



ITEM NO 1
MEETING DATE MARCH 12, 2013
STAFF TED SHEPARD

HEARING OFFICER

STAFF REPORT

PROJECT: Encompass, River District Block One, 418 Linden Street,
P.D.P, #PDP120020

APPLICANT: Nine Fish, LLC c/o Encompass
c/o BHA Design
1603 Oakridge Drive
Fort Collins, CO 80525

OWNER: Nine Fish, LLC
324 Jefferson Street
Fort Collins, CO 80524

PROJECT DESCRIPTION:

This is a request to redevelop a former industrial site adjoining the Poudre River for a mixed-use project consisting of general office, standard restaurant and multi-family residential containing a total of 36,990 square feet. The building would contain 20,000 square feet of general office, 4,400 square feet of standard restaurant and 12 dwelling units. Parking is divided between a surface lot and under the structure with a total of 65 spaces. The parcel is located at 418 Linden Street on the west side of the river. The site contains 1.03 acres, is zoned R-D-R, River Downtown Redevelopment District, and is within the Transit-Oriented Development Overlay Zone.

RECOMMENDATION: Approval with two conditions.

EXECUTIVE SUMMARY:

The P.D.P. complies with the Downtown Plan as adopted in 1986, and as amended in 2006, and City Plan as adopted in 2011. The P.D.P. also complies with the permitted uses and development standards of the R-D-R zone. Further, the P.D.P. complies with the general development standards of Article Three.

Staff is recommending two conditions of approval. The first condition addresses the requirement that should the P.D.P. and Final Plan be approved, the applicant must obtain from the Federal Emergency Management Agency approval of a Conditional Letter of Map Revision and a Letter of Map Revision in order to update the floodplain maps to reflect the results of the proposed bank stabilization project.

The second condition addresses the proper timing and processing of the City Council granting an easement for the building encroachment into the public right-of-way.

COMMENTS:

1. **Background:**

The surrounding zoning and land uses are as follows:

N: P-O-L, Public Open Lands; Heritage Park;

N.E.: P-O-L, Public Open Lands; Gustav Swanson Nature Area;

N.W.: R-D-R, River Downtown Redevelopment; Multi-family (Legacy Senior Apartments – under construction);

S: R-D-R, River Downtown Redevelopment; Existing Industrial (Ranch-Way Feeds);

E: C-C-R, Community Commercial – Poudre River District; Poudre River, Bike Trail and Vacant (approximately 20 acres commonly referred to as the “Oxbow”);

W: R-D-R, River Downtown Redevelopment; Existing Industrial (Ranch-Way Feeds).

According to the Phase I Environmental Assessment, prepared by National Inspection Services:

“According to the Larimer County Assessor, the current warehouse building was improved on the Property in 1948. According to historical aerial photographs, the Property was improved as early as 1956 and consisted of a concrete manufacturing facility through at least 2009. The facility consisted of the cement manufacturing operation with associated equipment and an aboveground storage tank containing calcium chloride (concrete accelerator) located on the northern portion, an office building and railcar located on the central and southern portions, the current

warehouse building located on the southern portion, and a parking area located on the northern and eastern portions of the Property.”

“The warehouse building was historically utilized for vehicle maintenance activities with fueling operations conducted along the northwestern exterior of the subject building. According to historical city directories, the Property was occupied by the Poudre Pre-Mix Inc. from at least 1962 through 2009. According to an interview conducted with the Property Owner, Mr. Tom Chandler, Poudre Pre-Mix, Inc. began operation at the Property in 1959. Based on the review of City of Fort Collins Building Department records, the office building, sheds, railcar, and cement manufacturing equipment were removed from the Property in 2011.”

“The subject building is currently utilized by Ranch-Way Feeds for the storage of livestock feed supplies. The remainder of the Property consists of graded, unimproved land with a remnant concrete parking lot located on the eastern portion of the Property.”

The site was originally zoned I-G, General Industrial.

In 1996, the site was included in a larger rezoning that downzoned the general area bounded by North College Avenue, Jefferson Street, Lincoln Avenue and the Poudre River from I-G, General Industrial to R-C, River Corridor as part of the implementation of the Downtown Plan.

In 1997, the site was rezoned R-D-R, River Downtown Redevelopment as part of the overall implementation of City Plan, the City’s comprehensive plan.

The site was placed into the Transit-Oriented Development Overlay District (T.O.D.) upon the original adoption of the District in 2007.

2. **Downtown Plan:**

Although not zoned D, Downtown, the site is located within the boundary of the Downtown Plan originally adopted in 1989 and amended in 2006. The parcel is also located within the area covered by the Downtown River Corridor Implementation Program, approved in 2000.

The subject parcel is located within a larger area identified as a Special River Area on the fringe of the Downtown. The Downtown Plan (1986) Concept Plan states the following:

“The Downtown Corridor of the Poudre River is viewed in the plan as a fragile, valuable and irreplaceable resource. Major pedestrian and visual connections between the River and the Downtown are recommended. In

addition, special treatment of the riverfront is suggested that enhances the attractiveness of the river and Downtown. The plan offers some specific activities for the riverfront area, including a new performing arts theatre, an open air amphitheater, botanical gardens, preservation of important natural areas, quality hotel, active and passive open space areas and limited retail activities.” (Page 58.)

Under the section titled Policy 2, Land Use:

“Permit destination retail uses, light manufacturing, research and scientific laboratories and similar uses in locations within the Poudre River Corridor District that are compatible with the scenic, natural, recreational values of the river.” (Page 69.)

“Encourage the development of a special riverfront area that mixes hospitality, hotel, recreation, entertainment, culture, and some limited retail land uses in the Poudre River Corridor District and being especially sensitive to the natural area features of the river. Specific activities which should be encouraged in this area include a new performing arts theatre, an open air amphitheater, botanical gardens, preservation of important wetlands and vegetation, and water related recreation.” (Page 70.)

Under the section titled Policy 3, Special Land Use Opportunities, Major Policy:

“Aggressively explore, develop and take action to attract major retail, government, cultural, educational, entertainment, recreation and employment anchors including new housing development, that enhance the Downtown as the preeminent business, retailing and cultural center of region.” (Page 72.)

The Downtown Strategic Plan, 2006, states the following:

“2.1.2 Relative to the west side, the river corridor area presents a different, additional set of opportunities for supportive redevelopment, which the City and DDA should remain equally prepared to pursue or support if an initiative arises. Redevelopment projects in the river area could strengthen the commercial health of downtown as well, and if a core-supportive development project or public works stimulus project emerges, it should be supported.”

“2. Particular core-supportive uses include housing, employment, mixed live/work buildings, special attractions and architecture unique to the river environment and historic setting(e.g. cultural/arts venues, a restaurant with windows and outdoor spaces oriented to the river landscape, educational institutes) and small neighborhood-serving commercial uses.

The intent is to bring patrons downtown with development that reinforces the unique historic and environmental character.”

“2.2.5 Encourage apartments, loft units, and/or offices on upper floors of buildings.”

“a. Any additional housing and jobs will help support the core by adding to a critical mass of people living, working, and investing in downtown.”

In fulfillment of the vision for Downtown, the proposed P.D.P. would contribute to establishing a pedestrian and visual connection between the River and the Downtown along Linden Street. The proposed treatment along the river would provide additional landscaping and be compatible with the scenic, natural, recreational values of the river. The proposed land uses would add to the mix of activities associated with Downtown.

Further, the P.D.P. represents a re-development opportunity that offers a mix of core-supportive uses. The addition of housing and jobs will contribute to the critical mass of people living and working and investing in downtown.

3. City Plan Fort Collins – 2011:

The comprehensive plan was updated in 2011. While the proposed project furthers the objectives of numerous policies, three are highlighted for emphasis:

“Policy ENV 24.4 Restore or enhance degraded or disturbed areas of the Poudre River Corridor to improve natural habitat conditions, biodiversity, and aesthetic and recreational values. Restoration and enhancement projects may be performed cooperatively with adjacent private landowners and volunteer community groups.”

“Policy LIV 5.1 Encourage redevelopment and Infill in Activity Centers and Targeted Infill and Redevelopment Areas. Areas identified on the Targeted Infill and Redevelopment Areas Map are parts of the city where general agreement exists that redevelopment and infill would be beneficial. “

“Policy LIV 45.3 The Poudre River Corridor has distinct segments containing unique characteristics, opportunities, and constraints. The Historic and Cultural Core Segment (College Avenue to Lemay Avenue) segment of the river includes many of the community’s oldest and most significant historic and cultural features. Land uses in the area should be more flexible than in other river segments and emphasize connecting the river to Downtown, providing multi-purpose spaces that celebrate the historic relevance of the river to the community, continuing the important

and unique relationship between the waterway and surrounding urban environment, and maintaining those natural elements of the river as it passes through Downtown.”

In fulfillment of City Plan, the proposed P.D.P. redevelops a former concrete batch plant and enhances the relationship to the River with a continuous landscape buffer. The site is located within the Targeted Infill and Redevelopment Area and the P.D.P. would strengthen the connection between the Downtown and the River.

4. **Article Four – Applicable R-D-R Zone District Standards:**

A. *Section 4.17(B)(2) – Permitted Uses*

The residential dwelling units are classified as *Mixed-Use Dwellings* because they are located within a building containing two distinct uses, and are permitted in the zone, subject to administrative review. Similarly, *Office* and *Standard Restaurant* are also permitted subject to administrative review.

B. *Section 4.17(D)(1)(a) – Transition between the River and Development – River Landscape Buffer*

In substitution for the provisions contained in Section 3.4.1(C) (Natural Habitats and Features) requiring the establishment of "natural area buffer zones," the applicant shall establish, preserve or improve a continuous landscape buffer along the River as an integral part of a transition between development and the River. To the maximum extent feasible, the landscape buffer shall consist predominantly of native tree and shrub cover. (See Figure 20.) The landscape buffer shall be designed to prevent bank erosion and to stabilize the River bank in a manner adequate to withstand the hydraulic force of a 100-year flood event.

As stated in the Phase I Environmental Assessment, the property contains one building and consists of graded, unimproved land with a remnant concrete parking lot located on the eastern portion of the Property. Presently, there is minimal habitat value because of surrounding development and lack of a wide riparian corridor. No raptor or songbird nests have been found on the site.

In compliance with the Code, there is a continuous landscape buffer along the river on both the subject property and the City-owned embankment (within a pending easement to be granted by the City). Plant selection was based on qualities that promote native landscaping, habitat cover and bank stabilization features. The quality and extent of site improvements are based on the results of the Ecological Characterization Study, prepared by the applicant. (Please see attached). For example, the trees and shrubs will be provided in sufficient quantity along with a variety of plant heights thereby enhancing habitat diversity.

The landscape buffer protects the ecological character of the natural habitat of the Poudre River from the impacts of the proposed development.

Overall, in the area along the river, four existing trees will be removed and 12 new trees and 213 plants, divided among shrubs, ornamental grasses, perennials, groundcovers and vines, will be added. This will result in a wider riparian corridor and enhance the habitat and opportunities for wildlife.

C. *Section 4.17(D)(1)(a)1. – Bank Stabilization Improvements*

Any bank stabilization improvements shall consist of native plants and stone to the extent reasonably feasible. If any structural materials such as concrete are required, such materials shall be designed to emphasize characteristics of the native landscape such as color, texture, patterns and proportions, in order to minimize contrast with the River landscape.

The design of the bank and slope stabilization is based on the Cache La Poudre River Bank Stability Evaluation prepared by the applicant. (Summary attached.) The recommendations, working from the toe to the top of the bank include:

- Re-grading the embankment to a flatter slope;
- Removal of old concrete spoils;
- Toe stabilization using appropriately sized large rock boulders anchored into bedrock;
- Adding boulders in a dry stack, combined with geotextile fabric and backfill, to further enhance toe stabilization, including using mechanically stabilized earth and vegetated reinforced soil slopes;
- Hard armoring with buried riprap;
- Single or stacked boulders combined with backfill;
- Willow plantings.

The stream bank stabilization program is in accordance with Poudre River Enhancement Project, an addendum to the Poudre River Drainage Master Plan, which documents the stabilization improvements as well as describing ecological and recreational enhancements, adopted in 2003. (Please see attached.) Further, all proposed improvements have been specifically designed to withstand the 100-year flood (a flood event that has a 1% chance of occurring in any one year, and for this reach of the Poudre River, capable of conveying carrying approximately 13,300 cubic feet per second.)

D. *Section 4.17(D)(1)(a)2. – Bank Stabilization Visual Elements*

The predominant visual elements in any bank stabilization improvements shall be native vegetation and stone, notwithstanding the use of any integrated structural elements. Blank walls shall not be used to retain the slope of the River bank.

The primary elements of the bank stabilization are stone, buried riprap, backfill and geotextile fabric, mechanically stabilized earth and vegetated reinforced soil slopes. No new trees are planned for the stabilization program as they would threaten the stability of the bank. Instead, a mix of willows, grasses and sedges will be planted as groundcover that promotes the riparian habitat. There are no concrete or blank walls associated with the stabilization plan.

E. *Section 4.17(D)(1)(b) – Outdoor Spaces and Continuous Walkway*

On sites that have River frontage between Linden Street and Lincoln Avenue, buildings or clusters of buildings shall be located and designed to form outdoor spaces (such as balconies, arcades, terraces, decks or courtyards) on the River side of the buildings and/or between buildings, as integral parts of a transition between development and the River. A continuous connecting walkway (or walkway system) linking such spaces shall be developed, including coordinated linkages between separate development projects.

The P.D.P. provides the following features in compliance with the standard:

- Outdoor plazas and seating areas at grade;
- Terrace seating on deck above grade-level one-story;
- Courtyard spaces;
- Soft walking path by the river connecting to Linden Street;
- All elements are interconnected.

F. *Section 4.17(D)(2)(a) – Street Connections – Maintain Existing Block Grid System*

Redevelopment shall maintain the existing block grid system of streets and alleys. To the extent reasonably feasible, the system shall be augmented with additional connections, including new walkway spines in substitution of streets and/or alleys.

The P.D.P. does not include any new streets or alleys. As mentioned, a soft path would be provided along the river at the top of the embankment.

G. *Section 4.17(D)(2)(b) – Linden Streetscape Improvements*

Redevelopment activity along the Linden Street frontage shall be designed to provide for the extension of the streetscape improvements found between Walnut Street and Jefferson Street, including on-street parking defined by landscaped curb extensions, wide sidewalks with trees in cutouts and tree grates, and pedestrian light fixtures. Specific design details are subject to approval by the City Engineer in accordance with the design criteria for streets.

The P.D.P. would complete the public street improvements as well as the enhanced streetscape features that were installed in 2012 by the City of Fort Collins and the Downtown Development Authority. These improvements were intentionally terminated at the west property line of the subject parcel due to the anticipation of pending redevelopment of the subject parcel.

H. *Section 4.17(D)(2)(c) – Jefferson Streetscape Improvement Details*

Redevelopment activity along the Jefferson Street frontage shall provide formal streetscape improvements including street trees in sidewalk cutouts with tree grates and planters to screen parking. Planters to screen parking shall be designed and constructed to appear as integral extensions of the building design. Materials used shall not be inferior to those used in the construction of the principal building.

The P.D.P. does not front on Jefferson Street but incorporates the design attributes of the public capital project (completed in 2011) along Linden Street by including decorative pavements, benches, street trees in protective grates, planters and trash and recycling receptacles that are consistent and of equal quality.

I. *Section 4.17(D)(3)(a) – Buildings – Landmarks Exception*

Changes or additions to structures or properties designated (or determined by the Landmark Preservation Commission to be eligible for designation) as landmarks in accordance with Chapter 14 of the City Code shall be permitted to emulate the shapes, sizes, proportions, heights, patterns and materials of the landmark (or eligible) structure(s) rather than being required to conform to the standards for buildings contained in this subsection (3).

The P.D.P. proposes to construct a new building. The existing warehouse would be removed and is not eligible for local landmark designation.

J. *Section 4.17(D)(3)(b) – Industrial and New Non-residential Buildings*

Except as otherwise provided in this subsection (3), all new nonresidential buildings, including industrial buildings, shall comply with the standards for Mixed-use and Commercial Buildings contained in Section 3.5.3.

- (1.) Section 3.5.3(B)(2)(b) – The building is located at the property line thus complying with the standard that it be placed no further back than 15 feet.
- (2.) Section 3.5.3(C)(1) – The building is varied in height and includes projecting and recessed elements that break up the mass.

- (3.) Section (C)(2) – Entrances relate to the organization of interior space and are not cosmetic. There are no false fronts or parapets.
- (4.) Section 3.5.3(D) – The building includes articulated facades on all four sides. There is no blank wall along the street.
- (5.) There are steel canopies over the entrances and no awning is longer than a single storefront.
- (6.) The building features a recognizable base of native stone and storefront glazing and entrances. There is a recognizable top with a sloping roof on the east side and a flat roof with penthouse on the west side.

K. Section 4.17(D)(3)(c)1. – *Massing and Placement – Height / Mass*

Multiple story buildings of up to five (5) stories are permitted; however, massing shall be terraced back from the River and from streets as follows: (1) buildings or parts of buildings shall step down to one (1) story abutting the River landscape frontage; and (2) buildings or parts of buildings shall step down to three (3) stories or less abutting any street frontage.

The building is terraced in the following manner:

- Along the river, along a portion of the east side of the building, there is a one-story component at grade level. The site slopes down from the front along Linden Street into the parking garage and out to the rear of the parcel featuring the surface parking lot. The one-story building along the river is gradually revealed the further it moves away from Linden Street much like a walk-out basement as viewed from the side property line. This one-story houses an office and bicycle storage room. On top of this one-story building is a small terrace which is not considered a story.
- Along Linden Street, the building is five stories. The fifth story is a loft for the fourth floor unit. Floors three and four stepped back from floor two by eight feet.

L. Section 4.17(D)(3)(c)2. – *Massing and Placement – Parking Lots*

Buildings shall be sited so that any new parking lots and vehicle use areas are located in either: (1) interior block locations between buildings that face the street and buildings that face the River, or (2) side yards.

Of the 65 total parking spaces, 31 are located below the structure in a parking garage. The remaining 34 spaces are in a surface lot at the rear of the building. Access to the surface lot can only be gained from the parking garage.

M. *Section 4.17(D)(3)(c)3. – Massing and Placement – Street Frontage*

Proposed parking lots and/or vehicular use areas located within fifty (50) feet of any street right-of-way shall not exceed fifty (50) percent of the street frontage of the parcel upon which the parking lot or vehicular use area is proposed.

Since all parking is either within the garage or to the rear of the building, there is no private parking lot along Linden Street. (There is on-street diagonal parking in the public right-of-way.) The entrance to the garage is considered a vehicular use area and is 20 feet wide which is only 9.3% of the total lot frontage of 214 feet.

N. *Section 4.17(D)(3)(c)4. – Massing/Placement – Frequent Views/Access*

No building wall shall exceed one hundred twenty-five (125) feet on the axis along the River.

The proposed building is 97 feet in length on the axis along the river.

O. *Section 4.17(D)(3)(d)1. – Character and Image – Articulation*

Exterior building walls shall be subdivided and proportioned to human scale, using offsets, projections, overhangs and recesses, in order to add architectural interest and variety and avoid the effect of a single, massive wall with no relation to human size.

The proposed building includes articulated features that break up the mass and add character to the area. The building features four-sided architecture so there is no back-side where inferior materials are used. Along Linden Street, the building is characterized by the following:

- The building is divided into two distinct modules connected by a first floor lobby and a second floor bridge.
- The westerly module is four stories in height as viewed from Linden Street on the front and five stories as viewed from the parking on the rear. The third and fourth stories of the western module are stepped back from the first and second stories helping to reduce the mass along the street.
- The easterly module includes a two story element that slopes down to a one story element along the river.

- Along Linden Street, the building features store-front architecture which contributes to pedestrian interest and an inviting streetscape.
- For vertical relief, there is native stone and storefront glass at the base, a brick field with balconies in the middle, and fiber cement panels on the upper floors.
- For horizontal relief, there is a large glass area on the left, native stone and two entrances in the middle and the residential entrances on the right.
- Overall, the building is divided into three distinct functions – office, commercial and residential with each function having its own distinct features.
- In summary, the building provides for both vertical and horizontal relief and there is a clear distinction among the base, middle and top of the structure.

P. *Section 4.17(D)(3)(d)2. – Character and Image – Outdoor Spaces*

Buildings and extensions of buildings shall be designed to form outdoor spaces such as balconies, arcades, terraces, decks or courtyards, and to integrate development with the landscape to the extent reasonably feasible.

Along Linden Street, the building entrances and walkway are elevated above the street in a terrace-like manner and highlighted by a plaza. Along the river, there is a deck above the one-story building component. In the rear, there is a terrace facing south. For the upper residential stories, there are a variety of balconies creating private outdoor space.

Q. *Section 4.17(D)(3)(d)3. – Character and Image – Windows*

Windows shall be individually defined with detail elements such as frames, sills and lintels, and placed so as to visually establish and define the building stories and establish human scale and proportion. Glass curtain walls and spandrel-glass strip windows shall not be used as the predominant style of fenestration for buildings in this District. This requirement shall not serve to restrict the use of atrium, lobby or greenhouse-type accent features used as embellishments to the principal building.

There are three types of windows each associated with the primary function of the three uses within the building; office, commercial and residential. For the office component, there are traditional windows combined with day-lighting windows at the upper portions of the north-facing second story. For the

commercial, there are street-facing store-front windows. For the residential, there are aluminum clad wood windows with transoms at the fourth story.

R. Section 4.17(D)(3)(d)4. – Character and Image – Rooflines

A minimum pitch of 8:12 shall be used for gable and hip roofs to the maximum extent feasible. Where hipped roofs are used alone, the minimum pitch shall be 6:12. Flat-roofed buildings shall feature three-dimensional cornice treatment on all walls facing streets, the river or connecting walkways, unless they are stepped and terraced back to form a usable roof terrace area(s). A single continuous horizontal roofline shall not be used on one-story buildings except as part of a design style that emulates nearby landmarks (or structures eligible for landmark designation).

There are a variety of roof forms associated with the building. For the standard restaurant, there is a flat roof that supports an outdoor terrace. For the restaurant and office combined, there is a sloping roof that allows for day-lighting and screening of mechanical equipment. For the residential, there is predominantly a flat roof at the fourth story, which is punctuated by a fifth floor penthouse (loft space for the fourth floor unit) featuring a pitched roof.

S. Section 4.17(D)(3)(e) - Materials

Textured materials with native and historic characteristics such as brick, stone and wood, and materials with similar characteristics and proportions shall be used in a repeating pattern as integral parts of the exterior building fabric, to the maximum extent feasible. Other exterior materials, if any, shall be used as integral parts of the overall building fabric, in repeating modules, proportioned both horizontally and vertically to relate to human scale, and with enough depth at joints between architectural elements to cast shadows, in order to better ensure that the character and image of new buildings are visually related to the Downtown and River context.

The building would incorporate a variety of materials that are intended to establish a complementary relationship to both the Downtown and River context. For example, along Linden Street, the Downtown character is continued by use of native stone, traditional store-fronts with entrances accented by use of steel canopies. Structural steel columns are exposed to complement the canopies and to reflect the industrial historic character of the area. The second floor features a brick exterior combined with painted hardee board siding with aluminum reveals and fiber cement panels. The third and fourth floors feature fiber cement panels and balconies. Along the river, the exterior materials would include native stone, board formed concrete and store front glazing. In general, the building positively relates to the established context of both the Downtown and R-D-R zone.

T. *Section 4.17(D)(4)(a) – Site Design – Naturalistic Landscaping*

The natural qualities of the River landscape shall be maintained and enhanced, using plants and landscape materials native to the River corridor in the design of site and landscape improvements.

The selection of plant material along the river has been carefully evaluated to complement the native vegetation, create a variety of heights and to enhance wildlife habitat. In compliance with the standard, the following plants would be placed along the Poudre River:

Trees: Lanceleaf Cottonwood, Autumn Brilliance Serviceberry, American Plum.

Shrubs: Chokecherry, Golden Currant, Crandall Clove Currant, Wax Currant, Potentilla, Rabbitbrush, Sandcherry, Serviceberry, Snowberry,

Grasses: Blue Gama, Prairie Dropseed, Switchgrass, native seed.

These trees, shrubs and grasses are classified as being in the moderate hydrozone. They are drought-tolerant, native plants that will maintain and enhance the River corridor.

U. *Section 4.17(D)(4)(b) – Site Design – Walls, Fences and Planters*

Walls, fences and planters shall be designed to match or be consistent with the quality of materials, the style and colors of nearby buildings. Brick, stone or other masonry may be required for walls or fence columns.

Along the river, there is a planter attached to the building and a portion of the building's exterior that would be constructed of native stone (Masonville Sandstone). Along the south elevation, there is a wall that would be constructed of brick that screens the trash and recycling enclosure and mechanical equipment. There are no fences associated with the project.

5. **Article Three Applicable General Development Criteria:**

A. *Section 3.2.1(D) – Tree Planting Standards*

Four street trees placed in grates are provided in the public right-of-way along Linden Street spaced on roughly 40-foot intervals. Along the River, the formal row of street trees gives way to naturalistic plants that complement the native ecology. The River will be buffered by native deciduous trees, shrubs and native seed to create a riparian and upland riparian habitat as recommended by the Ecological Characterization Study (E.C.S.). Along Ranch-Way Feeds., the parking lot is screened by existing grade and a combination of trees and shrubs

that will form a continuous buffer at maturity. The plants selected exceed the minimum species diversity requirement and meet or exceed minimum size standards.

B. *Section 3.2.1(E)(1) – Buffering Between Incompatible Uses and Activities*

Based on the requirements of the R-D-R zone district standards and the recommendations of the E.C.S., the landscape plan emphasizes the transition from the established urban character along Linden Street to riparian character along the River. As mentioned, the formal row of street trees transition into naturalistic plantings beginning at the edge of the garage entrance. Along the River, the plants are specifically selected to complement and enhance the riparian character. The species, size, quantity and location are intended to create an extension of the existing ecology so that the proposed development blends in with native landscaping thereby contributing to the buffering and the natural feel along the embankment.

C. *Section 3.2.1(E)(3) – Water Conservation*

The site has been divided among three hydrozones and, per the standard; the overall annual water use does not exceed 15 gallons per square foot over the course of one growing season.

D. *Section 3.2.1(E)(4) – Parking Lot Perimeter Landscaping*

The surface parking lot contains 34 spaces, is located to the rear of the building and will not be visible from Linden Street. The 13 spaces that face the River are screened by a continuous row of trees and shrubs all of which exceed 30-inches in height and extend 100% of the length. The 13 spaces that face Ranch-Way Feeds are at a lower topographical elevation, built into the grade and are screened with a retaining wall and combined with a continuous row of trees and shrubs for 100% of the length.

E. *Section 3.2.1(E)(5) – Parking Lot Interior Landscaping*

The parking lot landscaping provides 14% interior landscaping in the form of islands thus exceeding the standard of 6%. In addition, there are 12 canopy shade trees which exceed the standard by one.

F. *Section 3.2.1(E)(6) - Screening*

The trash and recycling enclosure and electrical transformer are located along the southwest edge of the building and are screened by a solid decorative fence.

G. *Section 3.2.1(F) – Tree Protection and Replacement*

A Tree Mitigation Plan has been evaluated as four existing, non-native trees (Siberian Elm) would be removed. In compliance with the standard, two of the proposed street trees along Linden Street would be up-sized from two to three-inches in caliper. All other trees along the River would be preserved. A pruning schedule has been established that will allow for the following objectives:

- Allow for clearance for the proposed pedestrian path;
- Improve safety by removing dead and weak branches;
- Removal of selected lower branches allowing for partial/filtered views;
- Light thinning to improve health of the tree and improve aesthetics;
- No pruning over the River.

Standard tree protection notes have been added to the Landscape Plan

H. *Section 3.2.2(B) – Access, Circulation and Parking – General Standard*

In compliance with the standard, the parking and circulation system is designed to fully integrate the proposed private improvements with the public street and sidewalk system. For example, the storefronts and building entrances directly face onto the public sidewalk matching the context of the Downtown. A plaza identifies the office and proposed restaurant entrance. An outdoor dining patio is provided. A pedestrian path intersects with Linden Street. A bus stop and bench are proposed serving Transfort Routes #8 and #81. The Poudre River Trail is located on the other side of the bridge. In general, there is an emphasis on prioritizing bicycles and pedestrians by placing the parking lot under the building and in the rear of the building.

I. *Section 3.2.2(C) – Development Standards*

The public sidewalk along Linden Street ranges in width from 5'8" where it becomes attached to the street at the bridge to 9'9" feet not including the plaza. The sidewalk features street trees in grates, raised planters, planter pots and pedestrian lighting.

J. *Section 3.2.2(C)(4) – Bicycle Facilities*

The standard in place at the time the project was submitted (July 17, 2012) required that the minimum number of bicycle parking spaces be no less than 10% of the vehicle spaces. With 65 vehicle spaces, 7 bike parking spaces are required. The P.D.P. provides 26 bike parking spaces thus exceeding the standard. Of this total, 22 are located within the parking garage and four are in fixed racks along Linden Street.

K. *Section 3.2.2(C)(5) – Walkways*

In addition to the public sidewalk on Linden Street, there is a pathway along the River. This path will be constructed out of crusher fines as opposed to concrete to better integrate with the riparian character.

L. *Section 3.2.2(D)(E)(J) – Parking Lot Design*

As mentioned, the off-street parking is divided between 31 spaces under the structure and 34 surface spaces to the rear of the structure. Both lots gain access to Linden Street in a safe and efficient manner. There is proper separation between vehicles and bicycles and pedestrians. The surface parking design exceeds the required minimum side lot line setback of five feet.

M. *Section 3.2.2(K)(1)(a)1. – Residential Parking Requirements*

This standard allows mixed-use dwellings within the Transit-Oriented Development (TOD) Overlay Zone to be relieved from having to provide a required minimum number of parking spaces. While not being subject to a minimum number, the P.D.P. provides 31 spaces under the structure that may be allocated, at the developer's discretion, for the 12 dwelling units.

N. *Section 3.2.2(K)(2) – Non-Residential Parking Requirements*

The number of spaces must not exceed a prescribed maximum ratio.

| Use | Size | Maximum Ratio | Quantity |
|-------------------|---------------|-----------------|----------|
| Office | 20,000 sq.ft. | 3/1,000 sq.ft | 60 |
| Restaurant | 4,400 sq.ft. | 10/1,000 sq.ft. | 44 |
| Total Max Allowed | | | 104 |

As can be seen, the P.D.P. is 39 spaces below the maximum allowed.

O. *Section 3.2.4 – Site Lighting*

The standard specifies that minimum lighting levels for parking and non-residential building surrounds are one foot-candle. This illumination level is provided with one exception. Parking lot lighting will be reduced by one-half beginning at 10:00 p.m. in consideration of both the River corridor and the residents living in close proximity to the proposed restaurant. Such reduction is allowed per the Alternative Compliance option in Section 3.2.4(E)(2).

Also due to the unique location next to the River, illumination has been specifically designed not to spill over into the buffer zone. Finally, in further

compliance with the standard, all new pole and building-mounted light fixtures will be fully shielded and down directional.

The proposed reduction in illumination after 10:00 p.m. satisfies the Alternative Compliance provision that the proposed illumination accomplishes the purposes of this Section equally well or better than would a lighting plan which complies with the standards of this Section. This is because after 10:00 p.m., there will be fewer customers using the parking lot. Further, the parking lot is safer than normal by being located and protected behind the building with limited public access. The proposed illumination after 10:00 p.m. will contribute to protecting the natural area from light intrusion. There would be no detriment to neighborhood continuity and connectivity. Opportunities for non-vehicular access are not impacted. The proposed design is innovative by reducing energy usage.

P. *Section 3.2.5 – Trash and Recycling Enclosures*

The trash and recycling enclosure is located on the southwest side of the building and screened from Linden Street by gates. The area is of sufficient size to accommodate the needs of all users. In order to protect the residences from disturbance, the pick up times have been voluntarily limited to business hours only, Monday through Friday, and between Noon and 5:00 p.m. on Saturdays and Sundays.

Q. *Section 3.3.1 – Plat Standards*

The plat, titled *River District Block One Mixed-Use*, complies with the requirements for a legal subdivision of land. The lot fronts on a public street with the proper dedication of public right-of-way and easements for utilities. Also, drainage and emergency access easements have been provided as required by the City's Stormwater Utility and the Poudre Fire Authority.

R. *Section 3.4.1 – Natural Habitats and Features*

As noted in the previous section, the buffer provisions contained in Section 3.4.1(E) are specifically exempted per R-D-R zone district standard Section 4.17(D)(1)(a) which calls for a continuous landscape buffer but does not prescribe a distance. This continuous landscape buffer would be provided as described in the preceding evaluation of Section 4.17(D)(1)(a).

S. *Section 3.4.1(F) – Protection of Wildlife Habitat and Ecological Character*

The E.C.S. does not show the existence of a plant or wildlife species identified by the City as a Sensitive or Specially Valued Species, or by state or federal agencies as "threatened," "endangered," "species of concern," or "sensitive natural community."

T. *Section 3.4.1(G)(2) – Streambank Stabilization*

As mentioned in the previous section under R-D-R zone district standard 4.17(D)(1)(a)1.2., streambank stabilization will utilize native vegetation and not exposed rip rap.

U. *Section 3.4.1(I) – Design and Aesthetics*

The predominant building material facing the Poudre River is native stone. Native landscaping will be planted on both the subject site and on the city-owned embankment with permission to be granted by an easement. For persons using the Poudre River Trail, the views to the subject parcel will continue to be obscured by existing and proposed plant material.

V. *Section 3.4.1(L) – Compatibility with Public Natural Areas or Conserved Land*

The area along the Poudre River is owned and managed by the City's Parks and Recreation Department. The proposed project will be compatible with the management of this area. The proposed continuous landscape buffer minimizes wildlife conflicts and establishes a setback thereby providing a transition between the development and the publicly owned conserved land.

W. *Section 3.4.3 – Water Quality*

The stormwater runoff associated with the new additional impervious area will be conveyed, treated, detained and released in accordance with the requirements of Stormwater Utility.

X. *Section 3.4.7 – Historic and Cultural Resources*

No historic structures exist on the site or on adjacent sites. Nor is the site within a historic district. There are also no historic designated structures or properties on this block face on either side of Linden Street.

There are, however, three residential properties on this block on the opposite side of Linden Street which contain buildings that were determined to be eligible for Local Landmark Designation in a 2002 study conducted by the City. The architectural elevations for the proposed building indicate a two-story element along Linden Street with the third and fourth stories and fifth level penthouse stepped back. This stepping back of the upper floor mass provides relief to the surrounding eligible properties. The added articulation, horizontality and placement of the taller components within the site's interior, contribute to preserving the established character along Linden Street. Finally, the use of native stone and brick complement the existing structures.

Y. *Section 3.5.1(G) – Building Height Review*

The building is 64 feet in height, to the top of the sloped roof of the fifth floor penthouse which houses a loft for the fourth floor unit. There are no views that are impacted by the height of the proposed building. The shadow analysis indicates that there are no substantial adverse impacts on the distribution of natural and artificial light on adjacent public and private property. There is no infringement on the privacy of adjacent public and private property. Finally, height of the building is compatible with the scale of the neighborhood in terms of relative height, height-to-mass, length-to-mass and building-scale to human-scale. Tall buildings in the vicinity include Ranch-Way Feeds, Northside Aztlan Center, Willow Street Lofts, New Belgium Brewery and the Colorado State University Engines and Energy Conversion Lab. A building under construction across Linden Street, Legacy Apartments, will be four stories upon completion.

Z. *Section 3.6.4 – Transportation Impact Study*

A Transportation Impact Study was prepared for this P.D.P. The study includes an impact analysis for both the short term (2017) and the long term (2035) timeframes. The study also includes an analysis for both pedestrian and bicycle Level of Service. Estimated trip generation was based on three proposed uses:

- General Office – 19,874 square feet
- Standard Restaurant – 5,639 square feet
- Apartments – 12 dwelling units

Four intersections were evaluated for Level of Service analysis:

- College/Jefferson-Maple
- Jefferson/Linden
- Willow/Linden
- Linden/Encompass Driveway

The following conclusions have been reviewed and accepted by the Traffic Operations Department:

1. Current operation at the College/Jefferson-Maple, Jefferson/Linden and Willow/Linden intersections is acceptable.
2. The College/Jefferson-Maple and Jefferson/Linden intersections are currently signalized. The Willow/Linden intersection does not meet the signal spacing criteria and, therefore, will not be signalized and remain a four-way stop.
3. In the short range (2017), given development of the proposed P.D.P., and an increase in background traffic, the College/Jefferson-Maple,

Jefferson/Linden and the Willow/Linden intersections will operate acceptably with existing control and geometry.

4. In the long range (2035), given development of the proposed P.D.P., and increase in background traffic, the College/Jefferson-Maple, Jefferson/Linden and the Willow/Linden intersections will operate acceptably with existing control and geometry.
5. Acceptable Level of Service is achieved for bicycle and transit modes based upon the measures in the multi-modal transportation guidelines.
6. For pedestrians, Levels of Service are achieved for directness, continuity, street crossings, visual interest and amenities and security.

6. **Conclusion and Findings of Fact:**

In evaluating the request for a P.D.P for Encompass, River District Block One, Staff makes the following findings of fact:

- A. The P.D.P. is in compliance with the Downtown Plan as adopted in 1989 and as amended in 2006, and City Plan as adopted in 2011.
- B. The three proposed land uses, mixed-use dwellings, general office and standard restaurant, are permitted in the R-D-R zone, subject to administrative review per Section 4.17(B).
- C. The P.D.P. complies with the applicable development standards of the R-D-R zone per Section 4.17(D).
- D. The P.D.P. complies with the applicable general development standards of Article Three.
- E. With regard to site lighting the reduced illumination in the parking lot after 10:00 p.m, the P.D.P. complies with the Alternative Compliance provision of Section 3.2.4(E). The reduction in lighting accomplishes the purpose of the equally well because the after 10:00 the usage of the parking diminishes and the location behind the building, with limited public access, is more protected than most other commercial parking lots. The proposed illumination after 10:00 p.m. will contribute to protecting the natural area from light intrusion. There would be no detriment to neighborhood continuity and connectivity. Opportunities for non-vehicular access are not impacted. The proposed design is innovative by reducing energy usage.

- F. Staff recommends a condition of approval regarding the proper completion, as prescribed by the Federal Emergency Management Agency, of the (1.) Conditional Letter of Map Revision prior to approval of a Final Plan and (2.) the Letter of Map Revision which must be approved by the City of Fort Collins and then properly submitted to the Federal Emergency Management Agency prior to issuance of the Certificate of Occupancy of the building.
- G. Staff recommends a condition of approval regarding the proper completion of an Easement that is necessary to be granted by the City Council for the placement of permanent building components within the Linden Street right-of-way prior to approval of a Final Plan.

RECOMMENDATION:

Staff recommends approval of Encompass, River District Block One, #P.D.P.120020, subject to the following two conditions:

- 1. Staff recommends a condition of approval regarding the proper completion, as prescribed by the Federal Emergency Management Agency, of the (1.) Conditional Letter of Map Revision prior to approval of a Final Plan and (2.) the Letter of Map Revision which must be approved by the City of Fort Collins and then properly submitted to the Federal Emergency Management Agency prior to issuance of the Certificate of Occupancy of the building.**
- 2. Staff recommends a condition of approval regarding the proper completion of an Easement that is necessary to be granted by the City Council for the placement of permanent building components within the Linden Street right-of-way prior to approval of a Final Plan.**

ATTACHMENTS

Aerial Map

Poudre River Enhancement Project – Executive Summary

Memorandum from Matt Delich, Delich and Associates, Consultant for the Applicant –
Transportation Impact Study – Pedestrian Level of Service Clarification

Letters Received from Public

Memorandum from Lucia A. Liley, Liley, Rogers and Martel, Legal Counsel for the
Applicant – Table of Contents describing the list of documents included as Evidence of
Record

Evidence of Record

Encompass, River District Block One



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**POUDRE RIVER ENHANCEMENT PROJECT
LINDEN STREET TO LINCOLN AVENUE
AND
COLLEGE AVENUE TO BNSF RAILROAD
BRIDGE**

Prepared for:

City of Fort Collins
P.O. Box 580
Fort Collins, Colorado 80522



Prepared by:

Ayres Associates
P.O. Box 270460
Fort Collins, Colorado 80527

AYRES
ASSOCIATES

EDAW
240 East Mountain Avenue
Fort Collins, Colorado 80524

EDAW

October 2003

POUDRE RIVER ENHANCEMENT PROJECT

**Linden Street to Lincoln Avenue
and
College Avenue to BNSF Railroad Bridge**

Prepared for

**City of Fort Collins
P.O. Box 580
Fort Collins, Colorado 80522**

**AYRES
ASSOCIATES**

**P.O. Box 270460
Fort Collins, Colorado 80527
(970) 223-5556, FAX (970) 223-5578**

**Ayres Project No. 32-0509.01
P-RV10-TX.DOC**

October 2003

EXECUTIVE SUMMARY

The Poudre River Enhancement Project (PREP) is aimed at stabilizing two segments of the Poudre River channel in downtown Fort Collins while providing ecological and recreational enhancements. The project addresses two reaches between College and Lincoln Avenues. The downstream project reach extends from Linden Street to Lincoln Avenue and incorporates primarily channel stabilization and ecological enhancements. The upstream project reach is bound by College Avenue at the upstream end and the Burlington Northern Santa Fe (BNSF) Railroad bridge at the downstream end. Recreational enhancements are the main improvements in this upper reach.

The project has been identified by the Poudre River Master Drainageway Plan (Ayres Associates 2002-Draft) for the Poudre River corridor through Fort Collins and the City's Downtown River Corridor Implementation Program (DRCIP) summary report (City of Fort Collins 2000). The Master Plan identified the reach between Linden Street and Lincoln Avenue as an area subject to flooding and flood damage. During the 100-year flood event, water overtops the left (east) bank and flows through the Buckingham subdivision and also floods several businesses between Buckingham and Lemay Avenues. Damages associated with these overtopping flows were estimated at nearly 0.5 million dollars for the 100-year event. As a result, several alternatives were proposed for mitigating the flooding potential in the reach. The Master Plan also identified the right bank between Linden and Lincoln as an area of channel instability. Due to the presence of buildings on the right bank and the potential for significant damage if erosion continues, the site was given the highest priority ranking.

The DRCIP seeks to coordinate the implementation of existing and new projects, such as the PREP, involving natural features, recreation, public infrastructure, historic resources, flood mitigation, and development. Various projects were reviewed in the DRCIP study and prioritized through community involvement and comment from City officials. Several of the highest priority items pertain directly to the project reach from Linden Street to Lincoln Avenue.

The PREP was initiated by the City Utilities staff and directed by members of the Stormwater, Parks and Recreation, Advance Planning, and Natural Resources departments. The Design Team is composed of representatives of the consulting firms of Ayres Associates and EDAW. Additional comment and review was provided by "The River Team," which is composed of several City departments and individual City staff members who have an interest in the Poudre River.

Historically, the Poudre River channel between Linden Street and Lincoln Avenue followed a large meander to the east of its current alignment. The oxbow from this earlier alignment is still visible in aerial photos. During the 1960s, the oxbow was bypassed creating the direct channel between Linden Street and Lincoln Avenue. The relocation of the main river channel caused the channel length between Linden Street and Lincoln Avenue to shorten by approximately 1,200 feet. It also caused an increase in the channel slope to approximately 0.5 percent.

These changes in channel planform and slope have resulted in increased velocities and shear stress conditions through the project reach. Both banks have been subject to erosion and the channel bed has degraded down to bedrock along most of the reach. In an attempt to arrest the erosion and protect the adjacent land, large amounts of concrete rubble and debris have been dumped along both banks. Riparian vegetation is limited and its growth inhibited by the rubble and near-vertical banks.

Three alternatives were developed for stabilizing the reach of the river between Linden Street and Lincoln Avenue. The design alternatives were formulated based on the primary project objectives, which include:

- Reach stabilization
- Ecological enhancement
- Improvement to or creation of new recreational features in the reach
- Flood control for Buckingham Neighborhood (remove from 100-year floodplain)

The alternatives were developed based on contributions from the River Team and the various boards, commissions, and interest groups. To the extent feasible, the design alternatives also incorporated themes and concepts proposed in the DRCIP.

Each of the three alternatives provide the same level of channel stabilization and flood protection to the project reach. They do not, however, all provide the same degree of ecological, recreational, and aesthetic enhancement to the reach. Hydraulic and ecological analyses were conducted to evaluate and compare the alternatives. Cost estimates were also developed for each alternative to assist in the evaluation.

The preferred plan was ultimately selected by the River Team. The decision considered project costs, level of protection, and enhancement provided by the project. The River Team also took into consideration public comment taken during the open houses.

The preferred plan for the project reach from Linden Street to Lincoln Avenue, as shown in the attached figure, labeled "Preferred Plan- Linden to Lincoln," includes the following components:

West Bank

- A reconstructed 2H:1V bank slope covered with riprap protection up to the 100-year water surface level
- Riprap covered with layer of topsoil above the 2-year water surface elevation and then planted with various tree and shrub species
- A retaining wall along sections of the bank to avoid encroachment of existing buildings and property
- Revegetation of soils above riprap
- Boulder toe protection
- Low rock bench along bank at elevation of 2-year water surface, creating shoreline variability and a planting surface for establishing vegetation near the low-flow water level

East Bank

- Expanded left overbank area to increase conveyance and create space for development of riparian habitat
- Secondary channel added to the expanded overbank that increases conveyance and creates backwater habitat

Levee

- A set-back levee to allow for channel and ecological enhancement
- 100-year flood protection
- Buried riprap placed along toe of levee to protect against erosion and channel migration

Additional Enhancements

- Three low, boulder drop structures added that span the river channel and alter the low-flow hydraulic conditions to enhance aquatic habitat
- Fish ledges or overhangs created along the west bank toe at the elevation of the low-flow water surface
- City recreation trail realigned to follow the top of the proposed levee alignment
- New access points from the trail to the river

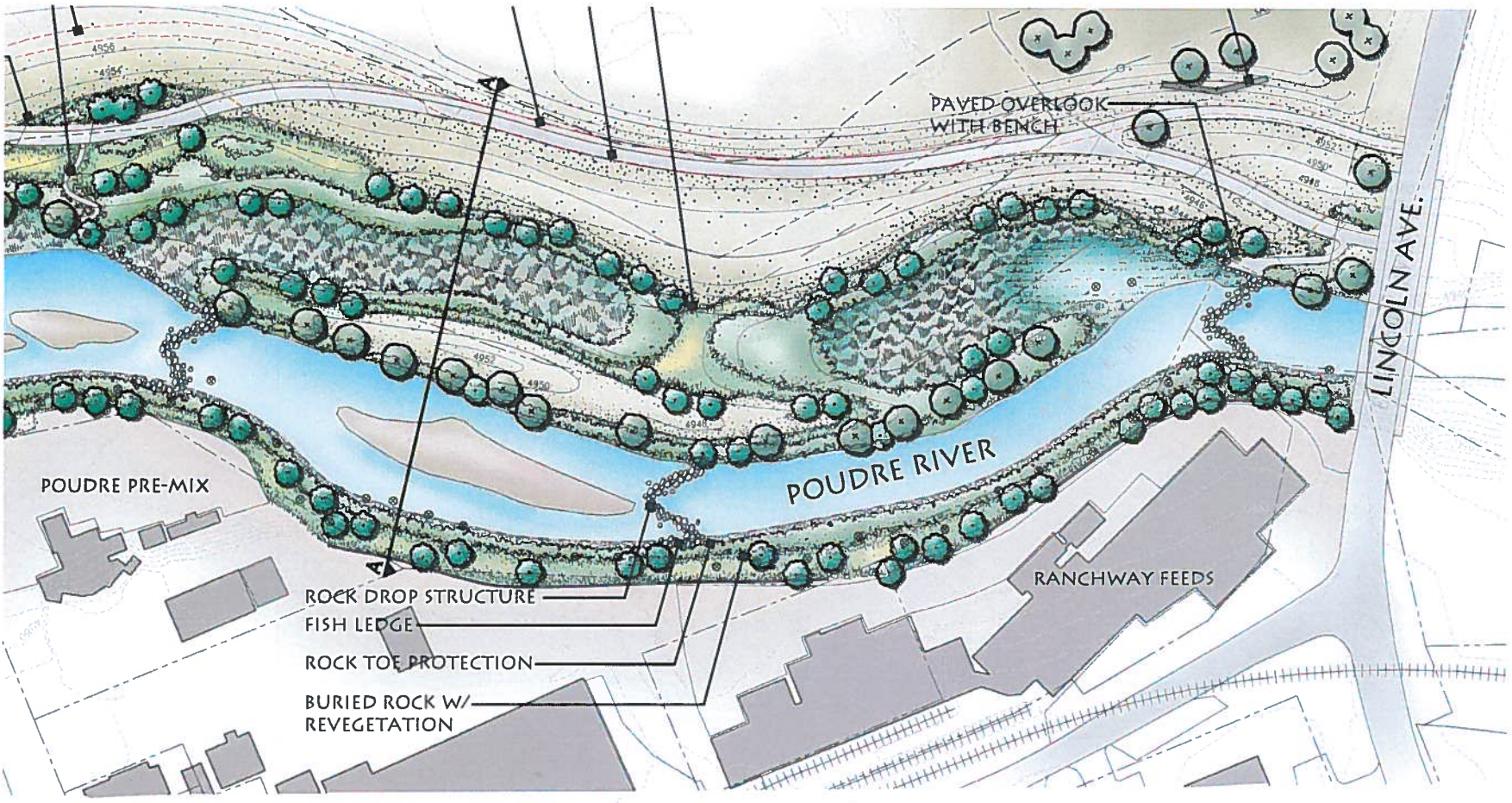
Existing land use policies strive for the balance of recreational uses along the river with minimized impacts to sensitive natural communities. The primary objective for the upper reach, between College Avenue and the BNSF Railroad Bridge, is to expand the existing drop structures to create recreational opportunities for boaters and at the same time minimize impacts to the river's natural ecological system. Recreational improvements were limited in the lower reach and enhanced in the upper reach to avoid ecological impacts along the lower reach to the extent possible. Additional recreational opportunities will result in increased river use and spectators. The upper project reach is more conducive to this type of use as it currently includes a river overlook and open bank areas used for access and spectator viewing. However, due to the significance of the natural areas upstream, downstream and across from the site, management and monitoring of the site is necessary to minimize the impacts as much as practical. The Plan for this reach, shown in the attached figure labeled "Preferred Plan – College to BNSF Railroad," incorporates the following components:

- Two new boulder drop structures, just upstream of the BNSF Railroad bridge, creating "boat chutes" and play waves for paddlers
- Trail and access enhancements along the right bank
- Develop a monitoring and management plan to minimize the use and impacts to the surrounding natural areas

This is the only alternative evaluated for the upstream reach, and it is considered to be part of the preferred project plan.

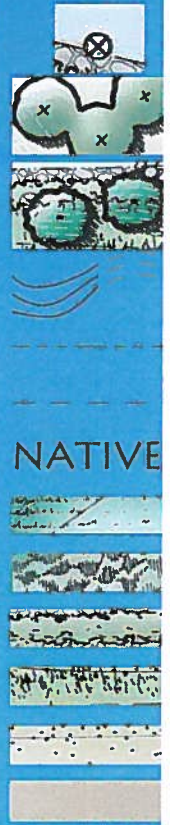
The preferred plan for the project provides bank stabilization and stream stability of the Poudre River between Linden Street and Lincoln Avenue. The plan also provides significant ecological enhancements by creating and enhancing aquatic habitat and by providing significant on-site revegetation and expansion of existing riparian habitat. The newly aligned levee provides flood control and removes the Buckingham neighborhood from the 100-year floodplain. New recreational opportunities are created in the reach between College Avenue and the BNSF Railroad Bridge with the addition of two boatable drop structures and trail/access enhancements.

The total project cost is approximately \$4,540,000, which includes \$4,260,000 for the improvements between Linden Street and Lincoln Avenue and \$280,000 for the improvements between College Avenue and the BNSF Railroad Bridge. While each of the alternatives analyzed provides the same level of channel stabilization and flood protection to the project reach, they do not provide the same degree of enhancement to the reach. The ecological, recreational and aesthetic enhancements provided by the preferred plan are significantly greater than the other two alternatives.



FEATURES

- VEGETATED ARMORED S/W BANK
- EXTENSIVE RIPARIAN HABITAT AND EMERGENT WETLANDS
- ISOLATED HABITAT AREA
- WIDENED CHANNEL
- SECONDARY CHANNEL IN HIGH FLOWS
- THREE RIFFLE DROPS W/ FISH LEDGES
- OVERLOOK @ RIVER ACCESS POINT W/ INTERPRETIVE SIGNAGE
- COST \$4.2 MILLION





MEMORANDUM

TO: Ted Shepard, Fort Collins Planning
Aaron Iverson, Fort Collins Transportation Planning

FROM: Matt Delich

DATE: March 4, 2013

SUBJECT: Nine Fish (Encompass) Transportation Impact Study – Pedestrian Level of Service
(File: 1234ME01)

The pedestrian level of service (LOS) evaluation provided in the “Nine Fish Transportation Impact Study” (TIS), dated July 2012, indicated that two factors would not meet the minimum LOS criteria. When our pedestrian evaluation was conducted there were some gaps in the sidewalk system in the area of the site. However, I reviewed Google aerial photographs, taken in late 2012, and determined that there have been improvements to the sidewalk system on both sides of Linden Street. As a result of this review, both the Visual Interest & Amenities factor and the Security factor will be at LOS A, which is acceptable.

Do not hesitate to contact me if you have questions or desire additional information.



March 4, 2013

Ted,

I am very supportive of the Block One project for many reasons. Primarily, it will serve as a kick-start for the River District, and hopefully, it will create a dynamic bridge between downtown Fort Collins and the area on the East side of the Poudre. It will also support a home-grown primary employer in our downtown.

I will be out of town for the hearing otherwise, I would like to lend my verbal support as well.

Sincerely,

Stu MacMillan

March 2, 2013

Administrative Hearing Officer
c/o Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

RE: Block One Support

To Whom It May Concern:

I am writing this letter to pledge my strong support for the Block One development. As a former owner of the property at 418 Linden Street, I am excited and pleased about the proposed Block One project planned by Encompass Technologies. The property was originally purchased in 1959 as a site for our ready-mixed concrete operation, Poudre Pre-Mix. The plant was opened in April of 1960 and was used for concrete production until August of 2011 when it was dismantled and the buildings removed. The industrial site served us well and we have always hoped that, someday, the property would be redeveloped in such a manner that would realize it's true potential as a "river front jewel". Encompass Technologies' vision for the property does just that. The proposed combination of offices, apartments and a "restaurant on the river" will truly enhance the entire River District redevelopment. It is very satisfying to see downtown business owners willing to reinvest in their future by relocating their corporate headquarters in this portion of the River District, an area known for its industrial dominance. The Block One development project will surely result in a very desirable community amenity providing citizens with the opportunity to live, work and play on the banks of the Poudre River.

Thank you very much.

Very Sincerely,



Tom Chandler

**James D. Reidhead
707 West Mountain Avenue
Fort Collins, Colorado
(970) 224-5421**

Administrative Hearing Officer
c/o Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

March 2, 2013

Dear Sir or Madam:

I am very pleased to write in support of the Block One development located at 418 Linden Street. I have been involved in Downtown Fort Collins since 1972. In 1984, I helped create the Poudre River Trust, a non-profit 501(c)(3) organization. The Trust aims to facilitate sustainable improvements of the environmental, recreational, developmental, and historic aspects of the Cache La Poudre River from the canyon mouth to its confluence with the South Platte River east of Greeley.

The Poudre River Trust's early focus was on the stretch of the Poudre River within the Fort Collins city limits, especially that part of the river from College Avenue to Lincoln Street. Block One is centrally located along the river and has always been deemed a vital part of both the River District and Downtown. The proposed development at 418 Linden Street is precisely the project we imagined for this site in 1984.

This is also the type of project that the City Plan encourages. For a host of reasons it is located close to the river—as allowed by city code. However, great care will be taken to enhance both the riverbank and adjacent wildlife habitat. A new public walkway will also be created between the proposed restaurant and the river. It is appropriate that a restaurant overlooking the river will be part of the project, the only location along the river in Fort Collins where this can happen.

This mixed-use project, the new home of Encompass Technologies, will contribute much to both the vitality of the River District and Downtown. It will also provide many needed improvements to the adjacent portions of the Poudre River.

Sincerely,



James D. Reidhead

Ted Shepard

From: Dale Rushneck <dale.rushneck@comcast.net>
Sent: Wednesday, February 27, 2013 8:45 AM
To: Ted Shepard
Cc: Janelle Kechter; Rich Shannon
Subject: River Corridor Block 1 support

Hi Ted

Jan and I hope these days find you and Paula well. Dave gives us periodic reports.

Rich Shannon of Pinnacle Consulting asked that I review the sketches and information for Block 1. Jan and I took a look and we both feel it would be good for the city and for us. I lived in a city (Pittsburgh) with many restaurants with views of the rivers. Very pleasant experience on summer evenings.

So please add our names to the list of those who support the project.

If there's further information we can provide, please e-mail or call when convenient.

Best regards to you and Paula.

Jan & Dale

dale.rushneck@comcast.net
Phone: 970-223-2013

HASLER, FONFARA AND GODDARD LLP

ATTORNEYS AT LAW

Sixth Floor, Key Bank Building
125 South Howes Street
Fort Collins, Colorado 80521

TIMOTHY W. HASLER
JOSEPH H. FONFARA
TIMOTHY L. GODDARD

MAILING ADDRESS:
POST OFFICE BOX 2267
FORT COLLINS, COLORADO 80522

TELEPHONE (970) 493-5070
FACSIMILE (970) 493-9703

March 1, 2013

VIA E-MAIL

Administrative Hearing Officer
c/o Ted Shepard
Current Planning
City of Fort Collins
P.O. Box 580
Fort Collins, CO 80522

Re: 418 Linden Street Development

Dear Sir or Madam:

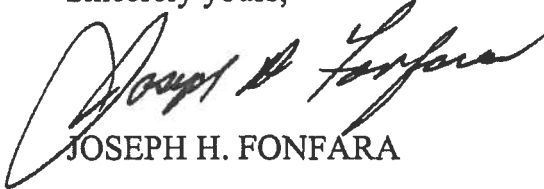
I am sending you this letter to express my support and enthusiasm for the proposed development of the former industrial site where the Poudre Pre-Mix facility was located.

I have reviewed the conceptual plan street views for the proposed development and understand that it consists of a mixed-use project with offices, apartments and a river-front restaurant overlooking the Poudre River. I applaud the efforts of the property owner to bring to the River District a delightful mixed-use project which incorporates features allowing people of all ages to enjoy the natural beauty of the Poudre River while dining.

The proposed project could be one of the showcase properties in the downtown area given its innovative mixed use, including a river-front restaurant in close proximity to the Poudre River. The location of the restaurant on the river will undoubtedly attract many visitors and, in addition to offering a wonderful outdoor dining experience, will encourage further positive activity in this area of town.

In order to help encourage development of the River District and to continue the vitality of the downtown area, I strongly encourage approval of this unique mixed-use project. This type of development utilizing innovative concepts is precisely the type of development which the City of Fort Collins should strongly encourage. Thank you for your consideration.

Sincerely yours,



JOSEPH H. FONFARA

JHF/bh

cc: Mr. Rich Shannon (via e-mail)
Ms. Janelle Kechter (via e-mail)

March 4, 2013

Administrative Hearing Officer
c/o Ted Shepard
Current Planning
City of Fort Collins
P.O. Box 580
Fort Collins, CO 80522

Re: Encompass, River District Block One, #PDP120020
418 Linden Street, Fort Collins, CO

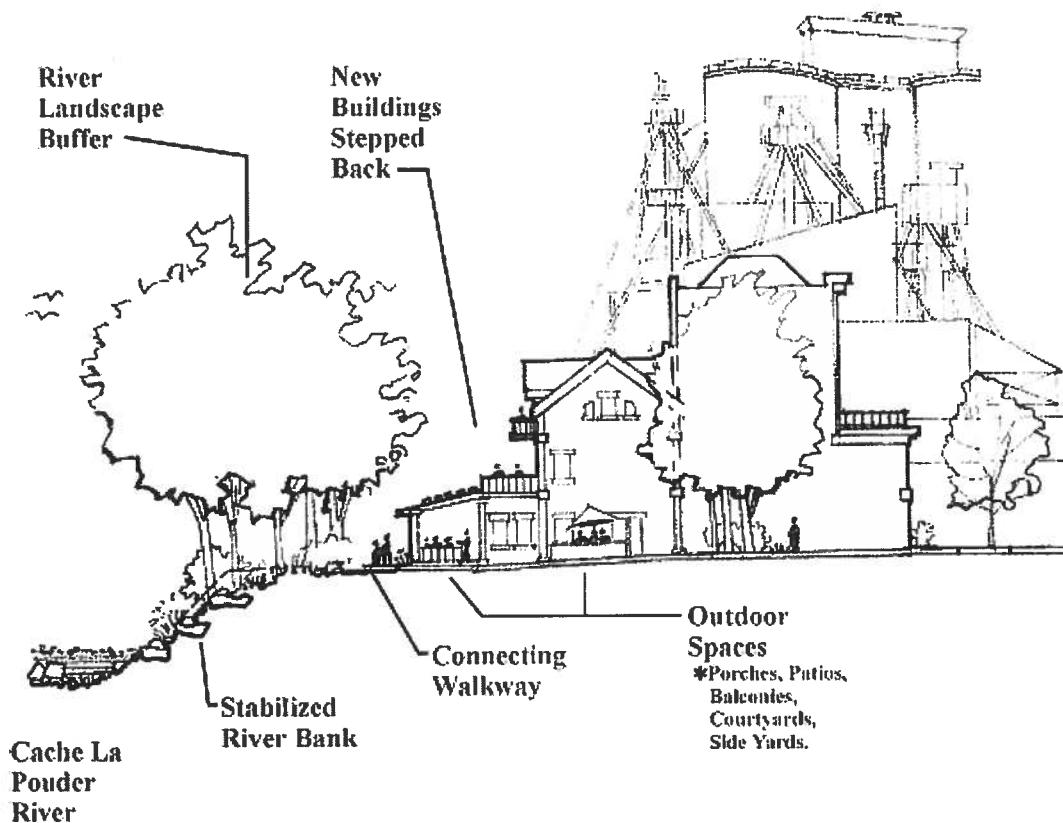
Dear Hearing Officer:

I am writing to express my staunch support for the **Encompass, River District Block One Project Development Plan (PDP #120020)**. As you will clearly see in the project documents, Applicant presentation, and Staff Report, this development proposal meets all applicable codes and criteria, *without exception!* Furthermore, it helps fulfill a long-standing vision for this specific area, which has been thoroughly vetted and clearly articulated through many public processes. This includes the Downtown River Corridor Implementation Program adopted by City Council Resolution 2000-95, the Plan Fort Collins updates to City Plan adopted by City Council Resolution 2011-015, and the Land Use Code itself (Ordinance No. 051, 1997).

I have included the various City Council resolution and ordinance references not to seem arrogant or condescending, but to underscore the fact that the Block One development proposal is consistent with multiple City documents, ranging from big picture visionary studies, to very specific codes and regulations. *All of which*, are the result of extensive public outreach, stakeholder input, and ultimately the explicit decision of Fort Collins' City Council.

The subject property is within City Plan's Targeted Infill and Redevelopment Areas, and is specifically identified as a potential Catalyst Project Area as part of both the Lincoln Triangle and Poudre River Corridor. With respect to the Poudre River, the site falls within the Historic and Cultural Core Segment, which is intended to "*emphasize connecting the river to Downtown, providing multi-purpose spaces that celebrate the historic relevance of the river to the community, continuing the important and unique relationship between the waterway and surrounding urban environment, and maintaining those natural elements of the river as it passes through Downtown.*" The Encompass, River District Block One PDP embodies every aspect of this City Plan statement. There are numerous other City Plan Policies and Principles fulfilled by this project, which I will not go into at this time.

I will, however, point to a few key items from the Land Use Code. As you are probably aware, the subject property is within the River Downtown **Redevelopment** District (R-D-R), not to be confused with the Public Open Lands District (P-O-L) or the River Conservation District (R-C). *“The River Downtown Redevelopment District is intended to reestablish the linkage between Old Town and the River through redevelopment in the Cache la Poudre River (the “River”) corridor. This District offers opportunities for **more intensive redevelopment** of housing, businesses and workplaces to complement Downtown. Improvements should highlight the historic origin of Fort Collins and the unique relationship of the waterway and railways to the urban environment as well as expand cultural opportunities in the Downtown area. Redevelopment will extend the positive characteristics of Downtown such as the pattern of blocks, pedestrian-oriented streetfronts and lively outdoor spaces.”* Once again, the Block One development proposed by Encompass epitomizes the very purpose statement of the zone district in which it resides.



The image depicted above is Figure 20 from Division 4.17 *River Downtown Redevelopment District* of the Land Use Code. I urge you to compare the development proposal to this figure. There is no disputing the fact that the Encompass, Block One PDP meets the governing codes and fulfills the common vision established by our community.

There may be minority members from inside or outside our community who do not share the same vision and intent that City Council ratified when it established the R-D-R Zone District, City Plan, and the other resolutions and ordinances to which this development proposal comports. While such persons are entitled to their opinions, arguing the merits of a 200' or 300' river buffer versus that established in the Land Use Code for the Block One site is not germane to the development proposal before you. This is not the appropriate venue to discuss whether or not urban infill and redevelopment should occur in relatively close proximity to the Poudre River Corridor.

The proper time and processes to debate the appropriateness of developing near the river in this limited area has already past. As previously mentioned, there have been numerous opportunities to provide input and affect the various documents, codes, and regulations governing the allowable development on the subject property. The community and City Council(s) have made it clear what the desired vision is for this particular reach of river. The proposed PDP before you more than satisfies that vision. Please do not be distracted by any attempts to confuse the matter at hand. This is not a scientific or environmental discussion. It is not an evaluation of the content of City Plan or the appropriateness of the River Downtown Redevelopment Zone District. The one and only question is whether or not the Encompass, River District Block One PDP meets the applicable codes and regulations. I say with unwavering confidence that it does, and I implore you to concur when you render your decision.

Sincerely yours,



Nicholas W. Haws, PE, LEED AP

Sean M. Dougherty



February 27, 2013

To: City of Fort Collins
Administrative Hearing Officer

RE: The Block One Encompass Project

To Whom It May Concern:

I am writing this letter today to ask for you to please follow the guidelines set forth many years ago about the River District and what can (and should) be developed there. In order to encourage smart, efficient development, City Code specifically allows certain properties to develop mixed use projects, without the overly prohibitive 300 foot buffer from the Poudre River. This allowance was meant to inject vibrancy and economic growth into currently underutilized, and in some cases vacant, industrial sites that could be considered blighted by today's standards. In English, let's allow these currently dilapidated sites to become flourishing economic boosters, as is currently an allowed use per the existing Fort Collins Land Use Code.

The city staff hours that went into both the River District designation, along with the City Code for these downtown properties, are proof that many folks with professional planning experience worked diligently to get it "just right" in the area, to help encourage a lively, thriving area where guests and residents will enjoy visiting and dining. It would be a wonderful amenity for our city to be able to have a restaurant overlooking the Poudre River for tourists and residents alike to enjoy the natural beauty that this gem injects into "The Choice City."

Please do not allow special interest groups to sway your judgment on this issue, based solely on their emotional pleas, and without any sort of basis of policy. The property developers have the full intentions of being good stewards for the land, and have plans that will allow the Poudre River, wildlife, and humans to all thrive.

Best regards,

Sean M. Dougherty, Realtor®
CRS, SFR, CDPE, GRI, ABR
2012 Fort Collins Realtor® of the Year

4703A Boardwalk Drive • Fort Collins, CO 80526

970-226-3990 or 970-40-ALOHA • www.HawaiianShirtGuy.com



360 LINDEN STREET, FORT COLLINS, COLORADO 80524 TELEPHONE: (303) 482-8542

Feb 27, 2013

Administrative Hearing Officer
% Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

RE: Block One Support

Dear Hearing Officer:

Kiefer Concrete was, for many years, a part owner in the site now being proposed for the Block One project. We knew the concrete operation on the site would eventually be closed. My father always envisioned something exciting happening on the property, something that would be a real benefit to the community.

Kiefer concrete still owns land in the River District. I think Block One is a wonderful addition to the neighborhood and ask that you approve it.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Kiefer", with a long horizontal flourish extending to the right.

Jerry Kiefer



Hi Ted -

I am in strong support of this very creative River District project and believe it is unique in its successful mixed use architecture and design as well its sensitivity to its river-adjacent site while at the same time creating Fort Collins first river frontage restaurant.

And this project creates the precedent for eclectic River District development which is complementary to Old Town but also unique to the Willow Street industrial heritage.

Jon



1013 E. HARMONY RD. FT. COLLINS, COLORADO 80525 970-223-4000

February 28, 2013

Administrative Hearing Officer
C/O – Ted Shepard
Current Planning – City of Fort Collins
P.O. Box 580
Fort Collins, CO 80522

Re: Block One – Linden Bridges – Encompass Software

Dear Mr. Shepard:

I am writing in support of the Block One project in Old Town that will be in front of the Planning and Zoning Committee next week.

Since opening the FirstBanks in Fort Collins 20 years ago, I have regularly been engaged in the community. Whether it is affordable housing, human services, church or chamber of commerce work, I have prided myself on being knowledgeably involved with Fort Collins' most pressing issues. One issue that has been regularly supported by most citizens is the Old Town area. People in town want it to be great in all respects: economically, aesthetically and environmentally. The City of Fort Collins, the DBA and the DDA have consistently stated and affirmed that a healthy Old Town should be drawn toward and include the Poudre River. This is fitting since the river was the reason for the Fort originally.

Undoubtedly, the Block One project accomplishes the wishes and policy goals of the entire Fort Collins community as stated above. Drawing Old Town Fort Collins to the Poudre River with a quality, environmentally sensitive, job creating project will set a high standard for future north Fort Collins developments. I hope the Current Planning Department will carefully study the many benefits of this project and unanimously approve it to proceed.

I plan to attend the hearing on March 12th in support of the Block One project. Feel free to contact me to discuss the matter if that would be helpful in your deliberations.

Sincerely,

A handwritten signature in blue ink that reads "Patrick M. Brady". The signature is fluid and cursive, with a long, sweeping tail on the letter "y".

Patrick Brady, President
FirstBank – Northern Colorado

DOUG HUTCHINSON

1315 WHEDBEE STREET • FORT COLLINS, COLORADO • 80524-4131
PHONE: 970 482-1516
E-MAIL: DOUGPHUTCH@AOL.COM

March 1, 2013

Administrative Hearing Officer
% Ted Shepard
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

Dear Hearing Officer:

I am writing as a past mayor of the City of Fort Collins. Many planning documents have been approved over the years by the City Council regarding our goals and dreams for the downtown, the River District and the Poudre River. Also, the very successful UniverCity Connections effort was created to identify ways to bring the city, the university and the river together—and to involve citizens in defining the future of these core elements of our community. Two of the primary messages in all of this past work have been the need for exciting mixed use, infill development and the need to provide a way for people to connect to the river.

Block One is a perfect example of what we have been seeking. The design is a wonderful mixed use project bringing employment, housing and entertainment to the River District. I will not be at all surprised if the design wins several architectural awards upon completion. Secondly, this project begins to address the city goal of upgrading the river bank for both erosion control and aesthetic purposes. It is currently an eyesore of old concrete. The restaurant and other outdoor seating areas will allow the general public to enjoy a beautiful setting along the river. I believe this will generate additional community support for the importance of preserving and enhancing the river corridor.

Please approve Block One. It is exactly what we envisioned when I served as mayor, and I strongly believe it reflects the values of our community.

Sincerely,



Doug Hutchinson

Mayor of Fort Collins, 2005-201



February 28, 2013

Savory Spice Shop
123 N. College Avenue #100
Fort Collins, Colorado 80524

Administrative Hearing Officer
%Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

RE: Block One Support

Dear Ted:

I am writing in support of the proposed Block One development located at 418 Linden Street next to the Poudre River . I am a downtown business owner (Savory Spice Shop), and a downtown resident (210 W. Magnolia). I care deeply about the health of the Poudre River as evidenced by the special attention I paid to the Poudre River when I designated 1992 The Year of the River in my first State of the City Address as Mayor of Fort Collins. I also care deeply about the vitality of downtown Fort Collins.

I understand that the proposed development includes two floors of office, two floors of apartments and a restaurant overlooking the river. It is exactly what the community has been encouraging in planning documents for redevelopment of the River District. There are very few locations on the Poudre River that are suitable for development like the proposal for Block One so it is important to give life to the planning vision through the approval of this project.

My husband and I have lived downtown for nearly six years and I have worked within walking distance of my residence for the past two years and the combination of residential units, employment opportunities and dining is invigorating. I hope others can enjoy the benefits of an integrated lifestyle with options like the development on Block One.

There is no doubt that the natural values of the river corridor should be preserved and I believe the community's River Corridor planning documents carefully balance the ecosystem needs with the opportunities for human enjoyment of the Poudre River. The Block One proposal under consideration is just the kind of development that should be allowed in this singular location.

Thank you for working on behalf of all citizens of Fort Collins and on behalf of ecosystem values. I know that the tough decision you make will be carefully considered.

Sincerely,

Susan Kirkpatrick, Former Mayor



1013 E. HARMONY RD. FT. COLLINS, COLORADO 80525 970-223-4000

February 26, 2013

Administrative Hearing Officer
C/O Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

RE: Block One Support

Dear Mr. Shepard:

I am writing this letter in support of the proposed Block One development located at 418 Linden Street. The O'Neil's, owners of Encompass Technologies, are current customers of FirstBank and I have had the pleasure of working with them over the past year as they have worked endlessly to make the vision of their company headquarters and family legacy come to reality.

As a banking officer in Northern Colorado for the last 14 years, companies like Encompass Technologies are few and far between. This family-owned business has been built from the ground up with the sheer determination of father and son, Kent and Jonathan O'Neil. As with many start-ups, the amount of time given and capital contributed has been extensive. This successful business is now rapidly growing and instead of cashing out, the O'Neil's have decided to make a significant investment in their company and our community, by building a one of a kind headquarters for Encompass Technologies in downtown Fort Collins. This building allows them to deepen their roots in Fort Collins as they continue to hire local talent and support good paying jobs in our community.

The building is spectacular and cutting edge in many ways. The Block One development will, in my mind, be a landmark building in Old Town Fort Collins due to its location on the Poudre River. The City of Fort Collins has enjoyed the beauty and benefits of the Poudre River since it was founded. This mixed use building, at this location, is one of the few (if not only) spots on the river where the public can have dinner while hearing the Poudre bubble in the background, where an employee in the office space can bike to work on the trails system, and where a tenant of the apartments can be close to the beautiful views and nature surrounding them. This building will showcase the area and bring energy and new investment to the River District of Fort Collins.

For all of the reasons listed above, I am in full support of the Block One building as proposed. Please feel free to contact me at 970-282-3941 if you would like to discuss further.

Sincerely,

A handwritten signature in black ink, appearing to read "Nicole L. Reeves". The signature is fluid and cursive, with the first name "Nicole" being the most prominent.

Nicole L. Reeves
Executive Vice President

NLR/nlr



2644 S. TIMBERLINE ROAD FT. COLLINS, COLORADO 80525 970-267-9500

February 25, 2013

City of Fort Collins
Attn: Administrative Hearing Officer
c/o Ted Shepard
P.O. Box 580
Fort Collins, Co. 80522-0580

Re: Block One Development – 418 Linden St., Fort Collins, Co.

Dear Mr. Shepard:

I am writing to you and members of City Council to request your support and approval of the Block One Development located at 418 Linden St. in downtown Fort Collins. I understand that this project will be presented at an administrative hearing on March 12th. I am an active commercial real estate lender in the downtown area and have been involved over in several notable projects. I am not the lender on this project, but believe that it should receive your approval for several reasons:

1. The City of Fort Collins continues to receive accolades nation-wide for being a top rated city for families, retirees and students. I believe that the downtown area is known for being the “heart” of our entertainment district. However, recently, it is also quickly becoming the desired spot for business growth. Major employers are seeking downtown Fort Collins as their base of operations. This has been seen with notable companies, such as, OtterBox, Woodward, Spirae, and others. This project brings another primary employer, Encompass, to the downtown area.
2. This project marries primary employment, entertainment, and residential living into one highly desirable area. This proves to be an economically sustainable model by providing stability to a project over the long term. By bringing a project such as this to the River District, the City will effectively revitalize an area that is currently not highly attractive for business or housing.
3. This area is one of the only available to provide a one of a kind “River” dining experience. By allowing this beautiful natural resource to be the backdrop for this project, you will incent numerous nature lovers to experience the best of the beauty in Fort Collins. I believe this project will be the catalyst that the River District has needed for many years. We have had many community discussions on improving the River District, but with very little visible success to date. This project will be the first step towards reaching our community goal, but you cannot hide the restaurant space from the beauty of the river in order for it to be a success.

I believe the City will be very happy with the results of this project over the long term and ask for your support.

Sincerely,


Dawn M. Davis
Executive Vice President

Ted Shepard

From: Dan Eckles <deckles@realtec.com>
Sent: Thursday, February 28, 2013 9:29 AM
To: Ted Shepard
Subject: Block One support
Attachments: Zoning Code picture.pdf; PDP street view 7-16-12.pdf; 130109-Illustration_aerial w terrace.pdf

Ted,

I am very excited about this dynamic project proposed for on Block one. This is the turning point for this underutilized industrial neighborhood on the edge of Old Town. The project is converting an old cement plant into a beautiful commercial area that is more accessible to visitors and locals alike.

Not everyone is comfortable with getting out of their cars and walking down a bike path into the woods to get a peek at our wonderful Poudre River. To expose the river in a small commercial area such as this will bring more appreciation of this wonderful treasure to the citizens and visitors.

I support this project and hope the silent majority gets the opportunity to visit it in its completion. The only thing that makes us unique other than Old Town is the River that goes thru us. Let's help get it a little more exposure. Thanks for your time.

Respectfully,

Dan Eckles, CCIM, SIOR

Realtec Downtown, LLC

123 N College Ave., Suite 350

Fort Collins, CO 80524

Main 970.407.9900 | Cell 970.581.0220 | Fax 970.407.7885



February 26, 2013

Administrative Hearing Officer
%Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

RE: Block One Support

Mr. Shepard,

I am writing this letter in support of the proposed Block One development located at 418 Linden Street next to the Poudre River (the old Poudre Pre-Mix site). I am familiar with the proposed development and feel that it would be an amazing addition to our downtown community. It is my understanding that this site is the only site in Fort Collins that can accommodate a restaurant with river views. I am a native of Fort Collins and a long time business owner that enjoys every aspect of the Poudre River. My family and I have fly fished and rafted the river every since I can remember. I am confident that the proposed development will only enhance the amazing experience that Fort Collins has to offer.

Sincerely,

Rodney Rice

Administrative Hearing office
C/O Ted Shepard Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

February 27, 2013

RE: Block One Support

As a longtime resident of Fort Collins and in general, a strong supporter of new development in infill locations within our city, particularly projects within the Old Town and River front zoning districts, I would like to voice my full support for the Proposed Block One Development at 418 Linden Street. My reasons are as follows.

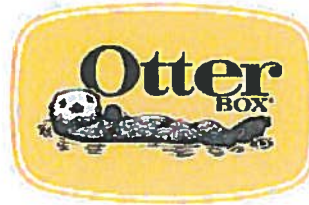
- It is my belief that this type of high quality redevelopment of old industrial sites addresses the City of Fort Collins intent and desire for this neighborhood when they created the River Front Zoning District in the first place. This project would be a tremendous improvement over the current vacant industrial use.
- I believe that the city code was put in place to encourage public use of this area of the river front, and I agree with their position on that.
- I understand that one of the concerns on the site is how close the building is to the river's edge. The city has purposely excluded a couple of downtown properties from the 300 foot buffer requirement, and this is one. To take full advantage of the river experience with the existing steep topography, it becomes necessary to set the building as close as possible.
- In many communities around the country, the river front areas are focal points for the general public's use and enjoyment. This is an opportunity for Fort Collins to do the same.

We need to always encourage companies to locate and employ people locally. Encompass will bring those things as well as a desire to do a beautiful and environmentally sensitive project to this site.

My name is Michael Hoffman. I have lived in Fort Collins since 1969 and have been in the Real Estate and development business for 30 years. Once again would like to offer my support for Encompass Technology's proposed mixed use project known as Block One.

Sincerely,

Michael S Hoffman
MS Hoffman Development Company LLC



Feb. 28, 2013

Administrative Hearing Officer
Att. Ted Shepard
Planning Department
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

Re: Block One Development Proposal

Dear Mr. Shepard,

As you are aware, OtterBox and Blue Ocean has made a major commitment to downtown Fort Collins. We know that employment and housing are critical to maintaining a healthy and exciting downtown. We are encouraged to see other projects in process that will further the future development of the downtown area.

Redevelopment of the River District is an integral part of the future of downtown Fort Collins. We are hoping that this will further the connection between the potential Woodward Campus to the East and what we have created to the West. Their design team for the Block One project has created a wonderful mixed use building that adds to the base of employment and housing downtown.

Encompass Technologies should be also be commended for taking the extra to keep the relocation and expansion of their corporate headquarters in the downtown area.

Please add me to the list of community members supporting Block One.

Sincerely,

A handwritten signature in black ink, appearing to read "Curt Richardson", written over a horizontal line.

Curt Richardson
Chairman, Otterbox

Ted Shepard

From: Dale Rushneck <dale.rushneck@comcast.net>
Sent: Wednesday, February 27, 2013 8:45 AM
To: Ted Shepard
Cc: Janelle Kechter; Rich Shannon
Subject: River Corridor Block 1 support

Hi Ted

Jan and I hope these days find you and Paula well. Dave gives us periodic reports.

Rich Shannon of Pinnacle Consulting asked that I review the sketches and information for Block 1. Jan and I took a look and we both feel it would be good for the city and for us. I lived in a city (Pittsburgh) with many restaurants with views of the rivers. Very pleasant experience on summer evenings.

So please add our names to the list of those who support the project.

If there's further information we can provide, please e-mail or call when convenient.

Best regards to you and Paula.

Jan & Dale

dale.rushneck@comcast.net
Phone: 970-223-2013



351 Linden Street, LLC
6955 Milner Mountain Ranch Rd.
Fort Collins, CO 80526
hperko@rivredev.com

Feb. 26, 2013

Administrative Hearing Officer
%Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

RE: Block One Support

Dear Hearing Officer:

I am writing to you as the owner of the building at 351 Linden Street. The Block One project is a very exciting addition to the River District. It is the kind of project the city has been encouraging for many years. It helps provide employment and housing which is critical to any urban renewal effort. The restaurant will provide a key gathering place for all to enjoy the river and help energize the neighborhood. The excellent design of the building will set the tone for future development in the area.

I strongly encourage you to approve the Block One project.

Sincerely,
351 LINDEN STREET, LLC

A handwritten signature in blue ink, appearing to read "Howard A. Perko". The signature is fluid and cursive.

Howard A. Perko
Manager



February 25, 2013

To: City of Fort Collins
Planning Department

Attention: Ted Shepard

Re: Block One Development @ 418 Linden

To Whom It May Concern:

Back in 1992 and 1993 over a 150 citizens served on committee coined "Challenge Fort Collins". This was an 18 month process with monthly meetings and biweekly subcommittee meetings. The goal was to reach a consensus on what the next big project would be in Fort Collins. Each subcommittee came forward with their suggestion and over the last two months the projects were prioritized and presented to the larger committee. At the end of the day, one project was unanimously endorsed by the total group. The favored project was having a promenade along the Poudre River so that more Citizens of Fort Collins would be able to connect with the Poudre and enjoy its attributes.

Although that concept was never fulfilled, the idea has never left me and I know of many others who are disappointed this project never happened.

The Block One proposal would take an ugly industrial site and convert into a useful mixed use development that would encourage our Citizens to be more engaged with the Poudre. Although the restaurant would be a great amenity, having a local base job company locate there along with the residential component makes this project even more exciting for Fort Collins.

Individually, I have always supported projects or developments that enhance our City and the Block One Development is certainly one that I hope proceeds. I believe it would be the anchor to draw more interest from Old Town to Poudre.

Sincerely,

Ed Stoner

Old Town Square Properties

Administrative Hearing Officer
C/O: Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522



Re: Support for 418 Linden Street – Block One Development

Dear Sirs:

I am writing you to ensure you hear from community members in support of the above referenced project. So many times opponents of change are the only ones heard in the municipal process.

Kimberley Benjamin and I live at 209 2nd Street, in the Buckingham Neighborhood, about one block east of the river and this location. We enjoy the river corridor tremendously and believe there should be more opportunities to enjoy the river environment in the downtown setting.

This multi-use project is a perfect fit for this location. The idea that we can work, live, eat, and play near the river is amazing and should be embraced. The restaurant overlooking the river is a great concept and will prove to be a jewel in our community.

In my experience (5 years as a development review engineer for the City of Greeley and 7 years as a civil engineering consultant) with land use permits, I anticipate you will hear from community members who are opposed to change of any sort and who will argue that this project should not come to fruition. I challenge you to recognize their opposition as being tragically misplaced on this occasion. The existing and previous uses of this property are a much larger threat to the river environment and experience than any facet of the proposed development will be. This project will help reinvent this re-emerging part of our community and help soften the harsh industrial energy that does not harmonize well with the river aesthetic.

This proposal has integrity, sound planning, satisfies the intent of the River District redevelopment regulations, and can be carefully implemented while still protecting the adjacent river reach. More importantly, it will create another venue for our community to enjoy the river environment and experience the river's importance in our lives. This will lead to a better awareness that will bolster important protections of the river in years to come.

Additionally, the community just invested generously to improve Linden Street and provide a welcoming corridor from Old Town towards the Brewery District. Fort Collins implemented their vision for the street and improved sidewalks, planted trees, installed elegant street lighting, optimized parking, created gathering areas and rehabilitated utilities. We consciously completed all of this in an attempt to attract further investment and growth in the Old Town vicinity. It is

Corporate Headquarters
Downtown Golden
700 12th Street, Suite 220
Golden, Colorado 80401
Ph 303.940.9966
Fax 303.940.9959

High Plains
Downtown Greeley
710 11th Avenue, Suite 105
Greeley, Colorado 80631
Ph 970.353.7600
Fax 970.353.7601

Rocky Mountains
Ski Village
1815 Central Park Drive, #370
Steamboat Springs, Colorado 80477
Ph 970.879.1825
Fax 866.242.9106

inconceivable that we would now decide as a community to turn away a responsible development along that corridor that will allow our investment in Linden Street to grow.

We should all embrace this movement forward and welcome a new development that will do the following for this location and river corridor next to it:

- Stabilize the property and install protections for the river that are not currently in place.
- Beautify this emerging river sub-district of Old Town.
- Improve property values.
- Create a location that will encourage interaction with the river.
- Increase community benefits from the river resource.
- Retain an important, growing employer.

I would prefer to express my support of this project in person but I will be on a river rafting trip in southern Utah the week of the administrative hearing. Please don't let my absence diminish the value of my opinions herein.

I appreciate this opportunity to provide support for this important development. This is truly a unique project that will benefit the community in many ways.

Thank you for your time and consideration of this project.

Sincerely,



Rick Behning, P.E.
Division Manager



WESTERN STATES
BANK

February 21, 2013

Administrative Hearing Officer
%Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

RE: Block One Support

Planning and Zoning Board,

I am writing this letter in support of the Block One Development Project along the river in Old Town. The project provides for economic growth in Old Town, expands the current Old Town boundaries to the river's edge, should act as a catalyst for the "River District", and looks good.

It is my understanding that the proposed project adheres to the requirements of the City Plan and that the City can opt to shrink the 300ft set back requirement along the river. In this instance, I would request that the proposal be approved as requested.

Sincerely,

Mike Brown
SVP, Community Banking

February 21, 2013

Ted Shepard
Chief Planner
City of Fort Collins

Re: Block One Proposal

Ted:

Unfortunately I will be unable to attend the Planning & Zoning Board presentation of the proposed redevelopment of the property located on Linden Street at the Cache la Poudre River. The project, known as Block One, is proposed as a mixed-commercial structure within the River District Redevelopment Area. Please accept this letter as testimony in favor of the proposal.

Having been involved in numerous study, advisory and advocacy efforts related to the River and its ecology as it relates to the downtown business district, I am firmly in support of the vision related within the RDR Plan. Through many years and countless false starts, the 'cradle' of Fort Collins has eluded the vibrancy and economic success of Old Town, preserving the detritus of long-standing neglect. However, as a community we are the fortunate beneficiaries of visionaries willing to persevere against the headwinds of a small yet vocal minority determined to politicize the human element of river ecology; entrepreneurs willing to risk their own capital and personal reputations in pursuit of a community vision.

Block One is not a catalyst, but a critical validation of what is already occurring as the Plan gains form. River North, RMI2, Powerhouse Energy Institute, Legacy Senior Apartments, all tremendous examples of the renaissance underway. Block One not proposes interject employment opportunity, but a subtle enticement to reintroduce residents to its most important natural amenity – the Cache la Poudre River. What better way to celebrate this oft-neglected corridor than to invite people to experience its environs through a relaxing meal among friends and family?

The best way to preserve nature is to experience it.

Respectfully,

Joe Rowan
621 Gilgalad Way
Fort Collins, CO 80526

American International Investment and Trading Co., Inc.

**P.O. Box 1087
Laporte CO 80535**

February 21, 2013

Administrative Hearing Officer
%Ted Shepard
Current Planning
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

Dear Ted:

I am writing in support of the proposed development for Block 1 at 418 Linden Street.

I am the third generation to be a neighbor to this site by owning nearby 351 Linden since 1929 (now under new ownership) and have observed its changing use over the years. I have also been witness to the discussions over the years as to its best and most appropriate use, including concerns about its close proximity to the river. Its setback from the river was thoroughly discussed and agreed upon years ago during the adoption of City Plan. At that time there was agreement on the current setback. I find it compelling that the current proposal is nearly identical to the model drawing that is part of City Plan and the zoning code where it is presented as the ideal to strive for in future development of the site.

I have followed the current discussion and have not seen any new or compelling evidence to modify what had been previously thoroughly vetted and settled upon.

Please contact me if you have questions. Thank you for the opportunity to express my support for this proposed project.

Sincerely,



Bill Sears
President



November 26, 2012

Mr. Marc Virata
Engineering Department
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

Dear Marc:

Ranch-Way Feed Mills is familiar with the plans for the Block One project at 418 Linden. In exchange for relocating the Ranch-Way Feeds waterline that is on the Block One property, we agree to allow a limited construction access easement to allow deliveries to the site as long as it does not conflict with Ranch-Way Feeds operations.

Respectfully,
Kim and Bonnie Szidon

Bonnie Szidon
Kim Szidon

Book Center of the Rockies, Inc.
1331 Red Cedar Circle
Fort Collins CO 80524
(970)493-4840/493-8781-fax
neil@bkctr.com

February 21, 2013

Mr. Ted Shepard, Administrative Hearing Officer
Current Planning
CITY OF FORT COLLINS
PO Box 580
Fort Collins CO 80522

Dear Mr. Shepard:

When a project comes along such as Block One, we must work to see that it succeeds. Because of Block One, the City of Fort Collins has a chance to see significant improvement to Old Town. This Project will not only extend Old Town's charm, but will help the Arts Community situated close to the project while bridging the gap between Old Town and North Fort Collins.

In spite of New Belgium's lovely headquarters, and in spite of the enhancements at Catholic Charities, Linden Street north of El Burrito still leaves much to be desired. The river area is a mess.

The Project will clean up much of that mess while providing living, working and recreation space for the whole community. The Poudre River is an asset that this community has never taken full advantage of. Here is a chance. The River *can* retain its natural beauty as it contributes to a more vibrant downtown. So let's work to use the Poudre River to its fullest potential.

Businesses such as mine in North Fort Collins have worked very hard with Council and City Staff to make improvements north of the bridge. But there is so much more to be done. Please add my name to those who urge full City support for the outstanding Block One Project.

Sincerely,

Neil McCaffrey III,
Chairman/CEO

MEMORANDUM

TO: Ted Shepard, Chief Planner
FROM: Lucia A. Liley
RE: River District Block One Mixed Use – Encompass, PDP#120020
March 12, 2013 Administrative Hearing
Submittal of Evidence for Record
DATE: March 4, 2013

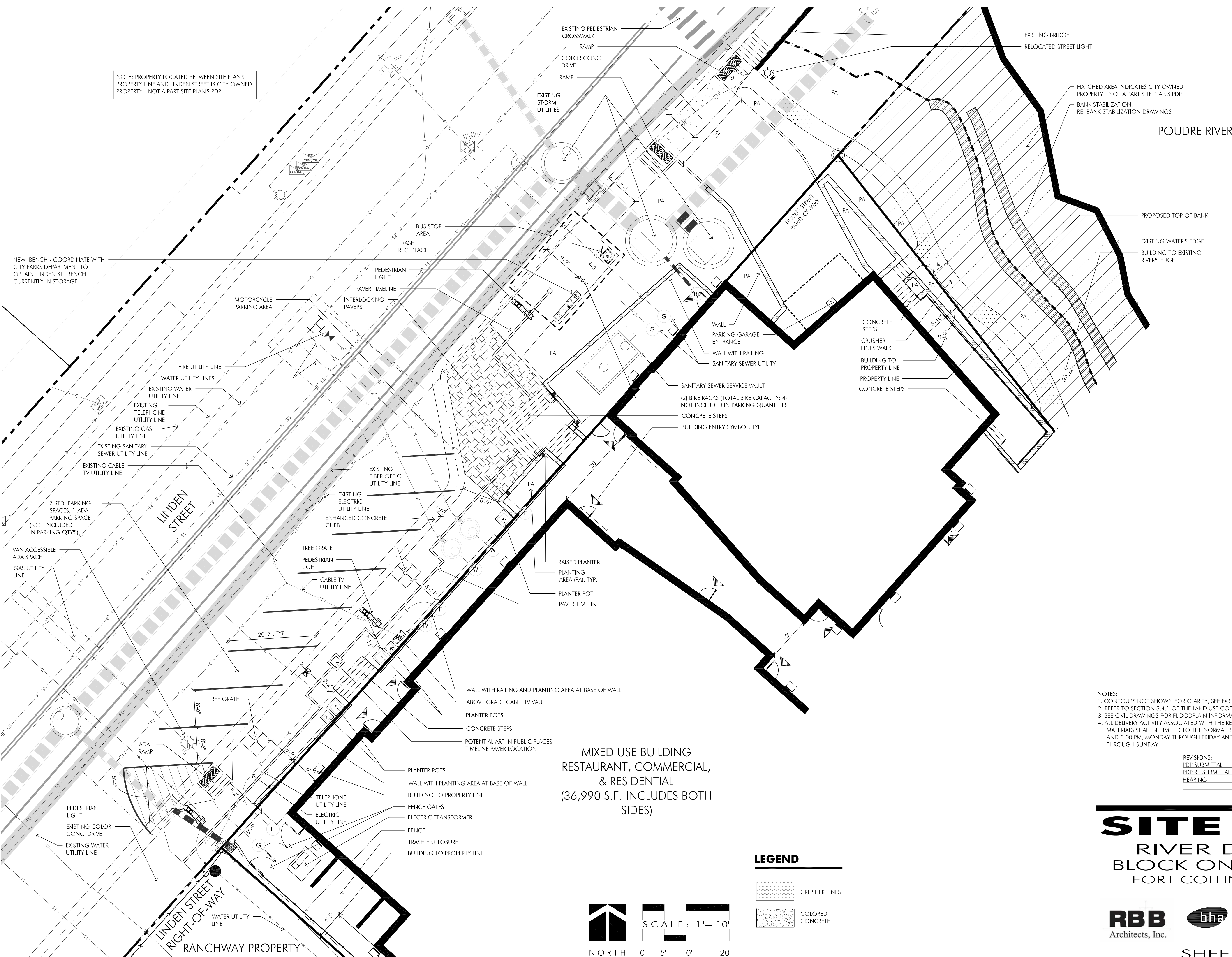
Attached for inclusion in the record of the March 12, 2013 Administrative hearing regarding the River District Block One Mixed Use project are the following documents regarding the project, together with duplicate CDs that each contain an electronic version of all of the documents. We are providing duplicates of the CD so that you can keep one for your file, and one can be provided to the Administrative hearing officer.

The documents provided are the following:

PDP submittal letter from BHA Design Incorporated dated July 17, 2012
Statement of Planning Objectives dated July 17, 2012
Legal Description
List of owners
List of Owners within boundary of development
List of street names (none)
Development Phasing Schedule
Title Commitment
Affected Owners List (3 pages)
Revised Ecological Characterization Study Letter Report from Cedar Creek Associations, Inc.
dated December 24, 2012
Transportation Impact Study, Delich Associates, July 2012
Subsurface Exploration Report, EEC, Inc.
Round Number 2 Staff comments and applicant responses, October 09, 2012
Letter of Intent from Ranch Way Feeds, dated November 26, 2012
Email from Marc Virata re Parks Department letter of intent
Certification of Mineral Estate Owner Notification
Depiction of Transition between Development & River
Depiction of Existing River Landscape Buffer
Depiction of Proposed River Landscape Buffer
Compact Vehicle Parking Exhibit
Colored depiction of site layout
Site Plan (2 sheets)
Landscape Plan (1 sheet)
Hydrozone Plan (1 sheet)
Tree Mitigation Plan (1 sheet)
Site Photometric Plan (2 sheets)
Floor plans (Garage level, Levels One through Four, Penthouse Level)

Elevations (2 sheets)
Perspectives (2 sheets)
Shadow Study (2 sheets)
Plan-Elevation-Section
Mixed use Development Section
Colored Aerial Perspective from north
Colored Perspective from Linden Street
Office, Storage, Parking plan dated January 17, 2013
Restaurant plan dated January 17, 2013
Elevation dated January 17, 2013
Utility Plans (Sheets C000, C001, C100 through C500)
Plat
Bank Stabilization plans (Sheets 1 through 9)
Preliminary Erosion Control and Drainage Report, Northern Engineering, September 18, 2012
Cache La Poudre River Bank Stability Evaluation and Design Report, Flywater, Inc., revised
January 2013

NOTE: PROPERTY LOCATED BETWEEN SITE PLANS PROPERTY LINE AND LINDEN STREET IS CITY OWNED PROPERTY - NOT A PART SITE PLANS PDP



NEW BENCH - COORDINATE WITH CITY PARKS DEPARTMENT TO OBTAIN 'LINDEN ST.' BENCH CURRENTLY IN STORAGE

HATCHED AREA INDICATES CITY OWNED PROPERTY - NOT A PART SITE PLANS PDP
BANK STABILIZATION, RE: BANK STABILIZATION DRAWINGS

POUDRE RIVER

PROPOSED TOP OF BANK

EXISTING WATERS EDGE
BUILDING TO EXISTING RIVERS EDGE

CONCRETE STEPS
CRUSHER FINES WALK
BUILDING TO PROPERTY LINE
PROPERTY LINE
CONCRETE STEPS

MIXED USE BUILDING
RESTAURANT, COMMERCIAL,
& RESIDENTIAL
(36,990 S.F. INCLUDES BOTH SIDES)

NOTES:
1. CONTOURS NOT SHOWN FOR CLARITY, SEE EXISTING CONDITIONS AND GRADING PLANS.
2. REFER TO SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.
3. SEE CIVIL DRAWINGS FOR FLOODPLAIN INFORMATION.
4. ALL DELIVERY ACTIVITY ASSOCIATED WITH THE RESTAURANT, AND THE REMOVAL OF TRASH AND RECYCLABLE MATERIALS SHALL BE LIMITED TO THE NORMAL BUSINESS HOURS DEFINED AS BETWEEN THE HOURS OF 8:00AM AND 5:00 PM, MONDAY THROUGH FRIDAY AND BETWEEN THE HOURS OF 12:00 PM AND 5:00 P.M., SATURDAY THROUGH SUNDAY.

| REVISIONS: | DATE: |
|------------------|---------------|
| PDP SUBMITTAL | JULY 17, 2012 |
| PDP RE-SUBMITTAL | SEPT 18, 2012 |
| HEARING | FEB 27, 2013 |

SITE PLAN

RIVER DISTRICT BLOCK ONE MIXED USE FORT COLLINS, COLORADO

LEGEND

- CRUSHER FINES
- COLORLED CONCRETE

NORTH

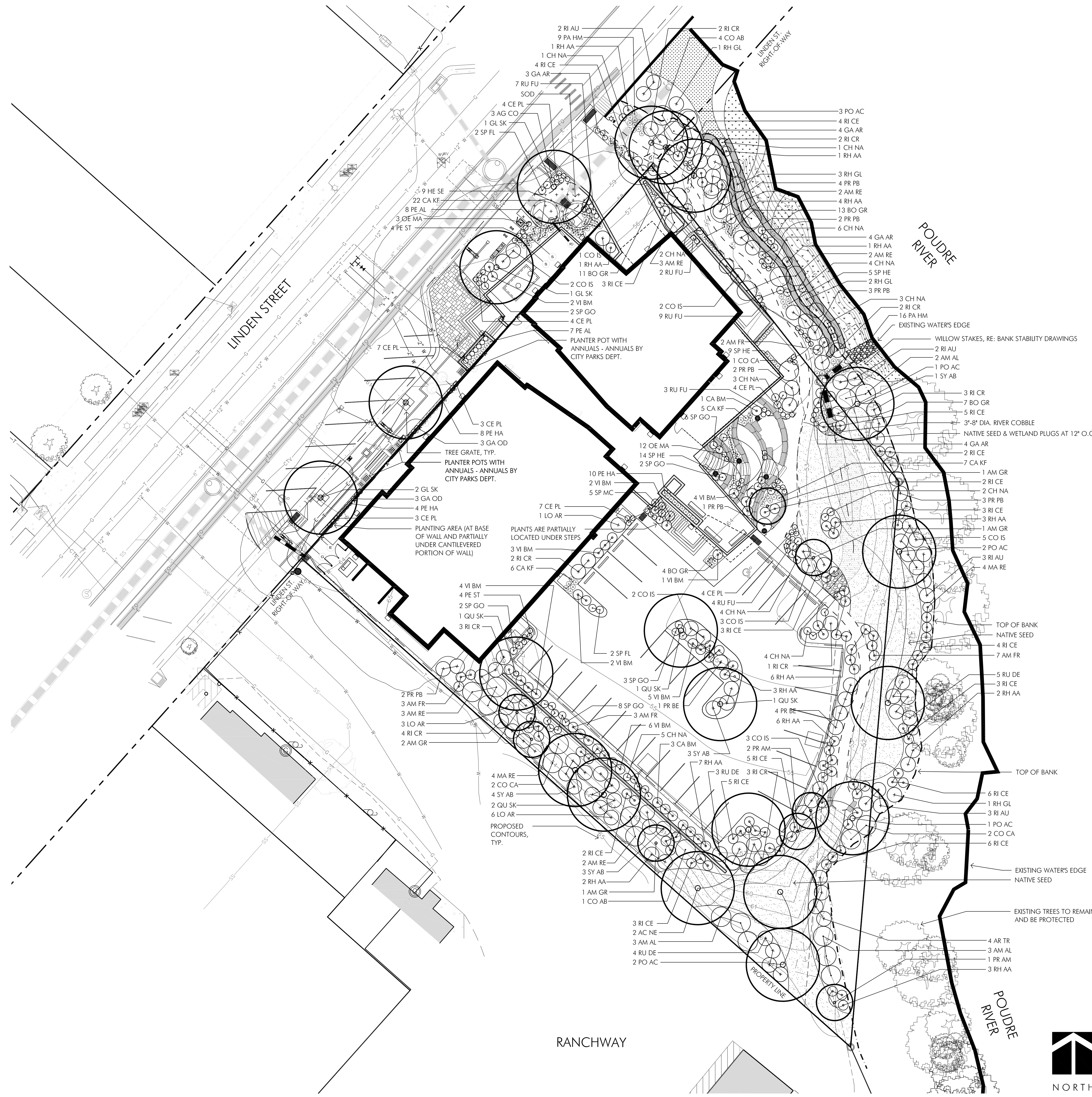
SCALE: 1" = 10'

0 5' 10' 20'

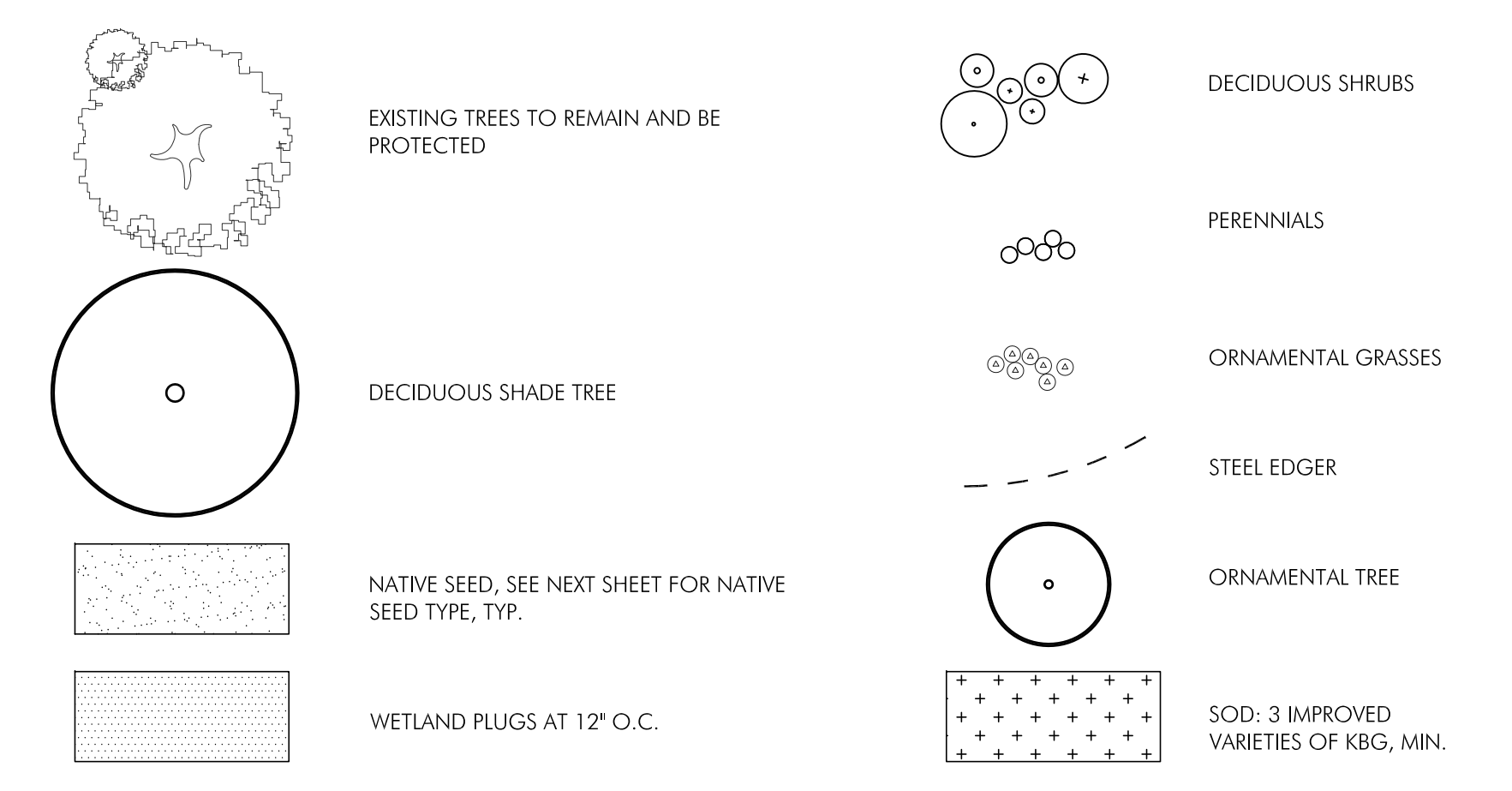
RBB Architects, Inc.

bha BHA Design Incorporated
1603 Oakridge Drive
Fort Collins, Colorado 80525
voice: 970.223.7577
fax: 970.223.1827

NORTHERN ENGINEERING



LEGEND



TREE PROTECTION NOTES

1. Within the drip line of any protected existing tree there shall be no cut or fill over a four-inch depth unless a qualified arborist or forester has evaluated and approved the disturbance.
2. All protected existing trees shall be pruned to the City of Fort Collins tree management standards for thinning and cleaning.
3. Prior and during construction, barriers shall be erected around all protected existing trees with such barriers to be of orange fencing a minimum of four (4) feet in height, secured with metal T-posts, no closer than six (6) feet from the trunk or at the drip line, which ever is greater. There shall be no storage or movement of equipment, material, debris or fill within the fenced tree protection zone. Modification of protective fence locations to accommodate construction shall be approved by the City Forester prior to moving or erecting a protective fence. Where the drip line of trees touch or overlap, place fence around groups of trees.
4. During construction there shall be no cleaning of equipment or materials or the storage and disposal of waste material such as paints, oils, solvents, asphalt, concrete, motor oil or any other material harmful to the life of a tree within the drip line of any protected tree or group of trees.
5. No damaging attachments, wires, signs or permits may be fastened to any protected tree.
6. The installation of utilities, irrigation lines or any underground fixture requiring excavation deeper than six (6) inches shall be accomplished by boring under the root system of protected existing trees at a minimum depth of twenty-four (24) inches. The auger distance is established from the face of the tree (outer bark) and is scaled from the tree diameter at breast height as described in the tree protection chart of the Fort Collins land use code section 3.2.1.
7. Construction shall be performed in a manner to not damage any existing tree. Clearance pruning of any tree on site shall only be by a Fort Collins licensed arborist following City of Fort Collins tree management standards under the direction of the City Forester.
8. Equipment access/drives shall be positioned to minimize travel over the root system of any existing tree. Equipment drive locations over the root system of any significant tree shall be approved by the City Forester with requirements to protect the soil from being compacted.
9. Large property areas containing protected trees and separated from construction or land clearing areas, road rights-of-way and utility easements may be "ribboned off," rather than erecting protective fencing around each tree as required in subsection (G)(#) above. This may be accomplished by placing metal T-post stakes a maximum of fifty (50) feet apart and tying ribbon or rope from stake-to-stake along the outside perimeters of such areas being cleared.

NOTES:

1. SEE TREE MITIGATION PLAN FOR EXISTING TREES TO BE REMOVED, EXISTING TREES TO REMAIN AND BE PROTECTED, EXISTING TREES TO BE PRUNED, AND FOR EXISTING TREE LOCATIONS, SPECIES, AND CONDITION.
2. (7) SHADE TREES OF INCREASED CALIPER (3" CAL.) IS REQUIRED TO SATISFY THE TREE MITIGATION REQUIREMENTS. (14) SHADE TREES OF INCREASED CALIPER (3" CAL.) HAVE BEEN PROVIDED.
3. NATIVE SEED SHALL BE IRRIGATED.
4. ALL TREES, SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES ARE IN THE 'MODERATE' HYDROZONE. NATIVE SEED IS IN THE 'LOW' HYDROZONE. SEE HYDROZONES SHEET 2.
5. WATER UTILITIES SHALL REVIEW AND APPROVE IRRIGATION SYSTEM DRAWINGS PRIOR TO ISSUANCE OF A BUILDING PERMIT.
6. SEE SPECIFICATIONS FOR TOPSOIL CONSERVATION, RELOCATION, AND LANDSCAPE SOIL PREPARATION.
7. PRIOR TO REMOVING ANY TREES ON THE SITE CONTACT THE CITY FORESTER FOR AN ON SITE MEETING TO VERIFY TREES FOR REMOVAL AND THOSE FOR RETENTION.
8. REFER TO SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.
9. SEE CIVIL DRAWINGS FOR FLOODPLAIN INFORMATION.

INTERNAL PARKING LOT LANDSCAPING TABLE

LANDSCAPING WILL BE PROVIDED AS FOLLOWS:

| | |
|--------------------------------------|-------------|
| PARKING LOT SIZE | 11,457 S.F. |
| 10% REQUIRED | 1,146 S.F. |
| 14% PROVIDED INTERNAL TO PARKING LOT | 1,650 S.F. |

CANOPY SHADE TREES PROVIDED:

CODE REQUIRES (1) CANOPY SHADE TREE PER 150 S.F. OF INTERNAL LANDSCAPING (1,650 S.F./150 = 10.9) 12 CANOPY SHADE TREES PROVIDED (3 PROVIDED IN INTERNAL LANDSCAPING, 8 PROVIDED IN PERIMETER LANDSCAPING, 1 PROVIDED 'NORTH' OF PARKING LOT)

PERIMETER LANDSCAPING PROVIDED:

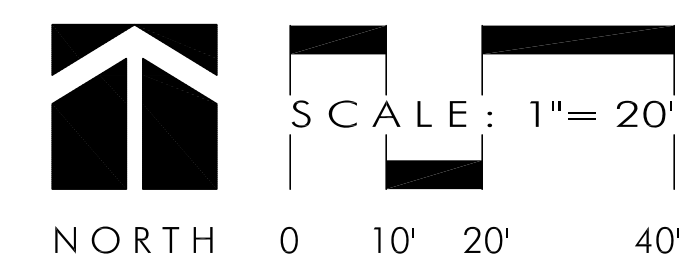
CODE REQUIRES PARKING LOT PERIMETER LANDSCAPING OF 1 TREE PER 40 L.F., 138 L.F. ALONG RANCHWAY PROPERTY LINE (138/40 = 3.5 TREES) 8 TREES PROVIDED

OF 1 TREE PER 40 L.F., 102 L.F. ALONG POUDRE RIVER PROP. LINE (102/40 = 2.5 TREES) 6 TREES PROVIDED

TOTAL REQUIRED = 6 TREES 14 TREES PROVIDED

| | |
|------------------|---------------|
| REVISIONS: | DATE: |
| PDP SUBMITTAL | JULY 17, 2012 |
| PDP RE-SUBMITTAL | SEPT 18, 2012 |
| HEARING | FEB 27, 2013 |

LANDSCAPE PLAN
RIVER DISTRICT
BLOCK ONE MIXED USE
FORT COLLINS, COLORADO



RBB
Architects, Inc.

bha

BHA Design Incorporated
 1603 Oakridge Drive
 Fort Collins, Colorado 80525
 voice: 970.223.7577
 fax: 970.223.1827

NORTHERN ENGINEERING

WATER BUDGET CHART

| HYDROZONE | AREA (s.f.) | WATER NEED (gallons/s.f.) | ANNUAL WATER USE (gallons) |
|----------------------|---------------|---------------------------------|----------------------------|
| HIGH | 276 | 18 | 4,968 |
| MODERATE | 16,375 | 10 | 163,750 |
| LOW | 6,018 | 3 | 18,054 |
| VERY LOW | 0 | 0 | 0 |
| TOTAL GALLONS | | | 186,772 |
| TOTAL S.F. | 22,669 | | |
| AVERAGE | | 8.24 GALLONS/S.F./SEASON | |

Notes:
1. The average needs to be a maximum of 15 gallons/S.F./season.

GENERAL NOTES FOR HYDROZONE COMPLIANCE

- Apply mulch at a maximum depth of three (3) inches.
- An irrigation plan is required to be submitted at the same time as the landscape plan in accordance with the requirements in the Land Use Code Section 3.2.1.J(2).
- When installing trees and shrubs, remove root ball wrapping materials (burlap, fabric, grow bags, twine, ties, wire basket, etc.) from the upper 12 inches or two-thirds of the root ball, whichever is greater after the tree or shrub is set in place.

SEED TYPES:

Native Seed: Low Grow Native or approved equivalent.
 10% Big Bluegrass (Sherman)
 10% Sandberg / Canby Bluegrass
 40% Arizona Fescue (Redondo)
 40% Sheep Fescue (Ovina)
 In addition to standard mix above, add additional
 15% Canada Rye and additional 15% Western Wheatgrass.

LANDSCAPE DESIGN OBJECTIVE/WRITTEN STATEMENT

The River District Block One Mixed Use Landscape plan consists of protecting the majority of the existing trees along the Poudre River and supplementing these existing trees with large quantities of native shrubs, thus enhancing the river landscape buffer between the proposed building and the river, and between the proposed parking lot and the river. The Poudre River edge and Ranchway edge of the site will be buffered with native deciduous trees, native deciduous shrubs, and native seed to create a riparian and upland riparian aesthetic (per Ecological Characterization Study). Low to moderate water use planting beds and low water use seed will be used to minimize the amount of water required to irrigate the landscape. Along the Linden Street edge, plantings will match the aesthetic of the recently completed Linden Street Streetscape and as one approaches the portion of the building located adjacent to the Poudre River the plantings will transition into a riparian aesthetic.

PLANT NOTES

- Landscape materials shall be in accordance with AAN specifications for Number One Grade.
- Turf areas shall be irrigated with an automatic pop-up irrigation system. Shrub beds and trees to be irrigated with an automatic drip (trickle) irrigation system. The irrigation plan shall be reviewed and approved by the City of Ft. Collins prior to the issuance of a building permit.
- Trees to be balled and burlapped, unless otherwise noted.
- Shrub areas shall be mulched with 3'-5" river rock cobble over weed barrier fabric, typ.
- Landscapeing shall be installed or secured with an irrevocable letter of credit, Performance Bond, or escrow account for 125% of the valuation of the materials and labor prior to issuance of a Certificate of Occupancy.
- Landscapeing shall be installed and maintained by the property owner, including trees and groundcover within the R.O.W.
- The following separations shall be provided between trees/shrubs and utilities:
 - 40 feet between canopy trees and street lights
 - 15 feet between ornamental trees and streetlights
 - 10 feet between trees and public water and sanitary and storm sewer lines
 - 4 feet between shrubs and public water and sanitary and storm sewer lines
 - 4 feet between trees and gas lines
- Field locate utilities prior to planting.
- To the maximum extent feasible, topsoil that is removed during construction activity shall be conserved for later use on areas requiring revegetation and landscaping.
- Perennial and ornamental grass beds to be mulched with 4" depth shredded wood mulch. No weed barrier shall be placed in these beds.
- The top 6 inches of topsoil will be stripped and stored on site. The soil will then be placed in the planting areas.
- The soil in all landscape areas, including parkways and medians, shall be thoughtfully loosened to a depth of not less than eight (8) inches and soil amendment shall be thoroughly incorporated into the soil of all landscape areas to a depth of at least six (6) inches by tilling, discing or other suitable method, at a rate of at least three (3) cubic yards of soil amendment per one thousand (1,000) square feet of landscape area.
- A free permit must be obtained from the City Forester before any trees or shrubs as noted on this plan are planted, pruned or removed on the public right-of-way. This includes zones between the sidewalk and curb, median and other city property. This permit shall approve the location and species to be planted. Failure to obtain this permit may result in replacing or relocating trees and a hold on certificate of occupancy.
- The developer shall contact the City forester to inspect all tree plantings at the completion of each phase of the development. All trees need to have been installed as shown on the landscape plan. Approval of street tree planting is required before final approval of each phase. Failure to obtain approval by the City Forester for the street trees in a phase shall result in a hold on certificate of occupancy for future phases of the development.

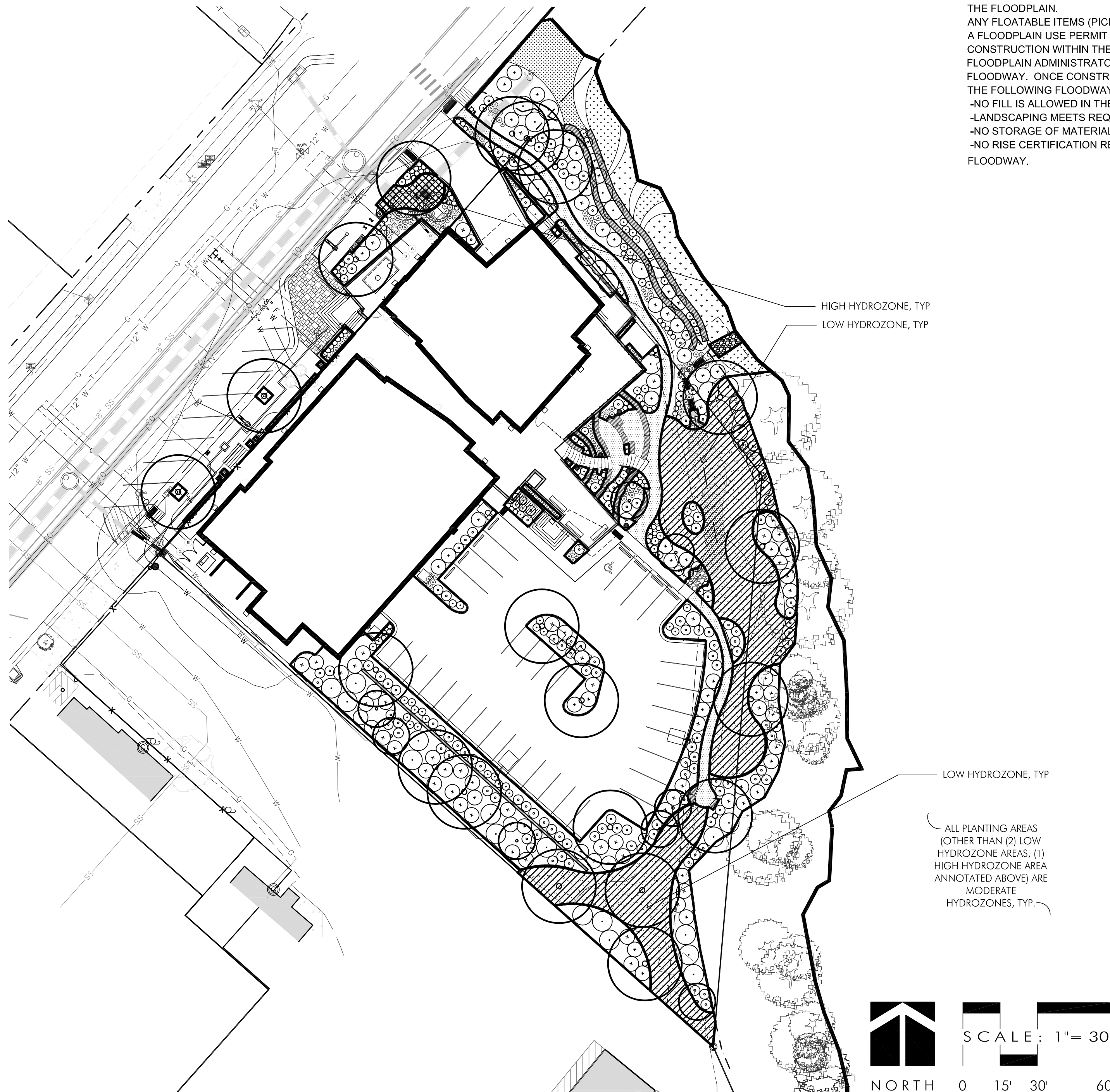
FLOODPLAIN/FLOODWAY CONSTRUCTION NOTES:

A FLOODPLAIN USE PERMIT WILL BE REQUIRED FOR THE SITE CONSTRUCTION ELEMENTS (WATER QUALITY PONDS, BIKE PATHS, PARKING LOTS, UTILITIES, ETC.) IN THE FLOODPLAIN.
 ANY FLOATABLE ITEMS (PICNIC TABLES, BIKE RACKS, ETC.) WITHIN THE FLOODPLAIN SHALL BE ANCHORED APPROPRIATELY.
 A FLOODPLAIN USE PERMIT WILL BE REQUIRED FOR THE REMOVAL OF EXISTING CONCRETE AND TREES WITHIN THE FEMA FLOODWAY. NOTE THAT ANY CONSTRUCTION WITHIN THE FEMA FLOODWAY WILL REQUIRE A CITY NO-RISE CERTIFICATION. CONTRACTOR SHALL CONTACT THE CITY OF FORT COLLINS FLOODPLAIN ADMINISTRATOR PRIOR TO CONSTRUCTION TO OBTAIN ALL REQUIREMENTS FOR DEMOLITION/CONSTRUCTION WITHIN THE FEMA 0.5-FOOT FLOODWAY. ONCE CONSTRUCTION WITHIN THE FEMA FLOODWAY IS COMPLETE A POST-CONSTRUCTION NO-RISE CERTIFICATION WILL BE REQUIRED.
 THE FOLLOWING FLOODWAY REGULATIONS MUST BE MET:
 -NO FILL IS ALLOWED IN THE FLOODWAY UNLESS A HYDRAULIC ANALYSIS SHOWS "NO RISE".
 -LANDSCAPING MEETS REQUIREMENTS FOR NO ENCROACHMENT IN THE FLOODWAY WITHOUT A HYDRAULIC ANALYSIS TO SHOW "NO RISE".
 -NO STORAGE OF MATERIALS OR EQUIPMENT IN THE FLOODWAY.
 -NO RISE CERTIFICATION REQUIRED BOTH FOR PRE-CONSTRUCTION AND POST-CONSTRUCTION FOR THE POND OUTLET PIPE AND ANY OTHER WORK IN THE FLOODWAY.

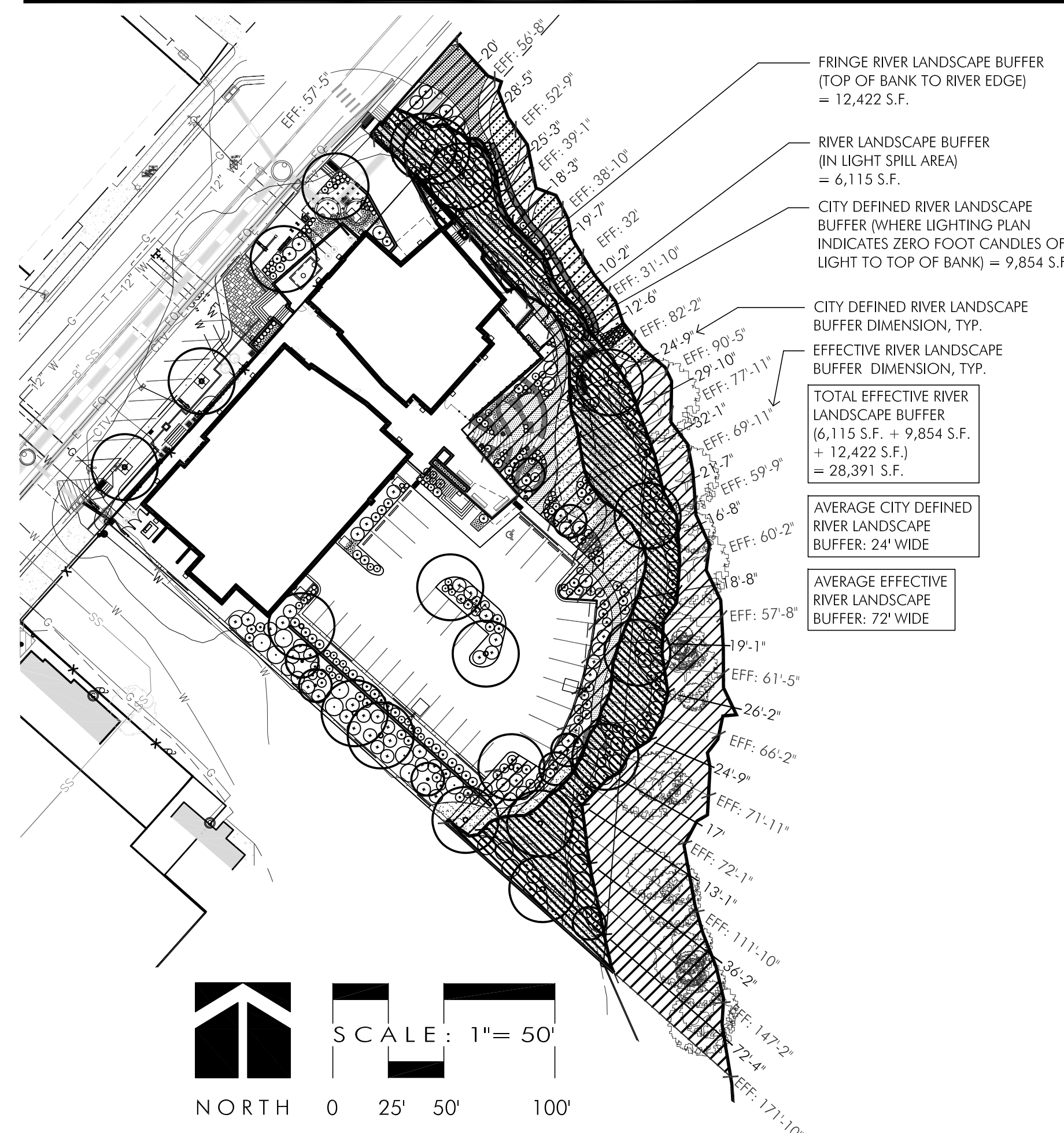
PLANT LIST

| Key | Botanical Name | Common Name | Size at Root Planting | Spacing | Quantity | Species Diversity |
|--|---|----------------------------------|-----------------------|---------|----------|-------------------|
| DECIDUOUS CANOPY TREE | | | | | | |
| GL SK | Gleditsia triacanthos inermis Skyline | Skyline Honeylocust | 3' Cal. | BB | See Plan | 4 |
| PO AC | Populus aluminata | Lanceleaf Cottonwood | 3' Cal. | BB | See Plan | 9 |
| QU SK | Quercus robur 'Pyramich' | Skymaster English Oak | 2' Cal. | BB | See Plan | 5 |
| AC NE | Acer negundo 'Sensation' | Sensation Boxelder | 2' Cal. | BB | See Plan | 2 |
| ORNAMENTAL TREES | | | | | | |
| AM GR | Amelanchier x grandiflora 'Autumn Brilliance' | Autumn Brilliance Serviceberry | 8' CLUMP | BB | See Plan | 5 |
| PR AM | Prunus americana | American Plum | 10' CLUMP | BB | See Plan | 3 |
| DECIDUOUS SHRUBS | | | | | | |
| AM AL | Amelanchier alnifolia | Saskatoon Serviceberry | 5 Gal. | Cont. | See Plan | 8 |
| CH NA | Chrysothamnus nauseosus | Dwarf Blue Rabbitbrush | 5 Gal. | Cont. | See Plan | 35 |
| CA BM | Caryopteris x clandonensis 'Blue Mist' | Blue Mist Spirea | 5 Gal. | Cont. | See Plan | 4 |
| CO AB | Cornus sericea 'Bailey' | Bailey Redwing Dogwood | 5 Gal. | Cont. | See Plan | 5 |
| CO IS | Cornus sericea 'Ivanii' | Ivanii Dogwood | 5 Gal. | Cont. | See Plan | 18 |
| LO AR | Lonicera tartarica 'Arnold's Red' | Arnold's Red Honeysuckle | 5 Gal. | Cont. | See Plan | 10 |
| PR PB | Prunus besseyi 'Pawnee Buttes' | Creeping Western Sandcherry | 5 Gal. | Cont. | See Plan | 17 |
| PR BE | Prunus besseyi | Western Sandcherry | 5 Gal. | Cont. | See Plan | 5 |
| RI AU | Ribes aureum | Golden Currant | 5 Gal. | Cont. | See Plan | 10 |
| RI CE | Ribes cereum | Wax Currant | 5 Gal. | Cont. | See Plan | 60 |
| RJ DE | Rubus deliciosus | Boulder Raspberry | 5 Gal. | Cont. | See Plan | 23 |
| SP GO | Spiraea japonica 'Goldflame' | Goldflame Spirea | 5 Gal. | Cont. | See Plan | 12 |
| SP MC | Spiraea japonica 'Magic Carpet' | Magic Carpet Spirea | 5 Gal. | Cont. | See Plan | 5 |
| SP FL | Spiraea x 'Flowering Choice' | Flowering Choice Spirea | 5 Gal. | Cont. | See Plan | 4 |
| AR TR | Artemisia tridentata | Big Sagebrush | 5 Gal. | Cont. | See Plan | 4 |
| SY AB | Symphoricarpos albus | White Snowberry | 5 Gal. | Cont. | See Plan | 11 |
| RI HA | Rhus trilobata 'Autumn Amber' | Creeping Three Leaf Sumac | 5 Gal. | Cont. | See Plan | 42 |
| VI BM | Viburnum dentatum 'Blue Muffin' | Blue Muffin Arrowwood Vib. | 5 Gal. | Cont. | See Plan | 29 |
| RI CR | Ribes odoratum 'Crandall' | Crandall Clove Currant | 5 Gal. | Cont. | See Plan | 22 |
| AM RE | Amelanchier alnifolia 'Regent' | Regent Serviceberry | 5 Gal. | Cont. | See Plan | 13 |
| CO CA | Cornus sericea 'Cardinal' | Cardinal Dogwood | 5 Gal. | Cont. | See Plan | 5 |
| RH GL | Rhus aromatica 'Gra-Lo' | Dwarf Fragrant Sumac | 5 Gal. | Cont. | See Plan | 7 |
| MA RE | Mahonia repens | Creeping Mahonia | 5 Gal. | Cont. | See Plan | 8 |
| AM FR | Amorpha fruticosa | Falset Indigo | 5 Gal. | Cont. | See Plan | 15 |
| ORNAMENTAL GRASSES | | | | | | |
| BO GR | Bouteloua gracilis 'Blonde Ambition' | Blonde Ambition Grama Grass | 1 Gal. | Cont. | See Plan | 35 |
| SP HE | Sporobolus heterolepis | Prairie Dropseed | 1 Gal. | Cont. | See Plan | 28 |
| CA KF | Calamagrostis acutiflora | Karl Forester Feather Reed Grass | 1 Gal. | Cont. | See Plan | 40 |
| PE AL | Pennisetum orientale 'Karley Rose' | Pink Oriental Fountain Grass | 1 Gal. | Cont. | See Plan | 15 |
| HE SE | Helictotrichon sempervirens | Blue Avena Grass | 1 Gal. | Cont. | See Plan | 9 |
| PA HM | Panicum virgatum 'Heavy Metal' | Blue Switchgrass | 1 Gal. | Cont. | See Plan | 25 |
| PE HA | Pennisetum alopecuroides 'Hamel' | Dwarf Fountain Grass | 1 Gal. | Cont. | See Plan | 22 |
| PERENNIALS, GROUNDCOVERS, & VINES | | | | | | |
| AG CO | Agastache suratanica 'Coronado' | Coronado Hyssop | 1 Gal. | Cont. | See Plan | 3 |
| CE PL | Ceratostigma plumbaginoides | Plumbago | 1 Gal. | Cont. | See Plan | 36 |
| GA OD | Gallium odoratum | Sweet Woodruff | 1 Gal. | Cont. | See Plan | 6 |
| OE MA | Oenothera macrocarpa | Missouri Evening Primrose | 1 Gal. | Cont. | See Plan | 15 |
| PE ST | Penstemon strictus | Rocky Mountain Penstemon | 1 Gal. | Cont. | See Plan | 8 |
| RJ SU | Rudbeckia fulgida 'Goldstrum' | Black Eyed Susan | 1 Gal. | Cont. | See Plan | 25 |
| GA AR | Gaillardia arstanis | Native Blanket Flower | 1 Gal. | Cont. | See Plan | 15 |

HYDROZONE PLAN



RIVER LANDSCAPE BUFFER



- NOTES:
 1. SEE TREE MITIGATION PLAN FOR EXISTING TREES TO BE REMOVED, EXISTING TREES TO REMAIN AND BE PROTECTED, EXISTING TREES TO BE PRUNED, AND FOR EXISTING TREE LOCATIONS, SPECIES, AND CONDITION.
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 5. WATER UTILITIES SHALL REVIEW AND APPROVE IRRIGATION SYSTEM DRAWINGS PRIOR TO ISSUANCE OF A BUILDING PERMIT.
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| REVISIONS: | DATE: |
|------------------|---------------|
| PDP SUBMITTAL | JULY 17, 2012 |
| PDP RE-SUBMITTAL | SEPT 18, 2012 |
| HEARING | FEB 27, 2013 |

HYDROZONE PLAN

RIVER DISTRICT BLOCK ONE MIXED USE FORT COLLINS, COLORADO



SHEET 2 OF 2
February 27, 2013