIVITIES BEGIN	SITE GRADING	UTILITY INSTALLATION	PAVING OPERATIONS	FINAL STABILIZATION
INLET PROTECTION & CURB SOCKS (ALONG PRIVATE DRIVE & EX. INLET)				
EROSION CONTROL LOGS OR SILT FENCE				
VEHICLE TRACKING PAD & CONCRETE WASHOUT				
INLET PROTECTION (PROPOSED INLET, FES, SIDEWALK CULVERT)				
RIP RAP OUTLET PROTECTION				
WADDE DIKE SWALE PROTECTION				
REVEGETATE DISTURBED AREAS				

FAITH FAMILY PARKING IMPROVEMENT LID	
Pervious Pavement	
New Pavement Area	2,104 sq. ft.
Required Minimum Area of Porous Pavement	526 sq. ft.
Area of Paver Section #1	424 sq. ft.
Run-on area for Paver Section #1 (up to 3:1 is permitted)	900 sq. ft.
Area of Paver Section #2	424 sq. ft.
Run-on area for Paver Section #1 (up to 3:1 is permitted)	1,137 sq. ft.
Total Porous Pavement Area	848 sq. ft.

DRAINAGE LEGEND



FLOODPLAIN NOTES

- A FLOODPLAIN USE PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY CONSTRUCTION ACTIVITIES (REMODEL THE EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, PARKING LOT, UTILITY WORK, LANDSCAPING, ETC.) IN THE CITY-REGULATED 100-YEAR FLOODPLAIN.
 - A NO-RISE CERTIFICATION WILL BE REQUIRED BEFORE BEGINNING ANY CONSTRUCTION ACTIVITIES (REMODEL THE EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, PARKING LOT, UTILITY WORK, LANDSCAPING, ETC.) IN THE CITY-REGULATED 100-YEAR FLOODPLAIN.
 - THE STORAGE OF EQUIPMENT AND MATERIALS IS NOT ALLOWED WITHIN THE 100-YEAR FLOODWAY.
- NOTE:** ALL EXISTING TREES TO BE PROTECTED IN PLACE

HISTORIC BASIN FLOWS						
BASIN DESIGNATION	BASIN NUMBER	AREA (AC)	2 YEAR "c"	100 YEAR "c"	Q ₂ (CFS)	Q ₁₀₀ (CFS)
E1	E1	0.074	0.51	0.63	0.11	0.47
E2	E2	0.362	0.58	0.72	0.45	2.19
ALLEY	ALLEY	0.094	0.37	0.46	0.08	0.38

PROPOSED BASIN FLOWS						
BASIN DESIGNATION	BASIN NUMBER	AREA (AC)	2 YEAR "c"	100 YEAR "c"	Q ₂ (CFS)	Q ₁₀₀ (CFS)
D1	B1	0.074	0.54	0.68	0.11	0.50
D2	B2	0.362	0.58	0.72	0.45	2.19
ALLEY	ALLEY	0.094	0.91	1.00	0.24	0.94

EROSION CONTROL LEGEND

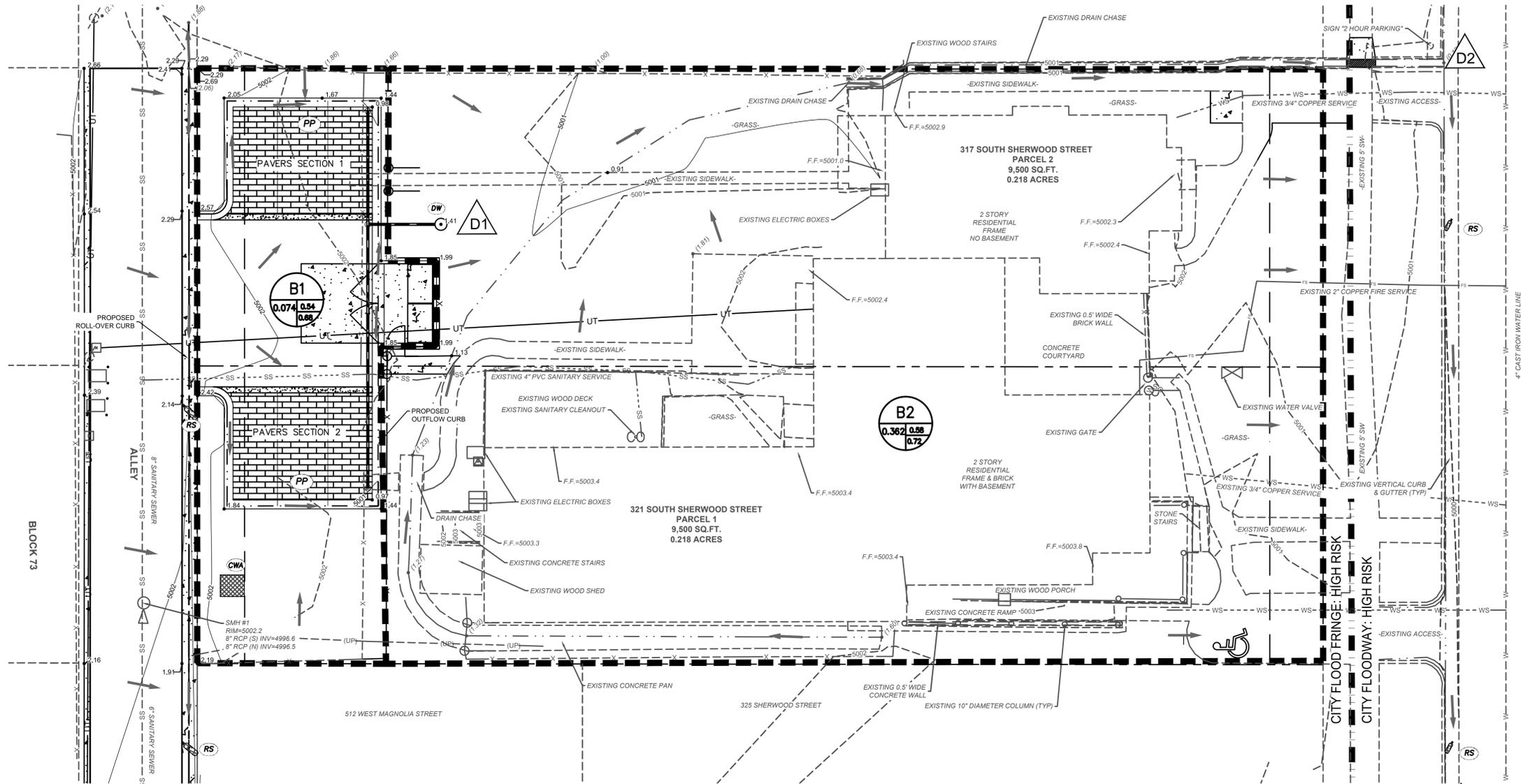
- CWA** CONCRETE WASHOUT, PER DETAIL, SHEET C6.1
- VTC** VEHICLE TRACKING CONTROL, PER DETAIL, SHEET C6.1
- RS** ROCK SOCK (GUTTER), PER DETAIL, SHEET C6.1

L.I.D. LEGEND

- PP** PERMEABLE PAVERS
- DW** DRY WELL

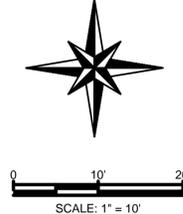
SYMBOL LEGEND

- EXISTING**
- R/W RIGHT-OF-WAY
 - PROPERTY BOUNDARY
 - FLOW LINE
 - EDGE OF ASPHALT
 - G GAS LINE
 - (UP) UNDER GROUND POWER
 - (UT) UNDER GROUND TELEPHONE
 - (OHP) OVERHEAD UTILITY
 - W WATER MAIN
 - WS WATER SERVICE LINE
 - SS SANITARY LINE
 - FENCE
 - EASEMENT
 - CENTER LINE
 - CONCRETE SIDEWALK
 - 6019 MINOR CONTOUR
 - 6020 MAJOR CONTOUR
 - SMH SANITARY SEWER MANHOLE
 - FH FIRE HYDRANT
 - WV WATER VALVE
- PROPOSED**
- WS WATER SERVICE LINE
 - W WATER LINE
 - FL FIRE LINE
 - SSP STORM SEWER PIPE
 - SS SANITARY LINE
 - R/W RIGHT-OF-WAY
 - E UNDERGROUND ELECTRIC LINE
 - FLOW LINE
 - EAB EMERGENCY ACCESS BOUNDS
 - CONCRETE SIDEWALK
 - CA/ASDR CONCRETE/ASPHALT DRIVE
 - DEMOLISH EXISTING STRUCTURE
 - 6019 MINOR CONTOUR
 - 6020 MAJOR CONTOUR
 - 10.00 SPOT ELEVATION
 - 2.05% DIRECTION OF FLOW WITH SLOPE AMOUNT
 - D STORM SEWER MANHOLE
 - M WATER METER/CURB STOP
 - SMH SANITARY SEWER MANHOLE



NOTE: VEHICLE TRACKING CONTROL TO BE INSTALLED AT THE ALLEY ACCESS AT MAGNOLIA AND ROCK SOCKS ARE TO BE INSTALLED EVERY 50' EAST OF THE ALLEY ACCESS UNTIL EXISTING STORM INLET

811 FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS BEFORE YOU DIG
 CALL 811
 (OR 1-800-922-1987)
 UTILITY NOTIFICATION
 CENTER OF COLORADO (UNCC)
 WWW.UNCC.ORG



CITY OF FORT COLLINS, COLORADO UTILITY PLAN APPROVAL	
APPROVED:	CITY ENGINEER
CHECKED BY:	WATER & WASTEWATER UTILITY
CHECKED BY:	STORMWATER UTILITY
CHECKED BY:	PARKS AND RECREATION
CHECKED BY:	TRAFFIC ENGINEER
CHECKED BY:	ENVIRONMENTAL PLANNER

QUALITY ENGINEERING
 2637 HERRINGTON DRIVE, SUITE E
 FORT COLLINS, CO 80521
 WWW.QUALITY-ENGINEERING.COM
 (970) 416-7891

NO.	REVISIONS	DATE

FAITH FAMILY HOSPITALITY
 317-321 SHERWOOD STREET
 FORT COLLINS, CO 80521

DRAINAGE AND EROSION CONTROL PLAN

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

CHECKED BY: CAG
 DESIGNED BY: RJP
 DRAWN BY: RJP
 DATE: MARCH 2017
 SCALE: 1:10
 PROJECT NO.: 7040-007

C4.0
 SHEET 6 OF 9



faith family hospitality

March 28, 2017

Modification Request Narrative

Faith Family Hospitality
300 E. Oak St.
Fort Collins, CO 80524

Modification Request for Floor Area Ratio – Section 4.8(D)(2)(3)

The current prescribed allowable floor area ratio permitted for this use is exceeded by the existing structure at 317 and 321 S. Sherwood Street, Fort Collins, Colorado 80521. The allowable floor area permitted is 7,600 sf on a 19,000 sf lot. The current structure is 8,974 sf. This is due to zoning regulations having changed around the established site/building over history.

The building with its current footprint has been established for over twenty years. Up until five years ago, the property was used as a domestic violence safehouse. The proposed renovation for this building does not increase the existing building footprint, only remodels existing interior areas and will pave the back alley and parking area.

Because of the existing conditions and established structures adjacent to the site, it would not be feasible to acquire adjacent property to satisfy contemporary floor area ratio requirements.

This project aligns with the City of Fort Collins Affordable Housing Strategic Plan, Policy AHP 4.3, Increase Housing and Associated Supportive Services for People with Special Needs. Which states that the City will “continue to encourage the development of projects that meet the housing and associated supportive services needs of populations within the identified special needs categories. These categories include housing for people experiencing homelessness.

Housing will be offered at an affordable cost so residents have more resources for the rest of their needs and have a better chance of greater personal wellbeing. Supportive services will be provided and can be necessary for some households to achieve housing success.”

Faith Family Hospitality plans to use the existing property to provide short term transitional housing for up to seven vulnerable families as they overcome homelessness and become self-sufficient. Faith Family Hospitality has five years of experience using a national evidence based model of delivery. This model provides the following programs: emergency shelter in area faith community buildings with the support of volunteers, respite at a day center located at the Fort Collins Mennonite Fellowship and wraparound case management by professional staff. With the development of the property on Sherwood Street, Faith Family Hospitality will provide longer term shelter (up to six months) and continued case management to allow families requiring additional time to stabilize their foundation and secure permanent housing.



March 31, 2017

Modification Request Narrative

Faith Family Hospitality
300 E. Oak St.
Fort Collins, CO 80524

Modification Request regarding Minimum Side Yard and Maximum Wall Height – Section 4.8 (E)(4)

The property at 317-321 S. Sherwood is out of compliance with Section 4.8 (E)(4). It was altered in 1993 to its current state, which is prior to current standards. It is out of compliance with current code by a slight amount therefore it is nominal and inconsequential. It will not be modified or altered to deviate any further from the standards.

This project aligns with the City of Fort Collins Affordable Housing Strategic Plan, Policy AHP 4.3, Increase Housing and Associated Supportive Services for People with Special Needs. Which states that the City will “continue to encourage the development of projects that meet the housing and associated supportive services needs of populations within the identified special needs categories. These categories include housing for people experiencing homelessness.

Housing will be offered at an affordable cost so residents have more resources for the rest of their needs and have a better chance of greater personal wellbeing. Supportive services will be provided and can be necessary for some households to achieve housing success.”



March 28, 2017

Modification Request Narrative

Faith Family Hospitality
300 E. Oak St.
Fort Collins, CO 80524

Modification Request for maximum residents of a large group care facility & minimum separation distance between group homes – Section 3.8.6(B)

The number of residents (parents and children) Faith Family Hospitality expects to house in the transitional house for homeless families at 317 and 321 S. Sherwood is anticipated to exceed the maximum number of residents of a large group care facility allowed in Section 3.8.6(B). The property has 16 bedrooms and can accommodate a shared, cohousing model of use. Faith Family Hospitality expects to house up to **seven** families at a time. Each family is expected to have an average of three members therefore, the maximum number of residents is expected to be **21** individuals.

The allocated parking area which is adjacent to the alley will be paved and provide six parking spaces. Historically, 50% of families served by Faith Family Hospitality have cars. Therefore with seven families in residence with four of the seven having a car and one car for a resident manager, six parking spaces will be adequate for their needs. The families without a car rely on public transportation. There is no anticipated parking impact for the neighbors.

This project aligns with the City of Fort Collins Affordable Housing Strategic Plan, Policy AHP 4.3, Increase Housing and Associated Supportive Services for People with Special Needs. Which states that the City will "continue to encourage the development of projects that meet the housing and associated supportive services needs of populations within the identified special needs categories. These categories include housing for people experiencing homelessness.

Housing will be offered at an affordable cost so residents have more resources for the rest of their needs and have a better chance of greater personal wellbeing. Supportive services will be provided and can be necessary for some households to achieve housing success.”

The proposed group home will stabilize vulnerable homeless families through extensive case management, resource development and support services to provide them with the tools to obtain permanent housing and self-sufficiency. This project both increases housing and provided supportive services to a population with special needs and furthers the City’s affordable housing plan.

The proposed group home will exceed the minimum separation distance between group home. There is currently another group home called Choice House is located at 214 S. Whitcomb Street. It is nonprofit residential treatment facility with eight beds for people with a primary diagnosis of mental illness. Choice House works with adults with a mental illness disability while Faith Family Hospitality works with families who experiencing homelessness. These are two very different populations and do not duplicate any services. The location of Choice House is .22 miles (approximately 390 yards) away from 317-321 S. Sherwood Street.

The City Plan identifies housing as a key issue and speaks to funding, supporting, and developing affordable housing and serving the housing needs of many diverse groups and changing demographics.

In the Community and Neighborhood Livability section, Policy LIV 7.5 – Address Special Needs Housing:

- Plan for and meet the housing needs of special populations within the community.
- Disperse residential care facilities, shelters, group homes, and senior housing throughout the Growth Management Area.

This proposal is for a group home to provide six months of transitional housing for homeless families. There are no other group homes of this kind in the Growth Management Area.

The overall impact of this project on the surrounding neighbors is expected to be negligible. The property will be well maintained and managed with ample support staff available. A playground and play area in the backyard will allow children living on the property access to a safe play space.

ORDINANCE NO. 059, 2017
OF THE COUNCIL OF THE CITY OF FORT COLLINS
MAKING VARIOUS AMENDMENTS TO THE
CITY OF FORT COLLINS LAND USE CODE

WHEREAS, on December 2, 1997, by its adoption of Ordinance No. 190, 1997, the City Council enacted the Fort Collins Land Use Code (the "Land Use Code"); and

WHEREAS, at the time of the adoption of the Land Use Code, it was the understanding of staff and the City Council that the Land Use Code would most likely be subject to future amendments, not only for the purpose of clarification and correction of errors, but also for the purpose of ensuring that the Land Use Code remains a dynamic document capable of responding to issues identified by staff, other land use professionals and citizens of the City; and

WHEREAS, City staff and the Planning and Zoning Board have reviewed the Land Use Code and identified and explored various issues related to the Land Use Code and have made recommendations to the Council regarding such issues; and

WHEREAS, the City Council has determined that the recommended Land Use Code amendments are in the best interests of the City and its citizens.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FORT COLLINS as follows:

Section 1. That the City Council hereby makes and adopts the determinations and findings contained in the recitals set forth above.

Section 2. That Section 1.5.3 of the Land Use Code is hereby amended to read as follows:

1.5.3 - Abandonment of Use

If active operations are not carried on in a nonconforming use during a period of twenty-four (24) consecutive months, the building, other structure or tract of land where such nonconforming use previously existed shall thereafter be occupied and used only for a conforming use. Intent to resume active operations shall not affect the foregoing. A nonconforming home occupation business activity shall be considered to be abandoned if the occupants of the dwelling who were conducting such nonconforming home occupation business discontinue either their occupancy of the dwelling or the nonconforming home occupation.

Section 3. That Section 1.6.7 of the Land Use Code is hereby amended to read as follows:

1.6.7 - Abandonment of Use

If active operations are not carried on in an existing limited permitted use during a period of twenty-four (24) consecutive months, the building, other structure or tract of land where such existing limited permitted use previously existed shall thereafter be occupied and used only for a permitted use. Intent to resume active operations shall not affect the foregoing.

Section 4. That Section 2.2.10(A) of the Land Use Code is hereby amended to read as follows:

2.2.10 - Step 10: Amendments and Changes of Use

(A) **Minor Amendments and Changes of Use.** (1) Minor amendments to any approved development plan, including any Overall Development Plan or Project Development Plan, any site specific development plan, or the existing condition of a platted property; and (2) Changes of use, either of which meet the applicable criteria of below subsections 2.2.10(A)(1) or 2.2.10(A)(2), may be approved, approved with conditions, or denied administratively by the Director and may be authorized without additional public hearings. Such minor amendments and changes of use may be authorized by the Director as long as the development plan, as so amended, continues to comply with the standards of this Code to the extent reasonably feasible. Minor amendments and changes of use shall only consist of any or all of the following:

(1) Any change to any approved development plan or any site specific development plan which was originally subject only to administrative review and was approved by the Director, or any change of use of any property that was developed pursuant to a basic development review or a use-by-right review under prior law; provided that such change would not have disqualified the original plan from administrative review had it been requested at that time; and provided that the change or change of use complies with all of the following criteria applicable to the particular request for change or change of use:

...

(g) In the case of a change of the change of use results in the site being brought into compliance, to the extent reasonably feasible as such extent may be modified pursuant to below subsection 2.2.10(A)(3), with the applicable general development standards contained in Article 3 and the applicable district standards contained in Article 4 of this Code.

...

(3) **Waiver of Development Standards for Changes of Use.**

(a) **Applicability.** The procedure and standards contained in this Section shall apply only to changes of use reviewed pursuant to Section 2.2.10(A) of this Code.

(b) **Purpose.** In order for a change of use to be granted pursuant to Section 2.2.10(A), the change of use must result in the site being brought into compliance with all applicable general development and zone district standards to the extent reasonably feasible. The purpose of this Section is to allow certain changes of use that do not comply with all general development standards to the extent reasonably feasible to be granted pursuant to Section 2.2.10(A) in order to:

1. Foster the economic feasibility for the use, maintenance and improvement of certain legally constructed buildings and sites which do not comply with certain Land Use Code General Development Standards provided that:

- a. Existing blight conditions have been ameliorated; and
- b. Public and private improvements are made that address essential health and life safety issues that are present on-site.

2. Encourage the eventual upgrading of nonconforming buildings, uses and sites.

(c) **Review by Director.** As part of the review conducted pursuant to Section 2.2.10(A) for a proposed change of use, the Director may waive, or waive with conditions, any of the development standards set forth in subsection (d) below. In order for the Director to waive, or waive with conditions, any such development standard, the Director must find that such waiver or waiver with conditions would not be detrimental to the public good and that each of the following is satisfied:

1. The site for which the waiver or waiver with conditions is granted satisfies the policies of the applicable Council adopted subarea, corridor or neighborhood plan within which the site is located;
2. The proposed use will function without significant adverse impact upon adjacent properties and the district within which it is located in consideration of the waiver or waiver with conditions;
3. Existing blight conditions on the site are addressed through site clean-up, maintenance, screening, landscaping or some combination thereof; and
4. The site design addresses essential health and public safety concerns found on the site.

(d) **Eligible Development Standards.** The Director may grant a waiver or waiver with conditions for the following general development standards:

1. Sections 3.2.1(4), (5) and (6) related to Parking Lot Perimeter and Interior Landscaping, and connecting walkways.
2. Section 3.2.2 (M) Landscaping Coverage.
3. Section 3.2.4 Site Lighting, except compliance with minimum footcandle levels described in 3.2.4(C).
4. Section 3.2.5 Trash and Recycling Enclosure design.
5. Section 3.3.5 Engineering Design standards related to water quality standard, including Low Impact Development.

(4) **Referral.** In either subsection (1) or (2) above, the Director may refer the amendment or change of use to the Administrative Hearing Officer or Planning and Zoning Board. The referral of minor amendments to development plans or changes of use allowed or approved under the laws of the City for the development of land prior to the adoption of this Code shall be processed as required for the land use or uses proposed for the amendment or change of use as set forth in Article 4 (i.e., Type 1 review or Type 2 review) for the zone district in which the land is located. The referral of minor amendments or changes of use to project development plans or final plans approved under this Code shall be reviewed and processed in the same manner as required for the original development plan for which the amendment or change of use is sought, and, if so referred, the decision of the Hearing Officer or Planning and Zoning Board shall constitute a final decision, subject only to appeal as provided for development plans under Division 2.3, 2.4 or 2.5, as applicable, for the minor amendment or change of use.

(5) **Appeals.** Appeals of the decision of the Director regarding the approval, approval with conditions or denial of, a change of use, or a minor amendment of any approved development plan, site specific development plan, or the existing condition of a platted property, shall be to the Planning and Zoning Board. Any such appeal shall be taken by filing a notice of appeal of the final decision with the Director within fourteen (14) days after the action that is the subject of the appeal. The decision of the Planning and Zoning Board on such appeals shall constitute a final decision appealable pursuant to Section 2.2.12 (Step 12).

Section 5. That Section 2.1.2 (D) and (E) of the Land Use Code are hereby amended to read as follows:

(D) **Who reviews the development application?** Once an applicant has determined the type of development application to be submitted, he or she must determine the

appropriate level of development review required for the development application. To make this determination, the applicant must refer to the provisions of the applicable zone district in Article 4 and the provisions pertaining to the appropriate development application. These provisions will determine whether the permitted uses and the development application are subject to basic development review, administrative review ("Type 1 review") or Planning and Zoning Board review ("Type 2 review"). Identification of the required level of development review will, in turn, determine which decision maker, the Director in the case of administrative review ("Type 1 review"), or the Planning and Zoning Board in the case of Planning and Zoning Board review ("Type 2 review"), will review and make the final decision on the development application. When a development application contains both Type 1 and Type 2 uses, it will be processed as a Type 2 review.

- (E) ***How will the development application be processed?*** The review of overall development plans, project development plans and final plans will each generally follow the same procedural "steps" regardless of the level of review (administrative review or Planning and Zoning Board review). The common development review procedures contained in Division 2.2 establish a twelve-step process equally applicable to all overall development plans, project development plans and final plans.

The twelve (12) steps of the common development review procedures are the same for each type of development application, whether subject to basic development review, administrative review or Planning and Zoning Board review, unless an exception to the common development review procedures is expressly called for in the particular development application requirements of this Land Use Code. In other words, each overall development plan, each project development plan and each final plan will be subject to the twelve-step common procedure. The twelve (12) steps include: (1) conceptual review; (2) neighborhood meeting; (3) development application submittal; (4) determination of sufficiency; (5) staff report; (6) notice; (7) public hearing; (8) standards; (9) conditions of approval; (10) amendments; (11) lapse; and (12) appeals.

However, Step 1, conceptual review, applies only to the initial development application submittal for a development project (i.e., overall development plan when required, or project development plan when an overall development plan is not required). Subsequent development applications for the same development project are not subject to Step 1, conceptual review.

Moreover, Step 2, neighborhood meeting, applies only to certain development applications subject to Planning and Zoning Board review. Step 2, neighborhood meeting, does not apply to development applications subject to basic development review or administrative review. Step 3, application submittal requirements, applies to all development applications. Applicants shall submit items and documents in accordance with a master list of submittal requirements as

established by the City Manager. Overall development plans must comply with only certain identified items on the master list, while project development plans must include different items from the master list and final plans must include different items as well. This master list is intended to assure consistency among submittals by using a “building block” approach, with each successive development application building upon the previous one for that project. City staff is available to discuss the common procedures with the applicant.

Section 6. That Section 3.2.2(C)(6) and (7) of the Land Use Code is hereby amended to read as follows:

- (6) *Direct On-Site Access to Pedestrian and Bicycle Destinations.* The on-site pedestrian and bicycle circulation system must be designed to provide, or allow for, direct connections to major pedestrian and bicycle destinations including, but not limited to, trails, parks, schools, Neighborhood Centers, Neighborhood Commercial Districts and transit stops that are located either within the development or adjacent to the development as required, to the maximum extent feasible. The on-site pedestrian and bicycle circulation system must also provide, or allow for, on-site connections to existing or planned off-site pedestrian and bicycle facilities at points necessary to provide direct and convenient pedestrian and bicycle travel from the development to major pedestrian destinations located within the neighborhood. In order to provide direct pedestrian connections to these destinations, additional sidewalks or walkways not associated with a street, or the extension of street sidewalks, such as from the end of a cul-de-sac, or other walkways within the development, to another street or walkway, may be required as necessary to provide for safety, efficiency and convenience for bicycles and pedestrians both within the development and to and from surrounding areas.
- (7) *Off-Site Access to Pedestrian and Bicycle Destinations.* Off-site pedestrian or bicycle facility improvements may be required in order to comply with the requirements of Section 3.2.2(E)(1) (Parking Lot Layout), Section 3.6.4 (Transportation Level of Service Requirements), or as necessary to provide for safety, efficiency and convenience for bicycles and pedestrians both within the development and to and from surrounding areas.

Section 7. That the table contained in Section 3.2.2(K)(1)(a)1.a is hereby amended to read as follows:

- a. Multi-family dwellings and mixed-use dwellings within the Transit-Oriented Development (TOD) Overlay Zone may reduce the required minimum number of parking spaces by providing demand mitigation elements as shown in the following table:

<i>Demand Mitigation Strategy**</i>	<i>Parking Requirement Reduction***</i>
...	...
Participation in the City's Bike Share Program	Based on Approved Alternative Compliance
...	

...

Section 8. That Section 3.4.8(C) of the Land Use Code is hereby amended to read as follows:

3.4.8 Parks and Trails

...

- (C) **General Standard**. All development plans shall provide for, accommodate or otherwise connect to, either on-site or off-site, the parks and trails identified in the Parks and Recreation Policy Plan Master Plan that are associated with the development plan.

Section 9. That Section 3.5.2(G)(1)(a) of the Land Use Code is hereby amended to read as follows:

- (G) **Rear Walls of Multi-Family Garages**. To add visual interest and avoid the effect of a long blank wall with no relation to human size, accessibility needs or internal divisions within the building, the following standards for minimum wall articulation shall apply:

- (1) **Perimeter Garages**.

- (a) **Length**. Any garage located with its rear wall along the perimeter of a development and within sixty-five (65) feet of a public right-of-way or the property line of the development site shall not exceed sixty (60) feet in length. A minimum of seven (7) feet of landscaping must be provided between any two (2) such perimeter garages.

Section 10. That Section 3.8.1 of the Land Use Code is hereby amended to read as follows:

3.8.1 - Accessory Buildings, Structures and Uses

Accessory buildings, structures and uses (when the facts, circumstances and context of such uses reasonably so indicate) may include but are not limited to the following:

- ...
- (14) garage sales, wherein property which was not originally purchased for the purpose of resale is sold, provided that such sales are limited to no more than five (5) weekend periods (as defined in Section 15-316 of the City Code) in one (1) calendar year;
- (15) hoop houses;
- (16) community based shelter services.

Section 11. That Section 3.8.25(A) of the Land Use Code is hereby amended to read as follows:

3.8.25 - Permitted Uses: Abandonment Period/Reconstruction of Permitted Uses

- (A) If, after June 25, 1999 (the effective date of the ordinance adopting this Section), active operations are not carried on in a permitted use during a period of twenty-four (24) consecutive months, or with respect to seasonal overflow shelters sixty (60) consecutive months, the building, other structure or tract of land where such permitted use previously existed shall thereafter be re-occupied and used only after the building or other structure, as well as the tract of land upon which such building or other structure is located, have, to the extent reasonably feasible, been brought into compliance with the applicable general development standards contained in Article 3 and the applicable district standards contained Article 4 of this Code as determined by the Director. This requirement shall not apply to any permitted use conducted in a building that was less than ten (10) years old at the time that active operations ceased. Intent to resume active operations shall not affect the foregoing.

...

Section 12. That Section 3.8.30 of the Land Use Code is hereby amended to read as follows:

3.8.30 - Multi-Family Dwelling Development Standards

- (A) **Purpose/Applicability.** The following standards apply to all multi-family development projects that contain at least four (4) dwelling units. These standards are intended to promote variety in building form and product, visual interest, access to parks, pedestrian-oriented streets and compatibility with surrounding neighborhoods.

(C) **Access to a Park, Central Feature or Gathering Place.** At least ninety (90) percent of the dwellings in all development projects containing two (2) or more acres shall be located within one thousand three hundred twenty (1,320) feet (one-quarter [¹/₄] mile) of either a neighborhood park, a privately owned park or a central feature or gathering place that is located either within the project or within adjacent development, which distance shall be measured along street frontage without crossing an arterial street. Such parks, central features or gathering places shall contain one (1) or more of the following uses:

(1) Public parks, recreation areas or other open lands.

(2) Privately owned parks, meeting the following criteria:

(a) For projects between two (2) and five (5) acres, the development is required to provide sufficient outdoor gathering areas or site amenities, either public or private, to sustain the activities associated with multi-family residential development, to adequately serve the occupants of the development as set forth below. Such outdoor gathering areas may include, without limitation, small parks, playgrounds, pools, sports courts, picnic facilities, passive open space, recreational areas, plazas, courtyards, or naturalistic features.

For projects greater than five (5) acres and less than ten (10) acres, the private park must be a minimum of five thousand (5,000) square feet.

For projects greater than ten (10) acres, the private park must be a minimum of ten thousand (10,000) square feet.

...

(E) **Buildings.**

...

(3) Minimum setback from the right-of-way along an arterial street shall be fifteen (15) feet and along a nonarterial street shall be nine (9) feet.

(a) Exceptions to the setback standards are permitted if one (1) of the following is met:

...

5. A project is within an area in the Downtown that is designated in the Downtown Plan as allowing "main street storefront" buildings with zero or minimal setback.

Section 13. That Section 4.5(B)(2)(a) of the Land Use Code is hereby amended to read as follows:

(2) The following uses are permitted in the L-M-N District, subject to administrative review:

(a) **Residential Uses:**

1. Single-family detached dwellings.
2. Two-family dwellings.
3. Single-family attached dwellings.
4. Two-family attached dwellings.
5. Any residential use consisting in whole or in part of multi-family dwellings (limited to eight [8] or less dwelling units per building) that contain fifty (50) dwelling units or less, and seventy-five (75) bedrooms or less.
6. Group homes for up to eight (8) developmentally disabled or elderly persons.
7. Mixed-use dwellings.
8. Extra occupancy rental houses with four (4) or more tenants.

Section 14. That Section 4.5(D)(1)(b) of the Land Use Code is hereby amended to read as follows:

(D) ***Land Use Standards.***

(1) *Density.*

...

- (b) The maximum density of any development plan taken as a whole shall be nine (9) dwelling units per gross acre of residential land, except that affordable housing projects (whether approved pursuant to overall development plans or project development plans) containing ten (10) acres or less may attain a maximum density, taken as a whole, of twelve (12) dwelling units per gross acre of residential land.

Additionally, affordable housing projects containing more than ten (10) acres but no more than twenty (20) acres may attain a maximum density, taken as a whole, of twelve (12) dwelling units per gross acre of residential land so long as the term of lease or sale of all of the dwelling units associated with the acreage exceeding ten (10) acres, but no more than twenty (20) acres, are available on terms that would be affordable to households earning sixty (60) percent or less, on average, of the area median income for the applicable household size in the Fort Collins-Loveland metropolitan statistical area, as published by the Department of Housing and Urban Development. The dwelling units associated with the acreage exceeding ten (10) acres, but no more than twenty (20) acres, shall not be counted as contributing to the required percentage of affordable housing units necessary to qualify as an affordable housing project. The number of dwelling units that must be available to those earning sixty (60) percent or less, on average, of the area median income shall be calculated as follows:

Number of Dwelling Units That Must Be Made Available to Households Earning Sixty (60) Percent Or Less of the Area Median Income, Rounded to the Nearest Whole Number = (Number of Total Dwelling Units Constructed ÷ Number of Total Gross Acres of Residential Land) X Number of Acres Over Ten (10) Acres, Up To A Limit of Twenty (20) Acres

...
Section 15. That Section 4.5(D)(2)(c) of the Land Use Code is hereby amended to read as follows:

(c) The following list of housing types shall be used to satisfy this requirement:

- ...
6. Two-family attached dwellings, the placement of which shall be limited to no more than two (2) dwellings per two (2) consecutive individual lots.
 7. Mixed-use dwelling units.
 8. Multi-family dwellings containing more than three (3) to four (4) units per building;
 9. Multi-family dwellings containing five (5) to seven (7) units per building.

10. Multi-family dwellings containing more than seven (7) units per building (limited to twelve [12] dwelling units per building).
11. Mobile home parks.

Section 16. That Section 4.6(B)(2)(a) of the Land Use Code is hereby amended to read as follows:

- (2) The following uses are permitted in the M-M-N District, subject to administrative review:

- (a) **Residential Uses:**

...

4. Two-family attached dwellings.
5. Any residential use consisting in whole or in part of multi-family dwellings that contain fifty (50) dwelling units or less, and seventy-five (75) bedrooms or less.
6. Mixed-use dwellings.
7. Group homes for up to eight (8) developmentally disabled or elderly persons.
8. Extra occupancy rental houses with more than five (5) tenants.

Section 17. That Section 4.10(D)(2) of the Land Use Code is hereby amended to read as follows:

- (2) *Dimensional Standards.*

- (a) Maximum building height shall be five (5) stories.
- (b) For all setback standards, building walls over thirty-five (35) feet in height shall be set back an additional one (1) foot beyond the minimum required, for each two (2) feet or fraction thereof of wall or building that exceeds thirty-five (35) feet in height. Terracing or stepping back the mass of large buildings is encouraged.
- (c) Building setbacks shall be fifteen (15) feet from arterial streets and nine (9) feet from non-arterial streets, five (5) feet from the side property line and eight (8) feet from the rear property line.

Section 18. That Section 4.16(D)(5)(e) of the Land Use Code is hereby amended to read as follows:

(5) *Building Character and Facades.*

- ...
- (e) **Canyon Avenue and Civic Center: Exterior facade materials.** All street-facing facades shall be constructed of high quality exterior materials for the full height of the building. Such materials, with the exception of glazing, shall include stone, brick, clay units, terra cotta, architectural pre-cast concrete, cast stone, prefabricated brick panels, architectural metals, architectural fiber cement siding or any combination thereof. Except for windows, material modules shall not exceed either five (5) feet horizontally or three (3) feet vertically without the clear expression of a joint. For the purposes of this provision, *architectural metals* shall mean metal panel systems that are either coated or anodized; metal sheets with expressed seams; metal framing systems; or cut, stamped or cast ornamental metal panels. *Architectural metals* shall not include ribbed or corrugated metal panel systems.
- ...

Section 19. That the table contained in Section 4.24(B)(2) of the Land Use Code is hereby amended to read as follows:

<i>Land Use</i>	<i>Riverside Area</i>	<i>All Other Areas</i>
...		
D. INDUSTRIAL		
...
Light industrial uses*	Type 1	Type 2
Research laboratories*	Type 1	Type 1
...

Section 20. That the definition of “*Change of use*” contained in Section 5.1.2 of the Land Use Code is hereby amended to read as follows:

Change of use shall mean the act of changing the occupancy of a building or land to a different use that is specifically listed as a "Permitted Use" in Article 4. A change of use occurs whenever:

- (1) the occupancy of a single-tenant building or of a parcel of land changes from the most recent previously existing use to a different use;
- (2) the occupancy of a tenant space in a multi-tenant building changes to a use that is not currently existing in another tenant space of the building or that did not previously exist in any tenant space of the building within the last twenty-four (24) months; or
- (3) the most recent previously existing use of a building or land has been abandoned, by cessation of active and continuous operations during a period of twenty-four (24) consecutive months, and either the same type of use is proposed to be reestablished or a different use that did not exist on the property is proposed to be established.

Section 21. That Section 5.1.2 of the Land Use Code is hereby amended by the addition of a new definition "*Community based shelter services*" which reads in its entirety as follows:

Community based shelter services shall mean an accessory use to a facility owned and operated by a place of worship, public benefit corporation as defined by the Colorado Revised Statutes, or a tax exempt corporation as defined by Section 503 of the U.S. Internal Revenue Code, that provides overnight accommodations on a temporary basis for a maximum of 15 persons.

Section 22. That Section 5.1.2 of the Land Use Code is hereby amended by the addition of a new definition "*Dwelling, two-family attached*" which reads in its entirety as follows:

Dwelling, two-family attached shall mean a two-family dwelling attached to one other two-family dwelling with each such two-family dwelling located on its own separate lot.

Section 23. That the definition of "*Group home*" contained in Section 5.1.2 of the Land Use Code is hereby amended to read as follows:

Group home shall mean either of the following:

- (1) Residential group home shall mean a residence operated as a single dwelling, licensed by or operated by a governmental agency, or by an organization that is as equally qualified as a government agency and having a demonstrated capacity for oversight as determined by the Director, for the purpose of providing special care or rehabilitation due to homelessness, physical condition or illness, mental condition or illness,

elderly age or social, behavioral or disciplinary problems, provided that authorized supervisory personnel are present on the premises.

- (2) Large group care facility shall mean a residential facility that is planned, organized, operated and maintained to offer facilities and services to a specified population and is licensed by or operated by a governmental agency, or by an organization that is as equally qualified as a government agency and having a demonstrated capacity for oversight as determined by the Director, for the purpose of providing special care or rehabilitation due to homelessness, physical condition or illness, mental condition or illness, elderly age or social, behavioral or disciplinary problems, provided that authorized supervisory personnel are present on the premises.

Section 24. That the definition of "*Homeless shelters*" contained in Section 5.1.2 of the Land Use Code is hereby amended to read as follows:

Homeless shelters shall mean a fully enclosed building other than a hotel, motel, or lodging establishment that is suitable for habitation and that provides residency only for homeless persons at no charge at any time during the year. Community based shelter services are exempt from this definition.

Section 25. That the definition of "*Seasonal overflow shelters*" contained in Section 5.1.2 of the Land Use Code is hereby amended to read as follows:

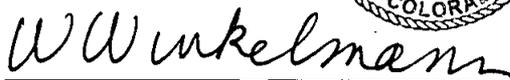
Seasonal overflow shelters shall mean a homeless shelter that allows homeless persons to stay on its premises overnight from the beginning of November through the end of April, unless, because of inclement weather, specific and limited exceptions to such seasonal limitations are granted by the Director. Community based shelter services are exempt from this definition.

Introduced, considered favorably on first reading, and ordered published this 18th day of April, A.D. 2017, and to be presented for final passage on the 2nd day of May, A.D. 2017.




Mayor

ATTEST:



City Clerk

Passed and adopted on final reading on this 2nd day of May, A.D. 2017.

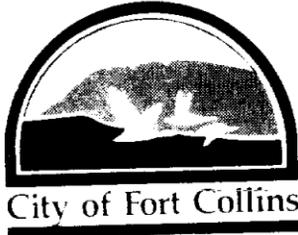


Mayor

ATTEST:



City Clerk



City of Fort Collins

Community Planning and Environmental Services
Building Permits and Inspection Division

May 12, 1993

Ginny Riley
Executive Director
Crossroads Safehouse
P.O. Box 993
Fort Collins, CO
80522

Dear Ginny:

The Crossroads Safehouse at 317-321 S. Sherwood Street in Fort Collins is located in the NCM (Neighborhood Conservation Medium Density) zoning district. The use of the property is classified as a group home, which is a permitted use in the NCM zone.

As a permitted use, an addition to the existing facility may be constructed similar in nature to the one which we discussed and reviewed a few weeks ago. Specifically, any addition would be permitted as long as the following requirements are met:

1. The maximum floor area of the building, existing and proposed, may not exceed 9,500 square feet. (The existing floor area is approximately 4,883 sq. ft., meaning an addition can not exceed 4,617 sq. ft.).
2. The minimum distance required from the rear lot line to the building is 5 feet.
3. The minimum distance required from an interior side lot line to the building is 8 feet, based on a maximum building height of 24 feet.
4. 6 parking spaces are required.
5. Maximum number of residents, excluding supervisors, is 20.

Please feel free to contact me if you need additional information regarding this matter.

Cordially,

Peter Barnes
Peter Barnes
Zoning Administrator

NEIGHBORHOOD LISTENING SESSION

Project: City Owned Properties at 317 & 321 South Sherwood Street

Date: November 17, 2014

City Staff: Ken Mannon (Operation Services)
Helen Matson (Operation Services)
Ryan Mounce (Planning Services)
Beth Sowder (Social Sustainability)
Sue Beck-Ferkiss (Social Sustainability)
Delynn Coldiron (Neighborhood Services)
Sarah Burnett (Neighborhood Services)
Jeff Mihelich (City Manager's Office)

Presentation Summary

- **Property Background**
 - The properties at 317 and 321 South Sherwood Street were originally single family homes and were purchased by the City in the 1980's.
 - The two buildings are on two separate parcels and are connected by an addition.
 - The properties were previously used by Crossroads Safe House, but have now been vacant for about four years.
 - Due to multiple factors, the buildings are not suitable for City use, and they are not optimal for service provider use.
 - The City had used federal Community Development Block Grant funds for this property, which placed certain restrictions on the use of the buildings. These restrictions expired in September 2014, which opens up options for the properties.
- **Zoning Information**

The zoning is Neighborhood Conservation Medium Density (N-C-M) Neighborhood. Permitted uses in the zone district include:

 - Single family home, child care, respite center, church, domestic violence shelter. These uses would require a Basic Development Review (staff review with no public hearing).
 - Carriage house, duplex/multifamily (with no structural additions or exterior alterations), group home. These uses would require a Type 1 Review (public hearing before a single hearing officer).

- Duplex/multifamily (with structural additions or exterior alterations), bed & breakfast with maximum of 6 beds, schools. These uses would require a Type 2 Review (public hearing before the Planning and Zoning Board).
- Other uses would require a rezoning or an Addition of Permitted Use process.
- **Relevant Development Standards**
If the properties are sold or leased, they would be required to meet current requirements of the Land Use Code. Examples include:
 - Floor Area Ratio – limits on building size for any new additions
 - 2-story height limit
 - Setback requirements
 - Design criteria for larger buildings (provide articulation, preserve solar access)
 - Other general development standards (parking, landscaping, stormwater, etc.)
- **Potential Options**
 - Option 1 - Lease to service provider for transitional housing facility or other identified community need to be operated by a service provider
 - Option 2 - Sell 317 South Sherwood; retain 321 South Sherwood for lease to a service provider
 - Option 3 - Sell both properties
 - Others that may be suggested
- **Considerations – Challenges and Opportunities**
 - If site could be used by a service provider, it could help address identified community needs.
 - Site improvements would be needed and may be expensive (drainage, parking, and others to be identified).
 - Maintaining the properties, whether vacant or occupied (by the City and/or service provider) may be expensive.
 - Selling one or more of the properties will result in the loss of a potential location for a City or service provider use.
- Tonight, we'd like to obtain neighborhood feedback regarding the options for the future of the buildings.

Questions, Comments & Responses

Question: How many could be housed if it was a transitional living facility? Would the back building addition at 321 S. Sherwood remain?

Response: The City could keep one building and lease it for use by a social service provider or we could keep both buildings. We have not made a determination, and wanted to get neighborhood feedback to help guide decision-making.

Question: Is there a maximum number of residents allowed by the zoning?

Response: For both group homes and domestic violence shelters the land use code limit is up to eight individuals. That's just for those staying at the facility and doesn't necessarily include employees. There are 14 total bedrooms.

Question/Comment: Are you counting the addition?

A social service provider who had toured the property explained that there are eight bedrooms, a play room, and a counseling room. She further explained there are some rooms that could be turned into bedrooms.

Question/comment: The maximum number of occupants must be a change from Crossroads then.

Response: That is correct. Previously Crossroads Safehouse was considered a non-conforming use, so it met City requirements at one point, but since then codes have changed.

Question: Is it eight persons per house or in that total joint structure?

Response: Planning staff would need evaluate the requirements of the Land Use Code to determine that. At 317 S. Sherwood, which is the smaller of the two, there are six bedrooms, a play room, a bathroom, a laundry room, kitchen, living and dining room.

Question: Are all of those on the first floor or is that a combination?

Response (citizen): That's a combination, the bedrooms are upstairs.

Question/comment: So there are six bedrooms, but eight people are allowed?

Response: Currently, yes under the current regulations.

Staff explained that at 321 S. Sherwood, there are nine bedrooms, three counseling rooms, four offices, four bathrooms, two laundry rooms, a kitchen, two living rooms and a dining room. It is a fairly substantial size building. The house at 317 S. Sherwood is 2800 square feet; 321 S. Sherwood is 6400 square feet. Both include basements.

Comment (citizen): There are two other constraints. (1) It is in a 100-year City floodplain. Therefore, any kinds of building improvements require compliance with floodplain rules. (2) There are buffer zone requirements around group homes, and there is another group home nearby. So, that would need to be examined.

Question/comment: I'm curious about transitional housing. Are there any non-profit groups that have come forward to meet with the City or would it be city provided housing?

Response: The City does not provide direct social services, so is not contemplating using it for a city office or purpose. We could partner with a non-profit to bring in some kind of a housing program, since the house is so well suited for that - especially 321 S. Sherwood, which has so much practical application for that kind of a program. There are

some challenges that would have to be overcome. There have been several inquiries from non-profits that are already known in our community for providing housing.

Question: Can you say anything more about those groups?

Response: Serve 6.8 and Faith Family Hospitality have expressed interest recently. There have been different groups along the way. There were no takers through an earlier Request for Proposal (RFP). We think we would get interest if we did a new RFP.

Question: If the city were to sell off ultimately, could the proceeds be put toward an affordable housing in the community?

Response: It is an option we have considered. If we sold these two properties, we could take that money and build it back into the general fund. We could use it for any myriad of purposes or City Council could decide to earmark it for some other type of social sustainability programs like transitional housing someplace else in the city. There is a second mortgage on these two properties together. Obviously we would have to settle. The maximum we could clear if both of these properties were sold would be somewhere in the half of a million dollar category and that is probably being generous.

Question: The city is not going to use these properties anyways. None of these options suggested the city wants to continue to own them.

Response: If a non-profit was to use it the City would own them. We would still be the landlord and responsible. It would be a lease arrangement.

Question: What are the current costs for keeping it up each year? Part of the reason people haven't accepted it and part of the reason the safe house moved out was it is incredibly expensive with energy. There is not much efficiency.

Response: These numbers were not available at the meeting. Ken Mannon will check on this.

Question/Comment: Because of the flood plain regulations, there are some real restrictions. You have to abide by the City's own regulations, but also the definition of what constitutes a critical facility. How "critical facility" is defined by FEMA and the City may be an issue here as well as the spacing of the group homes.

Response: As a property owner, the City also has to follow City rules and regulations. If the properties are leased for some type of transitional housing, there will be totally different requirements than if they are sold.

Question/Comment: If you split them and sell them, the square footage at 321 S. Sherwood is over the floor area ratio limits (FAR) allowed by current code. A sixteen person family could live there as a private home. Is that the only use?

Response: Staff referred back to the uses described at the beginning of the meeting. If changes were made to the property, it would have to meet the same requirements as any other single family home. Staff further explained that if it is in the 100-year flood plain, basement living space is not allowed. Staff will gather more information from

Floodplain and Stormwater staff. There would be certain requirements if there were substantial remodeling or alterations, including potentially elevating it out of the floodplain or raising the HVAC above the flood level.

In terms of the question regarding 321 S. Sherwood, it likely does exceed the floor area ratio for the zone district, so it is considered a “non-conforming” use already. We wouldn’t want to see any increase in inconsistency, so further additions would not be likely possible with current regulations. In terms of whether it is suitable for a family, there considerations under the general occupancy standards with the U+2, so it really could just be related individuals and couldn’t be unrelated individuals.

Question: Would it be suitable for an extra occupancy permit?

Response: Extra occupancy rental homes are not a permitted use in the zone district.

Question/Comment: Each lot would be square feet. Under the new zoning, the floor area ratio (FAR) under NCM it’s 3,325 square feet. The building on lot 3 is more than almost 2.5 times.

Response: Staff would need to do additional work to verify exact square footage to determine the FAR exactly. The square footage cited earlier included the basement, which is likely to be included in the FAR calculations in this case.

Question: What is the footprint on each of these buildings square footage?

Response: Staff did not have this information available and will follow up.

Question/Comment: Could this housing be used for homeless people? There is a need.

Response: Potentially it could. In the Land Use Code, the definition for a group home does refer to rehabilitation for homeless or homeless use. It could be limited in number. However, there are parking, drainage and alley paving constraints that make it difficult for a service provider to come in even though the buildings could be good for that. There are also the zoning and land use requirements that would need to be met.

Question/Comment (from a service provider): Faith Family Hospitality hopes to provide more shelter for homeless families. Currently we are able to shelter four families at a time through participating churches. They doubled the number of shelters in the city. Now there are eight rooms available. What we are seeing in the 54 families that have been served in an emergency, many from living in their cars. Faith Family Hospitality works with these families on setting goals, obtaining jobs, medical needs and work towards helping them be independent. We hope to double the number of families we serve. We would like to move those who are most successful in the program into a transitional space to open spaces up to new participants. By doing this, we wouldn’t be pushing out the family that is close to independence but not yet solidly on the ground. We would continue providing services to that family in the transitional program and be able to pull in another family into the program. That could expand very quickly how many homeless families being served in the city. In Poudre School District, there are

1,000 kids per school year that can be identified as homeless at some time during the year. That doesn't mean 1,000 are homeless all year long, but just by that number one can see that between Catholic Charities and Faith Family Hospitality, only 8 families are being helped.

Question (from staff) Staff asked how many attendees lived in the neighborhood near these two properties. The majority (about eight) raised their hands.

Question (from staff) Staff asked if there was a sense by people if they preferred that the City sell the properties, or use at least one of the properties for transitional housing.

Response: The city owns it. It is there ready for the public. Why aren't they using it?

Response: I am a neighbor also with an organization called L'arche, which is looking to provide housing for people with disabilities. We are much more in the beginning stages, but this is very interesting to me. Living a block away is also fabulous.

Staff asked if that is a settlement house. Citizen stated they are homes where people live in with and without disabilities and choose to live together.

Question/Comment: What are the historic preservation requirements?

Response: The building must be more than 50 years old and these are. In the 1980's the properties were reviewed and at that time were ineligible for local designation, in part due to the connecting structure. If that was removed and this went through a review process in the future, Historic Preservation would review again.

Question (from staff) Staff stated they are trying to get a little more feedback. The three options were reiterated.

Response: Three preferred Option 1 (attempting to lease both properties to a service provider). No one preferred Option 2 (leasing 321 S. Sherwood; selling 317 S. Sherwood); Option 3 (selling both properties) was also not preferred, but not all indicated a preference.

Question/Comment: There is a fourth option, which is to sell both properties and create a park. There is no green space in that area. It would take Otterbox or Blue Ocean to fund something like that. If you look at how many people are in that area, parking is going to be a horrible problem for transitional housing. I want there to be transitional housing, but I also want them to not be caught in a flood plain.

Question/Comment: We are currently competing for parking with Otterbox.

Question/Comment (citizen): 309 S Sherwood St was given to city to use as a park and they sold it. Why would we have another park on there if the City doesn't want one?

Question/Comment (citizen): That is why I am saying it would have to be privately funded, if you are talking about sustainability. I almost wish it could be torn down and build some good transitional housing to keep the sustainability going further.

Response (City): We can't say for the non-profits out there what they could or couldn't do with it. Instead, we would formulate a request for proposals (RFP) and see what ideas organizations have and how they could fund it and make it work. We may not get any responses or we could start the process and it turns out that it is not feasible. If we sell them now then we don't have that opportunity.

Question/Comment: I am concerned with flood damage of the buildings, especially 317 with six feet of water in it during '97. I am not sure what condition it is in.

Answer: It was used through 2010 or '11. Ken Mannon toured the properties and went into the basements. He didn't see any huge issues that could not be resolved. In order to put people in those buildings any mold or water would have needed to be mitigated before it could be used after the flood. Ken believed that it had gone through an extensive cleaning.

Question/Comment: I like a plan that would let it be used for transitional housing or such. I have a real concern if the city is the landlord. How responsible or considerate they would continue to be to the neighborhood about the parking issues. There is reason because of the situation we are in now with parking that the City has seemed indifferent to. We would want them to be a very responsible landlord, not just to the group that may rent, but conscious of what's around.

Question/Comment (citizen): Helen (from the City's Real Estate Services Area) has been and excellent, very responsive to any issues. There has been a contact when you see things going wrong, and cited an example of a problem trespasser.

Question (staff): Staff asked if the City decided to sell the properties and one of them was service provider, if the City didn't own the property anymore if that would be good or bad.

Response (citizen): You would still have the parking problem brought on by Otterbox not having adequate parking and all the other new buildings coming in. There is absolutely no parking. The on-street parking during the day is especially problematic.

Question (staff): Staff asked if the neighbors would be comfortable with pursuing another RFP to see if there was any interest from social service providers to use one or both of the buildings.

Response: An RFP process is costly to potential service providers. I think it would merit front end work by the City to clarify the flood plain issues and the group home separation issues so as to not to put potential respondents through a process only to learn that their proposal is not feasible due to the site constraints.

Response (staff): Staff stated they now know of a few items to follow up on and will provide updates as far as what would be considered a critical care facility and how that might affect use of the properties.

Question/Comment: Where can we find info on process? Is there a certain amount of mitigation the city does before it's made available to non-profits? Is that list different than if you were to sell?

Answer (staff): That is negotiable. We would have to sit down and see what a potential tenant would need and what the City needs and go from there. We plan to provide updates as we proceed.

Staff explained that the City has a conceptual review process. These are free meetings for anyone with a prospective development proposal. This is where all of the City departments who work on development review assess the site and proposed use and offer feedback and insight into if there are any challenges or issues up front before they make a formal application submittal.

Question/Comment: A nonprofit would present a paper describing what their hope is or how the property can be used?

Answer: Yes. It is a fairly simple process. We just ask for a drawing at that stage. We realize it is expensive to get professional drawings done. A lot of times people provide a narrative as well.

Question/Comment: Would it be possible once other expenses are taken care of if 317 S. Sherwood were sold, that the remaining funds were earmarked to help make the other property easier to bring up to code? Social service providers might be able to afford to pave alleys.

Question/Comment: What I am struggling with is being a good person and also just looking at the regulations. I appreciate what you are saying that there may not be enough equity in these properties that there may not be a large gain if the properties were sold. Having talked with several directors of Crossroads and with the City's Facilities staff, the maintenance of those existing structures has been costly to a provider. Certainly there is a need in this community for housing and this is a big building.

Comment (service provider): Parking is a big concern. The day time parking is solid. This property seemed like it made some sense to us because of the structures there. If we had four families each would be coming with a vehicle. Faith Family Hospitality would have an overnight person there every night with the families who would also have a car as well as other staff coming and going. Even if you sold these two houses separately, families these days frequently each have two vehicles; you would have two vehicles connected to with families equal to if you split the property.

Comments/Discussion:

- Are there requirements for a certain number of parking per staff member? You may have to have more parking than what you would think.
- Staff stated that there are minimum parking requirements for staff. Also, there is a standard in the zone district that no more than 40% of the front yard could be improved for parking (so parking in the front yard would be very limited).
- What about removing the garage to allow for more parking?

Question/Comment: What kind of timeline are you hoping for?

Response: There is no specific timeline. Based on the feedback tonight, we are leaning towards doing another RFP to see what proposals are submitted and will send updates to those who have provided their email addresses tonight.

Question/Comment: The need is really great for homeless people. There are structures sitting empty. Isn't there a way to open them in an emergency?

Response (staff): Staff explained they are very concerned about our neighbors this year, but fortunately the shelters have not been full yet. Catholic Charities and Community of Christ Church are currently working towards being able to open an overflow shelter at the Church (at Oak and Mathews), which City Council just approved to use as shelter for single women. This will free up space at Catholic Charities if needed. In addition, hotel vouchers are available through Catholic Charities. The local service providers believe the overnight shelter options are adequate at this time.

Follow-Up Items

- **Encourage Sharing of Information**
Staff encouraged those in attendance at the listening session on November 17 to share the information discussed at the listening session with their neighbors so that more in the area can provide their feedback if they would like.
- **Additions to E-mail Communication List**
Individuals who would like to be included to the email list for future messages may contact Sarah Burnett at sburnett@fcgov.com or 970-224-6076.
- **Preliminary Land Use, Zoning and Floodplain Responses**
A number of questions related to land use, zoning, and floodplain requirements were raised at the meeting. Some of these questions, with additional information from City staff compiled since the meeting, include:
 - Minimum Distances between Group Home Facilities
 - The minimum required separation distance for group homes or shelters for victims of domestic violence in the N-C-M District is 1,000 feet.

- An existing group home operated by Touchstone Health Partners at 218 S. Whitcomb Street is located approximately 500 feet from the Sherwood properties, requiring approval of a modification of standard if a group home or shelter for victims of domestic violence is proposed.
- City's Ongoing Maintenance Costs
A resident asked if the City could provide expenses related to the properties. While Crossroads Safehouse was the tenant, they were responsible for much of the maintenance, so the City has not had substantial maintenance expenses. Approximate total utility costs, including electric, natural gas, water, wastewater, and stormwater, for the highest use periods (2011-2012) were:
 - 317 S. Sherwood - \$3,000/year
 - 321 S. Sherwood - \$6,350/year
- Square Footage Measurements
 - 317 S. Sherwood
 - First Floor – 1,258 square feet
 - Second Floor – 1,047 square feet
 - 321 S. Sherwood
 - First Floor – 3,295 square feet
 - Second Floor – 1034 square feet (original) + 1,047 square feet (addition) = 2,667 square feet
- Floodplain Requirements
 - Fort Collins Utilities has published a “quick guide” outlining standards and requirements for new structures and additions or remodeling of existing building located in floodways, floodplains, and flood fringes. This guide can be viewed at:
http://www.fcgov.com/utilities/img/site_specific/uploads/quickguide.pdf .
- Critical Facility Determination
 - Group homes or shelters that may house vulnerable populations that require assistance evacuating during a flooding event are likely to be considered a critical facility, and would not be permitted at 317 & 321 S Sherwood Street. Specific information would be required to make that determination, but uses such as schools, child care centers, and housing for vulnerable populations would be unlikely.
- Off-Street Parking – Service Provider Needs and City Requirements
 - Group homes and shelters for victims of domestic violence are a minimum of 2 spaces for every 3 employees, and one space for every 4 adult residents, unless those residents are prohibited from owning and operating a vehicle.
 - Single family homes on lots greater than 40 feet in width require 1 parking space.

- Minimum multifamily project parking requirements are based on the number of bedrooms per dwelling unit, beginning at 1.5 spaces for each one-bedroom unit and increasing thereafter.
 - Group Home Client Maximum
 - Group homes in the N-C-M District are limited to a maximum of 8 residents, excluding supervisors. A large group care facility in the N-C-M District is limited to 15 residents, excluding supervisors.
- **Conceptual Review Scheduled for Early 2015**

Staff has begun researching these questions, as noted above, but in order to gather all the information in one place, the City (as a property owner) plans to complete a Conceptual Review in January. This will allow staff from various City departments and other reviewing agencies to provide comments on considerations for development and potential uses of the properties, including considerations and requirements related to floodplain, stormwater, utilities, Poudre Fire Authority, planning, zoning, etc. The comment letter that summarizes the review should assist City staff in preparing the RFP for service providers, and should also provide the service providers with a clearer picture of the feasibility of their ideas given the allowed uses and development considerations for the buildings.

NEIGHBORHOOD INFORMATION MEETING

PROJECT: 317 / 321 S Sherwood St Group Home

DATE: February 10, 2016

APPLICANT: Annette Zacharias, Faith Family Hospitality

PROJECT PLANNER: Ryan Mounce

City Presentation: Site History & Development Review Process

- City of Fort Collins has owned the buildings on Sherwood Street since the early 1980s.
- Central connector constructed to create 1 building out of two homes. Several additional expansions created a building with 19 bedrooms, multiple kitchen/bathrooms, and common open spaces.
- Buildings were occupied as a group home for over 25 years by Crossroads Safehouse
- Buildings have been vacant for the past 4 years. The former group home use was abandoned and the site must go through the full development review process to reestablish the use again.
- Site is located in the Neighborhood Conservation, Medium Density (NCM) zone district.
- Proposal under discussion tonight is for a group home to house families for transitional housing. Group homes and large group care facilities are subject to Type 1 (Administrative) review in the NCM zone district.
- The decision-maker for Type 1 reviews is an Administrative Hearing Officer at a public hearing
- In addition to land use approval, the project also needs approval by City Council for lease of the properties – this would occur only after the development review process is completed.
- The proposal will likely need to submit three modification of standard requests to the following Land Use Code sections:
 - Floor Area (building size) – Existing building exceeds current zone district maximum
 - Group Home Separation (distance between group homes) – A group home operated by Summitstone is located less than the required 1,000 feet away near Whitcomb & Oak.
 - Group Home Size (# of residents) – Maximum in the NCM district is 15 residents; proposal is up to 30 residents

Applicant Presentation:

- Proposal is to house up to 8 families transitioning out of homelessness at the Sherwood Properties. Many definitions of a family, but the adult(s) must be related to the children by marriage or blood.
- Faith Family Hospitality is an interfaith collaboration working with 30 local churches that currently provides housing for families transitioning out of homelessness.
 - Currently housing 4 families in the program. The families stay at and rotate between churches every week. Other churches help out by providing support services. Currently, families must move every week on Sunday and take all their belongings with them and make new transportation arrangements every week.

- A day center is also provided at the Fort Collins Mennonite Fellowship for families not in the overnight program. The families can use showers, laundry, and kitchen during the day. Everyone who utilizes the day center is background checked.
- The Sherwood property would allow the families better case management, privacy, independence and other qualities to increase chances of success and finding permanent housing.
- Families would stay at the Sherwood location approximately 6 months in a co-housing or co-living environment. Each family will get several bedrooms, based on size. Would like to make 'suite' environment for each family at the property.
- No child-care provided on-site, all children must be supervised by parents utilizing a line of sight rule.
- Some day-center activities may come to the Sherwood site as part of the proposal.
- Case management includes financial literacy and debt programs, finding employment, child-care, and enrolling in housing lists.
- A resident manager will be living on-site to handle issues and provide mentor and support to families.

Comments, Questions & Responses:

Q - Question R - Response C - Comment

Q (Citizen): I have a couple clarifying questions – you said a family is determined as two parents and children?

R (Applicant): Parent or parents and children, some families only have one parent.

Q (Citizen): Can you also tell me a little more about your background check process?

R (Applicant): Every adult in the program and our volunteers go through a criminal background check, and it was just expanded to a full national check, rather than only a state background check. Some of the families are referred to us from outside the community and it was important to do the full national check. Families are also drug-screened, and they are not allowed to use drugs in the program or to be intoxicated. The residents of the program have to pay for their own drug-testing.

Q (Citizen): So they're not allowed to have criminal records?

R (Applicant): It depends on the criminal record and how long it's been. If someone shoplifted 5-years ago and has not since, that is different from someone who shows up as a convicted sex offender.

Q (Citizen): Where do you draw the line where you may be faced with someone who has a recent drug charge, but also needs help housing their six children?

R (Applicant): There's only one person who does the intake and screening procedures to ensure consistency in the process. What we look for is if there are crimes related to guns, bodily injury, or sex convictions. A drug-use conviction may not necessarily disqualify eligibility, but it may warrant additional testing, and if something shows up in the labs, we would have to see levels dropping as they enter and stay in the program to remain in place. Residents cannot be under the influence of marijuana unless they have a prescription.

Almost 60% of the families in the program either leave voluntarily or are asked to leave because they can't do the work. 43% of those in the program from the last 12-months were able to achieve permanent housing.

R (Applicant): Because the families are utilizing other services, emergency shelter, or are referred by partner agencies, they also have a track record. Families must show they are a good fit for the transitional housing program. Some families may need to stay in the emergency shelter program until

they are a good fit or leave. We've had families stay anywhere from only 11 days to over a year in the emergency shelter program.

Q (Citizen): You talk a lot about your programmatic elements of the program, but you haven't talked about the fit for the facility or with the neighborhood. Having read your application for conceptual review, it seems to suggest you were not familiar with the layout of the facility and were only needing a little bit of updating. I'm curious what other due diligence you've done since the conceptual review? I know Crossroads had a lot of difficulty with the cost of heating and cooling the facility and ongoing maintenance -- have you budgeted for all this, and explored building code compliance issues, and necessary investments in the property? Are you working with professionals on the project?

R (Applicant): We have a team of people we're working with. In January, we were just looking to see if we could even get through the initial conceptual review and it was high-level. It's now time to do the heavy lifting of the due diligence.

Yesterday we just had an inspection done on the property and received the report today. We also have a general contractor and designer working for us. We're putting those pieces together right now. There are some identified issues that we will need to attend to. For instance, there are some floors that we will need to shore-up. We have inspections on heating and cooling and electrical still to be done.

We are also working with Crossroads to get some of their past bills for the property. It's said they were high, but it's also a large building, as it's over 9,000 square feet. I am the former director of Crossroads and was at the Sherwood facility for a short time as they transitioned to the new facility, I knew the utility bills for their new facility were 3 times higher than the Sherwood property, but that makes sense as the new facility is 3 times as large, which tells us the Sherwood property may not be that cost-prohibitive necessarily as utilizing any other building. We're working on the budget modeling right now.

Q (Citizen): Is your budget based on housing 30 residents at the facility at all times, which is double the maximum of 15 residents allowed by the zoning? Would your budget model work if there were only 8 or 15 residents at the location? A request for 30 seems like an extraordinary request in terms of what the Land Use Code section for group homes permits.

R (Applicant): No, 30 is the very highest level. We're exploring accommodating 8 families. Our average is 2.4 people per family, but we also do have some outlier families with many children, which could put us towards the 30 number for short periods of time.

R (City): The City's Land Use Code does have a procedure for what we call a modification of standard for projects that are not meeting the stated requirements. Those modification requests need to be approved by the decision-maker and must follow certain justifications and be supported by evidence and analysis.

In making a modification request to increase the maximum number of residents, the applicant must select a specific number. The City doesn't have the capability to be inspecting every approved development project on a regular basis; instead our zoning department operates on a compliant basis. If there were ever a complaint, the specific number of the modification resident of maximum residents is what the project would be evaluated against rather than a blanket modification to exceed the current 15-resident limit.

Q (Citizen): You mention in-state and out of state -- how many of these families are actually from the community?

R (Applicant): 65% of our families come locally from the Front Range. We have lots of family that come to us because they are brought in to Crossroads from outlying areas and get integrated into the support network and want to stay with us. We get many referrals from Crossroads. If the families are a good fit for our program, then they can be referred to us.

R (Applicant): A lot of people who are looking for work will go to where family is, and often people are promised a job or place to stay by a family member and it doesn't work out, and those individuals are left without options in a new community. That could be another way we receive potential families. Others may wear out their welcome with family or friends and are asked to leave and end up sleeping in their cars or find Catholic Charities who refer them to us.

Q (Citizen): How many of the thirty locations you have located right in the middle of a single family neighborhood? You're talking about putting a high density use right in the middle of a neighborhood. What kind of problems can that create? Is there additional crime, a real estate impact, are there transient issues? You do a lot of studying on your population, but what are you doing to those around you?

Q (Citizen): Are the churches the families housed in bigger than the proposed facility?

R (Applicant): Well they're staying at churches, which overall are larger and on church grounds. We have not had families staying permanently at a facility like this before; they move every week to a new church in another part of the community.

R (Applicant): We have looked at other test sites. At the Greeley Transitional House, they are long established and they have a 12-unit facility in a residential neighborhood and it doesn't appear there is any impact from them.

R (Citizen): Having lived next door to the Crossroads Safehouse, and while they were there, we had more trick-or-treaters, we had less parking, and you were aware if there were issues or problems of people who were walking around or in the alleys, but otherwise it wasn't an issue.

R (Applicant): One of the things the City is requiring of us is that we establish a parking lot in the back with landscaping so the neighbors won't be bothered by headlights and to ensure we have spaces for our parking needs. We work with a lot of families that don't have vehicles, but for those that do, our plan is to have them park in the back parking lot and not on your street, because we are aware you don't have parking on your street.

C (Citizen): The thing is with the parking lot, I think you said you will provide 4 to 7 spaces, there's a wide range there. If there's someone living on site, that is probably 1 space, and if you have up to 8 families, and up to half have cars, that's another 4 or 5 spaces. If you only have 4-7 spaces, they will be on the street, and parking is a huge problem, and I don't see the parking will work. I wish the parking situation was a little more settled and I could feel better about this. There is so much pressure on the neighborhood right now and it increases all the time in terms of parking. I see this as adding to the problem.

R (Applicant): During the daytime, if the residents are at jobs or working with agencies, their cars won't be present. Only 50% of our families have vehicles, or the need for 4 spaces, in addition to spaces needed for the resident manager.

R (Citizen): But you may be bringing others in during the day for the day center.

Q (Citizen): You also mentioned you had volunteers? How many employees and volunteers would be there during the day?

R (Applicant): The day center has been included thus far in the proposal, but we're still determining what role the day center is at this site. Many of the families who utilize the day center don't have vehicles, they use public transit. Families using the center likely won't have vehicles, but there would be 2 spaces needed for employees of the day center. Any volunteers are in and out and dropping items off.

R (City): The Land Use Code requirement for group home parking is based off employees present and number of adult residents who can own or operate a vehicle. The ratio is 2 spaces for every 3 employees and 1 space for every 4 adult residents. What we need more information on in determining parking spaces beyond this are the characteristics of the day center, because that could have an impact as well.

R (Citizen): Can they add additional parking?

R (City): Yes, our parking requirements are just a minimum, they can add additional spaces.

Q (Citizen): How does the day center operate? Is it only families that use it or individuals?

R (Applicant): Our program is only families, and they have to be invited and screened before they ever get to the day center.

Q (Citizen): The group home designation is very broad. Did you approach the City for a group home occupancy, or was it suggested that is what you are?

R (City): Based on the current characteristics of the proposal, that is what we're classifying the proposal. It most closely resembles the definition of a group home in the Land Use Code and is consistent in operation with the Crossroads Safehouse when that organization utilized the facility and it was also classified a group home at that point.

Q (Citizen): As a group home, there are certain definitions within, including one that has a certain amount of care provided. It seems here on one hand there is some amount of care provided, and on the other there is a push towards independence. Were other potential classifications looked at, such as a lodging establishment, or was it this is the only thing that fits, so we'll use it?

R (City): Based on the definitions in the Land Use and Municipal Codes, some of those other definitions don't match the proposal. There are distinctions with a lodging establishment as a short term rental for less than 30 days, while for this proposal families may be staying upwards of 6 months.

R (Citizen): Wasn't Crossroads a domestic violence shelter?

R (City): There is a separate land use for domestic violence shelter now in the Land Use Code, however it was created after Crossroads Safehouse had begun operations on Sherwood, and the requirements for a domestic shelter versus group home are nearly identical.

C (Applicant): It is a little strange to call this model a group home, but as we were exploring this one of the things that came up was stormwater and floodplain, which has restrictions on critical populations. In part because of this there won't be unsupervised child care. There won't be people with disabilities that won't be able to evacuate if there is a flood.

R (Citizen): Do you have a determination from stormwater?

R (Applicant): We went through the criteria with them of who would be staying at the site, that there wouldn't be child care or school classes provided to ensure vulnerable populations would not be present.

R (City): At the conceptual review meeting in January stormwater did not believe it was a critical facility based on the information they reviewed.

C (Applicant team): As president of the Faith Family Hospitality Board, it has been very helpful to hear the questions and comments raised tonight. Has there been any discussion with the neighborhood association for more input?

R (City): I do not believe there is a neighborhood association or HOA for this area.

R (Applicant team): It seems to me we need to be sure we're going to be a good neighbor and how that works and what these concerns are that are surfacing tonight. What's our timeframe for tonight?

R (Applicant): We pushed to have the meeting tonight and early because we knew we had to discuss this. We would love to have families move in this summer, but we recognize we have a lot to do. That's

why some of this, like budget numbers, I can't provide yet. I just got the inspection report back this afternoon and now we can start working with our general contractor on what this all means, what concerns are, and extrapolate what our costs are. We wanted to come to you all first because we had heard from some of the previous meetings that you were interested in what was going on at these buildings. We're very interested in hearing what the struggles and successes were or other ideas you have from when Crossroads used to operate at this location.

R (City): From my review of the proposal, I'm also interested in learning about any concerns for the potential modification requests for that many residents and what experience was with Crossroads Safehouse. Crossroads also had more than 15 residents when they were operating, but the two group homes aren't necessarily the same, and it would be great to hear other thoughts on this. Tonight we've already had comments expressed about parking impacts in the neighborhood.

Q (Citizen): Is it fair to say most of your residents are children?

R (Applicant): Yes. If by chance every family had two parents, that's 16, and the remainder (14) would be children, however many families may only have one parent.

Q (Citizen): My question then is where do the kids play?

R (Applicant): In the backyard, there is an existing playground. It's an enclosed playground. That is our anticipation that they have their own playground.

Q (Citizen): What about teenagers?

R (Applicant): There is a computer room, a large center space, and we expect to have youth hangout spaces. In my experience at Crossroads, there is a teenage room where the little kids don't get to go. We expect to be able to do that as well.

R (Applicant): We also have very few teenagers. Most of the families we help have smaller children, less than 10 years old. The teens that we do help house also often have jobs, they are trying to help support their families.

Q (Citizen): Have you checked in with Dunn Elementary to see if there's room. They would be the local school the children would attend.

R (Applicant): Children in our program get to choose their school. What we would have is a bus stop at the front door where Poudre School District could work with us to pick up every day. Many of our children go to Odea Elementary because it is a school that is culturally accommodative to families in these situations. We haven't reached out to Dunn yet but I imagine we would do so.

Q (Citizen): This question is more for the City. I know parking is a big issue and there was talk in the past several years about a garage at the Mulberry Pool parking lot. Is there any news on that?

R (City): There was talk of a public-private partnership at that site, or a separate garage by Blue Ocean who is linked with Otterbox on Meldrum, but there isn't any new information on either location at the present time.

Q (Citizen): You explained the drug policy, but for alcohol you mentioned no intoxication – does that mean no alcohol?

R (Applicant): Yes, no alcohol. Even if someone is taking prescription pain medication, they can't illustrate behavior that they are under the influence. We err on the side of care for the kids.

Q (Citizen): And then where do they go?

R (Applicant): They are asked to leave. They are warned, and are continually told from intake that this is the policy for the program.

Q (Citizen): In your other facilities, how do you address neighborhood concerns after you're up and running?

R (Applicant): There may be some confusion. Right now, the families we house move every week to a new church around the community, so there isn't a permanent location.

Q (Citizen): So this is the first time you will have a facility outside of the churches and also 6-months at a time? This is experimental?

R (Applicant): It is the first time for the families staying in a more permanent location outside of churches, but the model has been utilized elsewhere and we are looking at best practices and visiting other locations. We have had families staying with us for longer than 6-months, but they have to move every week from church to church. Our system is meant to be an emergency shelter, and because we don't have the option of transitional housing in the community, it is a bottleneck in the care and housing continuum.

Q (Citizen): You mention this is evidence-based, so you have been documenting this and its part of a record you have?

R (Applicant): When we say evidence-based that means other people have done benchmarking and identified critical elements to success.

Q (Citizen): The way evidence-based is mostly commonly used is that there is ongoing documentation to the case at hand. The information from the Interfaith Hospitality Network doesn't relate to the case at hand.

R (Applicant): What we're doing is not reinventing from what they have identified. There are models for this all over the country. Some in Colorado include the Greeley Transitional House and Family Homestead in Denver.

Q (Applicant team): As you've researched these other models, what have they said about their impacts on things such as property values?

R (Applicant): They said it hasn't had an impact. I've only asked that question to two of them. They aren't seeing this. This has been a vacant property for almost 5 years and it was a safehouse before, and we're hoping to not have any impact on property values.

Q / C (Citizen): Is that information you're going to provide? This should be a focus on the impact of your neighbors. You all have a great mission, but this is your first shot at this type of facility in the middle of a single family neighborhood. Having information on impacts would be helpful to your proposal. A curious question is how many of you all live in Old Town and will be impacted? Is anyone in the organization living the pain with us?

C (Citizen): I think part of it is also the Old Town Neighborhoods have been through so much recently, we all have big hearts I think, and we want to take care of people, but in these neighborhoods it's been one thing after another for years. I'm on a Whitcomb by connections, the substance and mental health center. One thing that has impacted us recently is their new no smoking on their property, so the residents have to go across the street to smoke. Now when my kids walk to school, they have to walk through the smoke.

R (Applicant): We'll have to look at that since it is a City property.

R (City): It will have to be a smoke free lease since it is from the City.

Q (Citizen): How long will your lease be with the City? I wonder if there is a way to reexamine these issues when it comes again. How long will this be here in the neighborhood? If things aren't working out in a year, what do we do?

R (Applicant): We want to purchase the property. The property is unwieldy and we thought we were a good fit. There's not an opportunity from the City to purchase right now, but we are interested in that. It would be a lease with a purchase option down the road if it works out.

R (City): It's not negotiated at all yet. What we're doing here is we offered it to all those that are interested for a long-term lease and they pay all the expenses. This is the only organization that had interest and could meet criteria such as not housing a vulnerable population in a floodplain. When you ask an organization to go through and make improvements to the building and take care of maintenance, you can't give a short-term lease because it has to work for them as well. There are always terms of default included in the lease, and if they don't do what they're asked to do, they will also be asked to leave.

Q (Citizen): If someone makes improvements to the property, there are amortization schedules, you can have operating covenants, and there are many options. If they're not working out, there's lots of ways to do it.

R (City): We've had meetings on the property before that some of you have come to. When we started looking at what the City could do with the facility, we were even looking at dividing the facility and it cost too much money. They will have to put in substantial improvements, including paving part of the alley. The City won't be paying them back for those improvements. We're trying to help the community and take care of the facility.

R (Citizen): There should be operating covenants, and you have the right to terminate the lease if they're not performing. If they become a problem for the community, the community should have the opportunity as owners of the facility to have them out.

R (City): If they are not performing to the lease and are in default they will be asked to leave.

R (Citizen): Not just financial default, but other aspects as well.

R (City): Yes, default on any terms of the lease. They are required to keep the premises in good and healthy condition

C (Citizen): We're concerned with unforeseen circumstances. With a long term lease, what are our options as a neighborhood if crime goes up or vandalism increases?

R (City): We have nuisance laws in place that are complaint drive, for any neighborhood that can be brought to the City's attention. For instance, if you thought there were 100 people in the house, you could file a complaint and it would be investigated.

R (City): If there are any complaints or zoning violations, the City (Real Estate) receives a copy of the ticket or warning as property owner. All of these issues would be at the forefront of the City's attention. Also, because it is a leased facility, the City does property management inspections to make sure they are taking care of the facility. For property management, we aren't complaint-based, there will always be quarterly inspections. You will have people to call if you are experiencing issues.

C (Citizen): It seems like it's the City's strategy to match a long-term lease to what amounts to an experiment for the organization.

R (City): We're trying to deploy a community asset. They asked for us to sell the building, but we weren't sure if we really wanted that and if that would make sense to them immediately. We can review after a lease term if it makes sense to sell the property. The family promise model the organization is based on does offer these types of services and has experience in other parts of the country and within Colorado.

Q (Citizen): This is a local non-profit that was started out of the need in the community?

R (Applicant): Yes. We're not going into the building inexperienced either. David Everitt is championing our building team. We also have general contractors, designers, and many volunteers lined up to donate time.

Q (Citizen): Do you have a design professional? I assume you will need a building permit or change of occupancy?

R (Applicant): We are now going into full planning mode. We have a couple architects we have in mind that have offered to donate their services or for reduced price.

R (City): That is a requirement of our lease that all alterations have to go through the planning or building departments and they have to have licensed contractor. That is for all of our leases.

Q (Citizen): Is there any option to downsize or to start on a smaller scale as part of the lease? Then do a lease renewal with a larger scale?

R (Applicant): One of the things we're still exploring is not operating it as a day center, especially not right away. We have made improvements at the current day center, and it is centrally located. We may choose to keep that. I am more than willing to say that we aren't likely to vacate our lease at the Mennonite Fellowship. I would love to have 7 or 8 families here, and with 2.4 people per family, our average, we could be at 20 or 24 people. It's going to be costly for us to do this, and it would be nice to offer what we can in the configuration of the current building which has almost 20 bedrooms.

C (Citizen): I think it would also be in your best interests to start on a smaller scale, since it is somewhat new.

R (Applicant): I don't know what that means in terms of having to go through the review process.

R (City): There is a City process in place, either amendments to an approved plan, or a new development plan, where the number of residents could be changed over time. Going above the 15 resident maximum limit would always require a modification request, however.

Q (Citizen): Has the property been appraised?

R (City): It has been appraised in the past, and we have ordered a new appraisal.

Q (Citizen): In your view, what is a long-term lease?

R (City): We haven't gotten there yet. We don't approve the lease until they have their building permit. Council has to approve the lease but they can't hear about that project until after the development review process is completed.

C (Citizen): I have been listening to everyone's feedback and I think we have a great opportunity to do something really nice down here, instead of having those monstrosity-types of houses built or having Otterbox come in. Let's keep the houses the same way they are, just be Old Town houses, and be used for something really beneficial and be the good neighbors and welcome them instead of asking what are you going to do for me? We don't get to pick who buys the house next to us if it's for sale.

Q (Citizen): What happened to the loan money that was provided to the safehouse to move to their new facility?

R (City): It's still there. We may go through the budget process and just request the money to pay the loan off.

Q (Citizen): Knowing about the financial considerations, is that part of the public record?

R (City): The ordinance that made that transfer is in the public record.

February 10, 2016

Mr. Ryan Mounce
City Planner
City of Fort Collins
rmounce@fcgov.com

re:
Development application for 317-321 S. Sherwood St.

Dear Mr. Mounce,

Clearly, a full range of affordable housing opportunities are important to the community of Fort Collins, and that range must span from the most supportive to that which is just less costly to those in need. Faith Family Hospitality (FFH) realizes this, and presents a compelling case for housing that provides a “transition” from emergency shelter to families, to more “permanent housing which mean they move to a fully independent life where they are required to manage all of the pieces of their lives without assistance.” FFH goes on to provide their vision of transitional housing that includes “supervision of a resident manager” and have access to “support services including case management.” The logic of this continuum is sound, but the question of implementation difficult. It is easy to comprehend why a large, empty, city-owned structure, with many bedrooms would look attractive to those concerned with the community’s affordable housing dilemma. However, sometimes such seemingly “unbelievable” opportunities warrant particular scrutiny. The City and the affordable housing community owe it to themselves, and concerned citizens, that the transitional housing projects they take on can be implemented successfully and sustained over the long-run. As a long time neighbor to the property, residing at 315 S. Sherwood since 1997, I was always supportive of Crossroads domestic violence shelter. They were excellent neighbors, and the property was well managed. In the later years of their occupancy I know they faced greater challenges regarding both management and facility strategies. Now, having abandoned the N-C-M “use by right” of “shelters for victims of domestic violence,” my understanding is that any new occupancy needs to go through development review, as the FFH proposal has begun. This is an excellent opportunity for officials, service providers, and community members to consider the myriad of challenges in realizing our collective policy goals, including those of assuring a continuum of affordable housing options.

This said, what may seem ideal at the outset may prove to not be such under closer scrutiny. FFH is proposing a facility where an “*average* of 30 people would live in the building at any time.” [Emphasis added.] Additionally, they propose a resident manager and a day center where “four more families would be using the space in the center during the day.” By FFH’s own admission, in their conceptual review application, they made this proposal for the January conceptual review with little knowledge of the interior configuration of the building. They assumed that two kitchens and some bathrooms might need some “updating.” I would like to know whether they have further explored the rehabilitation required to change occupancy and to address current building codes?

As it is best to raise concerns early in a collaborative process, I would like some clarification on issues related to the Land Use Code, Flood Plain standards, Building Code interpretation and enforcement, as well as disclosure of the City of Fort Collins’ contractual and pecuniary interests in the properties under review. I address these in order.

- **Land Use, Zoning and Occupancy Classification**

Upon presentation of FFH's vision at the January 4th, 2016 Conceptual Review City staff characterized the request as one of permitting "buildings as a group home for up to 8 families" (as per Neighborhood Meeting Invitation dated January 27, 2016). In this characterization several important questions are introduced. Staff notes that a group home, including a large group facility is permitted in a NCM zone subject to Administrative (Type 1) review. In going on to itemize required modifications to City Code they note several significant changes that would be necessary. These provisions of Section 3.8.6 of the Land Use Code are: maximum permissible residents, minimum separation requirements from other group homes, and required floor area ratio. In fact, the applicant is asking for relief from every provision of Section 3.8.6, a law which we must assume reflected the policy intent of the City Council when enacted. While administrative review procedures afford wide discretion for modification of standards (Land Use Code 2.8.2) to the decision maker, it is hard to imagine circumstances which warrant an administrative act that completely upends and disregards a democratically enacted law. I would urge very careful and deliberate consideration, and meticulous public documentation of how such an extreme action would advance public policy.

Aside from the policy implications of number and magnitude of modifications to Section 3.8.6 requested, there are some some practical implications as well. FFH's suggestion that the average occupancy of the facility, 30, *doubles* what is identified as the "maximum permissible residents, excluding supervisors." The practical implications for this in a residential neighborhood on the edge of the downtown core should not be taken lightly. FFH makes a statement regarding parking that is largely unsubstantiated. In the absence of an empirical justification, they estimate the need for parking to be 6 spaces. The 300 block of South Sherwood is already impacted by OtterBox employee parking and any further demand for on-street parking will further exacerbate the problem.

Further, I would like to ask whether "group home" is even the right designation for this application? Could it as easily have been classified as a "lodging establishment", which is of course not a permitted use in the N-C-M District? What is the specific basis for the "large group care facility" designation?

- **Building Code Issues**

While I understand that the current review relates to land use, I would like to bring up a consideration that both the property's lessor (the City of Fort Collins) and the prospective tenant (FFH) investigate further. According to FFH Site/Roof Plan of 9/30/94 that the applicant submitted as a sketch plan, the Occupancy Classification was listed as R-1. Given the project's preliminary description, a classification of R-2 or R-4, (or even I-1 if the number of residents requested is permitted!) may be more appropriate under the Uniform Building Code 2012 (as amended) Section 310. Further Section 3408.1 states, "No change shall be made in the use or occupancy of any building that would place the building in a different division of the same group of occupancies or in a different group of occupancies, unless such building is made to comply with the requirements of this code for such division or group of occupancies."

- **Flood Plain Issues**

In its conceptual review application FFH claims "The flood plain concern has been discussed with the City of Fort Collins Stormwater Department and they felt this would not be a concern for them." I question this. There are many nuances and ramifications of the flood plain regulations, but to so cavalierly dismiss the concern may be a mistake. For the sake of brevity, I will address only several linked definitions included in the Municipal Code. Municipal Code Section 10.108(8) states "Critical facilities. Critical facilities are prohibited." Critical facilities are defined in Sec. 10-16:

*“Critical facilities shall mean structures or facilities, but not the land on which they are situated, that if flooded may result in significant hazards to public health and safety or interruption of essential services and operations for the community at any time before, during or after a flood. Critical facilities shall include essential services facilities, hazardous materials facilities, **at-risk population facilities** and government services facilities.”*

Note the inclusion of at-risk population facilities, which are also defined in Sec 10-16 as:

*“At-risk population facilities shall mean facilities that house or provide shelter or services to children, the infirm or other persons requiring special assistance or care or life support. At-risk population facilities shall include, but not be limited to: hospitals; non-ambulatory surgery centers; elder care, nursing homes and assisted living facilities; congregate care facilities, residential care facilities and **group homes**; housing intended for occupants who may not be sufficiently mobile to avoid death or injury during a flood without special assistance; day care and child care facilities; public and private schools for all grade levels below high-school graduation; and before-school and after-school care facilities and summer day-camp facilities.”*

The chain of “critical facilities”, as related to “at-risk populations”, as related to “group homes” is clearly spelled out in these definitions.

- **The City’s Interest**

Over the years the City of Fort Collins has been a generous partner and landlord with many non-profits. Clearly, the goal of working with FFH is no exception to this. I would continue to urge the City to remain transparent as to it’s interests regarding 317 & 321 South Sherwood, as they have been in the past.

While, you might be reading this as if it is yet another NIMBY complaint, that is not my intent. If the goal is to help families transition into independent dwelling units, might not there be an investment in the 321 building to create four code compliant dwelling units as permitted by review. Might not a separation of 317 and sale in the market be used to subsidize this investment in 321? These are just quick ideas, but I would like to offer my experience and expertise to the City and its partners if you wanted to conduct a “charrette” or “brain-storming session” on how to achieve the important goals of a continuum of affordable housing options in Fort Collins.

Sincerely,



Christopher Koziol, Ph.D., AIA, past-AICP
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Ryan Mounce

From: Karen Canino <clydecanino@comcast.net>
Sent: Friday, February 12, 2016 6:28 AM
To: Ryan Mounce
Subject: City owned properties on Sherwood Street

Hi Ryan,

Thank-you for a very informative meeting on Wednesday. I would just like to provide some input on my part.

I think the proposal would work well in the neighborhood if the parking problem was alleviated first. Currently, the thought of adding an additional 30 people to an already stressed situation is just not doable at this point. Even tho the Faith Hospitality group are required to add additional parking and have assured there will be no street parking, I would like to point out, we were told the same thing by Otterbox when they added their office building across from the Lincoln Center. Presently, there is now a restaurant in the Otterbox building that has further complicated the parking issue.

There was never an issue with Crossroads located there but the surrounding area has had drastic changes since the building was vacated. I would like to support the proposal because there is a need for transitional housing and I do believe the Faith Hospitality group would do a great job. I just cannot support the current proposal until the parking situation is addressed and in place. It appears the whole parking issue will not be taken care of anytime soon and it is unfortunate that it cannot be fast tracked (or maybe it can??).

One last observation- it was an interesting group of people at the meeting. The gentleman concerned about property values lives on Mountain and those property values will never go down. For that matter, neither will the ones on Sherwood Street. Property values really are not an issue for me. The couple that chastised the group for not welcoming the Faith Hospitality group lives on Whitcomb. They are a block removed and are not feeling the parking pressure on the Sherwood block. They can still park in front of their house. I am not implying my opinion should be given more validity, I would just like to point out that it is very easy to suggest what a neighborhood should do or needs if you do not actually live next door or across the street from it.

Thank you for your time and work on this.

Best,
Karen Canino

Ryan Mounce

From: jane@dbd-travel.com
Sent: Friday, February 12, 2016 1:04 PM
To: Ryan Mounce
Subject: RE: notes from neighborhood meeting

thank you Ryan...I really appreciate your email. Can you tell me anything more about the applicant? Do they have experience in this type of housing?

I'm worrying about the huge changes that are being considered for the Old Town West neighborhood from parking to safety and everything in between. Generally I'm in favor of the project-but want to make certain neighbors and potential residents of the project aren't being ripped off by some greedy developer.

Please include me in your email notes of the meeting...and I'll check in if I have specific questions.

You are the best-thank you,
Jane Folsom
614 West Magnolia
(I work from home)

Ryan Mounce

From: ChrisTopher Kelly <chriskelly2013@icloud.com>
Sent: Tuesday, February 16, 2016 6:48 PM
To: Annette Zacharias
Cc: Ryan Mounce
Subject: Re: 317 &321 South Sherwood

Thank you both for getting back to me. As I said the other evening, I believe FFH are good people trying to make a difference. My concern is that Fort Collins and Old Town specifically are being asked to solve a regional problem. Old town has already absorbed the brunt of the homeless problem and this solution would expand the scope of the problem in Old Town by putting homeless poverty into a vibrant single family neighborhood with a high density homeless facility.

On Feb 16, 2016, at 2:33 PM, Annette Zacharias <akzp65@yahoo.com> wrote:

Hello Chris,

I apologize for my tardiness in responding to your email. I work part time for Faith Family Hospitality and my time has been consumed by some very pressing matters that have demanded my attention.

I have cut and paste your questions to ensure that I answer all of them. Our website can be found at www.faithfamilyhospitality.org.

Your organization currently manages 30 homeless family shelters. Are they all in Fort Collins churches through out the city?

- No, we do not have 30 homeless shelters. We have 30 faith communities who help us provide shelter to 4 homeless families each night. 15 of them host our guests on a rotating week to week schedule and the other support the host sites with volunteers, food and time.

The subject property will be the first non-church location, will house up to 9 families and a permanent manager. (30 people)

- Yes, it will be FFH's first non-church location. We expect it to house up to 8 families and have a Resident Manager on-site. The 30 individuals number comes from 8 families having an average of 3.4 people per family who will be on-site primarily at night and the use of the day center during the day by 2-3 of the 4 families with an average of 6 people being present during the day. We do not expect to exceed 30 individuals at any time.

Each family will be resident for 6 months, before being moved to permanent Housing. This is a completely new operating format for your organization (an experiment based on the data you have accumulated from operating your church based weekly operations) and you have visited two similar facilities in Denver and Nebraska.

- This is a new format for our LOCAL program. But this is an established method in programs which work with homeless families. The FFH model is based on the one established by Family Promise. (<http://www.familypromise.org/programs/community-initiatives/>) A similar model is used locally by Crossroads Safehouse, they have five units of 6 month transitional housing at the current shelter.

You do not believe this intensive high density use will have any negative impact on this single family neighborhood. Beyond a comment from the two facilities you visited you do not have any data to support this belief.

- I have visited sites in Greeley, Denver and Nebraska and we have another site visit planned for a different Denver site on February 25, 2016.
- That is true, we are making those inquiries at this time.

You plan to add 5 parking spaces, an employee apartment and a fenced in playground in the backyard.

- We plan to add approximately 8 parking spaces, utilize current space in the existing structure for an employee apartment and use the current playground area in the back yard which already has a fence.

In your current program about 60% fail to live up to your rules and are asked to leave. Your organization does not provide transportation so they are currently left homeless if they fail out of your program. I would assume that they would be put out on the street as homeless in old town for your new operation.

- Since the individuals who will be eligible for the new program will already have shown their ability to live up to expectations and are willing to continue to make progress, we do not expect to have many withdraw or be excused from the program. Another item to note is that those families who either excuse themselves or are excused do not linger around FFH. They move on very quickly. They are not expected to linger around Old Town.

You do back ground checks for violent crimes, but criminal records are permitted in the program. Applicants are not allowed to be using drugs or alcohol while in the program unless it is prescription, including marijuana. They can have drugs in their system when tested, but you expect it to be reduced over time.

- Yes, FFH conducts a national background check before they are eligible for the program. Those convicted of violent crimes or illustrate a history of criminal behavior are not invited into the program.
- Nonprescription drugs are not allowed nor are guests allowed to illustrate "under the influence" behavior". If someone tests positive for drugs, they can be asked to leave the program, but many times, they are given a second chance and the retested weekly to show continued and sustained improvement.

You can not tell how many of the homeless originated from Fort collins, but about 65% come from the Front Range and 35% are from out of state. The homeless are brought in to Fort Collins by your organization, or other referral organizations, from as far away as New Mexico and Arizona.

- We do not bring anyone into Fort Collins for our program. Many arrive here, become homeless and end up in our programs through a referral process with community partners. We help move some families to other states where they may have a supportive family or greater economic opportunity.

There are no limitations to the number of participants can use the Day center.

- Yes there are limitations. The Day Center is only made available to those who are in the overnight host program and occasionally someone who is on the wait list. In the past year, less than 20 individuals who were on the waitlist have utilized the Day Center.

None of your employees or board members live in Fort Collins Old Town.

- This is true.

If you have any other questions, please don't hesitate to ask.

Annette Zacharias
Executive Director
Faith Family Hospitality
cell: 970-988-7799

From: ChrisTopher Kelly <chriskelly2013@icloud.com>
To: Ryan Mounce <RMounce@fcgov.com>
Cc: akzp65@yahoo.com
Sent: Tuesday, February 16, 2016 1:03 PM
Subject: Fwd: 317 &321 South Sherwood

Ryan,

I did not get a response from Annette. I called and get the correct E:mail from FFH. Could you take a look at the note below and verify that you heard the same information. I do not want to misquote Annette from the meeting. Since Annette is being unresponsive is there anyone else I could sent this note to in FFA?

Thank you for your help.

Begin forwarded message:

From: ChrisTopher Kelly <chriskelly2013@icloud.com>
Subject: Fwd: 317 &321 South Sherwood
Date: February 11, 2016 at 11:58:59 AM MST
To: akzp65@yahoo.com

Annette Zacharias, Executive Director, Faith Family Hospitality

Annette,

Thank you or your presentation last evening. Is there a website that I can learn more about your organization? Also, could you confirm the following I heard last evening:

- Your organization currently manages 30 homeless family shelters. Are they all in Fort Collins churches through out the city?
- The subject property will be the first non-church location, will house up to 9 families and a permanent manger (30 people).
- Each family will be resident for 6 months, before being moved to permanent Housing. This is a completely new operating format for your organization (an experiment based on the data you have accumulated from operating your church based weekly operations) and you have visited two similar facilities in Denver and Nebraska.
- You do not believe this intensive high density use will have any negative impact on this single family neighborhood. Beyond a comment from the two facilities you visited you do not have any data to support this belief.
- You plan to add 5 parking spaces, an employee apartment and a fenced in playground in the backyard.

- In your current program about 60% fail to live up to your rules and are asked to leave. Your organization does not provide transportation so they are currently left homeless if they fail out of your program. I would assume that they would be put out on the street as homeless in old town for your new operation.
- You do back ground checks for violent crimes, but criminal records are permitted in the program. Applicants are not allowed to be using drugs or alcohol while in the program unless it is prescription, including marijuana. They can have drugs in their system when tested, but you expect it to be reduced over time.
- You can not tell how many of the homeless originated from Fort collins, but about 65% come from the Front Range and 35% are from out of state. The homeless are brought in to For Collins by your organization, or other referral organizations, from as far away as New Mexico and Arizona.
- There are no limitations to the number of participants can use the Day center.
- None of your employees or board members live in Fort Collins Old Town.

Ryan Mounce

From: bagshawbt@gmail.com on behalf of btbagshaw@hotmail.com
Sent: Wednesday, February 17, 2016 12:43 PM
To: Ryan Mounce
Subject: 317 S Sherwood

Ryan;

Thanks for publishing the minutes of the last meeting. I live three houses from the proposal and share an alley. The land use code is for 15 people, not 30. I would like to see a variance closer to 15 than 30.

Thanks
Bob Bagshaw

March 10, 2016

Mr. Ryan Mounce
City Planner
City of Fort Collins
rmounce@fcgov.com

re: Development application for 317-321 S. Sherwood St.

Dear Mr. Mounce,

Thank you for your e-mail of February 12. After carefully reading and attempting to understand the approach you present I am quite concerned. I believe that questions regarding land use and floodplain compliance are at the crux of whether 317-321 S. Sherwood St. is a safe and legally appropriate place for the proposed occupancy. Hence, in reading your e-mail I was struck as to how you chose to differentially characterize what is a "group home" in each.

You argue "staff is classifying the proposal as a group home, as the operational characteristics most closely resemble the definition for this land use." You then rightfully note (as per the definition in the Land Use Code) that the "key characteristics that support the group home designation are ..., on-site supervisory personnel, and access to case management and support services." However, later in your e-mail, addressing the concern expressed in my letter of February 10, you state, "A proposal like that from FFH, however, meets the purpose and intent of restricting use in a floodplain by critical facilities or at-risk populations *because the characteristic of the population being served is homelessness rather than specialized physical or mental care.*" [emphasis added]. Again, the LU Code definition of group home:

Large group care facility shall mean a residential facility that is planned, organized, operated and maintained to offer facilities and services to a specified population and is licensed by or operated by a governmental agency [Question: What is the licensing agency?], for the purpose of providing special care or rehabilitation due to homelessness, physical condition or illness, mental condition or illness, elderly age or social, behavioral or disciplinary problems, provided that authorized supervisory personnel are present on the premises.

In addressing the floodplain issue your response seems to be in contrast to the definition of a group home in the Land Use Code, and since you explicitly claim that the defining "characteristic of the population is homelessness" as opposed to those services that are more in keeping with a group home, it would seem that the Land Use determination of the use being a "group home" is in error. The "operational characteristics" are much more in line with that of the Land Use Code definition of a homeless shelter: "a fully enclosed building other than a hotel, motel, or lodging establishment that is suitable for habitation and that provides *residency only for homeless persons* at no charge at any time during the year." Homeless shelters are not a permitted use in an N-C-M district.

Regarding floodplain issues, you state, again in your e-mail of February 12, that internal discussions with Stormwater staff suggested that unlike other critical facility uses this proposed occupancy is somehow different. However, as I did in my letter of February 10, I would like to point out to you that the the Fort Collins Municipal Code (Sec. 10-16) explicitly states "At-risk population facilities **shall include**, but not be limited to: hospitals; non-ambulatory surgery centers; elder care, nursing homes and assisted living facilities; congregate care facilities, residential care facilities and **group homes.**" "Shall" is not a permissive as is "may," but rather is an imperative, meaning "has a duty to". While there has been much litigation around the meaning, courts have largely endorsed the definition "has a duty to," especially when the word is explicitly used in statutory language. To idiosyncratically assume that certain kinds of group homes should not be included does not appear warranted. I am assuming that should the City

stick to its determination as a group home, and that this is upheld, the City Utilities Executive Director, and possibly the Water Board, will need to deal with this issue when FFH and the Owner (also the City of Fort Collins) apply for a floodplain use permit. Clearly, a floodplain use permit is required as 317-321 S. Sherwood are by definition *nonconforming structures* (Sec. 10-16) and according to Municipal Code this development (change of use) requires such review.

Regarding your response to Building Code issues, I would agree that earlier editions of the UBC (including those in effect in the 1990s) had a broad definition for R-1 occupancies. However, should the authorities maintain that the occupancy is a group home, and that residential occupancy (at anytime) be more than 16 individuals, then I would suggest that the building code occupancy classification of I-1 (IBC Sec. 308.3) is in keeping with the operational characteristics of a group home (and indeed the use "group home" is explicitly listed in 308.3.) The move from R-1 to I-1 is a change in occupancy under the building code.

So, while your e-mail of February 12 cursorily addressed some of the issues I raised in my letter of February 10, many issues were not satisfactorily addressed and I expect that that original letter and this one will be included in the record for all future reviews. In addition to the concerns raised in that letter, I would like to draw your attention to another aspect of FFH's conceptual review application. In that application they also suggest use on the site for a "day center," which a review of the Land Use Code shows to be closest in definition to a "day shelter," again a use not permitted in District N-C-M.

As the City is both the review body for these various current and potential regulatory permissions, and a party with a financial interest (ownership) of the properties at 317-321 S. Sherwood, I realize that everyone will want to assure that decisions are reached in keeping with adopted city ordinances and definitions of the law. I thank you for your consideration.

Sincerely,

A handwritten signature in black ink that reads "Christopher Koziol". The signature is written in a cursive, flowing style.

Christopher Koziol
315 S. Sherwood St.

Ryan Mounce

From: ChrisTopher Kelly <chriskelly2013@icloud.com>
Sent: Thursday, December 22, 2016 10:11 AM
To: Ryan Mounce
Subject: Re: 317 & 321 S Sherwood St Group Home Update

Thank you for sending this out. Can you tell me if the limitation of 22 occupants, 100% on site parking and moratorium on day-center services will be memorialized in the lease. Also, at the meeting we discussed operating covenants in the lease that would allow the city to cancel the lease if the center breached operating covenants (broke the operating standards and became a burden to the neighborhood).

On Dec 21, 2016, at 4:14 PM, Ryan Mounce <RMounce@fcgov.com> wrote:

You are receiving this message because you attended a neighborhood meeting or provided comments for the Sherwood Group Home proposal.

Dear Neighbors,

I wanted to provide an update on the Sherwood Group Home proposal for the City-owned properties located at 317 & 321 S Sherwood Street. Earlier today, a formal development application was submitted proposing to utilize the existing structures as a group home for families transitioning out of homelessness. Within the next few days you should notice a yellow 'development proposal under review' sign at the front of the property indicating a submittal was received and that the City's review has begun.

Various City departments and some outside agencies will be reviewing project information/drawings over the coming weeks. For this type of proposal, a public hearing is required, and if the proposal is approved, separate City Council action is required for a long-term lease agreement to occupy the buildings. The timing of any future public hearing or Council meeting will depend on the review of the project --I plan to provide follow-up messages as the proposal continues through the development review process, including prior to any public hearing(s). If you own property within 800-feet of the site, you will also receive a mailed notice two weeks prior to a public hearing.

For those that attended the last neighborhood meeting in early 2016, the submitted proposal differs slightly by reducing the proposed number of group home residents from 30 to 22 and eliminating plans for day-center activities. Most other project aspects discussed at the meeting are similar, including several proposed modification of standards to Land Use Code requirements. Additional proposal details are included in the attached neighborhood meeting notes.

If you have questions or comments about the proposal, please feel free to contact me – my contact information is listed below. Comments received regarding the project as well as meeting summaries will be forwarded to the decision-maker for the project if/when a public hearing is scheduled.

Regards,

Ryan Mounce
Planning Services
City of Fort Collins

970.224.6186 | rmounce@fcgov.com

<Sherwood Group Home Meeting Notes.pdf>

Ryan Mounce

From: chris koziol <koziol@cityvisions.org>
Sent: Tuesday, January 03, 2017 2:35 PM
To: Ryan Mounce
Cc: Jeff Mihelich; kwoods@cityvisions.org
Subject: Re: 317 & 321 S Sherwood St Group Home Update
Attachments: Koziol comments pdp 160044.pdf; Letters for pdp 160044 early 2016.pdf

Hi Ryan,

I hope your year is getting off to a good start. After reviewing the online documents for 317-321 S. Sherwood St., I have a few comments and questions. I am confident that these can be addressed. I've attached this letter as well as an assembly of previous correspondences. I look forward to hearing from you.

Best wishes,
Chris Koziol

From: Ryan Mounce <RMounce@fcgov.com>
Date: Wednesday, December 21, 2016 at 4:14 PM
Subject: 317 & 321 S Sherwood St Group Home Update

You are receiving this message because you attended a neighborhood meeting or provided comments for the Sherwood Group Home proposal.

Dear Neighbors,

I wanted to provide an update on the Sherwood Group Home proposal for the City-owned properties located at 317 & 321 S Sherwood Street. Earlier today, a formal development application was submitted proposing to utilize the existing structures as a group home for families transitioning out of homelessness. Within the next few days you should notice a yellow 'development proposal under review' sign at the front of the property indicating a submittal was received and that the City's review has begun.

Various City departments and some outside agencies will be reviewing project information/drawings over the coming weeks. For this type of proposal, a public hearing is required, and if the proposal is approved, separate City Council action is required for a long-term lease agreement to occupy the buildings. The timing of any future public hearing or Council meeting will depend on the review of the project --I plan to provide follow-up messages as the proposal continues through the development review process, including prior to any public hearing(s). If you own property within 800-feet of the site, you will also receive a mailed notice two weeks prior to a public hearing.

For those that attended the last neighborhood meeting in early 2016, the submitted proposal differs slightly by reducing the proposed number of group home residents from 30 to 22 and eliminating plans for day-center activities. Most other project aspects discussed at the meeting are similar, including several proposed modification of standards to Land Use Code requirements. Additional proposal details are included in the attached neighborhood meeting notes.

If you have questions or comments about the proposal, please feel free to contact me – my contact information is listed below. Comments received regarding the project as well as meeting summaries will be forwarded to the decision-maker for the project if/when a public hearing is scheduled.

Regards,

Ryan Mounce
Planning Services

January 3, 2017

Mr. Ryan Mounce
City Planner
City of Fort Collins
rmounce@fcgov.com

re: Development application for 317-321 S. Sherwood St. (pdp160044)

Dear Mr. Mounce,

I am pleased to see that Faith Family Hospitality (FFH) is proceeding with its plans, and making an effort to anticipate and mitigate negative externalities from its worthwhile development proposal. As a long time and supportive neighbor of Crossroads Safehouse, I am confident that FFH will be an equally good neighbor. Housing for those in need is a community responsibility. I also appreciate the City of Fort Collins's desire to meet this objective and trust that issues related to language in the Land Use and Municipal Codes are being addressed. Last year, I provided input to the preliminary development proposal submitted by FFH (letters attached), and I believe that the applicant and City have been proactively addressing a variety of questions raised by neighbors. As the various departments and reviewing authorities are now reviewing the submitted Project Development Plan (PDP), I request that you share with those authorities and the decision-maker those earlier correspondences, as well as this one, in the expectation that they will want to address these in their commentaries. I anticipate that they may have differing interpretations of existing law than my own, and I would like to understand the bases for their decisions.

After reviewing the PDP documents now available online I am hopeful that the project is moving forward in a positive direction. My main concerns, which I am confident can be addressed, are:

- Number of residents in a large group home – This request for a modification of standards is larger than the *absolute* maximum of 15 for an N-C-M District as listed in Table 3.8.6(B) of the City of Fort Collins Land Use Code. (While there is a provision for increased numbers in one of the table cells designated with ** [double asterisks] it is in a cell that specifically excludes N-C-M.) Additionally, I am in possession of a letter (dated May 12, 1993) from Peter Barnes to Ginny Riley of Crossroads stating that “5. Maximum number of residents, excluding supervisors, is 20.” This was issued as a maximum, not an average. FFH’s vague statement of “7 families (average of 3 persons per family)” can clearly result in a number of residents well above 20. (Also, although they are unclear about this, FFH is requesting an additional modification of standards regarding distance from an existing group home. The Touchstone group home is less than 700 ft. away. I do not object to this modification as I don’t believe the proximity of the two facilities will have a negative impact on the neighborhood.)
- Physical site development impacts – While I understand the City’s desire to mandate alley paving from the property to Magnolia Street, I do question whether this investment in off-site infrastructure is actually warranted by the traffic of 6 infrequently “turned-over” residential parking spaces (which is the same as Crossroads, and never a problem then). My guess is, it is quite expensive and may not achieve a positive impact. I express this opinion partially because I think the current plan submittal for this intervention lacks historical insight and on-the-ground assessment of existing conditions. Stopping the paving at the north edge of the property will result in new and detrimental surface flows and the potential for increased ponding in the alley and nearby properties, specifically my own property at 315 S. Sherwood St.. Following the 1997 flood, I worked with City staff and consultants to help rectify what was an inadequate original

stormwater retention plan for the 1993 Crossroads addition. My wife and I granted an easement to the City (as property owner) to construct a drainage channel on our property and flowing east to Sherwood Street. (Fortunately this new design has never been empirically field tested since 1997!) My concern is that the utility, drainage and architectural landscape plans prepared for FFH do not demonstrate an understanding of the historical and topographic reality of this block as a whole. Hence, I would encourage the applicant, the City as owner, and the City as regulator to think more holistically about site design. Is alley paving the most important improvement, or can regrading contours, providing onsite detention, and enhanced landscaping (including playscapes) better serve FFH, its residents and the community as a whole?

I have several plan documents that were prepared during the 1990s for Crossroads stormwater work and for 1997 post-flood gutter flowline improvements along Olive Street, and I would be willing to share these, if you no longer have your copies available. Also I would urge a field conference to see actual conditions at the alley and in the backyard. Specifically, the submitted plans by Quality Engineering LLC, seem to include inappropriate stock specifications and details, sloppy editing [e.g., the Drainage Report, Section I.B. states “The existing property is a residential building with no occupants that drains west (sic) to Sherwood Street through a drainage channel along the north property line”], and demonstrate little attention to actual flowlines and elevations on the property, in the alley right of way, and on adjacent properties.

- As an abutting neighbor, I would also like to discuss the possible removal of two “property line trees” and past problems with security lighting “spillage” into our windows.

Again, I look forward to a well thought-through and carefully designed addition to Fort Collins’s variety and stock of affordable housing.

Sincerely,

A handwritten signature in black ink that reads "Christopher Koziol". The signature is written in a cursive, flowing style.

Christopher Koziol, Ph.D., AIA, past-AICP
315 S. Sherwood Street
Fort Collins, Co 80521
koziol@cityvisions.org

Ryan Mounce

From: chris koziol <koziol@cityvisions.org>
Sent: Saturday, April 15, 2017 7:23 PM
To: Ryan Mounce
Cc: 'Katherine Woods (kwoods@cityvisions.org)'
Subject: Re: 317 & 321 Sherwood Group Home

Hi Ryan,

Thanks for the update. It is good to see that the engineer has redesigned the location of the crown of the alley and the permeability of the parking area. We think these are vast improvements. This said, the outcome is dependent upon careful attention to the implementation. Given that the slopes are as flat as they are the tolerances are tight, and ponding or reverse flows possible without attentive quality control in construction. We hope that there is an adequate plan for such controls and that verification is required prior to a CO. Specifically, we seek assurance that flow lines shown on the drawings match built reality. We draw your attention to the propose flow line at the far northwest corner of the site, by the head-in parking. The drawings show a 4.5% grading to the south. Please note that to achieve this, there may need to be a small retaining wall at or near the property line. Also, the drawings show a flow line that routes runoff from the south side of the southwestern most part of the 321 addition to the north and then into a swale to the northeast toward the existing drain chase that then discharges onto Sherwood St.. I question whether the shown grading actually exists. Please confirm that the flow line shown actually exists, or require that the applicant modify the grading so that it does.

We look forward to addressing and expanding the supply of much needed housing in Fort Collins and applaud Faith Family Housing and the City for your efforts.

Best,
Katherine Woods and Chris Koziol

From: Ryan Mounce <RMounce@fcgov.com>
Date: Tuesday, April 11, 2017 at 4:20 PM
To: chris koziol <koziol@cityvisions.org>, Katherine Woods <kwoods@cityvisions.org>
Subject: RE: 317 & 321 Sherwood Group Home

Chris & Katherine,

Attached are the latest drawings for the Faith Family Hospitality Group Home, including their civil set which shows an updated alley paving design. I have yet to complete an updated review yet, but I wanted to make sure you had the chance to look at the new drawings as soon as possible. In some of my last conversations with Annette, the applicant, she had indicated she wasn't interested in keeping the lighting fixtures in the backyard or along the side facing your property, and was still considering any changes to some of the trees you had mentioned as well.

If you have a chance to review these and have any additional questions or comments, or would like to talk further, please let me know. We're currently scheduled to hold another staff review meeting for the project next Wednesday and I can follow-up afterwards if there's further clarification on some of these issues and whether or not another round of review is likely before any potential public hearing.

Thanks,

Ryan Mounce
Planning Services
City of Fort Collins
970.224.6186 | rmounce@fcgov.com

From: Ryan Mounce
Sent: Thursday, April 06, 2017 8:59 AM
To: 'Chris Koziol'; Katherine Woods (kwoods@cityvisions.org)
Subject: 317 & 321Sherwood Group Home

Hi Chris & Katherine,

It's been fairly quiet recently on the group home project, but we're expecting the next submittal from the applicants this week. I should be able to share some updated information in the next week or so after engineering has had a chance to review updated alley information. I will also send an electronic copy of their updated drawings once I have access to those.

Regards,

Ryan Mounce
Planning Services
City of Fort Collins
970.224.6186 | rmounce@fcgov.com

Ryan Mounce

From: Mark or Jane Bowen <mjbonthewater@yahoo.com>
Sent: Monday, May 15, 2017 1:45 PM
To: Ryan Mounce
Subject: Proposed use of 317 & 321 S. Sherwood St

As per our conversation today, we find the proposed use of 317 & 321 S. Sherwood for the Faith Family Hospitality Transitional House as acceptable.

Mark R & Jane E Bowen
Property owners of 325 S. Sherwood St.
Ft. Collins, CO 80521
720-270-6342

"If ever the time should come, when vain and aspiring men shall possess the highest seats in our Government, our Country will stand in need of its experienced Patriots to prevent its ruin."
Samuel Adams, *The Federalist Papers*