

Conceptual Review Agenda

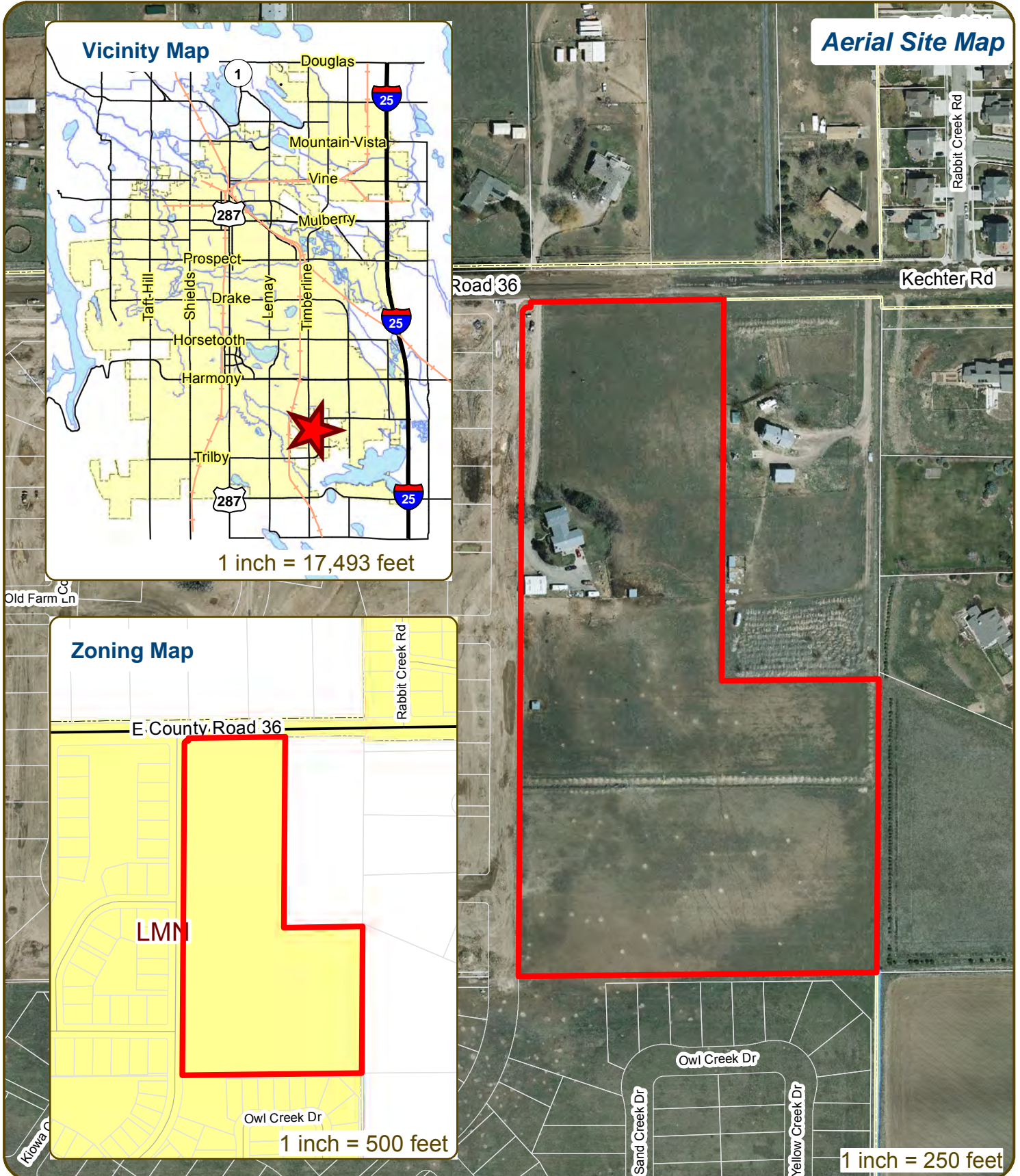
Schedule for 09/08/14 to 09/08/14

281 Conference Room A

Monday, September 8, 2014

Time	Project Name	Applicant Info	Project Description	Planner
9:00	2313 Kechter Rd. - Group Home CDR140061	Sue Beck-Ferkiss (970) 221-6753 sbeckferkiss@fcgov.com	This is a request for a change of use to a group home at 2313 Kechter Road (parcel #8608000913). The house is currently being used as a residence but the City of Fort Collins wants to use the property as a group home for women or single-mom families transitioning out of homelessness. The site is located in the Low Density Mixed-Use (LMN) zone district. This project will be subject to Planning & Zoning Board (Type II) review.	Rebecca Everette
9:30	Boardwalk & Whalers - Townhomes CDR140062	James Rawson (970) 405-7194 jrawson@ospreypg.com	This is a request to build 8 townhomes in paired configuration at Boardwalk and Whalers (parcel #9736451003). This proposal is a revision of the previously approved Bank of Choice PDP in 2007. The original PDP called for offices instead of townhomes. As such, this proposal will likely be processed as a Major Amendment. The site is located in the Harmony Corridor (HC) zone district. This project will be subject to Planning & Zoning Board (Type II) review.	Clark Mapes
10:15	1601 Remington - Office CDR140063	Elena Estanol (970) 692-4253 synapsecounseling@icloud.com	This is a request for a change of use at 1601 Remington (parcel #9724216013). The house is currently being used as a residence but the owner wants to use the property as an office for her counseling and sports psychology practice. The site is located in the Low Density Mixed-Use (LMN) zone district. This project will be subject to Planning & Zoning Board (Type II) review.	Ryan Mounce
11:00	1709 W Elizabeth - Wireless Telecommunications Equipment CDR140064	Ken Bradtke (714) 726-9433 kbradtke@atlastowers.com	This is a request to construct a bell tower that will house wireless telecommunications equipment (parcel #9715300909). The wireless telecommunications equipment will be affixed to an 85' bell tower to be constructed on the site of a church. The site is located in the Low Density Residential (RL) zone district. This project will be subject to Planning & Zoning Board (Type II) review.	Ryan Mounce

2313 Kechter Rd. Group Home



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.



CONCEPTUAL REVIEW:
APPLICATION**General Information**

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be *

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Sue Beck Fertkiss, Land Bank Program Manager, City of Fort Collins

Business Name (if applicable) City of Fort Collins

Your Mailing Address P.O. Box 580

Phone Number 221-6753 **Email Address** Sbeckfertkiss@fcgov.com

Site Address or Description (parcel # if no address) _____

2313 Kechter Rd.

Description of Proposal (attach additional sheets if necessary) Catholic Charities, a

non-profit, requests permission to use facility as a group
home for women +/- women + children transitioning out of a shelter.

Proposed Use Group Home **Existing Use** Single family home

Total Building Square Footage 3000 ish **S.F. Number of Stories** 2 above ground **Lot Dimensions** _____

Age of any Existing Structures 1983 (?)

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☐ Yes ☒ No **If yes, then at what risk is it?** _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

Increase in Impervious Area 0 **S.F.**

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

2313 Kechter Road - Affected Property Owners



Legend

- Growth Management Area
- Parks
- Schools
- Natural Areas
- City Limits

Notes

ALTA/ACSM LAND TITLE SURVEY

A TRACT OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 6 NORTH, RANGE 68 WEST OF THE 6th PRINCIPAL MERIDIAN, COUNTY OF LARIMER, STATE OF COLORADO.

DESCRIPTION

A tract of land located in the Northwest Quarter (NW 1/4) of Section 8, Township 6 North, Range 68 West of the 6th P.M., Larimer County, Colorado being more particularly described as follows:

Considering the North line of said Northwest Quarter (NW 1/4) as bearing North 89°25'10" East and with all bearings contained herein relative thereto:

Commencing at the North Quarter corner of said Section 8; thence, South 00°40'00" West, 30.01 feet to the South right-of-way line of Kechter Road (County Road 36); thence along said South right-of-way line South 89°25'10" West, 299.94 feet to the POINT OF BEGINNING; thence, South 00°40'00" West, 725.89 feet; thence, North 89°25'10" East, 299.94 feet to the East line of said Northwest Quarter; thence along said East line South 00°40'00" West, 559.23 feet to the Southeast corner of the said North Half of said Northwest Quarter; thence along the South line of said North Half, South 89°34'35" West, 709.81 feet; thence, North 00°33'43" East, 1283.13 feet to the South right-of-way line of Kechter Road; thence along said South right-of-way line North 89°25'10" East, 412.26 feet to the Point of Beginning.

The above described tract of land contains 15.959 acres more or less and is subject to all easements and rights-of-way now on record or existing.

NOTES:

1) Transnation Title Insurance Company Commitment No. 6449507 was used for this survey and the following comments correspond to the items numbered in commitment:

Schedule B Exceptions

Items 1 through 6 - Standard Exceptions - These items have not been addressed by the Surveyor.

Item 7 - Reservation of right of proprietor of any penetrating vein or lode to extract his ore, in U.S. Patent recorded July 9, 1879 in Book T at page 117. (SEE DOCUMENT FOR FURTHER INFORMATION)

Item 8 - Reservation as contained in Deed between Charles D. Vessey and William E. Franz, Jr. and Marcia Lett Franz, dated March 23, 1973 and recorded March 25, 1973 in Book 1546 at page 494 which is as follows: That the property shall not be used as a commercial feed lot, nor for any commercial use and this covenant shall run with the land and be enforceable by grantor and his successors in interest to adjacent property in the N1/2 of the NW 1/4 Section 8, T. 6N., R. 68W. of the 6th P.M. (SEE DOCUMENT FOR FURTHER INFORMATION)

Item 9 - Right of way, whether in fee or easement only, for an electric transmission or distribution line or system, overhead and/or underground, granted to Poudre Valley Rural Electric Association, Inc. by Harry Webster by instrument recorded September 2, 1980 in book 2066 at page 697, in which the specific location of the easement is not defined. (SEE DOCUMENT FOR FURTHER INFORMATION)

Item 10 - Right of way, whether in fee or easement only, for electric transmission or distribution line or system, granted to Poudre Valley Rural Electric Association, Inc. by Gary C. Martin and Georgia L. Martin by instrument recorded September 2, 1980 in book 2066 at Page 698, in which the specific location of the easement is not defined. (SEE DOCUMENT FOR FURTHER INFORMATION)

Item 11 - Right of way, whether in fee or easement only, for electric transmission or distribution line or system, granted to Poudre Valley Rural Electric Association, Inc. by Charles D. Vessey by instrument recorded September 2, 1980 in book 2066 at page 699, in which the specific location of the easement is not defined. (SEE DOCUMENT FOR FURTHER INFORMATION)

Item 12 - Right of way, whether in fee or easement only, for an electric transmission or distribution line or system, granted to Poudre Valley Rural Electric Association, Inc. by Harry Webster by instrument recorded September 2, 1980 in book 2066 at page 701, in which the specific location of the easement is not defined. (SEE DOCUMENT FOR FURTHER INFORMATION)

Item 13 - Right of way, whether in fee or easement only for irrigation and Drain tile easement over the Southerly portion of subject property as it may currently exist. (SEE DOCUMENT FOR FURTHER INFORMATION)

2) BASIS OF BEARINGS for this property is the North line of the Northwest Quarter of Section 8 according to monuments shown and described herein, which bears South 89°25'10" West. [Assumed datum.]

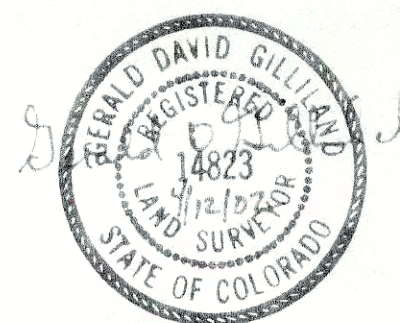
3) The title commitment's legal description has been revised to match the monumentation found during this survey. (R-) represents recorded bearing and distance.

4) Basis of elevations: 34-94 Elevation = 4935.46 Found on the North side of County Road 36 at the Southeast corner of property at 2524, top of concrete irrigation structure.

SURVEYOR STATEMENT:

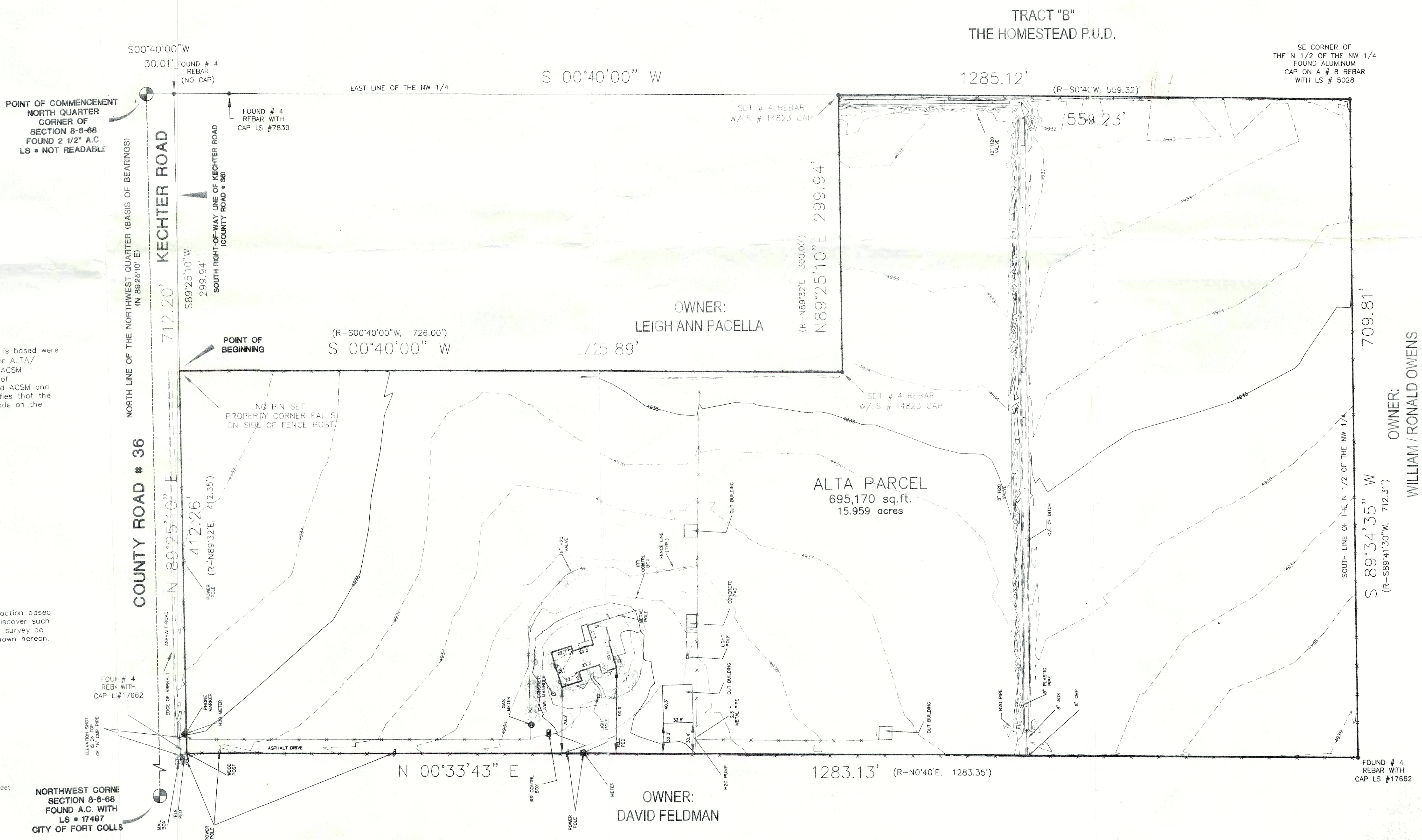
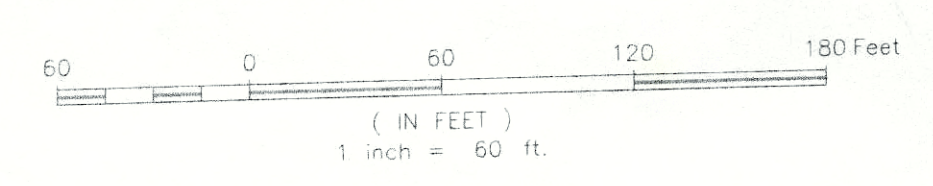
To: Los Encinos LLS and Transnation Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1, 4 and 5 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.



Gerald D. Gilliland
Registered Land Surveyor
Colorado Registration No. 14823

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.



NORTHERN ENGINEERING SERVICES, INC.
420 S. Horne, Suite 202, Fort Collins, Colorado 80521
Phone: (970) 221-4155 Fax: (970) 221-4156

Project: DPA 02-040	Scale: 1"=60'	Reviewed By: GDC
Date: 04/12/02	Designed By: JAA	

DOUGLAS PROPERTY
NW 1/4, SECTION 8, T6N, R68W,
6th P.M., LARIMER COUNTY, COLORADO

Date:	
By:	
Revisions:	
No.	





2483-2583 Kechter Rd
Fort Collins, CO 80528 – approximate address
East Co Road 36

Street View · Jun 2014

Back to Map













































Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

October 22, 2014

Sue Beck-Ferkiss
City of Fort Collins
PO Box 580
Fort Collins, CO 80522

Re: 2313 Kechter Rd. - Group Home

Description of project: This is a request for a change of use to a group home at 2313 Kechter Road (parcel #8608000913). The house is currently being used as a residence but the City of Fort Collins wants to use the property as a group home for women or single-mom families transitioning out of homelessness administered by Catholic Charities. The site is located in the Low Density Mixed-Use (LMN) zone district. This project will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Rebecca Everette, at 970-416-2625 or reverette@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ali van Deutekom, 970-416-2743, avandeutekom@fcgov.com

1. Group Homes: For each group home there shall be two (2) parking spaces for every three (3) employees, and in addition, one (1) parking space for each four (4) adult residents, unless residents are prohibited from owning or operating personal automobiles.
2. Based on the lot size, a maximum of 8 residents would be allowed, excluding supervisors.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Water and wastewater services for this site are provided by the Fort Collins-Loveland Water District and the South Fort Collins Sanitation District. The Districts can be contacted at (970) 226-3104.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. How many people are expected to live / utilize the home? Can the trip generation be estimated so that we can verify that this proposal meets the criteria to waive any requirement for a traffic study?
2. Please work with engineering on whether any adjacent street improvements would be required along Kechter Road.

Department: Stormwater Engineering

Contact: Wes Lamarque, 970-416-2418, wlamarque@fcgov.com

1. . It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. . If there is an increase in imperviousness greater than 1000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns.
3. . If there are no site improvements that require grading or an increase in impervious area, there are no Stormwater requirements. Please contact the Stormwater Utility if site improvements are anticipated.
4. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
5. The design of this site must conform to the drainage basin design of the McClellands Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. WATER SUPPLY

Based on available information at the time of review, it appears the closest hydrant is approximately 900 feet away. Hydrant spacing and flow must meet minimum requirements based on type of occupancy classification. Commercial property must be served by a hydrant within 300 ft. of the building. At the discretion of the fire marshal, the building may exceed the maximum distance when a fire sprinkler system is installed. Code reference provided:

IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi

residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

2. PREMISE IDENTIFICATION

All buildings are to be properly addressed and identified. There seems to be confusion with addressing of the existing building. The property is addressed off of Kechter Road but access to the structure is clearly taken from Tilden Street.

2012 IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

3. Other PFA comments, especially those pertaining to group homes, may be applicable at time of permit.

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
5. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. Right-of-way along Kechter Road will need to be dedicated. This can be done by separate document or by plat. Kechter road is a 2-lane arterial so the half right-of-way width would be 42 feet.
6. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
7. The project is responsible for designing and constructing the Kechter Road frontage improvements (curb, gutter and sidewalk).
8. The project is responsible for the installation of the sidewalk along Tilden Road adjacent to the property and installing the street trees within the parkway with this development.

9. In accordance with the agreement for Kechter Crossing, at such time as this property develops the property will be responsible for the maintenance of the Tilden Street parkway adjacent to the site. This agreement also identifies that at such time as this property develops the storm drainage flows from the eastern half of Tilden Street may be detained on this property and upon this occurrence the property shall be responsible for the costs to redirect the flows.
10. Will the driveway location change? Will there be a parking lot proposed?
11. The proposal will need to address section 3.6.3(F) of the LUC that identifies that all development plans shall provide for future street connections to adjacent developable properties...
12. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
13. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.

Department: Electric Engineering

Contact: Jim Spaulding, 970-416-2772, jspaulding@fcgov.com

1. If an upgrade to service is needed, Light & Power will underground existing service to house and electric capacity fees will be applied. Please contact Electrical Engineering at 221-6700 if you have any questions.

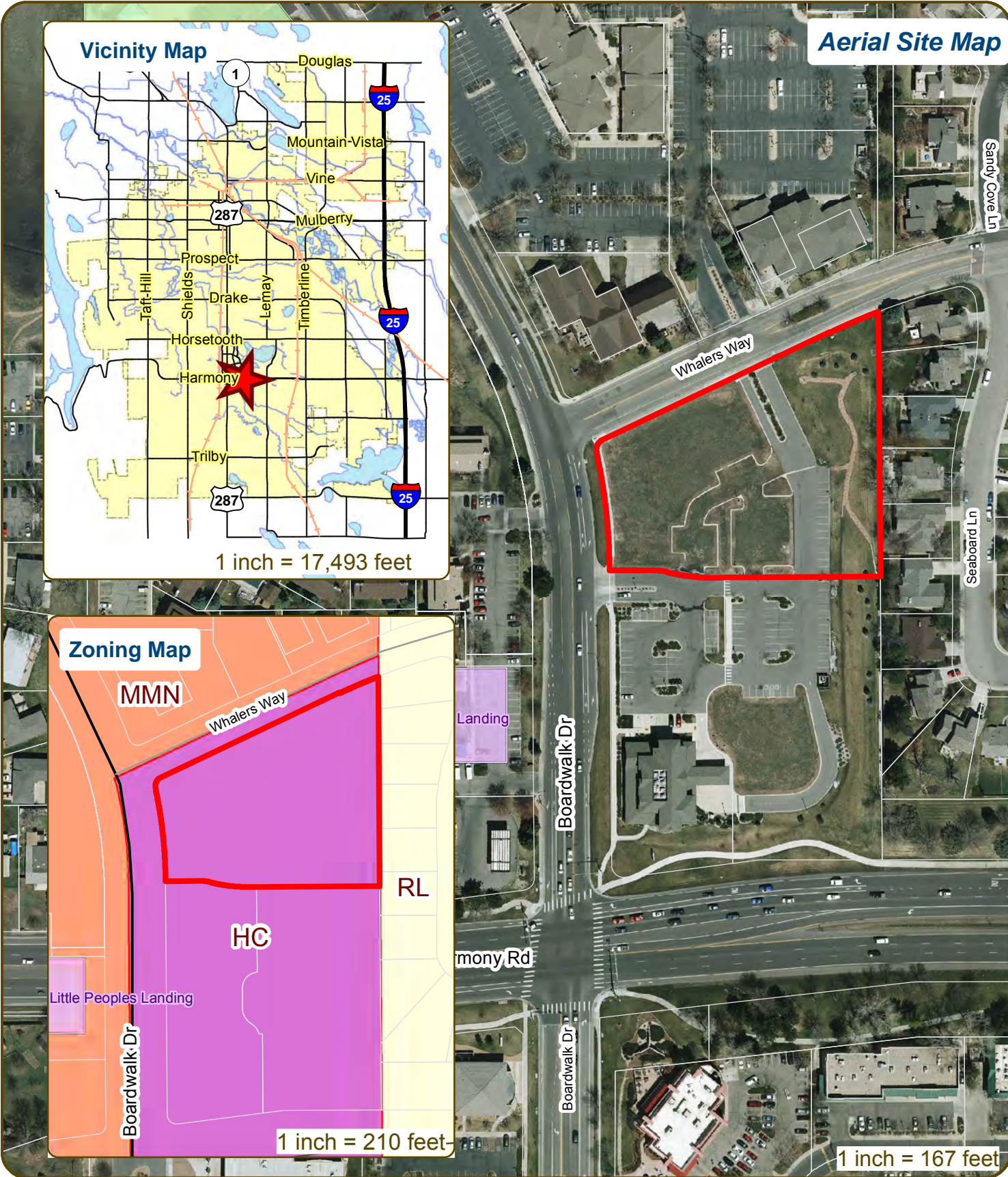
Planning Services

Contact: Rebecca Everette, 970-416-2625, reverette@fcgov.com

1. USE: This project will be considered a group home, and will be processed as a Type 2 application, which is subject to review by the Planning & Zoning Board in a public hearing. The review process will require a neighborhood meeting, which already occurred on Wednesday, September 10.
2. DENSITY: The land use standards for the LMN district require a minimum density of 3 dwelling units per acre for residential developments 20 acres or smaller. Since this project will not construct any additional dwelling units, a modification of standard could be requested to exempt the project from this requirement. See LUC 4.5(D)(1)(a).
3. NEIGHBORHOOD PARK: The land use standards for the LMN district require that dwellings on developments greater than 10-acres in size be located within 1/3-mile of a neighborhood park, per LUC 4.5(D)(6). A modification of standard could be requested if appropriate.
4. LANDSCAPING: In your submittal, please include a landscape plan that documents existing landscaping on site and any proposed changes or improvements. Reference LUC 3.2.1(E)(2) and (3), particularly if any alterations to existing landscaping are proposed.
5. TREE PLANTING: Reference the tree planting requirements in LUC 3.2.1(D). Street tree planting may be required along the Kechter Rd. and Tilden Rd. right-of-ways in conjunction with pedestrian improvements.
6. PARKING LOT LANDSCAPING: How many parking spaces are provided on site? Depending on the size of the parking area, parking lot landscaping and screening requirements may apply. See LUC 3.2.1(E)(4).
7. TRASH AND RECYCLING: How are trash and recycling currently addressed on-site? If trash and recycling containers will be stored outside, a walk-in enclosure is required.
8. GROUP HOMES: Reference LUC 3.8.6 for standards specific to group homes.

9. As part of the development review process, compliance with the applicable standards in Articles 3 and 4 is required to the maximum extent feasible.
10. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
11. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
12. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
13. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
14. Please see the Submittal Requirements and Checklist at:
<http://www.fcgov.com/developmentreview/applications.php>.
15. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
16. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Boardwalk & Whalers Townhomes



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.





CONCEPTUAL REVIEW:
APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a “first come, first served” basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED **The more info provided, the more detailed your comments from staff will be.**

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

James Rawson - Developer and Cameron Knapp - Consultant

Business Name (if applicable) Osprey Property Group, LLC

Your Mailing Address 817 Brookedge Drive, Fort Collins, Colorado 80525

Phone Number 970-405-7194 **Email Address** jrawson@ospreypg.com

Site Address or Description (parcel # if no address) A portion of Lot 3, Bank of

Choice PUD (SEC Boardwalk/Whalers Way)

Description of Proposal (attach additional sheets if necessary) The development of eight

townhomes in paired

configuration.

Proposed Use Townhomes **Existing Use** Vacant

Total Building Square Footage 3,500* **S.F. Number of Stories** 3 **Lot Dimensions** 48,038 SF

Age of any Existing Structures N.A.

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☐ Yes ☒ No If yes, then at what risk is it? _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

Increase in Impervious Area _____ **Estimated** - 17,500 **S.F.**

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

BANK OF CHOICE

Being a Replat of Rafferty's P.U.D.,
City Of Fort Collins, County Of Larimer, State Of Colorado
(For Recording Purposes: Part Of The Southeast Quarter of Section 36, Township 7 North, Range 69 West of The 6th P.M.)

STATEMENT OF OWNERSHIP AND SUBDIVISION:

Know all men by these presents, that the undersigned, being owners of the following described land:

Rafferty's P.U.D. as recorded March 1, 1996 as Reception No. 96014725 of the Records of the Larimer County Clerk and Recorder (LCCR) being part of the Southeast Quarter (SE1/4) of Section Thirty-six (36), Township Seven North (T.7N.), Range Sixty-nine West (R.69W.), City of Fort Collins, County of Larimer, State of Colorado.

... (which above described tract contains 5.198 acres, more or less)

have caused the above described land to be surveyed and subdivided into lots, tracts and streets as shown on this plat to be known as BANK OF CHOICE, subject to all easements and rights-of-way now of record or existing or indicated on this plat.

CERTIFICATE OF DEDICATION:

The undersigned does hereby dedicate and convey to the City Of Fort Collins, Colorado, for public use, forever, the streets and easements as laid out and designated on this Plat; provided, however, that (1) acceptance by the city of this dedication of easements does not impose upon the city a duty to maintain the easements so dedicated, and (2) acceptance by the city of this dedication of streets does not impose upon the city a duty to maintain streets so dedicated until such time as the provisions of the Maintenance Guarantee have been fully satisfied.

MAINTENANCE GUARANTEE:

The undersigned hereby warrants and guarantees to the City Of Fort Collins, for a period of two (2) years from the date of completion and first acceptance by the city of the improvements warranted hereunder, the full and complete maintenance and repair of the improvements constructed under the authority of this Plat. This warranty and guarantee is made in accordance with the City Of Fort Collins Land Use Code and/or the Transitional Land Use Regulations, as applicable. This guarantee applies to the streets and all other appurtenant structures and amenities lying within the rights-of-way, easements and other public properties, including, without limitation, all curbing, sidewalks, bike paths, drainage pipes, culverts, catch basins, drainage ditches and landscaping. Any maintenance and/or repair required on utilities shall be coordinated with the owning utility company or department.

The undersigned shall maintain said improvements in a manner that will assure compliance on a consistent basis with all construction standards, safety requirements and environmental protection requirements of the city. The undersigned shall also correct and repair, or cause to be corrected and repaired, all damages to said improvements resulting from development-related or building-related activities. In the event the undersigned fails to correct any damages within thirty (30) days after written notice thereof, then said damages may be corrected by the city and all costs and charges billed to and paid by the undersigned. The city shall also have any other remedies available to it as authorized by law. Any damages which occurred prior to the end of said two (2) year period and which are unrepaired at the termination of said period shall remain the responsibility of the undersigned.

REPAIR GUARANTEE:

In consideration of the approval of this final plat and other valuable consideration, the undersigned does hereby agree to hold the City Of Fort Collins, Colorado, harmless for a five (5) year period, commencing upon the date of completion and first acceptance by the city of the improvements constructed under the authority of this plat, from any and all claims, damages, or demands arising on account of the design and construction of public improvements of the property shown herein; and the Owner furthermore commits to make necessary repairs to said public improvements, to include, without limitation, the roads, streets, fills, embankments, ditches, cross ponds, sub-drains, culverts, walls and bridges within the right-of-way, easements and other public properties, resulting from failures caused by design and/or construction defects. This agreement to hold the city harmless includes defects in materials and workmanship, as well as defects caused by or consisting of settling, trenches, fills or excavations.

Further, the undersigned warrants that he/she owns fee simple title to the property shown hereon and agrees that the City Of Fort Collins shall not be liable to the undersigned or his/her successors in interest during the warranty period, for any claim of damages resulting from negligence in exercising engineering techniques and due caution in the construction of cross drains, drives, structures or buildings, the changing of courses of streams and rivers, flooding from natural creeks and rivers, and any other matter whatsoever on private property. Any and all monetary liability occurring under this paragraph shall be the liability of the Owner. I further warrant that I have the right to convey said land according to this Plat.

The obligations of the undersigned pursuant to the "Maintenance Guarantee" and "Repair Guarantee" provisions set forth above may not be assigned or transferred to any other person or entity unless the warranted improvements are completed by, and a Letter of Acceptance of the warranted improvements is received from the city by, such other person or entity.

NOTICE OF OTHER DOCUMENTS:

All persons take notice that the Developer and/or Owner has executed certain documents pertaining to this Development which create certain rights and obligations of the Development, the Developer and/or subsequent Owners of all or portions of the Development site, many of which obligations constitute promises and covenants which run with the land. The said documents may also be amended from time to time and may include, without limitation, the Development Agreement, Site And Landscape Covenants, Final Site Plan, Final Landscape Plan, and Architectural Elevations, which documents are on file in the office of the clerk of the City Of Fort Collins and should be closely examined by all persons interested in purchasing any portion of the Development site.

OWNER:

Bank of Choice

By: Dr. McAllister, CEO
Darrell McAllister, C.E.O./President

Date: 3/23/07

NOTARIAL CERTIFICATE

STATE OF Colorado

COUNTY OF Weld

The foregoing instrument was acknowledged before me this 23

day of March, 2007

My commission expires 3-23-07

Witness my hand and official seal.

Notary Public: [Signature]

NOTICE

ALL RESPONSIBILITIES AND COSTS OF OPERATION, MAINTENANCE AND RECONSTRUCTION OF THE PRIVATE STREETS AND/OR DRIVES LOCATED ON THE PRIVATE PROPERTY THAT IS THE SUBJECT OF THIS PLAT SHALL BE BORNE BY THE OWNERS OF SAID PROPERTY, EITHER INDIVIDUALLY, OR COLLECTIVELY, THROUGH A PROPERTY OWNERS' ASSOCIATION, IF APPLICABLE. THE CITY OF FORT COLLINS SHALL HAVE NO OBLIGATION OF OPERATION, MAINTENANCE OR RECONSTRUCTION OF SUCH PRIVATE STREETS AND/OR DRIVES NOR SHALL THE CITY HAVE ANY OBLIGATION TO ACCEPT SUCH STREETS AND/OR DRIVES AS PUBLIC STREETS OR DRIVES.

ATTORNEYS' CERTIFICATION:

I hereby certify that this Subdivision Plat has been duly executed as required pursuant to Section 2.2.3(c)(3)(c) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Subdivision Plat on behalf of a corporation or other entity are duly authorized signatories under the laws of the State of Colorado. This Certification is based upon the records of the Clerk and Recorder of Larimer County, Colorado as of the date of execution of the plat and other information discovered by me through reasonable inquiry and is limited as authorized by Section 2.2.3(c)(3)(f) of the Land Use Code.

Attorney: Michelle A. Majumdar

Address: 125 S. Howe St.

Fort Collins CO 80521

Registration No.: 8755

TITLE COMMITMENT NOTE

This survey does not constitute a title search by King Surveyors Inc. to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, King Surveyors Inc. relied upon Title Policy Number EC02568950-3, dated October 30, 2006 at 5:00 P.M. as prepared by Land Title Guarantee Company to delineate the aforesaid information.

NOTE

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon. (13-80-105 C.R.S.)

NOTE

Future widening of Boardwalk Drive at the intersection of Harmony Road will require modification to CDOT's existing deed access control line.

BASIS OF BEARINGS

Assuming the South line of the Southeast Quarter of Section 36, T.7N., R.69W. as bearing North 89°52'34" East, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/92, a distance of 2652.19 feet with all other bearings contained herein relative thereto.

SURVEYOR'S NOTE

In conducting this survey, Two (2) separate sets of monumentation were recovered during the field work, whose positional relationships are defined herein. The first set were established by Mr. Larry Intermill (LS12374) and the second set were established by Mr. Richard Rutherford (LS5028). The positions of the monuments as set by Mr. Rutherford are essentially 1 foot to 1.5 feet West of the locations established by Mr. Intermill.

Mr. Intermill platting the Right-Of-Way (ROW) for Boardwalk Drive and Whalers Way as well as the subdivision plat for The Malards At The Landings P.U.D.. The monuments recovered herein were set during the above platting and would control the positions of these items. The monuments set by Mr. Rutherford were set during the platting of Rafferty's P.U.D..

I have accepted the positions of the monuments as set by Mr. Intermill as controlling for the purpose of defining the boundary of this subdivision.

The position of the monuments as set by Mr. Rutherford would normally control the position of this replat if their positions were based upon the prior platting and recovery of existing monuments established by Mr. Intermill during those platting. As the Rutherford monuments do not correlate with the Intermill monuments I have not accepted them as controlling.

The property description on the plat of Rafferty's P.U.D. calls for the East ROW line of Boardwalk Drive and the Southerly ROW line of Whalers Way. It further calls for the West line of The Landings P.U.D.. The calls for these controlling "monuments" will control the position of the subdivision irrespective of the position of the monumentation.

I have therefore not accepted the position of the monuments as set by Mr. Rutherford, but have used the controlling calls within the property description of the subdivision plat for Rafferty's P.U.D., whose positions are defined by the monuments as set by Mr. Intermill.

SURVEYOR'S STATEMENT

I, Charles B. Jones, a Colorado Registered Professional Land Surveyor, do hereby state that this Subdivision Plat was prepared from an actual survey under my personal supervision, that the monumentation as indicated hereon were found or set as shown, and that the foregoing plat is an accurate representation thereof, all this to the best of my knowledge, information, belief, and in my professional opinion.

Charles B. Jones, Registered Professional Land Surveyor, Inc.

Colorado Registered Professional Land Surveyor

Land Surveyor: [Signature]

LAND DISTRIBUTION TABLE

LOTS = 4.958 ACRES 95%
RIGHT OF WAY = 0.240 ACRES 5%

TOTAL ACREAGE = 5.198 ACRES 100%

APPROVED AS TO FORM, CITY ENGINEER

By the City Engineer of the City of Fort Collins, Colorado this 6th day of

June A.D. 2007

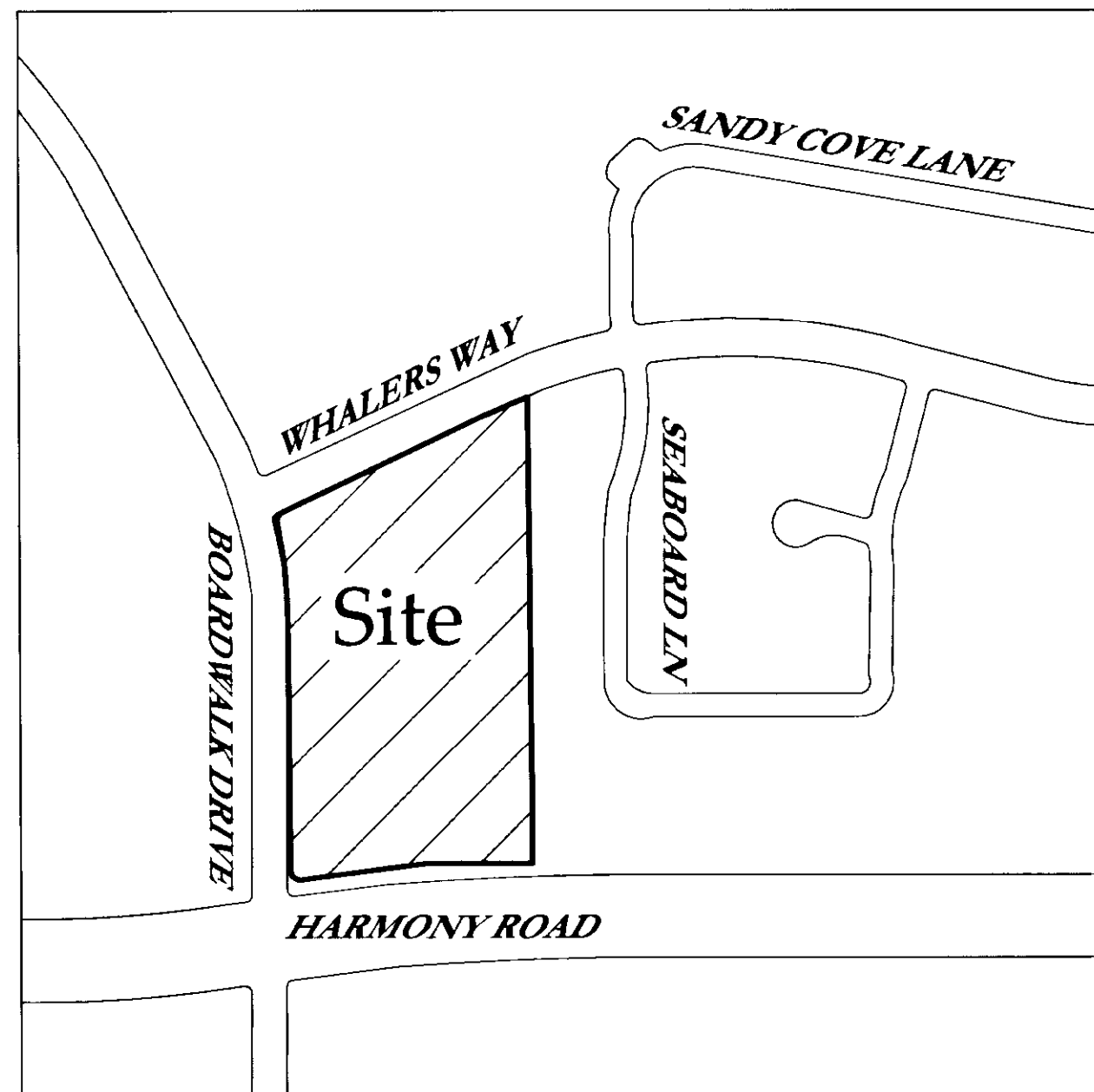
[Signature]
City Engineer

PLANNING APPROVAL

By the Director of Planning the City of Fort Collins, Colorado this 6th day of

June A.D. 2007

[Signature]
Director of Planning



VICINITY MAP
(NOT TO SCALE)

LINE	BEARING	LENGTH
L1	S00°24'28"E	1.10'
L2	N82°38'20"E	110.71'
L3	N89°35'32"E	57.59'
L4	S76°02'40"E	2.51'
L5	S00°25'11"E	32.34'
L6	N89°34'44"E	5.43'
L7	S82°03'06"W	98.99'
L8	N17°08'53"W	22.37'
L9	S00°24'28"E	42.11'
L10	S82°03'06"W	23.81'
L11	S00°24'28"E	39.41'
L12	N89°35'32"E	46.18'
L13	S00°24'28"E	33.89'

LINE	BEARING	LENGTH
L14	S89°35'32"W	46.18'
L15	N90°00'00"W	16.37'
L16	N00°00'00"W	32.67'
L17	N90°00'00"E	12.61'
L18	N00°00'00"E	11.65'
L19	S25°25'11"E	22.68'
L20	S64°34'49"W	9.02'
L21	S64°34'49"W	19.29'
L22	S00°24'28"E	40.43'
L23	S89°35'32"W	52.18'
L24	N51°57'39"E	45.22'
L25	S25°25'11"E	14.00'
L26	S51°57'39"W	62.10'

LINE	BEARING	LENGTH
L27	S64°34'49"W	32.00'
L28	S00°24'28"E	57.00'
L29	S89°35'32"W	20.10'
L30	N00°24'28"W	38.00'
L31	N89°35'32"E	7.00'
L32	N00°24'28"W	43.73'
L33	N89°35'32"E	24.00'
L34	N89°35'32"E	6.00'
L35	S00°24'28"E	38.00'
L36	S89°35'32"W	6.00'
L37	N00°24'28"W	38.00'
L38	S81°44'20"W	29.27'
L39	S00°24'28"E	48.00'

CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C1	25.38'	15.00'	96°57'13"	22.46'	N48°53'04"W
C2	141.50'	690.00'	11°45'00"	141.25'	N06°16'58"W
C3	20.09'	15.00'	76°44'16"	18.62'	N26°12'41"E
C4	67.82'	865.75'	04°29'18"	67.80'	N66°49'27"E
C5	25.38'	15.00'	96°57'13"	22.46'	N48°53'04"W
C6	149.78'	709.00'	12°06'15"	149.50'	N06°27'35"W
C7	20.18'	15.00'	77°05'31"	18.69'	N26°02'03"E
C8	12.53'	50.00'	142°14'48"	12.50'	S83°13'34"E
C9	62.67'	250.00'	142°14'48"	62.51'	S83°13'34"E
C10	38.27'	25.00'	87°43'11"	34.64'	S43°26'24"W
C11	31.24'	30.00'	58°40'08"	29.85'	S30°15'16"E
C12	20.22'	25.00'	46°19'47"	19.67'	S36°55'26"E
C13	246.62'	2035.37'	06°56'32"	246.47'	S85°31'22"W
C14	56.25'	2035.37'	01°35'00"	56.25'	S82°50'36"W
C15	78.19'	2035.37'	02°12'03"	78.18'	S84°44'08"W
C16	112.18'	2035.37'	03°09'29"	112.17'	S87°24'54"W
C17	110.07'	63.00'	100°06'11"	96.59'	N32°54'12"E
C18	6.59'	2035.37'	00°11'08"	6.59'	S82°08'40"W
C19	53.20'	51.00'	59°46'12"	50.82'	S34°41'43"W
C20	118.31'	724.00'	09°21'47"	118.18'	N06°22'27"W
C21	124.10'	709.00'	10°01'45"	123.95'	N05°25'20"W
C22	25.68'	709.00'	02°04'30"	25.68'	N11°28'28"W
C23	2.79'	15.00'	10°40'13"	2.79'	N07°10'36"W
C24	62.83'	40.00'	90°00'00"	56.57'	S19°34'49"W

CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C25	28.36'	25.00'	64°59'16"	26.86'	S32°05'11"W
C26	9.42'	6.00'	90°00'00"	8.49'	S45°24'28"E
C27	62.83'	40.00'	90°00'00"	56.57'	S45°24'28"E
C28	62.83'	40.00'	90°00'00"	56.57'	S44°35'32"W
C29	28.35'	25.00'	64°58'16"	26.85'	S57°06'25"W
C30	45.36'	40.00'	64°58'16"	42.97'	S57°06'25"W
C31	40.00'	90°00'00"	90°00'00"	0.00'	N45°24'28"W
C32	62.83'	40.00'	90°00'00"	56.57'	N44°35'32"E
C33	7.41'	20.00'	211°3'22"	7.37'	N78°58'52"E
C34	17.32'	10.00'	99°14'10"	15.23'	N18°45'06"E
C35	24.35'	20.00'	69°45'13"	22.87'	N65°44'36"W
C36	8.91'	50.00'	101°24'45"	8.90'	S84°29'10"W
C37	31.42'	20.00'	90°00'00"	28.28'	S19°34'49"W
C38	45.37'	40.00'	64°59'16"	42.98'	S32°05'11"W
C39	36.44'	20.00'	104°24'08"	31.61'	S51°47'36"W
C40	12.57'	50.00'	142°4'08"	12.54'	N83°12'24"W
C41	25.13'	16.00'	90°00'00"	22.63'	N44°35'32"E
C42	25.13'	16.00'	90°00'00"	22.63'	S45°24'28"E
C43	25.13'	16.00'	90°00'00"	22.63'	S44°35'32"W
C44	25.13'	16.00'	90°00'00"	22.63'	N45°24'28"W
C45	31.42'	20.00'	90°00'00"	28.28'	S44°35'32"W
C46	31.42'	20.00'	90°00'00"	28.28'	N45°24'28"W
C47	12.57'	8.00'	90°00'00"	11.31'	N44°35'32"E
C48	31.42'	20.00'	90°00'00"	28.28'	S45°24'28"E

DATE: 08/12/2004
FILE NAME: 2003226SUB
SCALE: 1"=100'
DRAWN BY: MCD/KRG
CHECKED BY: CBJ

KING SURVEYORS, INC.
650 Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | fax: (970) 686-5821



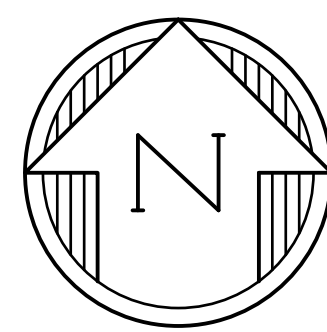
REVISIONS:
DATE: 03/30/04
REVISOR: PER NEW SITE PLAN
07/06/04
COCO CHECKED
07/06/04
REVISOR: PER CITY COMMENTS
08/12/04
NEW OWNER & REVISED PER CITY CODE CSK
03/13/07

BANK OF CHOICE
FOR
BANK OF CHOICE
3708 W. 10TH STREET
GREELEY, CO 80634

PROJECT #:

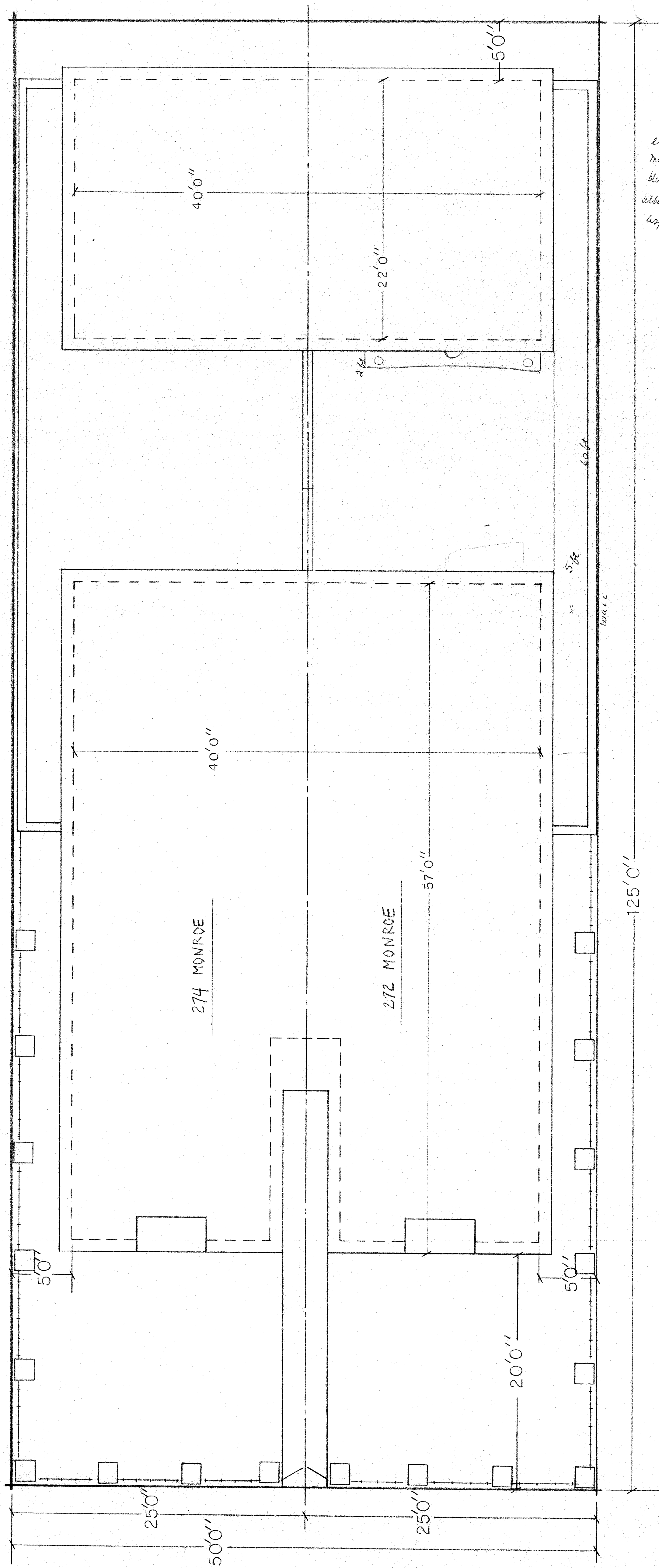
2003226

1
SHEET 1 OF 2



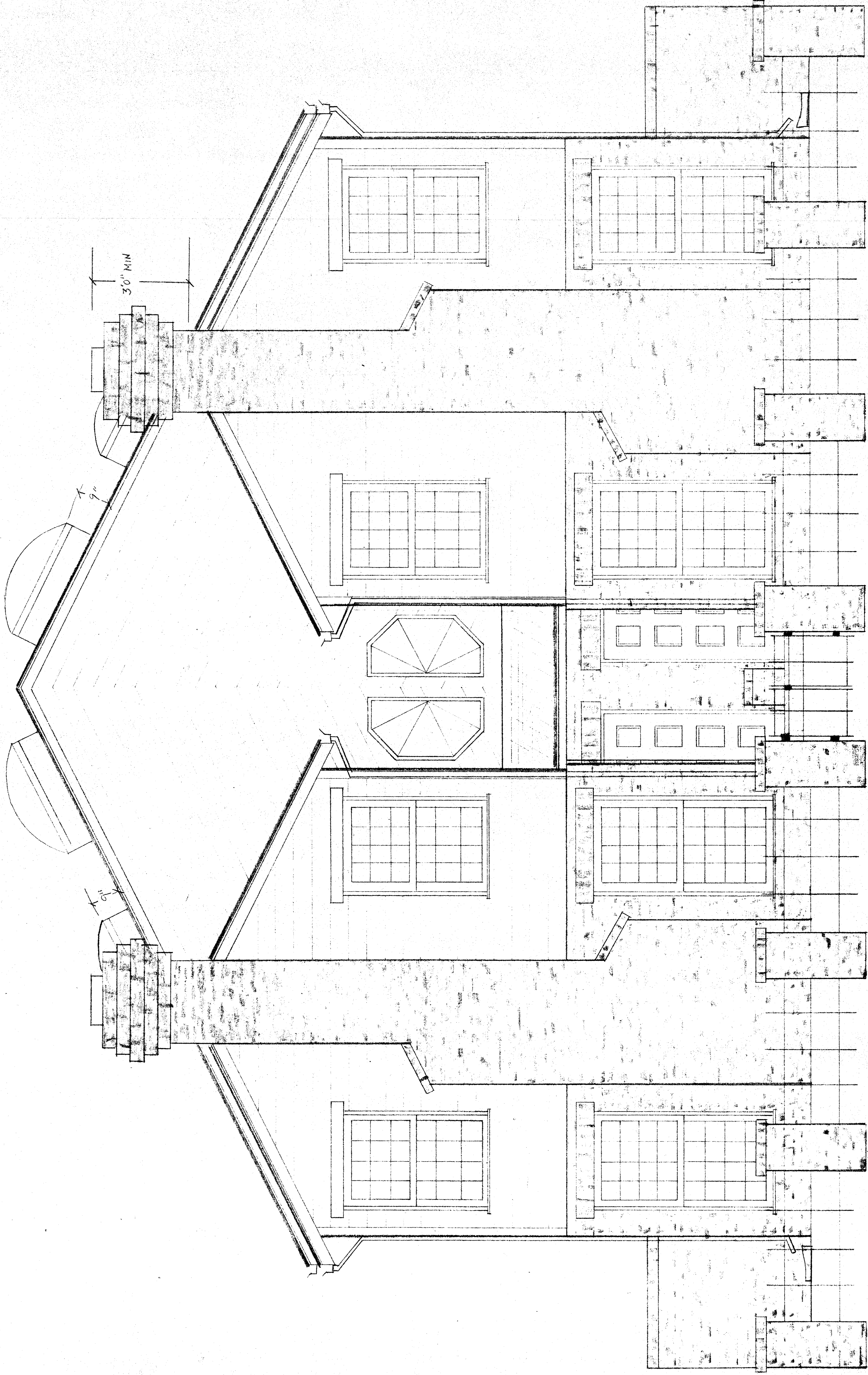
SCALE: 1"=20'





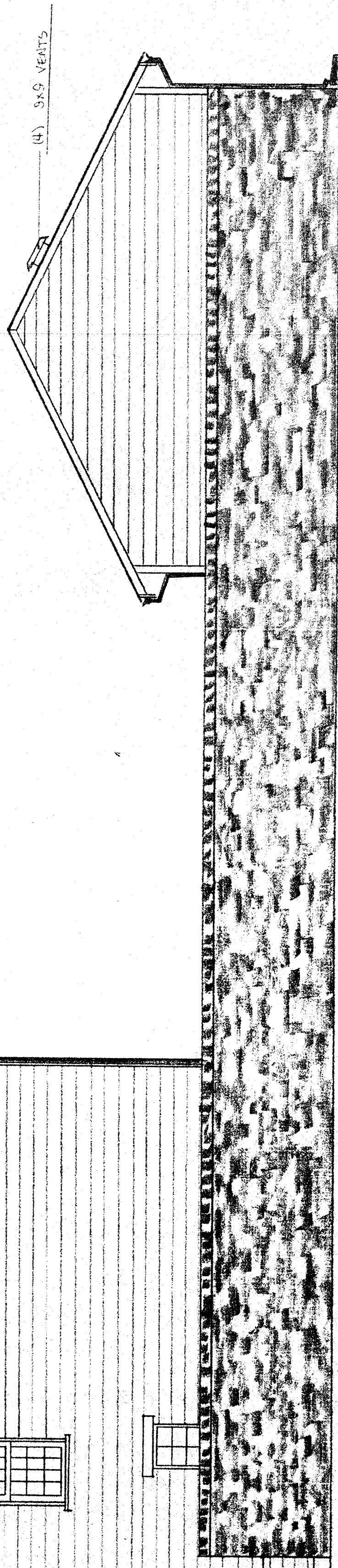
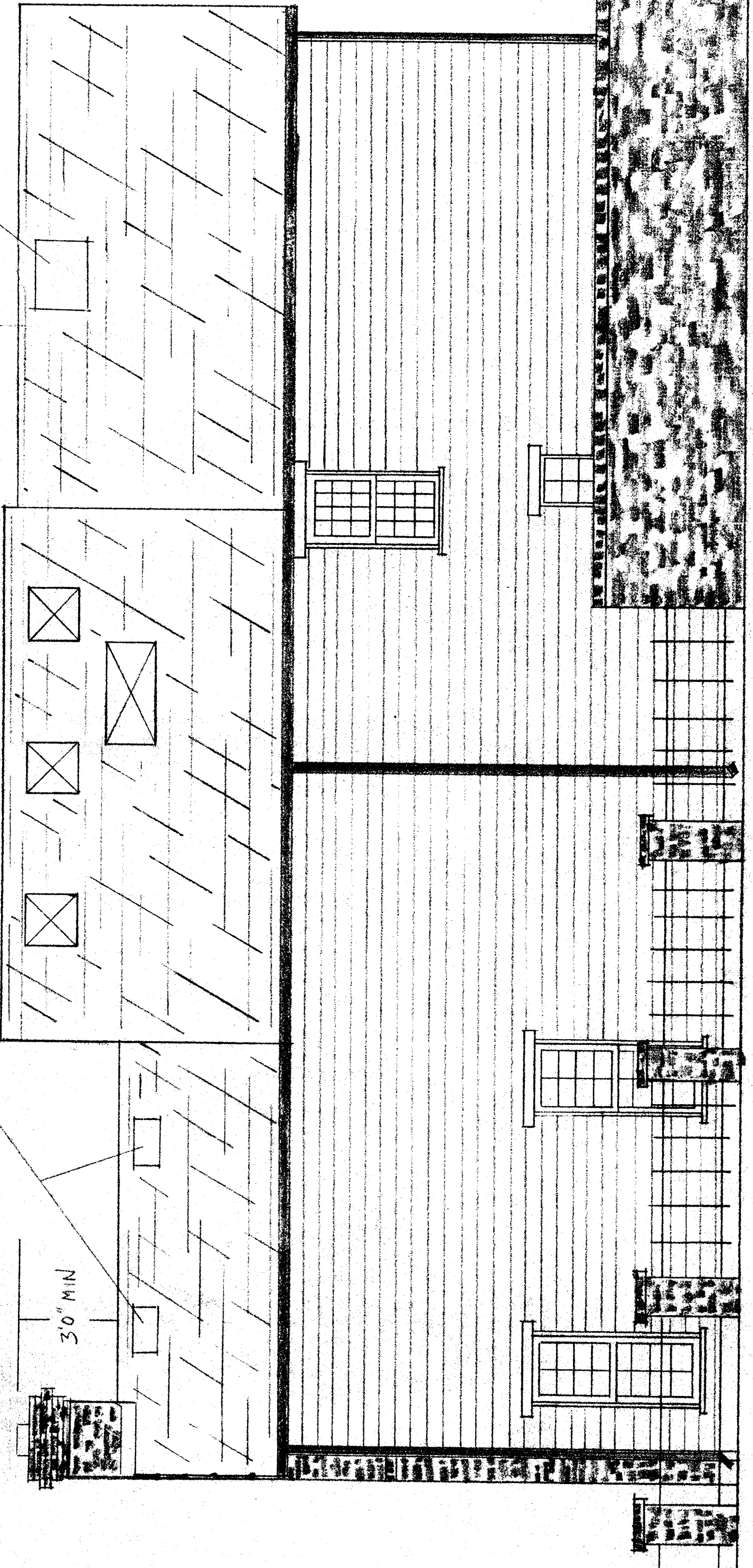
ever (ticks)
 monrovia holly
 blue prince spruce.
 alberta spruce
 aspens.

PLOT PLAN



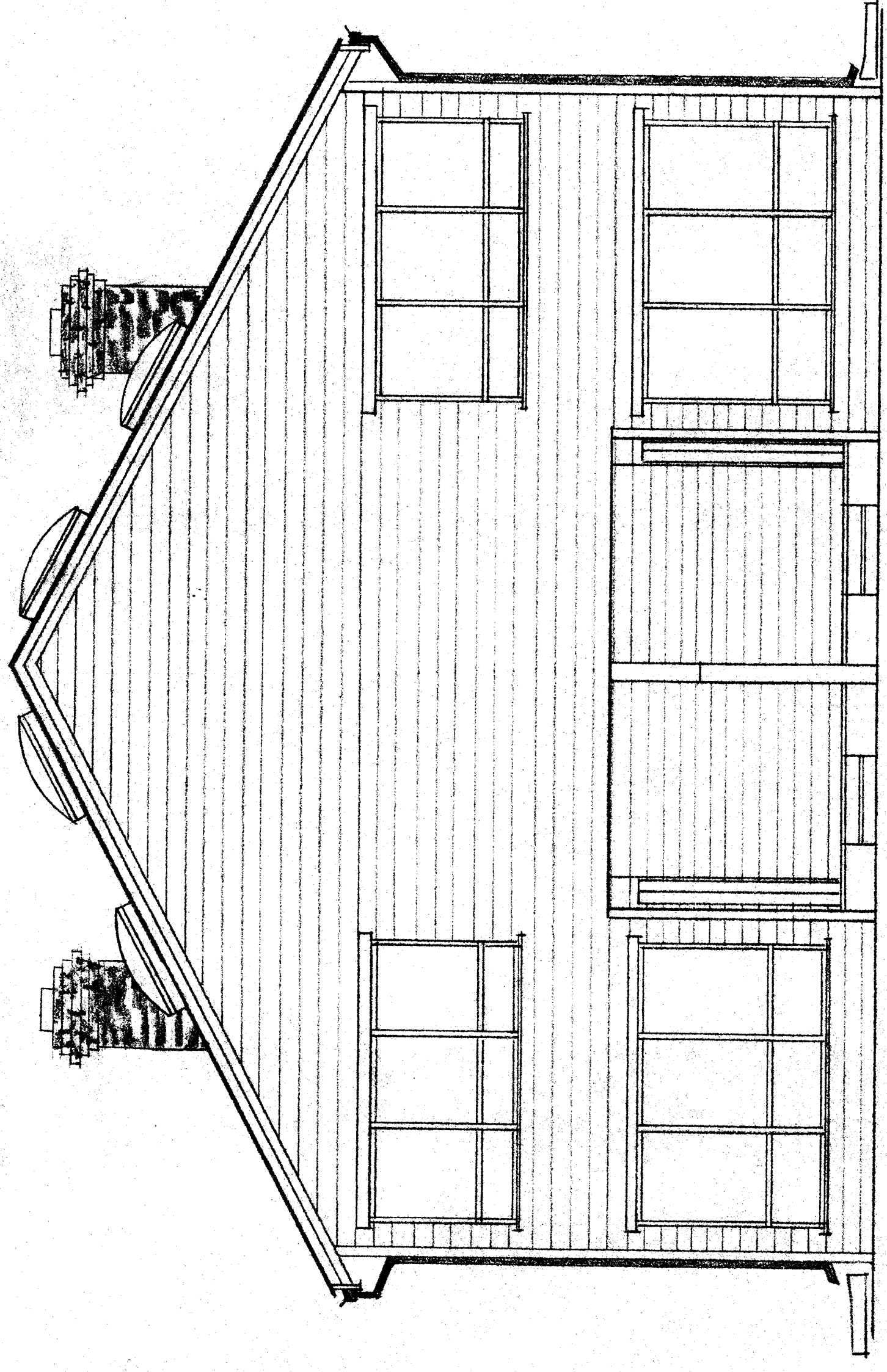
GOLDCREEK TOWNHOMES			
SCALE: 1/2" = 1'	APPROVED BY:		DRAWN BY:
	DATE:		REVISED:
FRONT ELEVATION			DRAWING NUMBER:
272 & 274 MONROE			

9x9 VENTS
THERMOSTATICALLY CONTROLLED
ATTIC FAN



SIDE ELEVATION

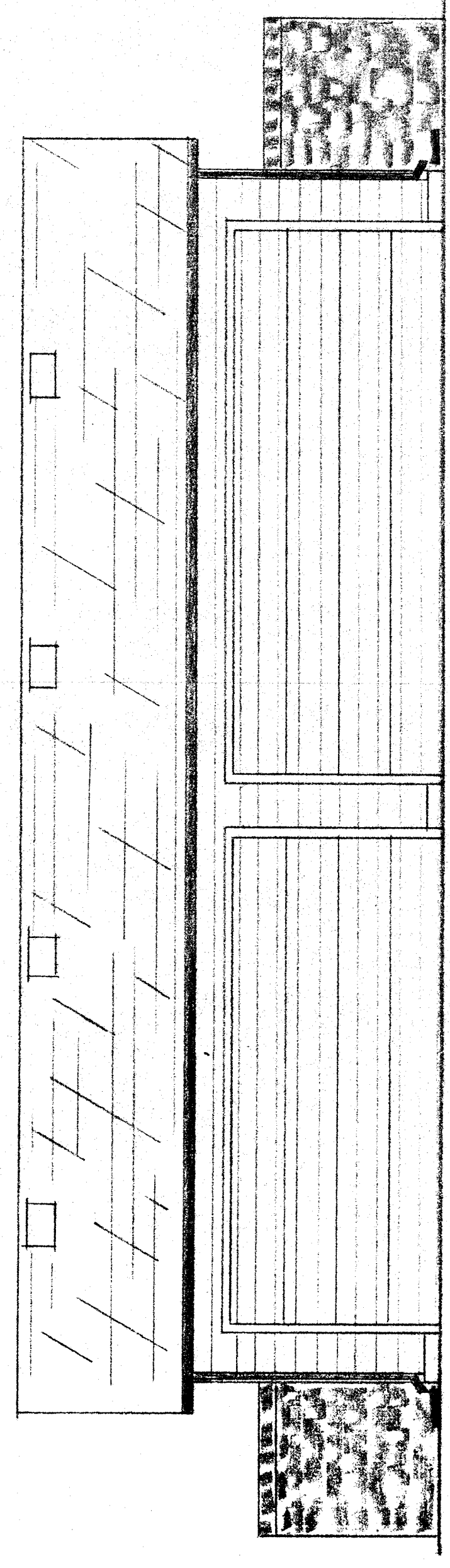
272 MONROE 274 MONROE (MIRROK)



REAR ELEVATION

272 MONROE 274 MONROE

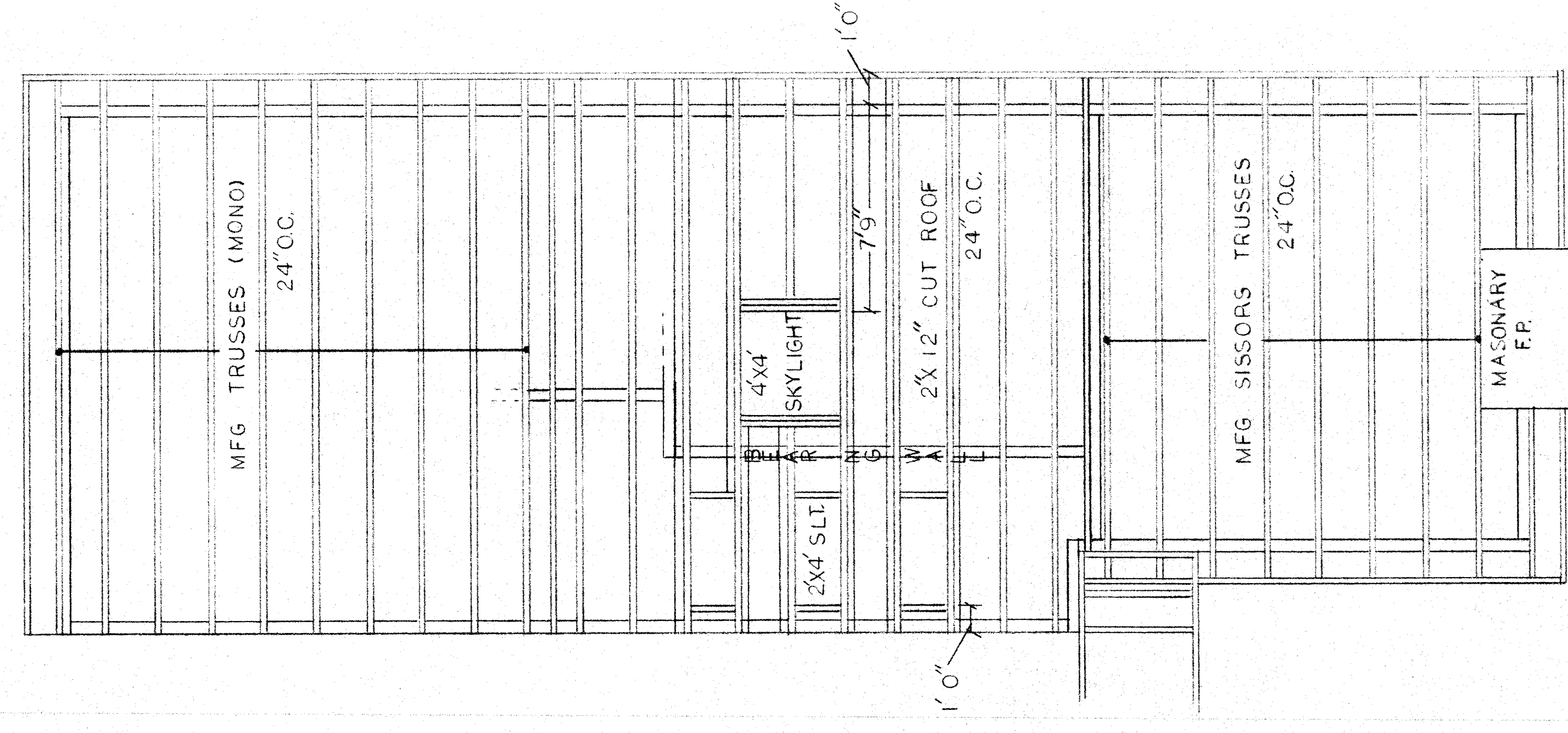
12' x 36" SPASH BLOCKS (TYP)



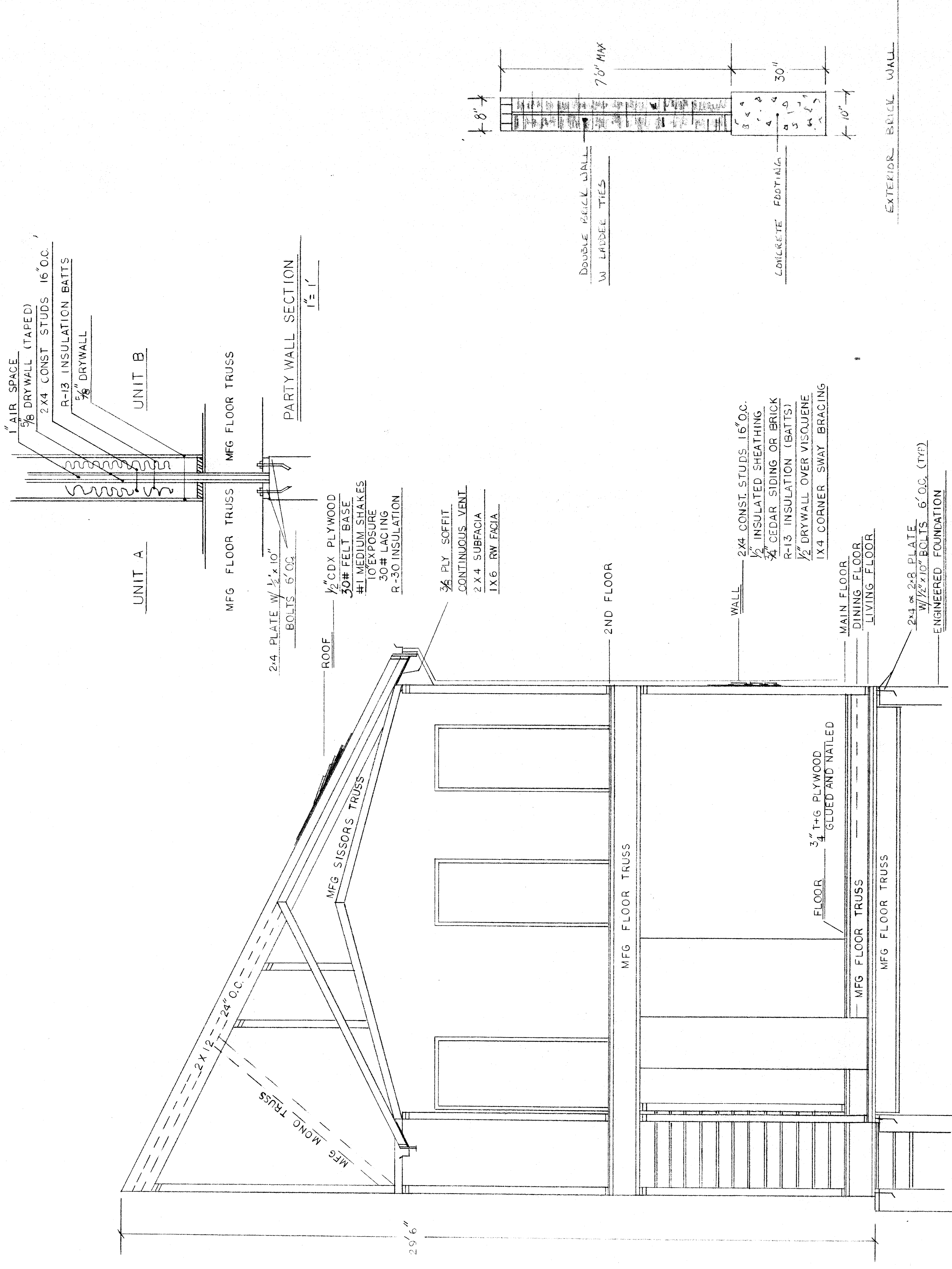
GARAGE REAR ELEVATION

272 MONROE 274 MONROE

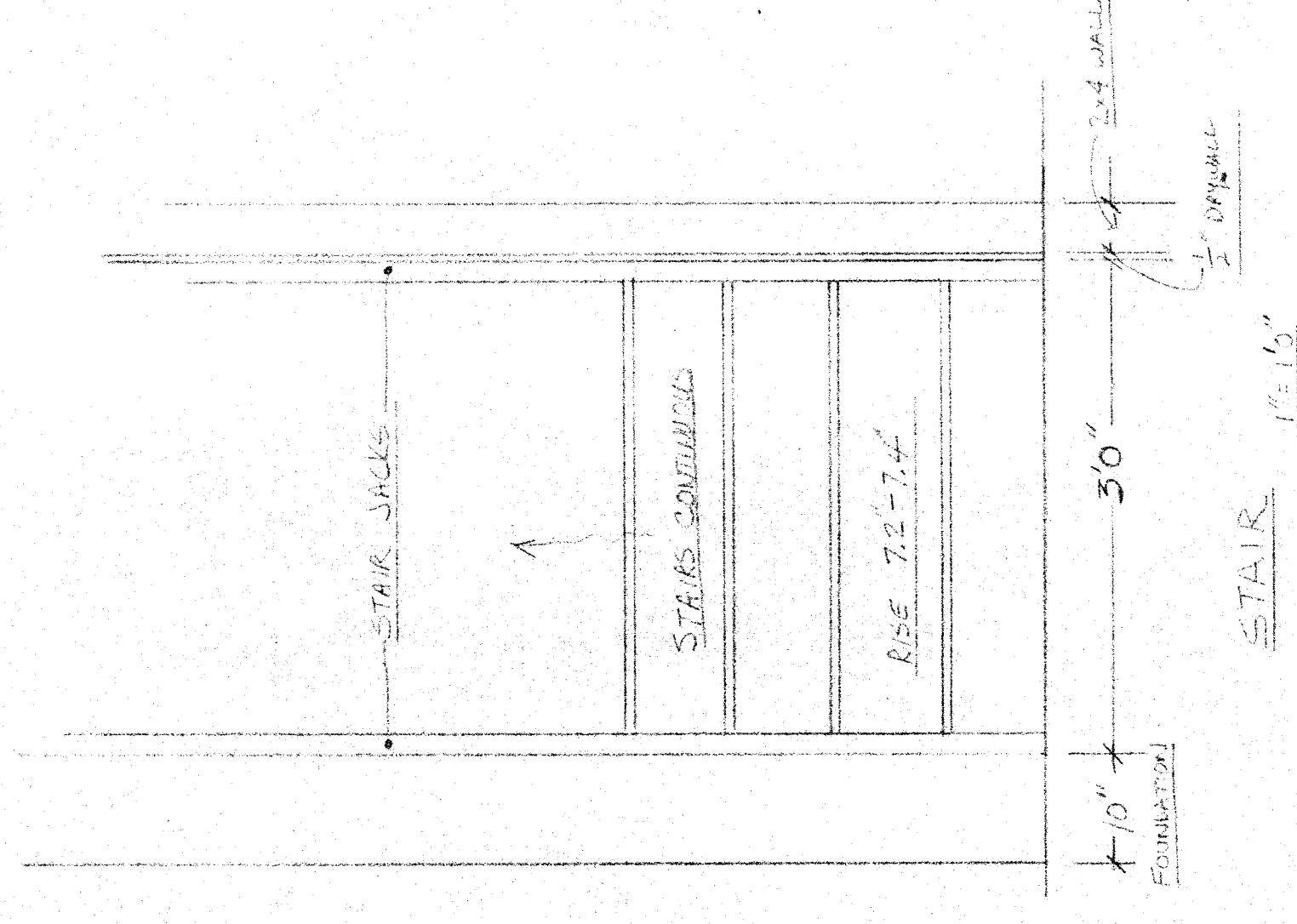
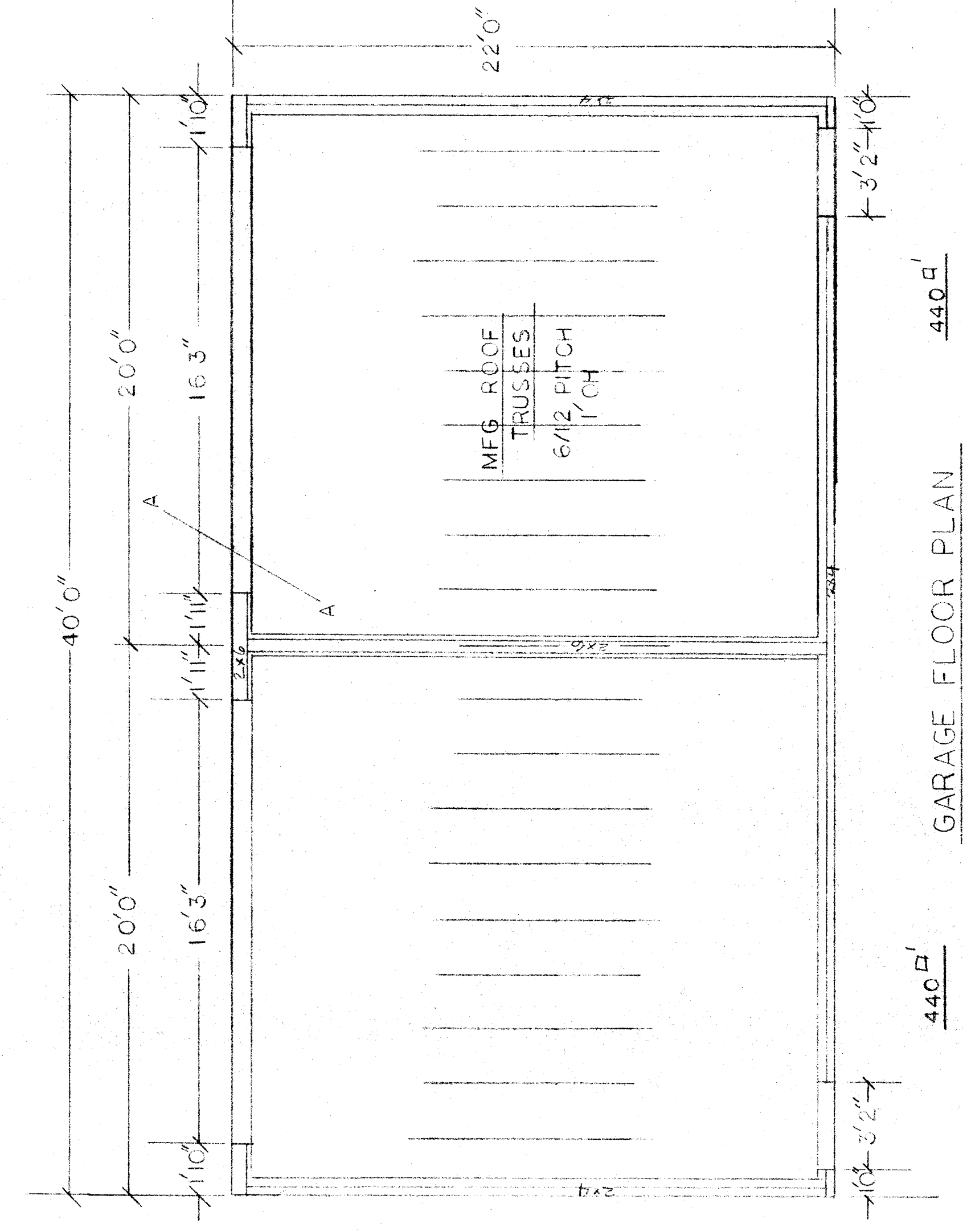
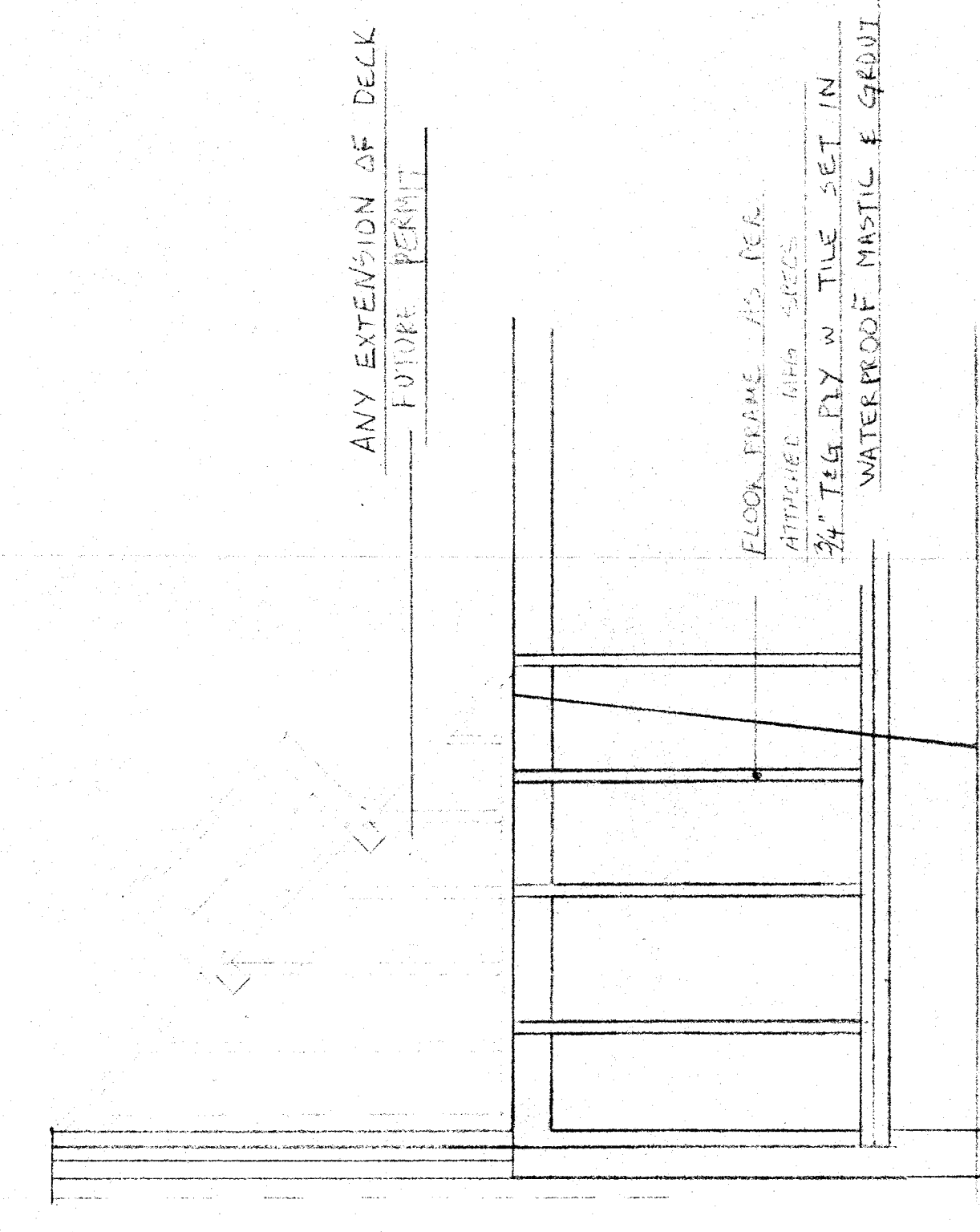
GOLDCREEK TOWNHOMES			
SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY:	DATE:
		REVISED:	
ELEVATIONS			
272 # 274 MONROE	DRAWING NUMBER 5017		



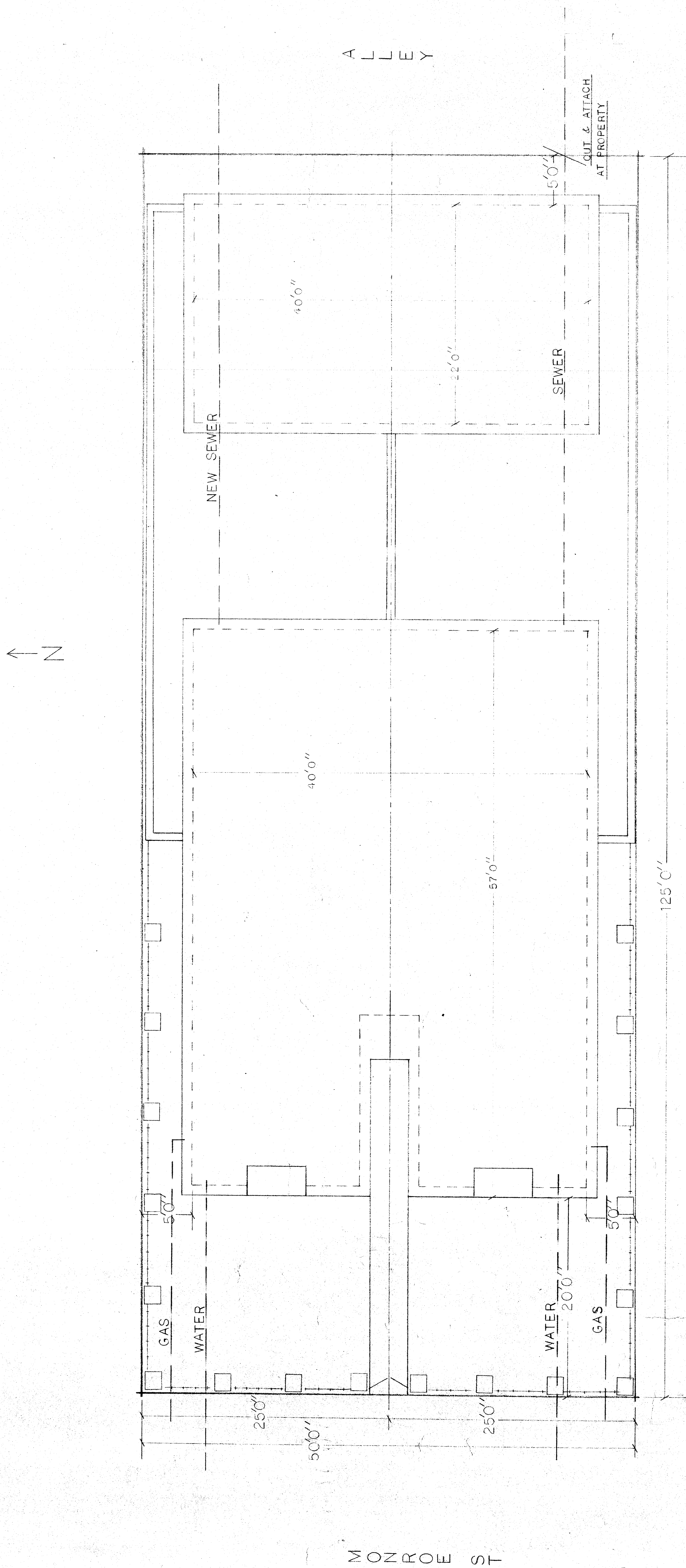
ROOF DETAIL
1/4" = 1'



EAST / WEST SECTION
1/2" = 1'



GOLD CREEK TOWNHOMES		DRAWN BY	
SCALE: 1/4" = 1'		REVISED	
DATE:		GARAGE DETAILS STAIRS	
272 + 274 MOORE		DRAWING NUMBER 1067	





Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

October 22, 2014

James Rawson
Osprey Property Group
817 Brookedge Dr.
Fort Collins, CO 80525

Re: Boardwalk & Whalers - Townhomes

Description of project: This is a request to build 8 townhomes in paired configuration at Boardwalk and Whalers (parcel #9736451003). This proposal is a revision of the previously approved Bank of Choice PDP in 2007. The original PDP called for offices instead of townhomes. As such, this proposal will likely be processed as a Major Amendment. The site is located in the Harmony Corridor (HC) zone district. This project will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clark Mapes, at 970-221-6225 or cmapes@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ali van Deutekom, 970-416-2743, avandeutekom@fcgov.com

1. Boardwalk Dr. is considered an arterial street. The minimum setback of every residential building and detached accessory building is 30 feet from the right of way.
Whalers Way is a collector street which requires a 15 foot setback from the right of way.
2. The floor plans show each unit having a two-car detached garage. It's unclear from the site plan where these are located, they appear to be attached garages on the site plan. Please clarify.
3. LUC 3.2.1 A landscape plan is required which includes but is not limited to street trees
4. If there will be an optional den/forth bedroom the parking requirements may change.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers in this area include an 8-inch water main in the drives on the east

and south sides of this site, 12-inch water mains in Boardwalk and Whalers Way, an 8-inch sewer in Boardwalk and an a manhole at the end of an 8-inch sewer in the drive on the east side of the site.

2. Any water or sewer lines extending to the site must be used or abandoned at the main.
3. Separate water services and sewer services must be installed to each dwelling unit.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. Development fees and water rights will be due at building permit.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.

Department: Stormwater Engineering

Contact: Wes Lamarque, 970-416-2418, wlararque@fcgov.com

1. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer and there is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
2. In the McClellands drainage basin onsite detention is required with a 0.2 cfs/ac release rate for the 10 year storm and a 0.5 cfs/ac release rate for the 100 year storm.
3. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
4. Low Impact Development (LID) requirements are now required when the impervious area is increased or a site is required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information. There is also more information on the EPA web site at: http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996. LID design information can be found on the City's web site at: <http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>.
5. The drainage design for this development can reference the approved Bank of Choice Final Plan Documents for guidance and design assistance.

6. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
7. The design of this site must conform to the drainage basin design of the McClellands Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. 2012 IFC CODE ADOPTION

The Poudre Fire Authority and the City of Fort Collins have adopted the 2012 International Fire Code. Building plan reviews shall be subject to the adopted version of the fire code in place at the time of plan review submittal and permit application.

2. FIRE ACCESS

It is noted the proposed structures will be 3 stories in height. Buildings over 30' in height are subject to addition fire access requirements. See code references provided below to assist with planning purposes.

AERIAL FIRE APPARATUS ACCESS ROADS - WHERE REQUIRED

1012 IFC D105.1: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

AERIAL FIRE APPARATUS ACCESS ROADS - WIDTH

2012 IFC D105.2; FCLUC 3.6.2(B)2006; and Local Amendments: Aerial fire apparatus access roads shall have a minimum unobstructed width of 30 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

AERIAL FIRE APPARATUS ACCESS ROADS - PROXIMITY TO BUILDING

2012 IFC D105.3: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

GENERAL FIRE LANE SPECIFICATIONS

In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
- > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.

> Be visible by painting and/or signage, and maintained unobstructed at all times.

International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

3. PREMISE IDENTIFICATION

2012 IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
5. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
6. The project will either need to replat so that existing easements can be vacated and dedicated as needed by that document or the existing easements will need to be vacated by separate document and new easements dedicated by separate documents. The process and cost for vacating and dedicating easements by separate document can be found at: <http://www.fcgov.com/engineering/devrev.php>
7. Utility plans will be required and we will enter into a new Development Agreement for the site that will be recorded once the project is finalized.
8. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
9. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
10. Any non ADA ramps or sidewalk will need to be brought into compliance with ADA standards.

Department: Electric Engineering**Contact: Jim Spaulding, 970-416-2772, jspaulding@fcgov.com**

1. Power to site will be supplied from existing vault located near south west corner of lot.
2. Light & Power allows joint trenching with Century Link and Comcast for a fee billed to the developer. This may help resolve some space issues if any arise.
3. Light & Power infrastructure is required to have a three ft radial separation from gas.
4. Light & Power requires a Commercial Service (C-1) form specifying main panel(s) size(s) and an electrical one-line diagram of building service(s).
5. Please provide a site/utility plan to Light & Power electric utility project manager and an AutoCad (v. 2007, 2010, or 2013) drawing of site/utility plan to CJ Housley (cjhousley@fcgov.com) with electric utility project manager cc'd in email.
6. If a pad mounted transformer is installed to feed new service, clearance requirements will need to be considered during the design and construction phases.
7. Please contact Electrical Engineering at 221-6700 if you have any questions.

Planning Services**Contact: Clark Mapes, 970-221-6225, cmapes@fcgov.com**

1. Residential Land Use: Zoning is H-C, Harmony Corridor Plan. The zoning requires any development plan to consist of at least 75% employment uses. Any residential use is limited to a max. of 25% of the development plan. The proposed plan appears to be about 41% of the overall Bank of Choice plan and thus will require a Modification of the standard under Section 2.8.2(H) of the Land Use Code, which would require the Planning and Zoning Board to find the plan to be either 'equal to or better than' a plan meeting the standard in terms of the purpose of the standard; or 'negligible and inconsequential' in its deviation from the standard. This comment is based on the proposed amendment consisting of about 2 acres out of a total of 4.92 acres in the approved Bank of Choice plan.
2. The side elevation facing Boardwalk will be required to include a doorway. The doorway does not have to be the main entrance, but should be an attractive, animating feature.
3. A key standard in the Land Use Code requires buildings to be placed in relation to streets, with a walkway to a main entrance that does not cross any driveways or parking areas. The original Bank plan was arranged on this premise. If the project proceeds, units should be designed fit that arrangement. The proposed units 7-9 appear are placed in relation to the internal parking lot. This would require a Modification of the standard. If a Modification were to be pursued, it would be crucial to place site planning priority on generous, visible sidewalk connections to the streets. For example, the sidewalks should be detached from both access drives. This will warrant further discussion.
4. It is not clear whether the stock plan superimposed onto the aerial photo can fit. It looks like it may be necessary to adapt the design to fit the circumstances, if the project proceeds past the question of the land use Modification.
5. Regarding the unit design: 3 different models are required, with variation in characteristics such as footprint, elevation, color, roof form, entrance features, and so on. (Section 3.5.2 of the Land Use Code.)

6. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
7. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
8. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
9. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
10. Please see the Submittal Requirements and Checklist at:
<http://www.fcgov.com/developmentreview/applications.php>.
11. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
12. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

20012 International Building Code (IBC)

2012 International Residential Code (IRC)

20012 International Energy Conservation Code (IECC)

2012 International Mechanical Code (IMC)

2012 International Fuel Gas Code (IFGC)

2012 International Plumbing Code (IPC) as amended by the State of Colorado

2014 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

Energy Code Use

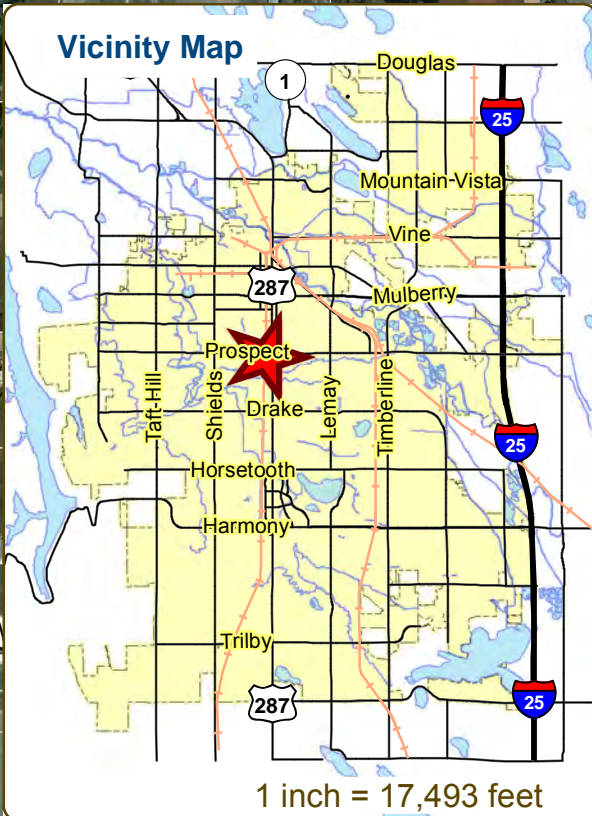
1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
970-416-2341

1601 Remington Office

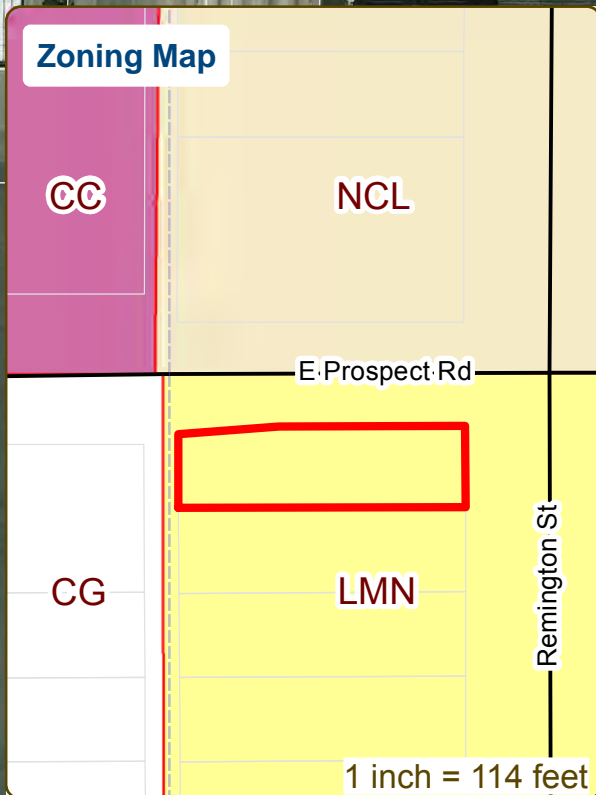
Vicinity Map



Aerial Site Map



Zoning Map



CONCEPTUAL REVIEW:
APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

"BOLDED ITEMS ARE REQUIRED" *The more info provided, the more detailed your comments from staff will be.

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc.)

Elena Estanol PhD - Owner

Business Name (if applicable) Synapse Counseling LLC

Your Mailing Address 2402 Ballard Ln Fort Collins, CO 80524

Phone Number (970) 692-9253 **Email Address** estanol@hotmail.com

Site Address or Description (parcel # if no address) 1601 Remington St.
Fort Collins, CO 80525

Description of Proposal (attach additional sheets if necessary)

Will use as an office for a Counseling & Sport Psychology
Practice.

Proposed Use OFFICE / COUNSELING **Existing Use** OFFICE / INTERIOR DESIGNER

Total Building Square Footage 1902 **S.F. Number of Stories** 2 **Lot Dimensions** 8000

Age of any Existing Structures

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/querysearch.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual

Is your property in a Flood Plain? ☒ Yes ☐ No If yes, then at what risk is it? 500 YR / MODERATE RISK

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplans>

Increase in Impervious Area NO INCREASE PROPOSED UNLESS REQUIRED BY CITY SF

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested Items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

Listing sent to: maryannoz@msn.com on Jul 26, 2014**1601 Remington St, Fort Collins, CO 80525**
[Photos](#) [Map](#) [Tours](#) [Docs](#) [Neighborhoods](#) [Walk Score®](#)
\$474,000Residential-Detached
IRES MLS # 741009**For Sale**

4 Bed 1902 Total SqFt (\$249/SF)
 3 Bath (1F,2T) 1 Story/Ranch Style
 0.18 Acres
 4 Garage Spaces Built in 1925
 Larimer County Fort Collins Area
 Bradley's I.C. Subdivision

Description

****Price Reduced \$25k**ABSOLUTELY AMAZING!!**
 COMPLETELY REMODELED INSIDE AND OUT
 OLD TOWN PROPERTY ZONED
 RESIDENTIAL/COMMERCIAL. DETACHED 4 stall
 shop/garage W/12FT. doors on front AND rear for
 drive thru access RV/BOAT/TOY storage or
 business use. Owned by interior designer currently
 used as office/design studio. BSMT has additional
 kitchen/MOTHER-IN-LAW unit. HURRY,
 HOUSE/PROPERTY WILL NOT DISAPPOINT THE
 MOST DISCRIMINATING DOWNTOWN BUYER!!
 Measurements are approximate, buyer to verify.

General Features

Listing Type:	Residential-Detached
Garage:	Detached
Lot SqFt:	8,000
Acreage:	0.18
Zoning:	res
Legal Description:	Lot: 13 Blk: 1

Taxes and Fees**Square Feet**

Total:	1902 SqFt (\$249/SF)
Finished:	951 SqFt (\$498/SF)
Total Finished:	1902 SqFt (\$249/SF)

Main Level:	951 SqFt
Basement:	951 SqFt

Construction

Construction:	Wood/Frame, Stone
---------------	-------------------

Taxes/Tax Year: \$3281 / 2013

Schools

School District: Poudre
 Elementary: Laurel
 Middle/Jr High: Leshar
 High: Ft Collins

Cooling: Central Air Conditioning, Ceiling Fan

Heating: Forced Air, Baseboard Heat

Room Dimensions

Master Bedroom: 11 x 11 (Main)

Bedroom 2: 11 x 11 (Main)

Bedroom 3: 11 x 13 (Basement)

Bedroom 4: 11 x 13 (Basement)

Kitchen: 11 x 11 (Main)

Living Room: 12 x 14 (Main)

Dining Room: 12 x 14 (Main)

Driving Directions

College Ave, east on Prospect, south on Remington. Corner of Remington and Prospect St.

Note: All room dimensions, including square footage data, are approximate and must be verified by the buyer.

Additional features

Type: Cottage/Bung
 Design Features: Separate Dining Room, Wood Windows, Stain/Natural Trim
 Basement Foundation: Full Basement, 25%+Finished Basement
 Location Description: Corner Lot
 Inclusions: Window Coverings, Electric Range/Oven, Self-Cleaning Oven, Dishwasher, Refrigerator, Bar Refrigerator
 Outdoor Features: Lawn Sprinkler System, Heated Garage, Oversized Garage



Mary Ann Ozmina

970-222-9594 Phone | - Fax

maryannoz@msn.com

<http://www.HomesInColorado.com/MaryAnn>

RE/MAX Alliance-FTC Dwtm

125 S Howes Ste 120 , Fort Collins, CO 80521

970-482-1781 Phone | 970-482-1720 Fax

<http://www.homesincolorado.com>



Listing Agent: Richard Payne Jr | Listing Office: C3 Real Estate Solutions, LLC

MLS content and images © Copyright 1998-2014, IRES LLC. All rights reserved.

WARNING: This database record is provided subject to limited license rights. Duplication or reproduction is prohibited.

Contact: Elena Estanol
synapsecounesling@icloud.com
970-692-4253



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

October 22, 2014

Elena Estanol
Synapse Counseling LLC
2402 Ballard Ln
Fort Collins, CO 80524

Re: 1601 Remington - Office

Description of project: This is a request for a change of use at 1601 Remington (parcel #9724216013). The house is currently being used as an interior design practice, and the applicant wishes to use the property as an office for her counseling and sports psychology practice. The site is located in the Low Density Mixed-Use (LMN) zone district. This project will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ryan Mounce, at 970-224-6186 or rmounce@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ali van Deutekom, 970-416-2743, avandeutekom@fcgov.com

1. Land Use Code (LUC) 3.2.2(K)(5) If you provide parking a van accessible handicap parking space will be required.
2. LUC 3.2.2(L) Table A and B
Standard 90 degree parking stall is 19'x 9'
3. LUC 3.2.5 All development, to the extent reasonably feasible, shall provide adequately sized conveniently located, accessible trash and recycling enclosures.
4. LUC 3.2.2(C)(4) Four bicycle parking spaces are required. One space would need to be enclosed.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers in this area include a 4-inch water main and a 6-inch sewer in Remington, a 10-inch sewer in Prospect and an 8-inch sewer in alley west of the property.

2. There is an existing ¾-inch water service to the site connecting to the main in Remington.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. If a larger water service is needed, development fees and water rights will be due at building permit.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. Please work with the engineering department to determine whether any adjacent street road improvements would be required with this proposal.

Department: Stormwater Engineering

Contact: Wes Lamarque, 970-416-2418, wlararque@fcgov.com

1. If there are no site improvements that require grading or an increase in impervious area, there are no Stormwater requirements. Please contact the Stormwater Utility if site improvements are anticipated.
2. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
3. The design of this site must conform to the drainage basin design of the Spring Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. No PFA comments regarding change of use from residence to business office.

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.
2. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any trees with a DBH greater than six inches is

proposed to be removed, then a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. If the sidewalk crossing the existing driveway does not meet ADA requirements the driveway will need to be reconstructed to meet current ADA requirements.
5. The ramp at the corner of Prospect Road and Remington Street adjacent to the site does not meet ADA standards. The project will be responsible for replacing this ramp with one that does meet ADA standards.
6. The sidewalk along Prospect Road does not meet our minimum width standard for an arterial roadway. We would love to see the sidewalk widened, but doing so would take the edge of the sidewalk right up to the building so the decision at this time is that we will not require it with this proposal.
7. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
8. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
9. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.

Department: Electric Engineering

Contact: Jim Spaulding, 970-416-2772, jspaulding@fcgov.com

1. Please contact Electrical Engineering at 221-6700 if you have any questions.

Planning Services

Contact: Ryan Mounce, 970-224-6186, rmounce@fcgov.com

1. The conversion to an office use is permitted in the L-M-N Zone District subject to Planning and Zoning Board (Type 2) review. As a Type 2 project, a neighborhood meeting will be required prior to submitting a formal development application.
2. Several site upgrades and amenities will be required with a conversion to the office use, including:
 - A trash enclosure built on a concrete pad if there will be outdoor storage of trash and recyclable materials.

- A minimum of 4 bicycle parking spaces, one of which must be enclosed.

- A van-accessible handicap space if on-site parking is provided. This handicap space should be at least 8' wide and an adjoining 8' wide access aisle.

3. The existing driveways and garage location may make it difficult for on-site parking to meet handicap and commercial parking requirements. Beyond striped parking stalls, room will be needed for general maneuvering, turn-arounds, and drive aisles. If parking is provided on-site, cars should not have to back-out onto Prospect Road.

Standard perpendicular parking stall dimensions are 9' wide and 19' long. Two-way drive aisles require a width of 24'.

A shared parking arrangement with a nearby business at an established parking lot may be beneficial in this circumstance.

4. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
5. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
6. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
7. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
8. Please see the Submittal Requirements and Checklist at:
<http://www.fcgov.com/developmentreview/applications.php>.
9. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
10. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

20012 International Building Code (IBC)

2012 International Residential Code (IRC)

20012 International Energy Conservation Code (IECC)

2012 International Mechanical Code (IMC)

2012 International Fuel Gas Code (IFGC)

2012 International Plumbing Code (IPC) as amended by the State of Colorado

2014 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

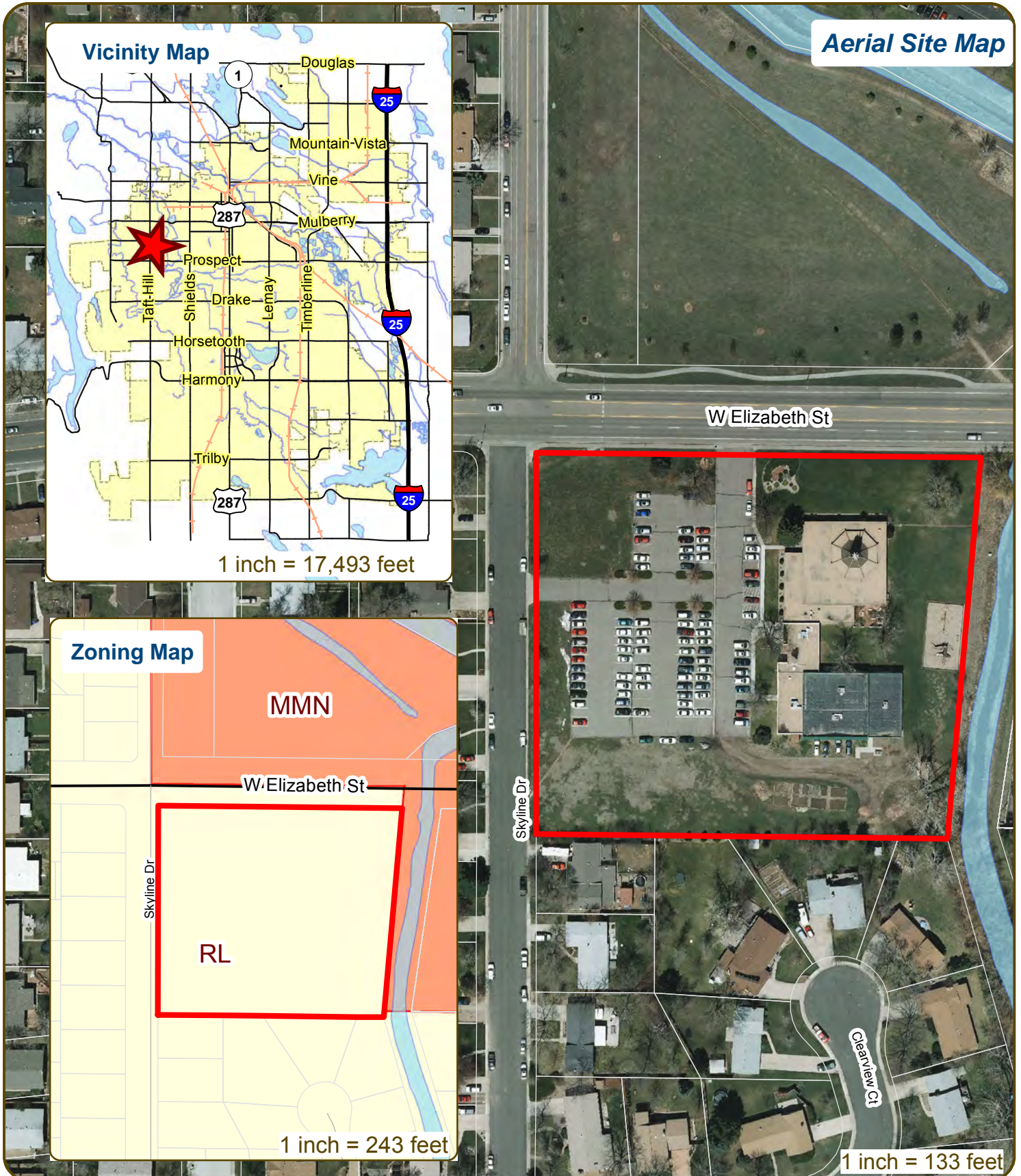
Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
970-416-2341

1709 W Elizabeth Wireless Telecommunications Equipment



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.





CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Ken Bradtke -

Agent/Representative

Business Name (if applicable) Atlas Tower Holdings, LLC

Your Mailing Address 4450 Arapahoe Ave., Suite 100, Boulder, CO 80210

Phone Number 714-726-9433 **Email Address** Kbradtke@atlastowers.com

Site Address or Description (parcel # if no address) 1709 W. Elizabeth St., Fort Collins, CO 80521

Description of Proposal (attach additional sheets if necessary) 85 ft. Bell tower / cell tower and accompanying 50x50 fenced compound

Proposed Use WCF **Existing Use** Church

Total Building Square Footage 2,500 **S.F. Number of Stories** N/A **Lot Dimensions** 50x50

Age of any Existing Structures Church built 1966 (48 yrs old)

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☐ Yes ☒ No If yes, then at what risk is it? _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

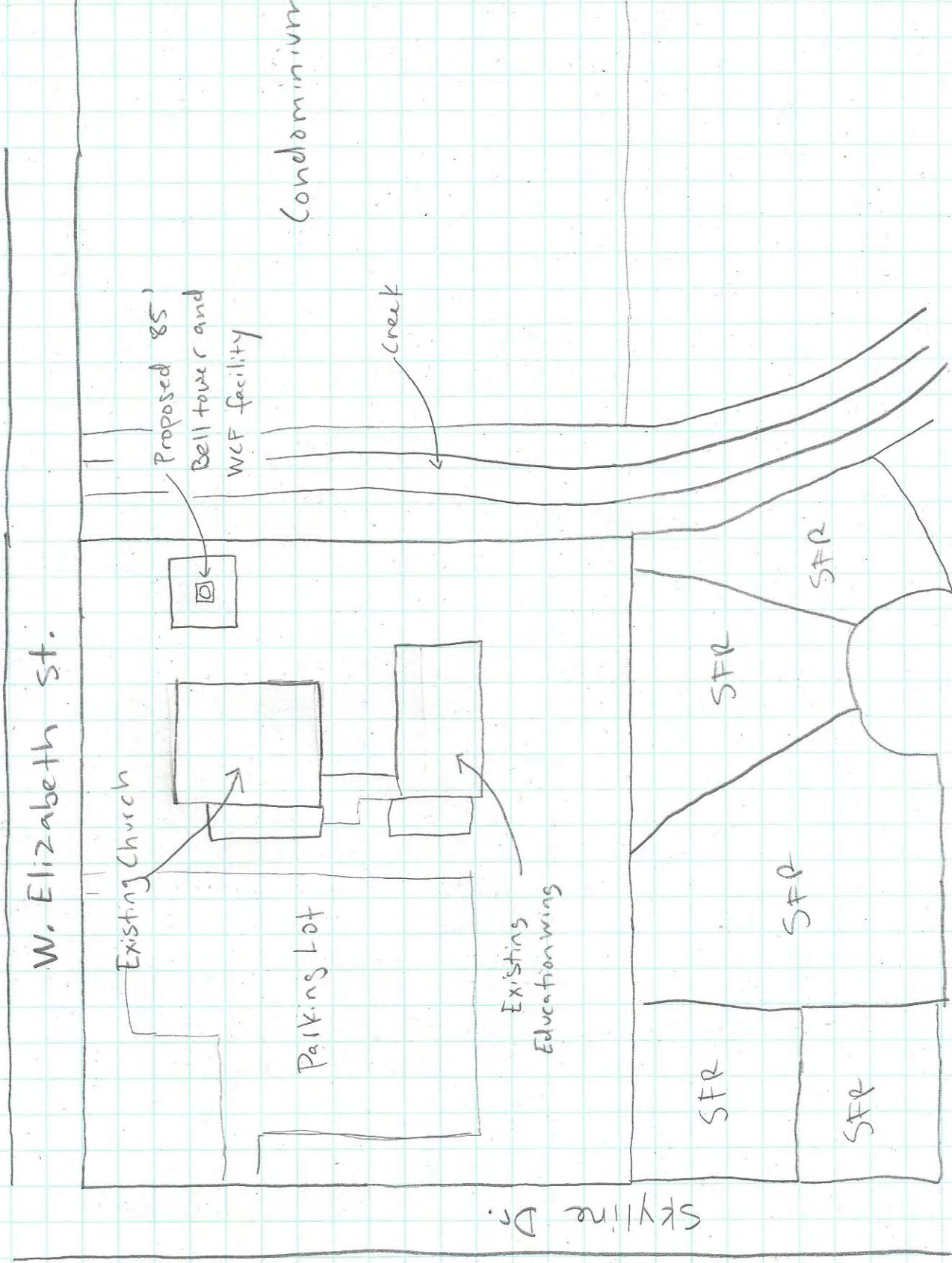
Increase in Impervious Area aprx. 1,250 sq. ft. **S.F.**
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

1709 W. Elizabeth

SCALE: $\square = 25' \times 25'$





Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

October 22, 2014

Ken Bradtke
Atlas Tower Holdings LLC
4450 Arapahoe Ave.
Suite 100
Boulder, CO 80210

Re: 1709 W Elizabeth - Wireless Telecommunications Equipment

Description of project: This is a request to construct a bell tower that will house wireless telecommunications equipment (parcel #9715300909). The wireless telecommunications equipment will be affixed to an 85' bell tower to be constructed on the site of a church. The site is located in the Low Density Residential (RL) zone district. This project will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ryan Mounce, at 970-224-6186 or rmounce@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ali van Deutekom, 970-416-2743, avandeutekom@fcgov.com

1. See Planning comments

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers in this area include a 10-inch water main and a 15-inch sewer in Elizabeth.
2. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
3. If water or sewer service is needed, development fees and water rights will be due at building permit.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. Traffic Operations and Transportation Planning have no comments.

Department: Stormwater Engineering

Contact: Wes Lamarque, 970-416-2418, wlamarque@fcgov.com

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. If there is an increase in imperviousness greater than 1000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity.
4. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
5. Low Impact Development (LID) requirements are now required when the impervious area is increased or a site is required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information. There is also more information on the EPA web site at: http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996.
LID design information can be found on the City's web site at:
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>.
6. The outfall for the site is the curb & gutter in Elizabeth Street.
7. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the

design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

8. The design of this site must conform to the drainage basin design of the Canal Importation Master Drainage Plan as well the Fort Collins Stormwater Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. There are no PFA comments at this time.

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. As we have discussed, an Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (irrigation canal). Please note the buffer zone standard of 50' for this feature, as identified in Section 3.4.1(E) of the Land Use Code, as you proceed with your site design process.

Please note that the Ecological Characterization Study is due a minimum of 10 days prior to the PDP submittal.

2. Within the buffer zone, according to Article 3.4.1(E)(1)(g), the City has the ability to determine if the existing landscaping within the buffer zone is incompatible with the purposes of the buffer zone. Please ensure that your ECS discusses the existing vegetation and identifies potential restoration options. If it is determined to be insufficient, then restoration and mitigation measures will be required.
3. With respect to lighting, the City of Fort Collins Land Use Code, in Article 3.2.4(D)(6) requires that "natural areas and natural features shall be protected from light spillage from off site sources." Thus, lighting from the parking areas or other site amenities shall not spill over to the buffer areas.
4. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.
5. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site may have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

5.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.

2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Sidewalk will need to be installed on Skyway along the properties frontage. This is a local street so a 4.5 foot sidewalk detached by 6 feet would be the standard.
5. The corner ramp at Skyway and Elizabeth does not appear to meet current ADA standards, if so the ramp will need to be reconstructed to meet current ADA standards. In addition if the sidewalk crossing the driveway on West Elizabeth doesn't meet ADA standards that will also need to be reconstructed to meet ADA standards.
6. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
7. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. Right-of-way along Elizabeth Street would need to be dedicated along the frontage of this property. The amount to be dedicated will need to be determined and is based on sidewalk type envisioned for this portion of Elizabeth. The standard would be detached. Additional right-of-way may also need to be dedicated to accommodate the sidewalk along Skyway. Currently the property is unplatted, so if the property needs to plat the dedication can be included on that document. If a plat will not be done information on the process and cost for the dedication by separate document can be found here:
<http://www.fcgov.com/engineering/devrev.php>
8. It is possible that utility plans will be required and a Development Agreement will be recorded once the project is finalized.
9. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
10. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.

Department: Electric Engineering

Contact: Jim Spaulding, 970-416-2772, jspaulding@fcgov.com

1. System modification charges may apply depending on increased load of transformer. Please contact Electrical Engineering at 221-6700 if you have any questions.

Planning Services

Contact: Ryan Mounce, 970-224-6186, rmounce@fcgov.com

1. Wireless telecommunications equipment is permitted in the Low Density Residential (R-L) Zone District subject to Planning & Zoning Board (Type 2) review. A neighborhood meeting will be required prior to a development submittal.
2. For the project to be classified as wireless telecommunications equipment, rather than a wireless telecommunications facility, the antennas will need to be on a structure that has a functional purpose for the

church.

3. Setbacks in the R-L district are 20' in the front yard, 15' in the rear yard and one foot for every three feet in height of a building or structure along the side yards, but no less than 25'.
4. The cell antennas should be incorporated into the design of the bell tower so as to remain hidden or stealthed.
5. The equipment shelter should be built of compatible materials and colors to the church and the shelter and fencing will need to incorporate landscaping along the perimeter, with an emphasis on coniferous elements for year-round screening.
6. The church parcel is currently unplatted; although a new bell-tower would not trigger the need to plat the property, any needed right-of-way dedication could be done through a new plat or through a separate dedication document.
7. Street trees should be planted along the Skyline Drive street frontage in accordance with Street Tree standards found in LUC 3.2.1(D)(2). Canopy shade street trees should be planted 30' to 40' apart. Ornamental trees should be planted in substitution of canopy shade trees if they are located within 40' of a lighting fixture, but no closer than 15' from the light fixture.

There are several existing trees already planted along the Skyline Drive street frontage that may be able to help meet street tree standards, with additional trees planted to fill in gaps.

Additional coordination will be needed to help determine requirements and options for trees along Elizabeth Street.

8. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
9. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
10. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
11. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
12. Please see the Submittal Requirements and Checklist at:
<http://www.fcgov.com/developmentreview/applications.php>.
13. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
14. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.