

# Conceptual Review Agenda

Schedule for 09/09/13 to 09/09/13

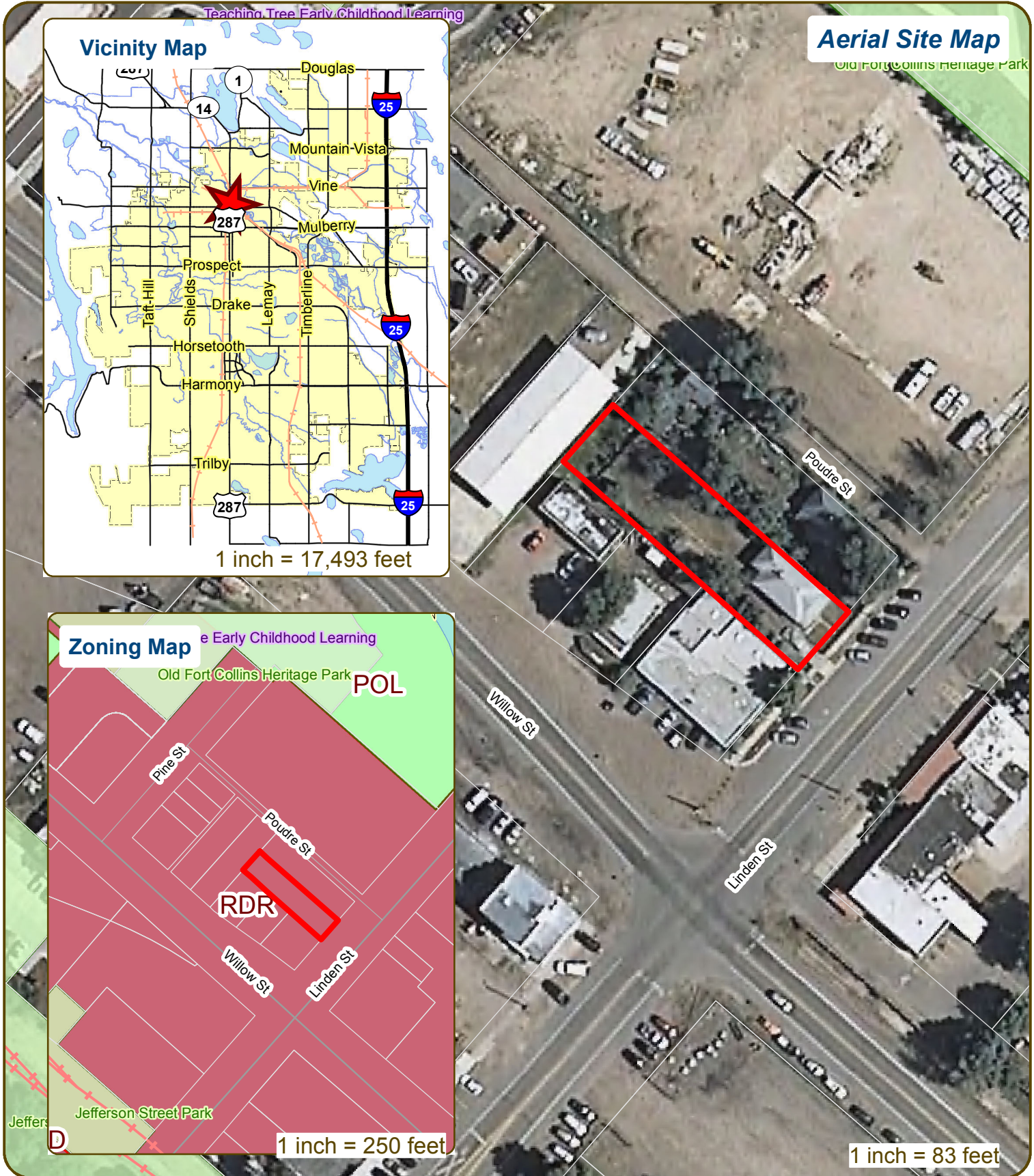
281 Conference Room A

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## Monday, September 9, 2013

Time	Project Name	Applicant Info	Project Description	Planner
9:30	405 Linden - Change of Use		This is a request for a change of use located at 405 Linden Street (Parcel# 97122-08-918). A single family home currently occupies the site and a new commercial use is envisioned. The site is located in the River Downtown Redevelopment (R-D-R) Zone District.	Lindsay Ex
10:15	Ladymoon Dr & Precision Dr - Office	Dave Derbes 970-672-1011 <a href="mailto:dave.derbes@brinkmanpartners.com">dave.derbes@brinkmanpartners.com</a>	This is a request to construct a new office building located at the northwest corner of Lady Moon Drive & Precision Drive in the Harmony Technology Park (Parcel# 86042-09-002). The new office building would be 2 stories and 30,600 square feet. The site is located in the Harmony Corridor (H-C) Zone District within an area designated for Primary Uses in the Harmony Technology Park Overall Development Plan. Offices and platting are subject to Administrative (Type 1) Review in the H-C Zone District.	Noah Beals
11:00	Avenir Museum Expansion	Fred Haberecht <a href="mailto:fred.haberecht@colostate.edu">fred.haberecht@colostate.edu</a>	This is a request for an expansion of the existing Avenir Museum located at 216 E Lake Street (Parcel# 97133-24-902). The majority of the expansion would occur to the east of the existing structure. The museum expansion will utilize a site plan advisory review (SPAR) with the Planning & Zoning Board.	Ted Shepard

# 405 Linden St Change of Use



**Aerial Site Map**

Old Fort Collins Heritage Park

**Vicinity Map**

Teaching Tree Early Childhood Learning

1 inch = 17,493 feet

**Zoning Map**

Teaching Tree Early Childhood Learning

Old Fort Collins Heritage Park POL

RDR

Jefferson Street Park

1 inch = 250 feet

1 inch = 83 feet

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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Jason Kersley - Consultant

Business Name (if applicable) [au]workshop

Your Mailing Address 280 Circle Dr, Fort Collins, CO 80524

Phone Number 907.430.5220 Email Address jkersley@auworkshop.co

Site Address or Description (parcel # if no address) \_\_\_\_\_

405 Linden Street - SW 1/2 NE 1/2 LOTS 2,4,6 AND 8 BLK 2 EX NWRLY 20 FT LOT 8 FTC

Description of Proposal (attach additional sheets if necessary) \_\_\_\_\_

Change of use from existing residential use to RDR zone permitted commercial office use.

Proposed Use Commercial / Office Existing Use Residential / Single family

Total Building Square Footage 1072 S.F. Number of Stories One Lot Dimensions 50' x 190'

Age of any Existing Structures 99 years

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [x] Yes [ ] No If yes, then at what risk is it? \_\_\_\_\_

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area Zero S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



PROJECT LOCATION



October 03, 2013

**Re:** 405 Linden - Change of Use

**Description of project:** This is a request for a change of use located at 405 Linden Street (Parcel# 97122-08-918). A single family home currently occupies the site and a new commercial use is envisioned. The site is located in the River Downtown Redevelopment (R-D-R) Zone District.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Lindsay Ex, at 970-224-6143 or [lex@fcgov.com](mailto:lex@fcgov.com).

**Comment Summary:**

**Department:** Zoning

**Contact:** Gary Lopez, 970-416-2338, [glopez@fcgov.com](mailto:glopez@fcgov.com)

1. Will there be any off-street parking associated with this office other than the one car driveway currently there? If so the parking regulations are can be found in the City's Land Use Code (LUC) 3.2.2.
2. This will be reviewed as a minor amendment.
3. As a submittal your site/landscaping plans should show existing plants and trees, those proposed to be removed, and new plants/trees proposed. Please show site/landscaping in the public ROW. Note that foundation plantings shall be required at a minimum along the front porch. Landscaping requirements can be found in LUC 3.2.1.
4. The property is not in the Residential Neighborhood Sign District thus the regular commercial sign district will apply and can be found in LUC 3.8.7(A thru. D and F thru. S).

**Department:** Water-Wastewater Engineering

**Contact:** Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)

1. Existing water mains and sanitary sewers in this area include a 12-inch water main and an 8-inch sewer in Linden and an 8-inch sewer in the alley to the northeast.
2. The existing water service to the property is a ¾-inch service.

3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. If a larger water service is needed, development fees and water rights will be due at building permit.

**Department: Transportation Planning**

**Contact: Ward Stanford, 970-221-6820, [wstanford@fcgov.com](mailto:wstanford@fcgov.com)**

1. Comments provided by Ward Stanford (970.221.6630 or [wstanford@fcgov.com](mailto:wstanford@fcgov.com))

Based upon the site being redeveloped from a SF home to an architectural office with 2-3 employees and no building square footage change, a traffic impact study (TIS) will not be required. If the future holds changes to the site a TIS may be required at that time.

2. Any landscaping changes adjacent/near access drives should be very cognizant of the significant amount of ped and bike traffic on Linden and provide good sight distance visibility per LCUASS standards from/to the access and Linden street.

**Department: Stormwater Engineering**

**Contact: Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)**

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. If there are no site changes and no increase in impervious area all that is needed is a statement in the planning objectives to document it. If there is an increase in imperviousness greater than 1000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns. If there is less than 1,000 but more than 350 square feet of new impervious area; a site grading and erosion control plan is required instead of a complete construction plan set.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. In this case the Downtown River District master plan does say the runoff can be limited to the existing conditions. The challenge may be the site drainage is to outfall directly to the Cache La Poudre River. If the runoff is conveyed to the river an offsite easement may be needed because there are other properties between the site and the river. The drainage master plan does also state that the site is not assumed to drain to storm lines A or D. If those lines are to be used an analysis would be needed to show they have the capacity. If the release rate is reduced to the 2 year existing rate using detention there may be capacity in those lines.
4. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the

use of any of the BMPs is encouraged.

5. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).  
LID design information can be found on the City's web site at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>. If there are no increases in impervious area please contact Basil Hamdan to seek a variance to the LID requirement.
6. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
7. The design of this site must conform to the drainage basin design of the Old Town Master Drainage Plan as well the Fort Collins Stormwater Manual. It must also comply to the supplement to the Old Town Drainage Plan which is the Downtown River District drainage plan.

**Department: Park Planning**

**Contact: Craig Foreman, 970-221-6618, [cforeman@fcgov.com](mailto:cforeman@fcgov.com)**

1. 1. 9/05/2013: No comments

**Department: Historical Preservation**

**Contact: Josh Weinberg, 970-221-6206, [jweinberg@fcgov.com](mailto:jweinberg@fcgov.com)**

1. If the property contains any buildings or structures 50 or more years old, the demolition or exterior changes to the buildings would need to be reviewed under the City's Demolition/Alteration Review Process, Municipal Code Section 14-72.
2. This process begins with a determination of a building or structure's eligibility for recognition as a Fort Collins Landmark, which identifies the appropriate review process(es). This review begins with current color photographs of each side of each building or structure, provided by the applicant. Sufficient photos should be taken to show the current condition of each building, as well as any previous alterations or additions. Digital photos are encouraged, and may be sent to [jweinberg@fcgov.com](mailto:jweinberg@fcgov.com) or [kmcwilliams@fcgov.com](mailto:kmcwilliams@fcgov.com). Hardcopies may be sent to P.O. Box 580, 80522; or dropped off at the Development Review Center, 1st Floor, 281 N. College Ave., attn. Josh Weinberg.
3. This property contains a building that was previously determined individually eligible for designation as a Fort Collins Landmark. Since determinations of eligibility are currently good for one year, staff recommends having the property re-reviewed.

4. The eligibility of a property for landmark designation does not, in any way, designate the property as a Landmark; it does define which of the various City review processes the development application would be reviewed under. If any of the buildings or structures are found to be individually eligible for Landmark designation, then the project would be reviewed for compliance with LUC Section 3.4.7. Section 3.4.7. is intended to ensure that, to the maximum extent feasible: (1) historic sites, structures or objects are preserved and incorporated into the proposed development and any undertaking that may potentially alter the characteristics of the historic property is done in a way that does not adversely affect the integrity of the historic property; and (2) new construction is designed to respect the historic character of the site and any historic properties in the surrounding neighborhood.
5. Properties that are designated, either as Fort Collins Landmarks or on the National and State Registers, may receive financial incentives. Financial programs include 20% State Tax Credits, \$7,500 yearly no-interest loans, \$15,000 Historic Structure Assessment grants, State Historic Fund grants of \$200,000 and more, and, for income producing properties, an additional 20% Federal Tax Credit. Any work, both interior and exterior, which protects or promotes a building's historic character by meeting the Secretary of the Interior's Standards (<http://www.cr.nps.gov/hps/tps/standguide/index.htm>) can qualify. For more details on financial incentives, please contact Historic Preservation staff.

**Department: Environmental Planning**

**Contact: Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)**

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (Poudre River). However, as there are several intervening parcels between the river and this property and the property's location within the R-D-R zone district, the buffer would not extend to this project's parcel, the ECS is waived for this site. However, please consider the use of native plants and grasses to compliment the natural feature, in accordance with Article 3.2.1 (E)(2)(3) of the Land Use Code.
2. Projects in the Vicinity of the Poudre River must also comply with Section 3.4.1(I)(1) of the Land Use Code, which states the following: Projects in the vicinity of large natural habitats and/or natural habitat corridors, including, but not limited to, the Poudre River Corridor and the Spring Creek Corridor, shall be designed to complement the visual context of the natural habitat. Techniques such as architectural design, site design, the use of native landscaping and choice of colors and building materials shall be utilized in such manner that scenic views across or through the site are protected, and manmade facilities are screened from off-site observers and blend with the natural visual character of the area. These requirements shall apply to all elements of a project, including any aboveground utility installations.
3. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site may have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
4. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

**Department: Engineering Development Review**

**Contact: Tyler Siegmund, 970-221-6501, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)**



1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project, if applicable.
7. A Development Agreement will need to be recorded once the project is finalized.
8. It is not anticipated that a Development Construction Permit (DCP) or Utility Plans will be required as there is no public infrastructure work or any work proposed in the city's right-of-way as part of this project. If plans change and public infrastructure is added to the scope of the project then a DCP and Utility Plan set will be required.
9. Reimbursement to the city for the developer's local street portion of the completed Linden St improvements along the frontage of the property will be required with this project. The reimbursement amount due to the city is \$9,690.00 for the 47.5 LF of property frontage along Linden St.

**Department: Electric Engineering**

**Contact: Justin Fields, 970-224-6150, [jfields@fcgov.com](mailto:jfields@fcgov.com)**

1. Contact Light and Power Engineering, 970-221-6700, if changes need to be made to the electrical service.

**Current Planning**

**Contact: Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)**

1. As indicated by zoning, this property will be reviewed as Minor Amendment due to the fact that the change of use (from residential to office) is permitted as the office was a use-by-right in the prior Land Use Code.
2. Key standards for reviewing the minor amendment will be property landscaping, architectural materials (specifically the character and image sections of 4.17(D)(3)(d) of the Land Use Code), and historic preservation standards.

More specifically, please consider how you will meet the outdoor spaces of the R-D-R zone district. Creating a small plaza area with native landscaping around it would meet these standards.

3. Please see Section 3.2.2 for minimum bicycle parking standards and maximum parking standards for

vehicles.

### **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2009 International Building Code (IBC)*

*2009 International Residential Code (IRC)*

*2009 International Energy Conservation Code (IECC)*

*2009 International Mechanical Code (IMC)*

*2009 International Fuel Gas Code (IFGC)*

*2009 International Plumbing Code (IPC)* as amended by the State of Colorado

*2011 National Electrical Code (NEC)* as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

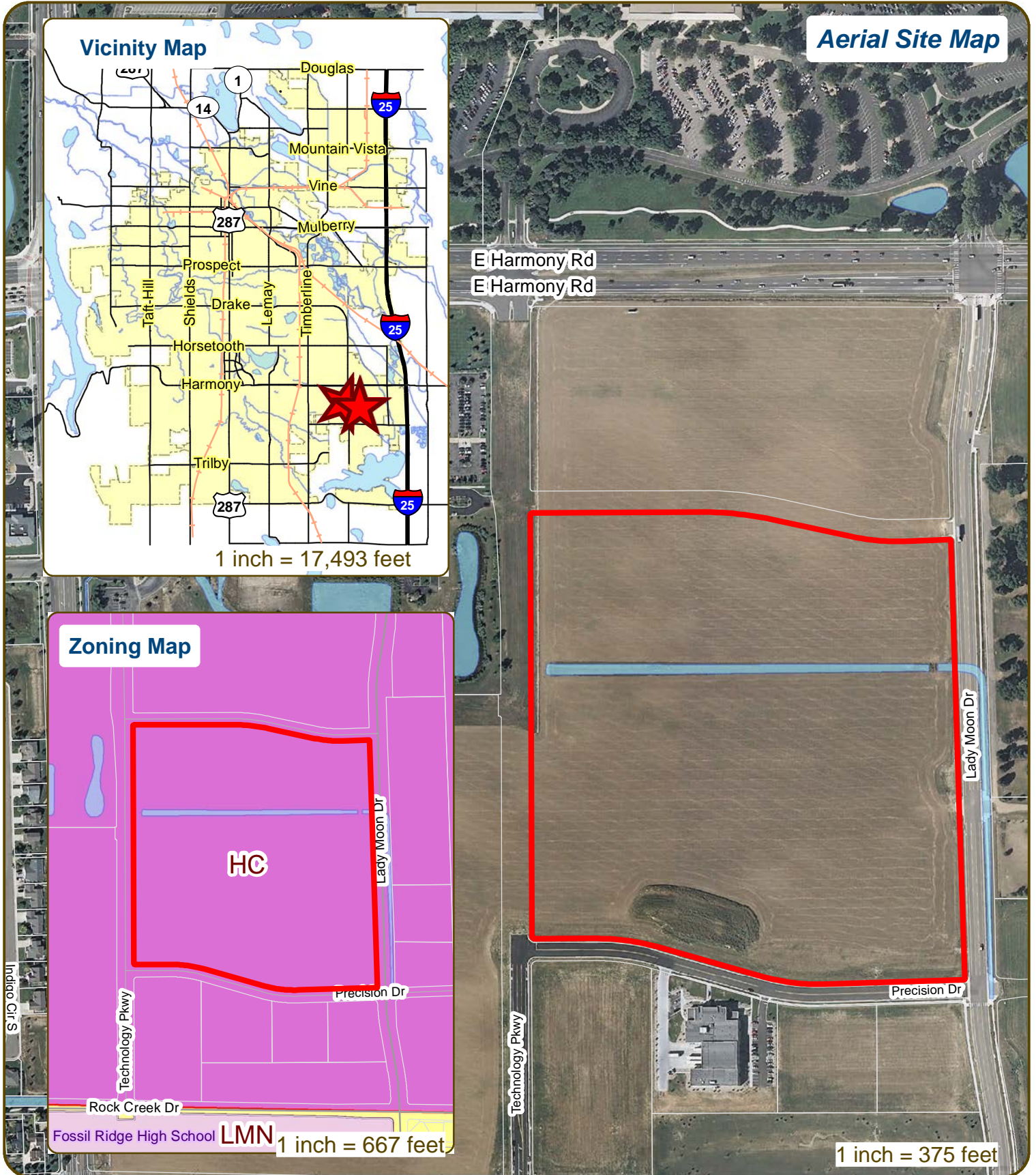
Energy Code Use

1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
416-2341

# Ladymoon Dr & Precision Dr Office



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Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Dave Derbes - Development Manager Kevin Brinkman - Owner

Business Name (if applicable) Brinkman Development, LLC

Your Mailing Address 3003 E. Harmony Road, Suite 300

Phone Number 970-672-1011 Email Address tina.hippeli@brinkmanpartners.com dave.derbes@brinkmanpartners.com

Site Address or Description (parcel # if no address) \_\_\_\_\_

Northwest corner of Lady Moon Drive & Precision Drive

Description of Proposal (attach additional sheets if necessary) Construction of new 2-story L-Shaped

Office Building. Site will need to be platted.

Proposed Use Office Existing Use \_\_\_\_\_

Total Building Square Footage 30,600 S.F. Number of Stories 2 Lot Dimensions 220' x 345'

Age of any Existing Structures No existing structures

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

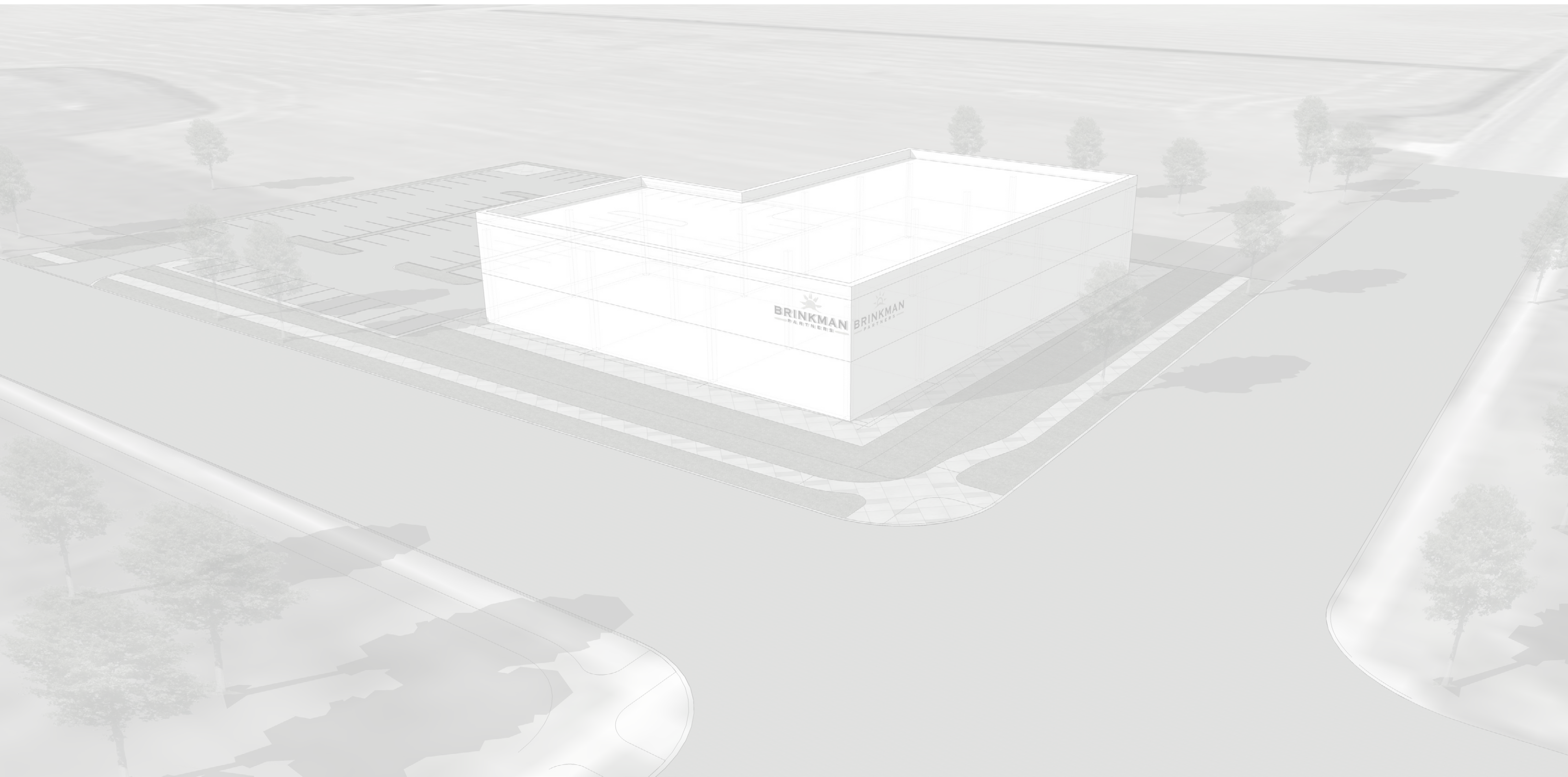
Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it? \_\_\_\_\_

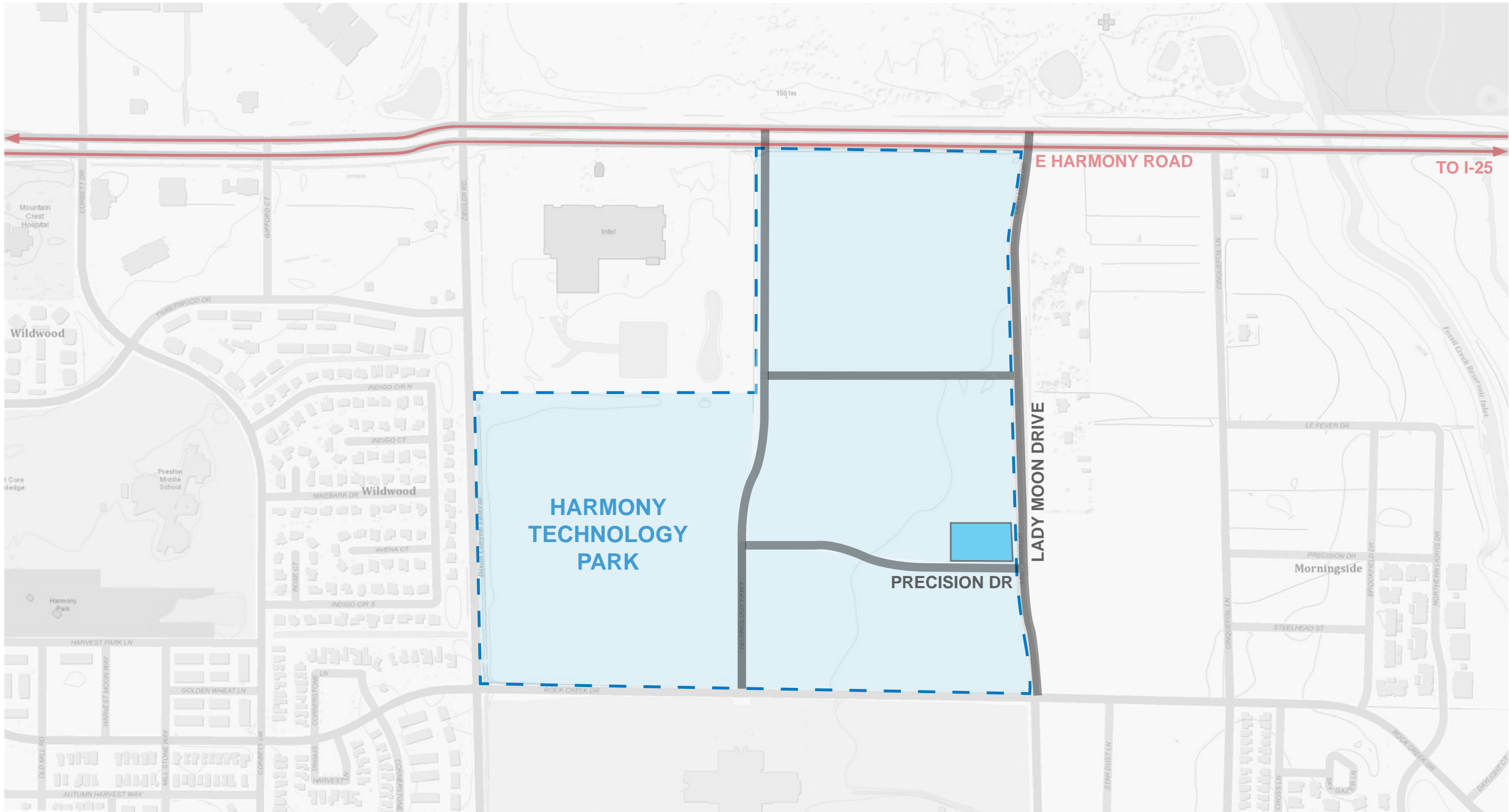
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Increase in Impervious Area 56,100 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

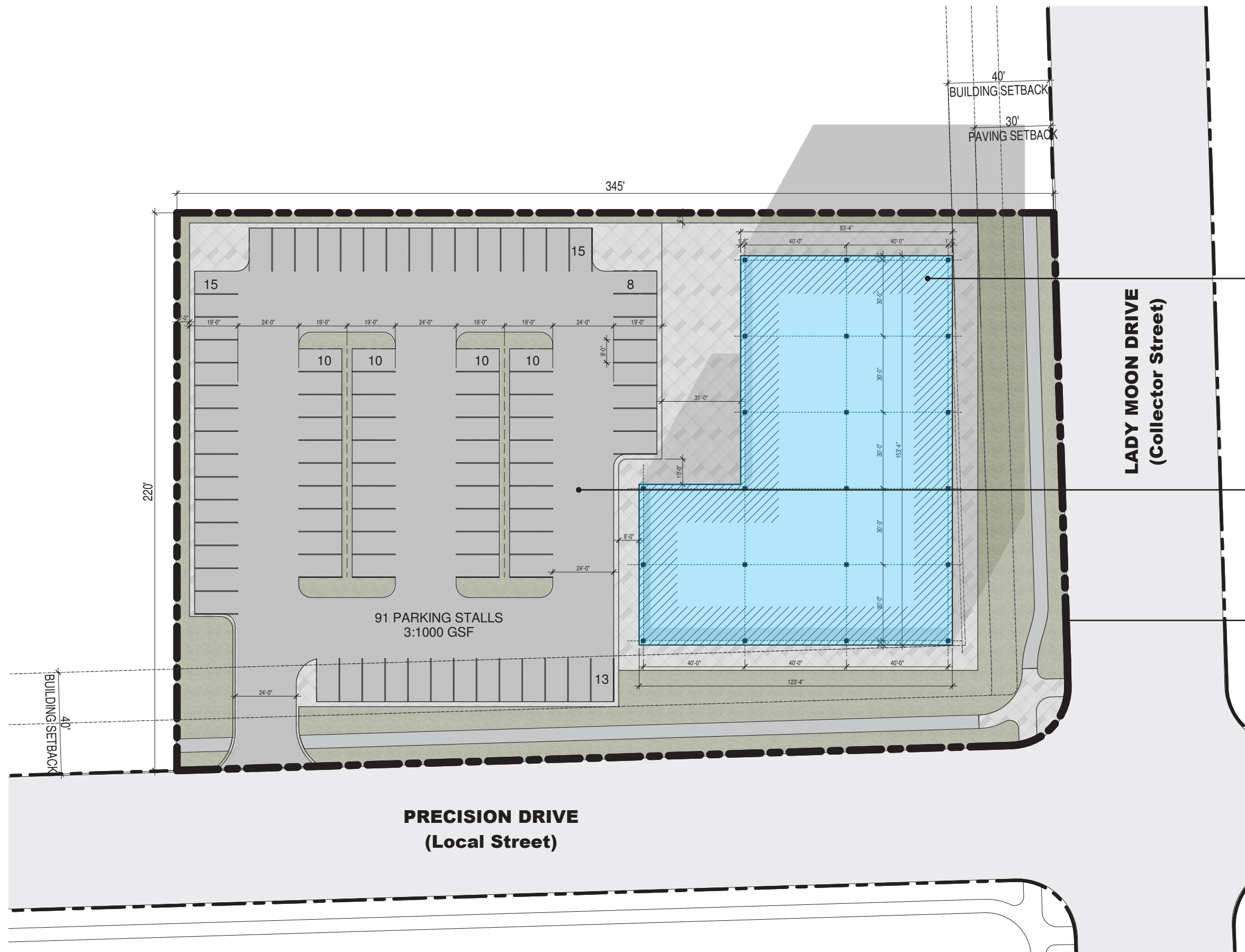
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Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?





CONTEXT PLAN



**BUILDING - 2 Story**  
 15,300 GSF Per Level  
 30,600 Total GSF

**PARKING -**  
 General Office 3:1000 MAX  
 91 Stalls  
 Parking Area - 34,000 SF  
 -4,100SF Landscaped  
 -29,900SF Impervious

**SITE -**  
 74,500 SF / 1.71 Acres

15,300SF Building Footprint  
 34,000SF Parking  
 25,200SF Open Space  
 -14,300SF Landscaped  
 -10,900SF Impervious

**TOTAL SITE COVERAGE -**  
 18,400 Pervious  
 56,100 Impervious

**SITE PLAN**

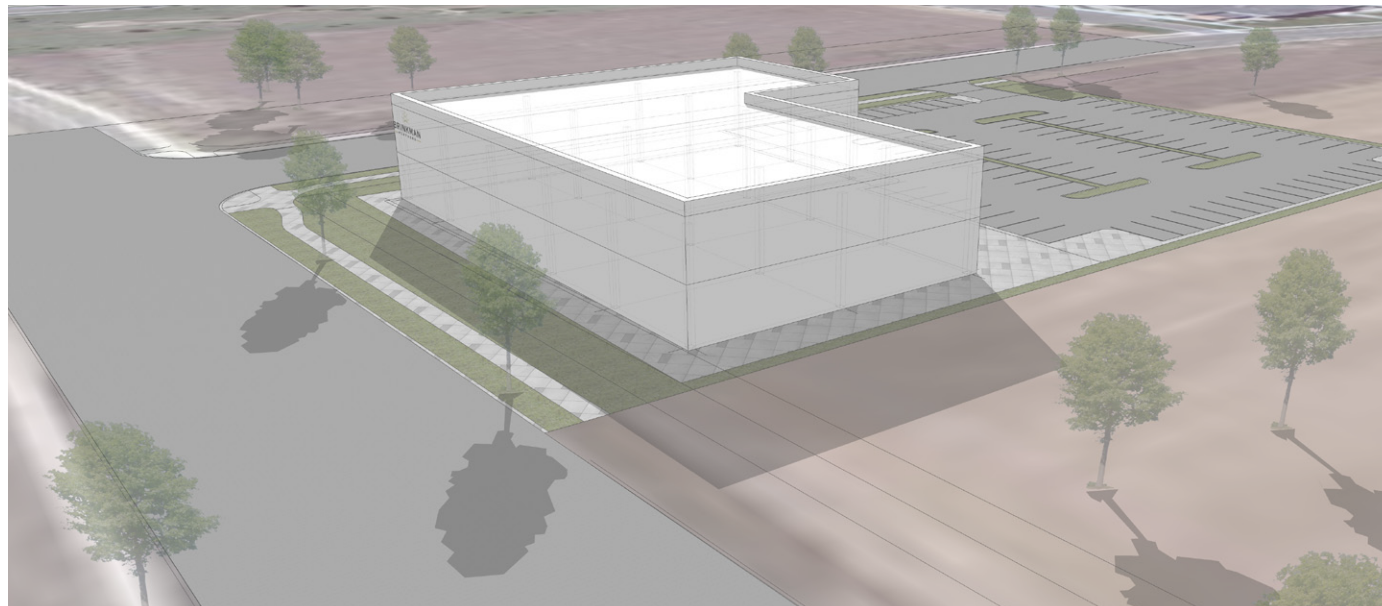


Southeast Corner

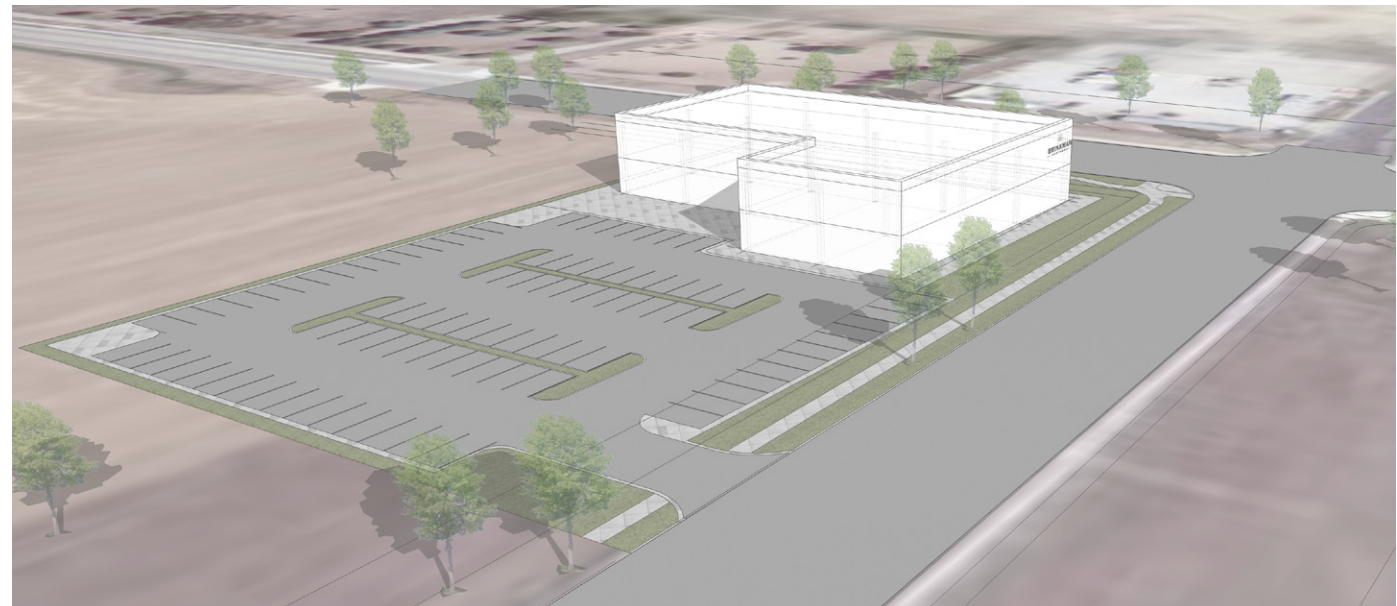


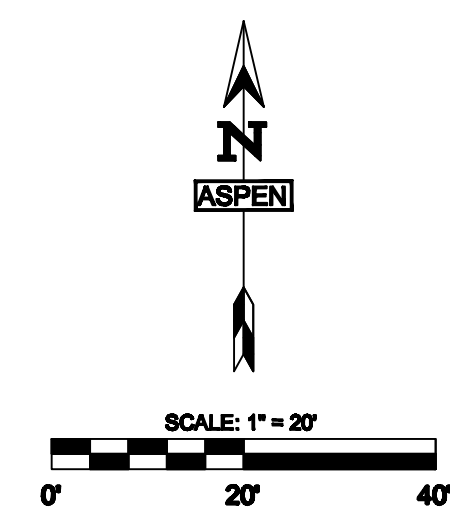
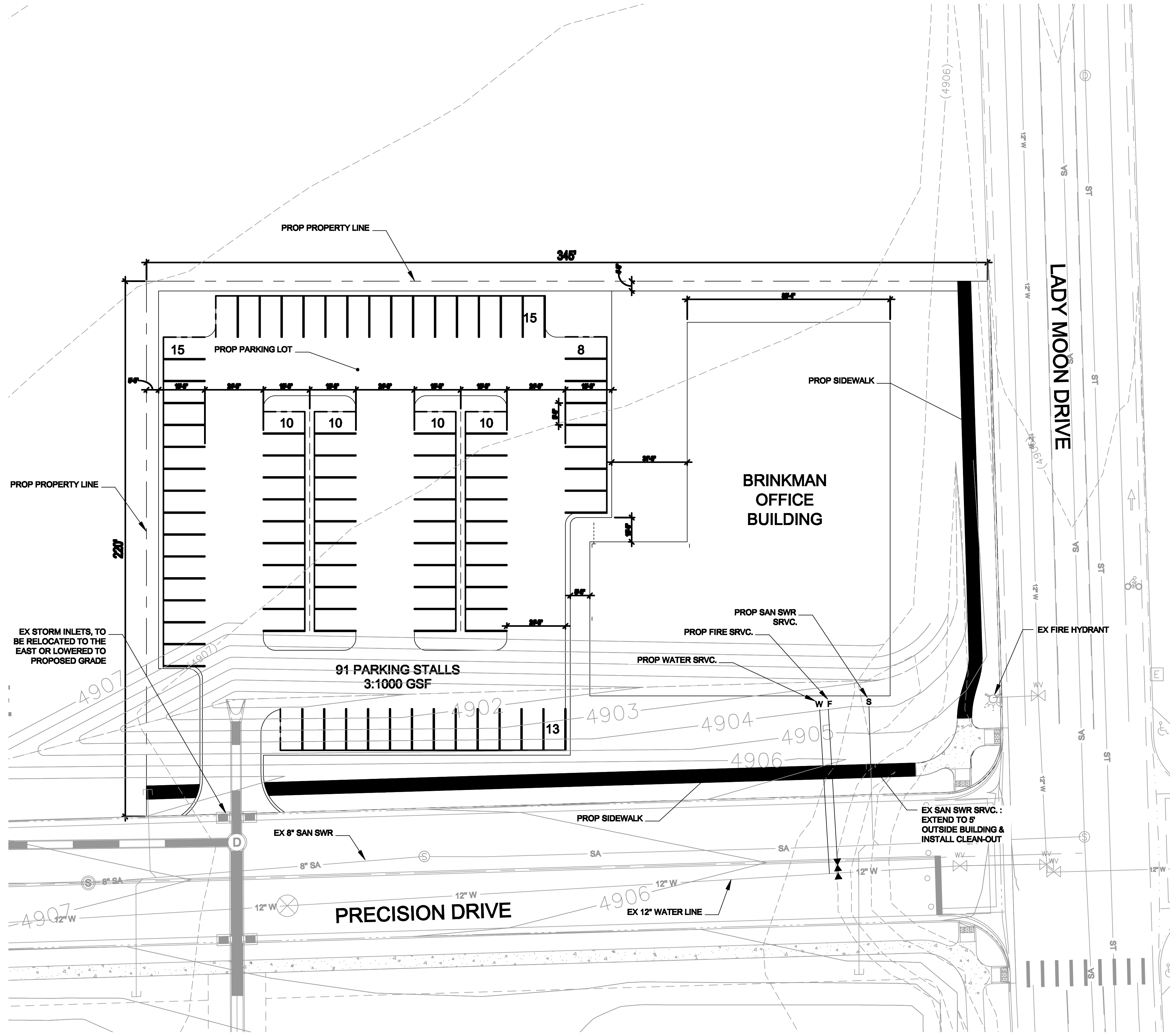
**MASSING**

Northeast Corner



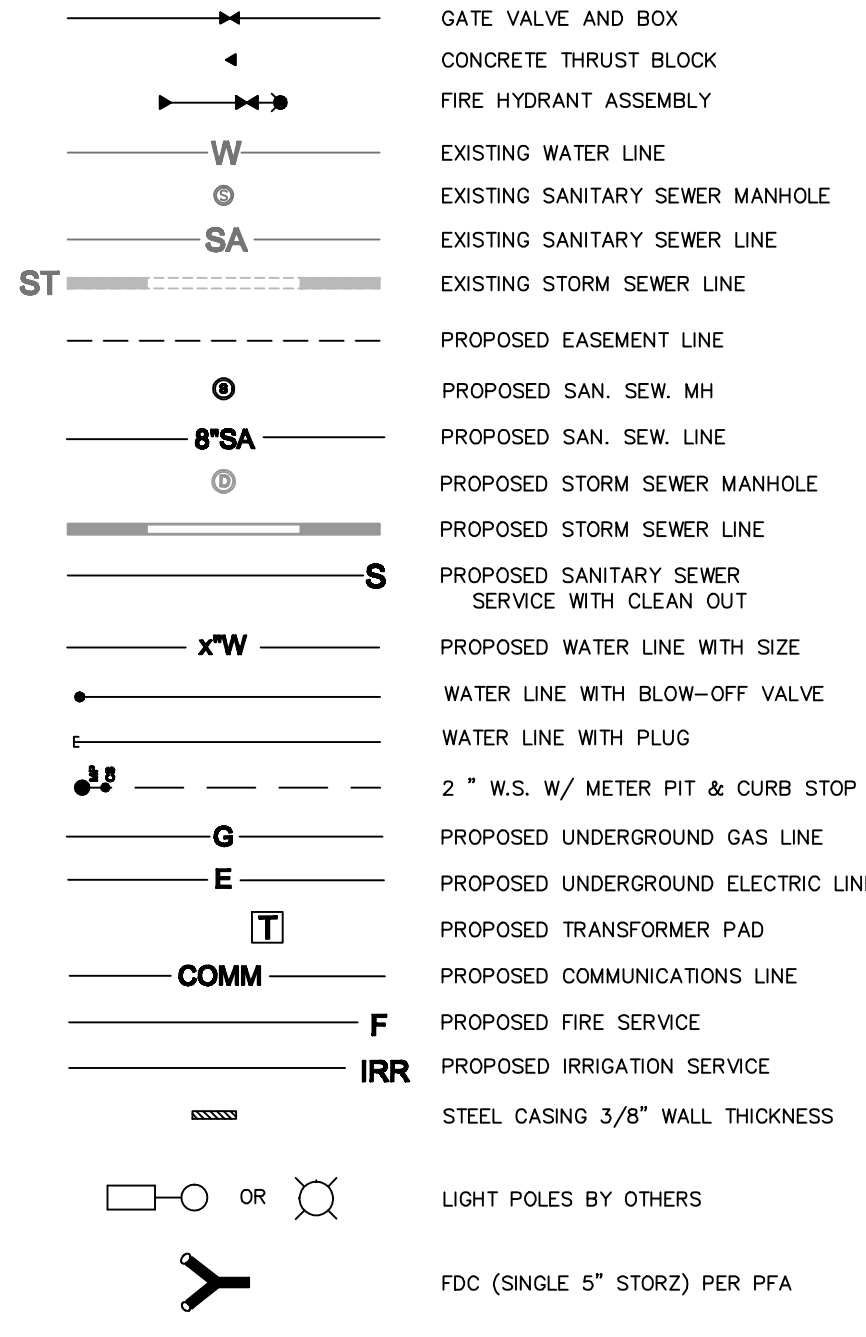
Southwest Corner





**UTILITY NOTES:**

- ONE ACCESS DRIVE IS PROPOSED OFF THE NORTH SIDE OF PRECISION DRIVE.
- CONCEPTUAL LAYOUT FOR WATER, SANITARY SEWER, STORM SEWER HAS BEEN PROVIDED ON THIS PLAN FOR CONCEPTUAL PURPOSES ONLY.
- THIS CONCEPTUAL PLAN DOES NOT SHOW THE PROPOSED AND ANTICIPATED STORM SEWER, BUT ASSUMES THE PROJECT WILL DISCHARGE AT THE RELEASE RATE SET BY THE HTP MASTERPLAN DRAINAGE STUDY AND INTO MASTERPLAN DETENTION FACILITIES, WITH NO ON-SITE WATER QUALITY OR DETENTION REQUIRED. BMP'S AND LID'S MAY BE INCORPORATED INTO THE PROJECT WITH STORM SEWER INFRASTRUCTURE SHOWN DURING PRELIMINARY DESIGN.
- CONCEPTUAL LAYOUT FOR SANITARY SEWER AND WATER ASSUMES THAT CORRESPONDING UTILITY INFRASTRUCTURE TO THE SOUTH WILL BE EXTENDED AND TIED-IN TO AT THE LOCATIONS SHOWN.

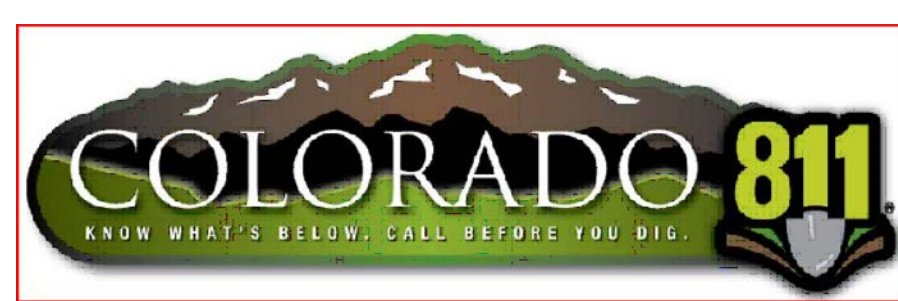


REV. #	DESCRIPTION OF REVISION	DATE	REVISOR	APPROVED BY

CHECKED BY: J.Good  
 DESIGNED BY: J.Good  
 DRAWN BY: D.Wood

**HARMONY TECHNOLOGY PARK  
 BRINKMAN OFFICE PROJECT  
 FORT COLLINS, COLORADO**

PROJECT LOCATION:  
 DRAWING: CONCEPTUAL UTILITY PLAN EXHIBIT



CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987**  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

PROJECT NO: 102001  
 DATE: 08/28/13  
 SHEET NO: EX-1



October 03, 2013

Dave Derbes  
Brinkman Development, LLC  
3003 E. Harmony Road, Suite 300  
Fort Collins, CO 80528

**Re:** Ladymoon Dr & Precision Dr - Office

**Description of project:** This is a request to construct a new office building located at the northwest corner of Lady Moon Drive & Precision Drive in the Harmony Technology Park (Parcel# 86042-09-002). The new office building would be 2 stories and 30,600 square feet. The site is located in the Harmony Corridor (H-C) Zone District within an area designated for Primary Uses in the Harmony Technology Park Overall Development Plan. Offices and platting are subject to Administrative (Type 1) Review in the H-C Zone District.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Noah Beals, at 970-416-2313 or [nbeals@fcgov.com](mailto:nbeals@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Gary Lopez, 970-416-2338, [glopez@fcgov.com](mailto:glopez@fcgov.com)

1. A minimum of 4 HC parking stalls required.
2. A minimum 5' wide landscape strip is required along the north lot line adjacent to the parking lot. The site plan shows a dimension of 4'.

**Department: Water-Wastewater Engineering**

**Contact:** Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)

1. The existing City water mains adjacent to the site include 12-inch water mains in both Precision and Lady Moon.
2. Wastewater service in this area is provided by the South Fort Collins Sanitation District.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>

4. Development fees and water rights will be due at time of building permit.

**Department: Stormwater Engineering**

**Contact: Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)**

1. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer and there is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or [jschlam@fcgov.com](mailto:jschlam@fcgov.com).
2. There is an existing overall drainage plan for this area prepared by Stantec, dated May 19, 2008 that the design engineer will need to design the site drainage. It appears that approximately one third of the site is planned to drain to the north into a detention area. That pond does not exist yet so it would have to be built large enough for the volume of runoff from a portion of this site. The southern two thirds is shown to drain to the detention pond to the south. That pond is in place. Any changes to the overall drainage plan would need to be justified.
3. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
4. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).  
LID design information can be found on the City's web site at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>.
5. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
6. The design of this site must conform to the drainage basin design of the McClellands Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE LANES**

Fire Lanes shall be provided to within 150' of all portions of the building, as measured by an approved route around the exterior of the building. When fire lanes cannot be provided, the fire code official is authorized to increase the dimension of 150 feet if the building is equipped throughout with an approved, automatic fire-sprinkler system.

2006 International Fire Code 503.1.1

**2. STRUCTURES EXCEEDING 30' IN HEIGHT**

In order to accommodate aerial fire apparatus access (ladder trucks), required fire lanes shall be 30 foot wide minimum on at least one long side of the building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.

2006 International Fire Code Appendix D; Poudre Fire Authority Administrative Policy 85-5

**3. AUTOMATIC FIRE SPRINKLER SYSTEM**

This building will require an automatic fire sprinkler system under a separate permit.

**4. FDC**

Fire Department Connections shall be installed in accordance with NFPA standards. Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access. The location of the FDC shall be approved by the fire department.

2006 International Fire Code 912.2

**5. KEY BOXES REQUIRED**

Poudre Fire Authority requires at least one key box ("Knox Box") to be mounted in approved location(s) on every new building equipped with a required fire sprinkler or fire alarm system. The top shall not be higher than 6 feet above finished floor.

2006 International Fire Code 506.1 and Poudre Fire Authority Bureau Policy 88-20

**6. PREMISE IDENTIFICATION**

New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

2006 International Fire Code 505.1

**Department: Environmental Planning**

**Contact: Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)**

1. There is an irrigation ditch that runs adjacent to the site, but it does not serve as a wildlife corridor, and thus, Section 3.4.1 of the Land Use Code, specifically the requirement for an Ecological Characterization Study, does not apply.
2. Should the project gain approval and move forward to construction, any prairie dogs inhabiting the site must be eradicated in accordance with the Division of Parks and Wildlife Standards.
3. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce

bluegrass lawns as much as possible.

**Department: Engineering Development Review**

**Contact: Marc Virata, 970-221-6567, [mvirata@fcgov.com](mailto:mvirata@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. Harmony Technology Park 2nd Filing provided dedication of street right-of-way and utility easements. Additional dedications may be required with the site proposal.
7. The driveway location will need to be looked at for access and spacing requirements. The location of the driveway being built with the expansion of Custom Blending in relationship to the proposed driveway would need to be looked at and may be of concern.
8. The proposed development is located within the Harmony Technology Park 2nd Filing project. The development agreement for this project specified the overall property's obligation to provide for costs associated with the construction of an additional left turn lane for southbound Ziegler Road to eastbound Harmony Road. The City is looking into whether this obligation should still exist for all development within the boundaries of the original project, as the construction of the additional left turn lane was done with Front Range Village's development.
9. Sidewalk along Precision Drive and Lady Moon Drive is required to be constructed abutting the property as well as directional ramps at the intersection in accordance with City standards. The TIS may demonstrate the need for additional offsite sidewalk construction as part of the pedestrian level of service analysis.
10. Construction plans will be required.
11. A Development Agreement will be required and recorded once the project is finalized with recordation costs paid for by the applicant.
12. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
13. With this proposal, no additional connectivity is shown to future development to the north and to the west. Additionally, driveway access isn't being shared with the parcel to the west. Ideally a concept of "master planning" for the overall vacant site should be explored that provides joint driveway access to public streets, interconnected parking lots, and integrates pedestrian connectivity between parcels, rather than creating independent pad sites that are isolated from each other.

**Department: Electric Engineering**

**Contact: Justin Fields, 970-224-6150, [jfields@fcgov.com](mailto:jfields@fcgov.com)**

1. Electric development charges will apply. An estimator for these charges is available at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees/electric-development-fee-estimator?id=3>.
2. Coordinate the transformer and meter locations with Light and Power Engineering, 970-221-6700.
3. Shade trees need to maintain 40 feet clearance with street lights and ornamental trees need to maintain 15 feet of clearance with street lights.
4. A C-1 form and one-line diagram will need to be submitted to Light and Power Engineering. The C-1 form is available at [http://www.fcgov.com/utilities/img/site\\_specific/uploads/c-1\\_form.pdf](http://www.fcgov.com/utilities/img/site_specific/uploads/c-1_form.pdf).

**Current Planning**

**Contact: Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)**

1. This site is located in the Harmony Corridor (H-C) zone district. It is also a part of the approved Harmony Technology Park Overall Development Plan (ODP).

Land Use Code (LUC) section 4.26(B)(2)(c) Office use in the H-C zone district is subject to a Type 1 (administrative hearing officer) review.

In the H-C zone district Office is considered a Primary Use. The HTP ODP approved primary uses for this site.

LUC 4.26(D)(3)(b) All new structures greater than 80,000 square feet shall be subject to a Type 2 (Planning and Zoning Board) review.

2. LUC 4.26(D)(3)(a) The maximum height for nonresidential buildings is 6 stories.
3. LUC 4.26(E) All development within the H-C zone district shall comply with the Harmony Corridor Design Standards.
4. LUC 4.26(E)(2)(a) In the case of multiple parcel ownership, to the extent reasonably feasible, an applicant shall enter into cooperative agreements with adjacent property owners to create a comprehensive development plan that establishes an integrated pattern of streets, outdoor spaces, building styles and land uses.  
How will the development comply with this standard with the additional parcel(s) that this development will create.

LUC 4.26(E)(2)(c) All uses except for off-street parking and loading shall be conducted or carried out entirely within completely enclosed buildings or structures.

5. LUC 3.5.3(B) Nonresidential buildings shall provide significant architectural interest and shall not have a single, large, dominant building mass. The street level shall be designed to comport with a pedestrian scale in order to establish attractive street fronts and walkways.

6. LUC 3.5.3(C)(1) At least one (1) main entrance of any commercial or mixed-use building shall face and open directly onto a connecting walkway with pedestrian frontage
7. LUC 3.5.3(C)(1)(b) Buildings shall be located no more than fifteen (15) feet from the right-of-way of an adjoining street if the street is smaller than a full arterial or has on-street parking.

It is unclear based on the information provided if this standard is being met.

This section does allow for exceptions to the standard (see section for details).

8. LUC 3.5.3(D) This section has standards for Variation in Massing (see section for details).

LUC 3.5.3(E) This section establishes standards for the the Character and Image of the building including but not limited to the primary entrance, wall articulation, facade and recognizable base/top (see section for details).

9. LUC 3.5.1(G) If a building or structure is over 40 feet in height a visual and shadow analysis is required.
10. LUC 3.2.2(K)(2) With 30,600 sq feet of General Office the development project is limited to 91 off street vehicle parking spaces.

LUC 3.2.2(K)(5) With 91 off street vehicle parking spaces provided at least 4 of these will need to be accessibility spaces. Additionally at least 1 of the 4 accessibility spaces is required to be van accessible (8ft wide stall adjoined to an 8ft wide loading area).

LUC 3.2.2(L) 90 degree Parking stall dimensions start at 9'x19' and two-way drive aisles are required to be at least 24ft in width. If the head of a stall is not adjoined to curb and gutter a wheel stop is required.

LUC 3.2.2(L) When vehicles overhang a landscape area on parallel sides the landscape area is required to be at least 7ft in width.

LUC 3.2.2(J) Vehicle use areas shall be setback at least 10 feet from a non-arterial street and 5 feet from interior property line.

11. LUC 3.2.2(C)(4)With 30,600 sq feet of General Office the development project is required to provide at least 8 bicycle parking spaces. Additionally 2 of the 8 required spaces shall be enclosed and at least 6 spaces shall be fixed.
12. LUC 3.2.2(C)(5) Walkway connections shall be established directly and continuously from areas or points of pedestrian origin and destination and shall not be aligned solely based on the outline of a parking lot.

There needs to be a direct sidewalk connection from Precision drive to building entrance and from Lady Moon to the Building entrance.

13. LUC 3.2.1 A landscape plan is required this should include but not limited to street trees, foundation plantings, parking lot perimeter, parking lot interior at least 6%, trees in islands. Also please verify the need for tree mitigation or protection.
14. LUC 3.2.4 A lighting plan is required this usually includes a photometric site plan with catalog cut-sheets of the proposed fixtures.
15. LUC 3.2.5 A trash and recycling enclosure is required. Such enclosure shall be designed with with walk-in access without having to open the main service gates. Also it should be located on a concrete pad at least 20ft from a public sidewalk.



16. LUC 3.5.1(l) All mechanical/utility equipment (vents,flues, meters, boxes, conduit, ac/rtu, transformer and etc...) locations shall be identified on the plans. Also notes should be included to indicate how such equipment is screened and painted.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2009 International Building Code (IBC)*

*2009 International Residential Code (IRC)*

*2009 International Energy Conservation Code (IECC)*

*2009 International Mechanical Code (IMC)*

*2009 International Fuel Gas Code (IFGC)*

*2009 International Plumbing Code (IPC)* as amended by the State of Colorado

*2011 National Electrical Code (NEC)* as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

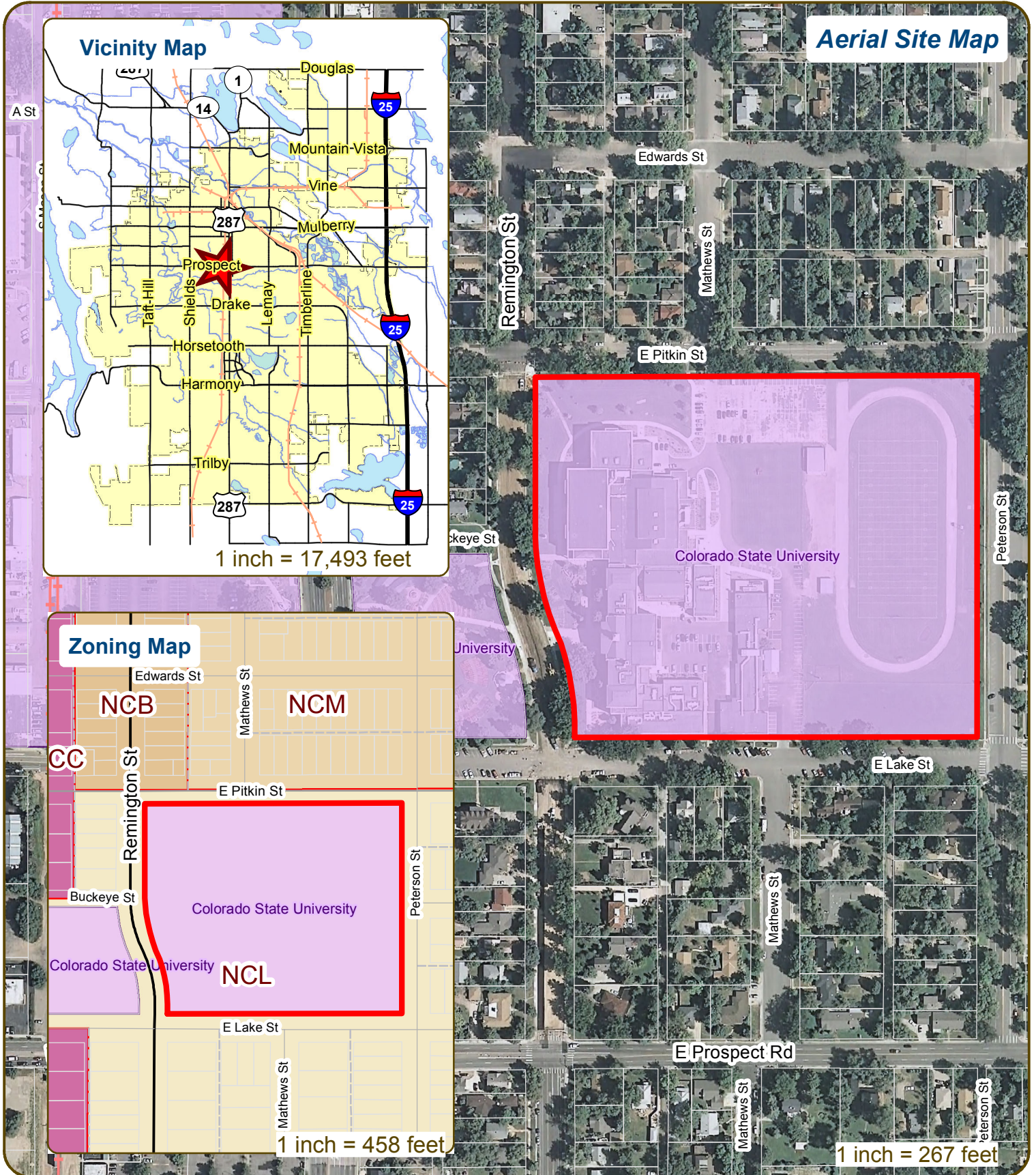
Energy Code Use

1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
416-2341

# Avenir Museum Expansion



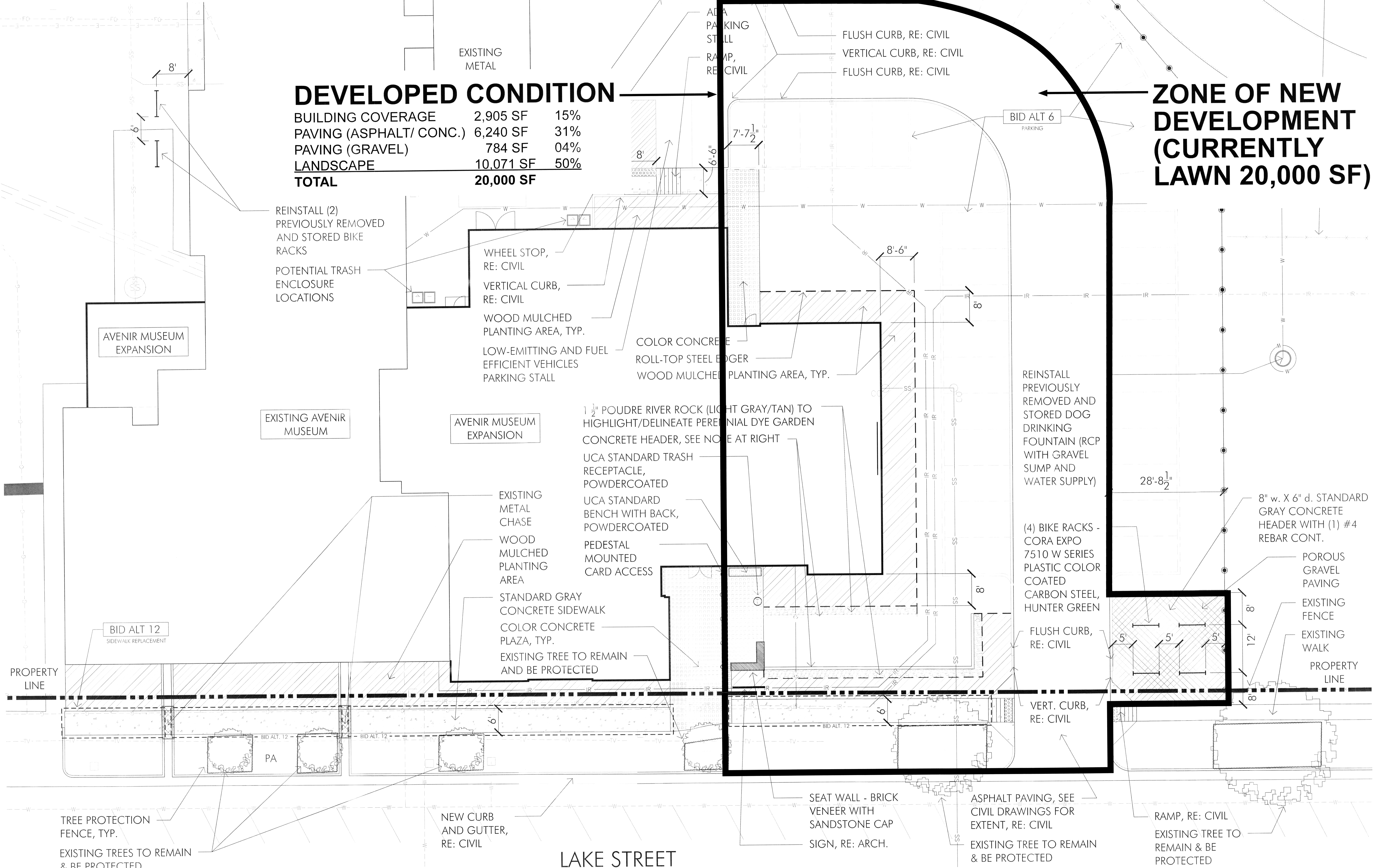
These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.



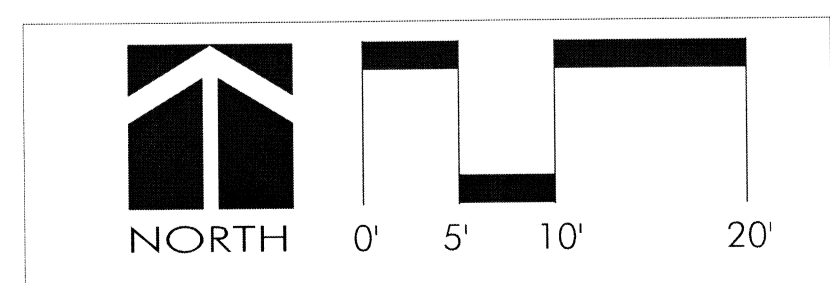
# DEVELOPED CONDITION

BUILDING COVERAGE	2,905 SF	15%
PAVING (ASPHALT/ CONC.)	6,240 SF	31%
PAVING (GRAVEL)	784 SF	04%
LANDSCAPE	10,071 SF	50%
<b>TOTAL</b>	<b>20,000 SF</b>	

# ZONE OF NEW DEVELOPMENT (CURRENTLY LAWN 20,000 SF)



# AVENIR MUSEUM EXPANSION SITE PLAN





October 03, 2013

Fred Haberecht  
Colorado State University

**Re:** Avenir Museum Expansion

**Description of project:** This is a request for an expansion of the existing Avenir Museum located at 216 E Lake Street (Parcel# 97133-24-902). The majority of the expansion would occur to the east of the existing structure. The museum expansion will utilize a site plan advisory review (SPAR) with the Planning & Zoning Board.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ted Shepard, at 970-221-6343 or [tshepard@fcgov.com](mailto:tshepard@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Gary Lopez, 970-416-2338, [glopez@fcgov.com](mailto:glopez@fcgov.com)

1. no comments

**Department: Water-Wastewater Engineering**

**Contact:** Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)

1. Existing water mains and sanitary sewers in this area include an 8-inch/4-inch water main and an 8-inch sewer in Lake.
2. The existing water service to the building is a 1½-inch service.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. If a larger water service is needed, development fees and water rights will be due at building permit.

**Department: Stormwater Engineering**

**Contact:** Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. If there is an increase in imperviousness greater than 1000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns. If there is less than 1,000 but more than 350 square feet of new impervious area; a site grading and erosion control plan is required instead of a complete construction plan set.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.
4. Fifty percent of the new site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3 – Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
5. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).
6. The drainage outfall for the site is either the surrounding streets or there is a storm drain line in Lake St. that would provide a deeper outfall if needed.
7. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
8. The design of this site must conform to the drainage basin design of the Spring Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.

**Department: Park Planning**

**Contact: Craig Foreman, 970-221-6618, [cforeman@fcgov.com](mailto:cforeman@fcgov.com)**

1. 1. 9/05/2013: No comments.

**Department: Environmental Planning**

**Contact: Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)**

1. The information provided did not include a seed mix - please ensure that Crested Wheatgrass or Smooth Brome are not included in the mix. Otherwise, no comments.

1.

**Department: Engineering Development Review**

**Contact: Andrew Gingerich, 970-221-6603, [agingrich@fcgov.com](mailto:agingrich@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. There is sidewalk, curb gutter and handicap ramp work proposed within the public right of way. A civil utility construction set will be required for review of these improvements and need to conform to the City of Fort Collins Standards and Specifications.
7. The driveway apron proposed off of Lake Street needs to be constructed to our standards and built with concrete from the street gutter back to the Right of Way line.
8. No more than 750 square feet of drainage may flow out the private proposed private driveway, please plan accordingly. If sidewalk is to be replaced as a part of Bid Alt 12 than the sidewalk chases will need to be reconstructed to our most recent detail with tapered sides.
9. The proposed colored concrete of the plaza appears to extend into the right of way. This concrete must be built at a minimum to our standards and specifications.
10. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.

**Department: Electric Engineering**

**Contact: Justin Fields, 970-224-6150, [jfields@fcgov.com](mailto:jfields@fcgov.com)**

1. System modification charges and development charges may apply. Contact Light and Power Engineering, 970-221-6700, if the electric service needs to be upgraded or modified.

2. The existing electric line runs in between the museum and the arts center to the West. It is recommended that this line is located and show on the utility plans to identify possible conflicts.

### **Current Planning**

**Contact:** Ted Shepard, 970-221-6343, [tshepard@fcgov.com](mailto:tshepard@fcgov.com)

1. If there is any missing segment of public sidewalk along Lake Street, such segment would need to be constructed with this project.
2. Please give some consideration to the revisions to the dog park entrance and how such revisions would integrate with the new expansion.
3. Please indicate how the on-street parking would be adjusted with the proposed relocation of the access driveway.
4. At the time of submittal for the Site Plan Advisory Review, and in reference to the existing trees that are to remain and be protected, please add the standard tree protection notes to the Landscape Plan. These notes are found in Section 3.2.1(G) of the Land Use Code.