

Conceptual Review Agenda

Schedule for 06/15/15 to 06/15/15

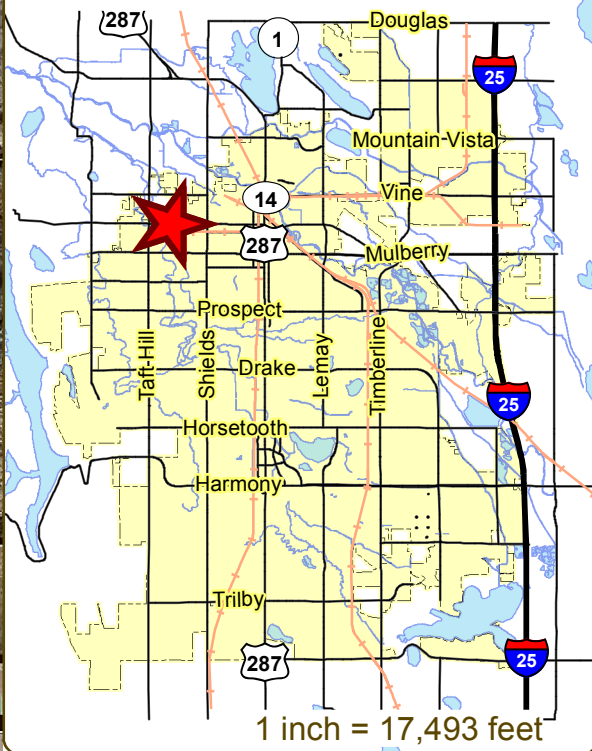
281 Conference Room A

Monday, June 15, 2015

Time	Project Name	Applicant Info	Project Description	Planner
9:30	1520 Laporte - Replat and Duplex CDR150034	Cynthia Reffler (970) 490-2962 cynthia@cjrhomes.com	This is a request to subdivide the lot at 1520 Laporte and construct a new duplex (Parcel #9710103022). The proposal presents three options that call for up to two new duplexes on two new lots. The existing duplex will be retained in each option. The parcel is located in the Neighborhood Conservation - Low Density (NCL) zone district. This proposal will be subject to the Addition of Permitted Use (APU) process.	Ted Shepard
10:15	6740 S College - Multi-family CDR150035	Patrick Stoffregen (317) 437-4948 pstoffregen@pedcor.net	This is a request to construct 250 multi-family units at 6740 S College (Parcel #9613200006). All units will be affordable housing units serving families earning between 30-60% of AMI. The proposal also calls for a clubhouse serving the development. The parcel is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Planning & Zoning Board (Type II) review.	Clay Frickey
11:00	612 E Pitkin - Carriage House CDR150033	Heidi Shuff (970) 231-1040 heidishuff@gmail.com	This is a request to construct a carriage house at 612 E Pitkin St. (Parcel #9713317009). The carriage house will be 230 sq. ft. on the second story of a 597 sq. ft. alley loaded garage. This project will coincide with the scrape and re-build of the existing single-family home on the site. The parcel is located in the Neighborhood Conservation - Low Density (NCL) zone district. This proposal will be subject to Type I (Administrative) review.	Pete Wray

1520 Laporte Replat and Duplex

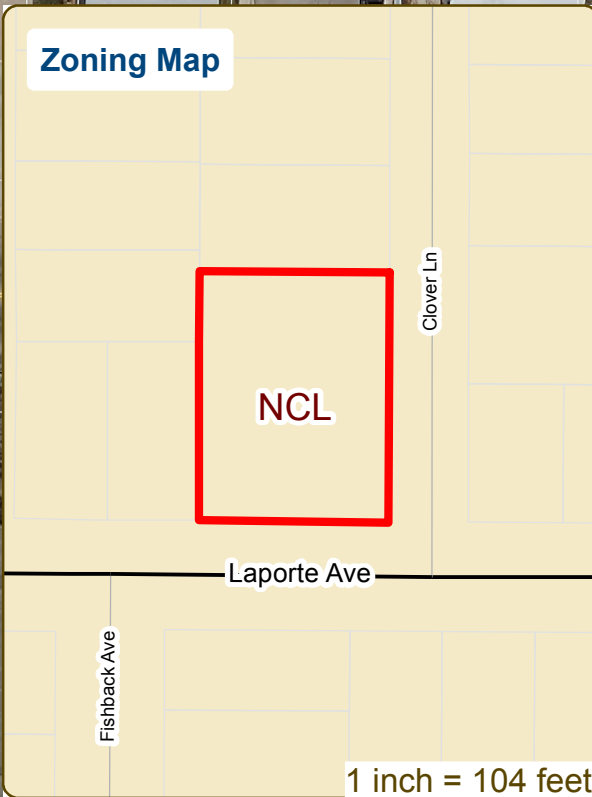
Vicinity Map



Aerial Site Map



Zoning Map



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CONCEPTUAL REVIEW:
APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a “first come, first served” basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED **The more info provided, the more detailed your comments from staff will be.**

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

[Cynthia Reffler, Potential Buyer](#)

Business Name (if applicable) [CJR Homes, LLC](#)

Your Mailing Address [124 Fishback Avenue, FC, CO 80521](#)

Phone Number [970-490-2962](#) **Email Address** cynthia@cjrhomes.com

Site Address or Description (parcel # if no address) [1520 Laporte Avenue](#)

Description of Proposal (attach additional sheets if necessary) [Option 1 - split into 3 lots with duplexes on each,](#)
[Option 2 - split into 2 lots with duplexes on both, Option 165FT - if the lot is actually 165'x103' as the owner believes, then split into](#)
[3 lots with duplexes on each.](#)

Proposed Use [residential](#) **Existing Use** [residential](#)

Total Building Square Footage [varies on plan](#) **S.F. Number of Stories** _____ **Lot Dimensions** [varies on plan](#)

Age of any Existing Structures [house built in 1950](#)

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☐ Yes ☐ No **If yes, then at what risk is it?** _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

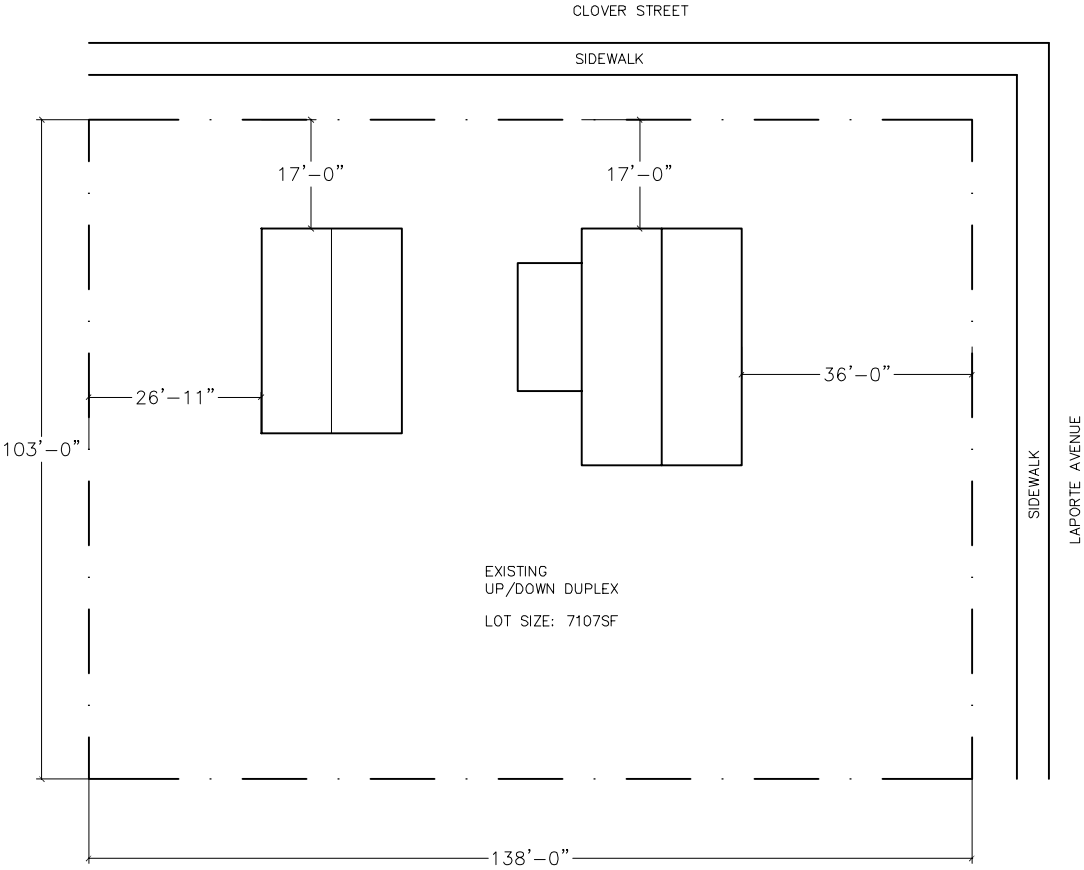
Increase in Impervious Area [varies see plans](#) **S.F.**
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

LOT SIZE:
14214 SF

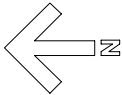
BUILDING SQUARE FOOTAGE:
HOUSE = 950 SF
GARAGE= 378 SF



EXISTING-SITE-PLAN

SCALE: 1"=30'-0"

LEGAL DESCRIPTION:
BEG AT PT 70FT E OF SW
COR OF NE 10-7-69, TH N
0 19'W 165FT; TH E 103FT;
TH S 0 19'E 165FT; TH W
103FT.



General Notes

No.	Revision/Issue	Date

Per Name and Address

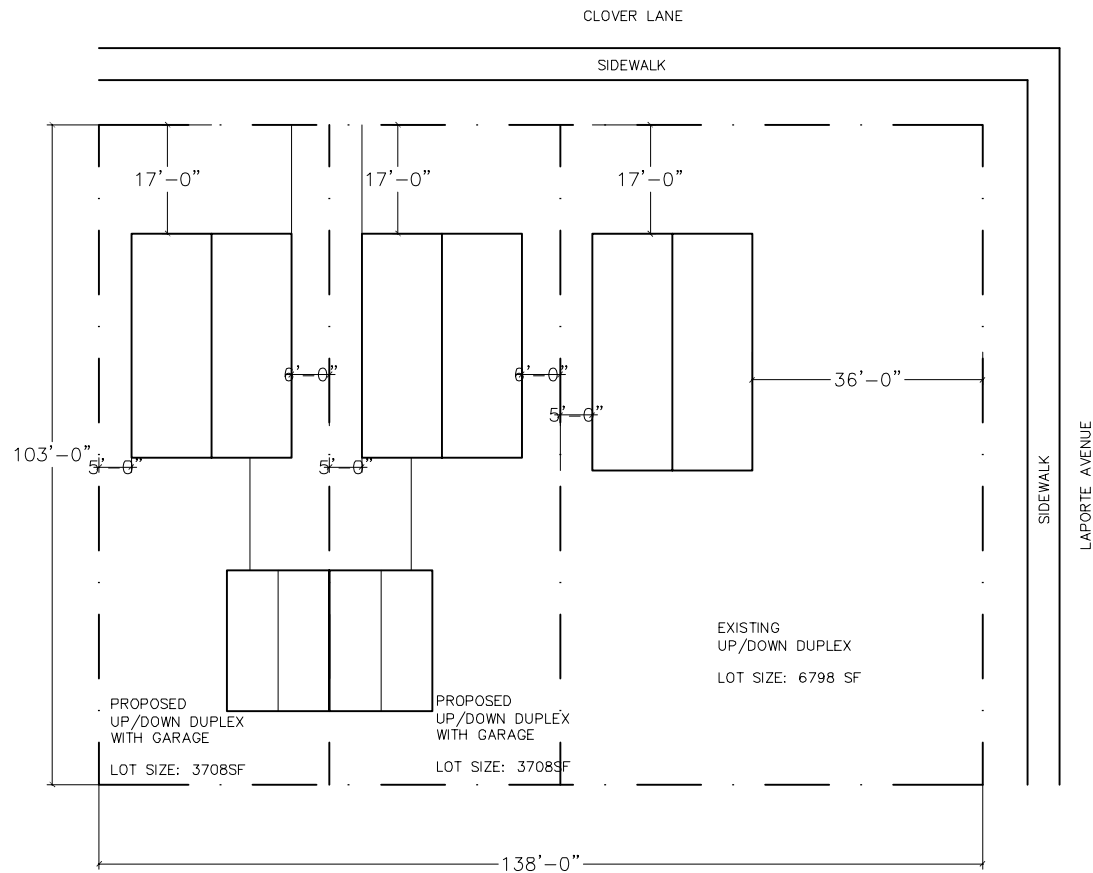
Cynthia Reffler
CJR Homes, LLC
124 Fishback Avenue
Fort Collins, CO 80521
(970)490-2962 Office
(970)215-6118 Mobile

Project Name and Address

Project	Sheet
SITE PLAN	SITE
Date	
Scale	
	On Drawing

LOT SIZE:
 LAPORTE = 6798 SF
 CLOVER 1 = 3708 SF
 CLOVER 2 = 3708 SF

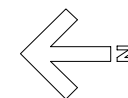
BUILDING SQUARE FOOTAGE:
 LAPORTE = 950 SF
 CLOVER = UP TO 1742 SF EACH



OPTION1-SITE-PLAN

SCALE: 1"=30'-0"

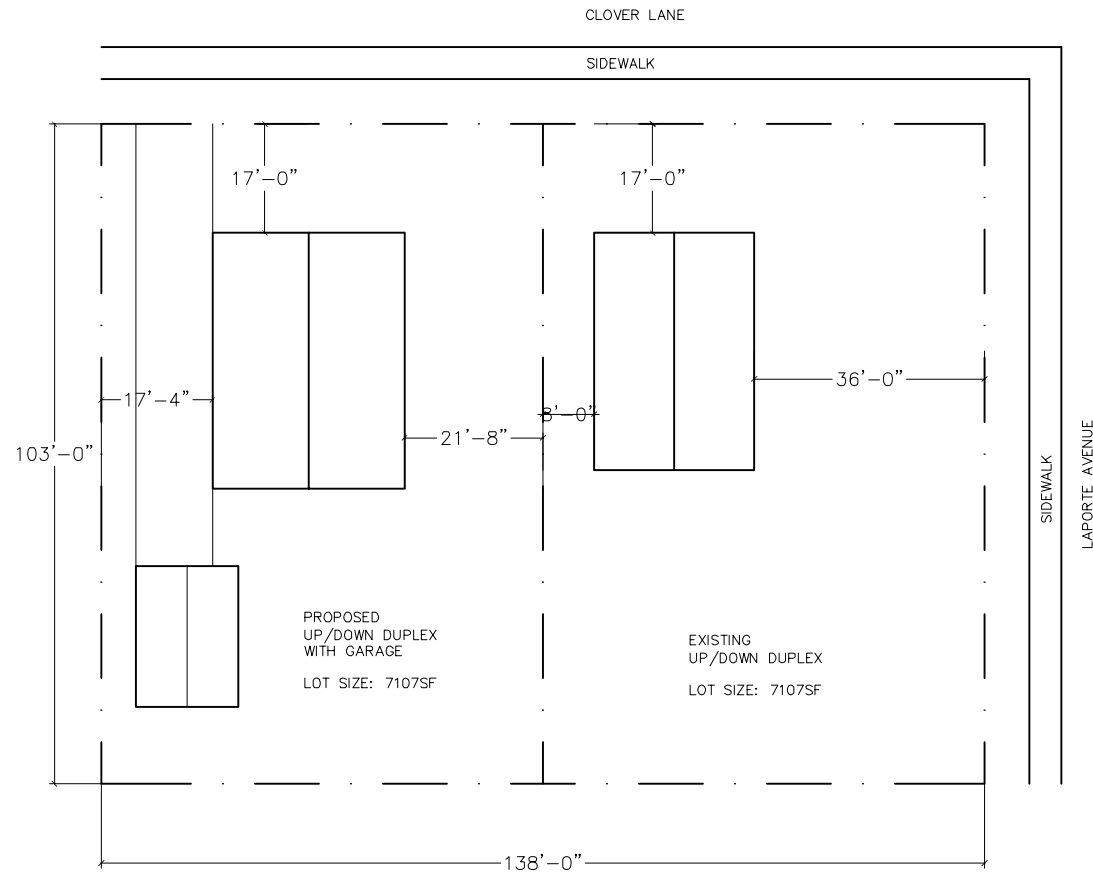
LEGAL DESCRIPTION:
 BEG AT PT 70FT E OF SW
 COR OF NE 10-7-69, TH N
 0 19'W 165FT; TH E 103FT;
 TH S 0 19'E 165FT; TH W
 103FT.



General Notes		
No.	Revision/Issue	Date
File Name and Address Cynthia Reffler CJR Homes, LLC 124 Fishback Avenue Fort Collins, CO 80521 (970)490-2962 Office (970)215-6118 Mobile		
Project Name and Address 		
Project SITE PLAN Date June 1, 2015 Scale On Drawing	Sheet SITE	

LOT SIZE:
 LAPORTE = 7107 SF
 CLOVER = 7107 SF

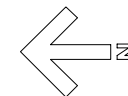
BUILDING SQUARE FOOTAGE:
 LAPORTE = 950 SF
 CLOVER = UP TO 2421 SF



OPTION2-SITE-PLAN

SCALE: 1"=30'-0"

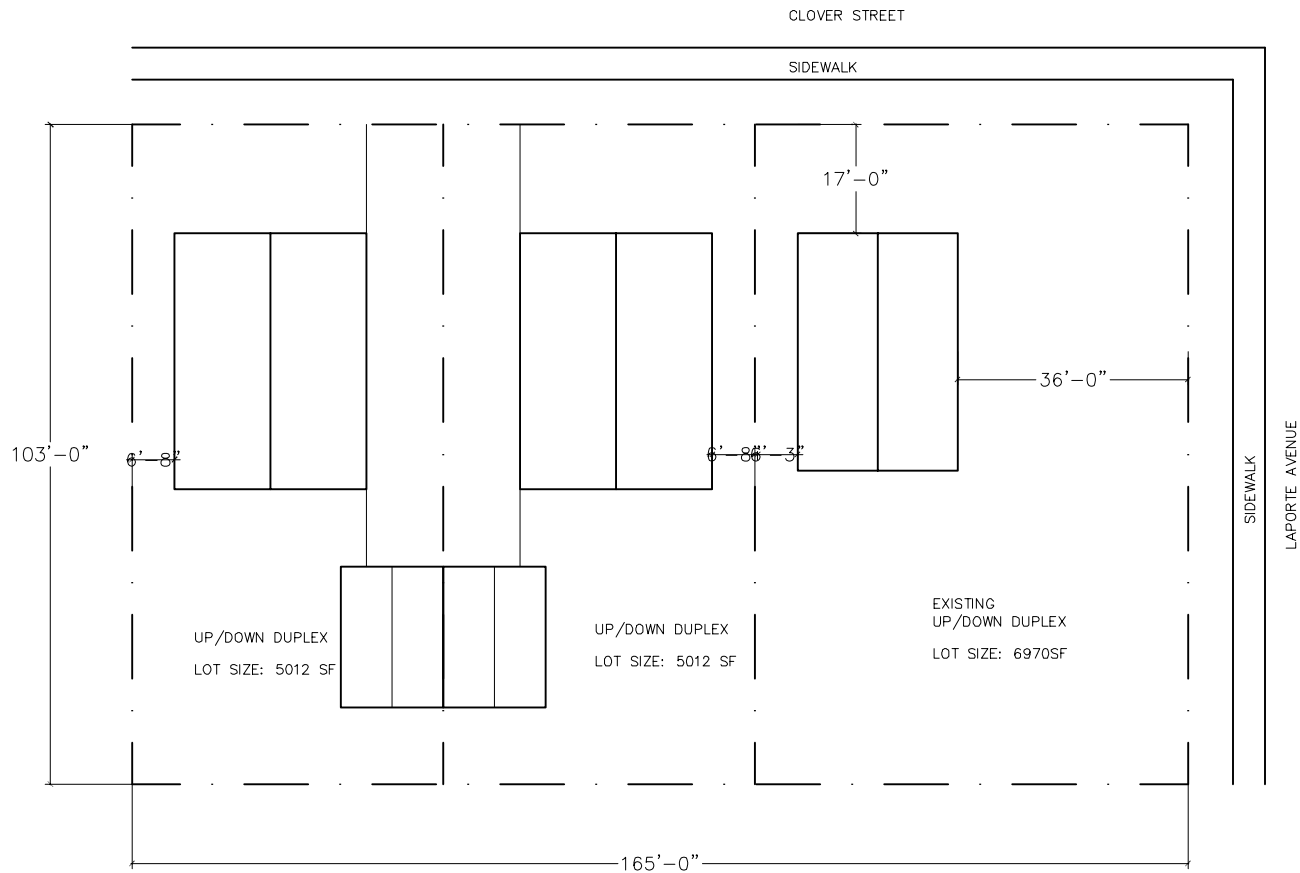
LEGAL DESCRIPTION:
 BEG AT PT 70FT E OF SW
 COR OF NE 10-7-69, TH N
 0 19'W 165FT; TH E 103FT;
 TH S 0 19'E 165FT; TH W
 103FT.



General Notes		
No.	Revision/Issue	Date
Pre Name and Address Cynthia Reffler CJR Homes, LLC 124 Fishback Avenue Fort Collins, CO 80521 (970)490-2962 Office (970)215-6118 Mobile		
Project Name and Address 		
Project SITE PLAN Date June 1, 2015 Scale On Drawing	Sheet SITE	

LOT SIZE:
 LAPORTE = 6970 SF
 CLOVER 1 = 5012 SF
 CLOVER 2 = 5012 SF

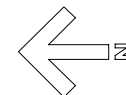
BUILDING SQUARE FOOTAGE:
 LAPORTE = 950 SF
 CLOVER = UP TO 2002 SF EACH



OPTION 165FT-SITE-PLAN

SCALE: 1"=30'-0"

LEGAL DESCRIPTION:
 BEG AT PT 70FT E OF SW
 COR OF NE 10-7-69, TH N
 0 19'W 165FT; TH E 103FT;
 TH S 0 19'E 165FT; TH W
 103FT.



General Notes		
No.	Revision/Issue	Date
Per Name and Address Cynthia Reffler CJR Homes, LLC 124 Fishback Avenue Fort Collins, CO 80521 (970)490-2962 Office (970)215-6118 Mobile		
Project Name and Address 		
Project SITE PLAN Date June 1, 2016 Scale On Drawing	Sheet <div style="border: 1px solid black; padding: 5px; display: inline-block; font-weight: bold; font-size: large;">SITE</div>	











Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

July 06, 2015

Cynthia Reffler
CJR Homes
124 Fishback Ave
Fort Collins, CO 80521

Re: 1520 Laporte - Replat and Duplex

Description of project: This is a request to subdivide the lot at 1520 Laporte and construct a new duplex (Parcel #9710103022). The proposal presents three options that call for up to two new duplexes on two new lots. The existing duplex will be retained in each option. The parcel is located in the Neighborhood Conservation - Low Density (NCL) zone district. This proposal will be subject to the Addition of Permitted Use (APU) process.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ted Shepard, at 970-221-6343 or tshepard@fcgov.com.

Comment Summary:

Department: Water-Wastewater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. Existing water and sewer mains in the vicinity include an 8-inch water main in Clover, a 20-inch water main in Laporte, and 6-inch sewer mains in both Clover and Laporte. Existing water service is taken from the main in Laporte. It is not clear which main the sewer service is connected to. All existing services will need to be reused or abandoned at the main with this project.
2. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
3. Development fees and water rights will be due at building permit.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. Accesses to the new units will need to be off of Clover, not LaPorte.
2. Adjacent street improvements will be needed - especially sidewalk improvements along

3. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.

Department: Stormwater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer and there is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
3. Also when a site is completely redeveloped (scraped) the standard requirement is to provide onsite detention with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. A variance to the 2 year historic release rate may be justified if the site has been paying fees for a higher imperviousness. Please contact Jean Pakech at 221- 6375 to determine the present Stormwater fees and runoff coefficient category.
4. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs).
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
5. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. More information and links can be found at:
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
6. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
7. The design of this site must conform to the drainage basin design of the Old Town Master Drainage Plan as well the Fort Collins Stormwater Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of any building. The current utility infrastructure may already provide a hydrant within this maximum distance. Applicant shall verify location and output. Code language provided below.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

2. RESIDENTIAL AUTOMATIC FIRE SPRINKLERS

IFC 903.2.7: An automatic sprinkler system installed in occupancies in accordance with Section 903.3 shall be provided throughout all buildings with a Group R (Residential) fire area. Single family residences are not typically required to have sprinkler systems however, as of August 1, 2014, local amendment to the IRC requires duplexes, triplexes, etc. to have residential fire sprinkler systems. Please contact the building department for further information.

3. FIRE ACCESS

All building footprints appear to be within fire department access as measured from from Clover Ln. No further action is required.

Department: Environmental Planning

Contact: Kelly Kimple, , kkimple@fcgov.com

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Marc Ragasa mragasa@fcgov.com or 221-6603 will be the Engineer assigned to this project. Please contact him if you have further questions regarding the engineering comments or requirements.
2. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
3. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
4. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The corner ramp would need to be reconstructed to meet ADA standards. The old Hollywood curb and gutter adjacent to the site do not meet ADA width standards.

5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along Laporte Ave, and 9 foot along Clover Lane). Additional right-of-way along both frontages will need to be dedicated and can be done as a part of the platting process. Laporte Ave along the frontage of the property is considered a minor arterial and a half right-of-way width of 42 feet needs to be provided. The right-of-way needed adjacent to Clover Lane is the amount needed to accommodate the sidewalk widening.
7. The sidewalk along the Laporte Ave frontage and the Clover Lane frontage need to be widened. Both sidewalks are narrow and neither sidewalk meets current ADA requirements. The retaining wall along Laporte Ave will need to be moved north outside of the right-of-way. Along Clover Lane the sidewalk can either be widened (4 foot is the minimum width addition allowed) or the existing curb, gutter and sidewalk can be replaced with new curb and gutter and a sidewalk that would meet minimum standards for a local street. Along Laporte, we would like to see a 6 foot detached sidewalk, with the sidewalk placed at the back of the new right-of-way line which would provide for a parkway area in which the required parkway trees could be planted.
8. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
9. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
10. All driveways into the lots would need to be taken off of Clover Lane. Drainage out a driveway cannot flow out the driveway and across the sidewalk, but will need to be diverted to the side and out to the street through a sidewalk culvert.

Department: Electric Engineering

Contact: Coy Althoff, , CAlthoff@fcgov.com

1. Light and Power has single phase electric service available in this area. Development fees will apply to the new lots and system modification charges will apply to the existing house.
2. Please note that depending on the actual location of the existing service, it may be subject to re-location due to the construction of the new building(s).
3. Each residential unit will need to be metered individually.
4. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.

Planning Services

Contact: Ted Shepard, 970-221-6343, tshepard@fcgov.com

1. Two-family dwellings are not a permitted use in the N-C-L. Consequently, in order to allow two-family dwellings, there are three options:
 - A. Apply to Rezone the property from N-C-L to N-C-M, Neighborhood Conservation Medium Density per Section 2.9.3(A);
 - B. Have the City Council, the Planning and Zoning Board or the Director submit a Text Amendment to allow Two-Family Dwellings in the N-C-L per Section 2.9.3(B);
 - C. Apply for an Addition of Permitted Use per Section 1.3.4(B).

Option A is not recommended as there is no contiguity with the N-C-M zone and such a rezone would result in an isolated parcel not connected to a larger N-C-M zone district. Option B is not recommend as this would result in Two-Family Dwellings becoming a permitted use in all of the N-C-L zone districts on a city-wide basis. Option C is recommended as being the most appropriate as only Two-Family Dwellings would be considered, and only on 1520 LaPorte Avenue and subject to the review criteria established under Section 1.3.4 which contains specific neighborhood compatibility criteria. These criteria are not found in either the Rezoning or Text Amendment sections of the Land Use Code.

2. An application for an Addition of Permitted Use must be accompanied by a Project Development Plan and, in this case, a Replat to subdivide the lot. Two neighborhood meetings are required, one prior to submittal and one after the first round of staff review.
3. At the June 2, 2015 City Council meeting, Council directed staff to draft an Ordinance that would place a moratorium on the use of the Addition of Permitted Use process within nine zone districts, including N-C-L. Council will consider this moratorium at their meeting on July 7, 2015. Please contact the City Clerks' Office, 221-6515, for further details regarding the upcoming City Council agenda.
4. Staff recommends that each Two-Family Dwelling be placed on its own lot. This will require the parcel to be replatted. All lots must dedicate any additional public right-of-way and utility easements that may be necessary. Staff encourages the new lot(s) to front on and take access from Clover Street versus LaPorte Avenue to the extent reasonably feasible.
5. Even though the request includes an Addition of Permitted Use to allow Two-Family Dwellings, the land use and development standards of the N-C-L zone will remain applicable. These standards are summarized below.
6. On a lot of less than 5,000 square feet, the allowable floor area shall not exceed 40% of the lot area.
7. On a lot that is between 5,000 and 10,000 square feet, the allowable floor area shall not exceed 20% of the lot area plus 1,000 square feet.
8. The allowable floor area for buildings containing permitted uses other than single family dwellings shall not exceed 40% of the lot area.
9. The maximum allowable floor area on the rear one-half of the lot must not exceed 25%.
10. The minimum lot width is 40 feet.
11. The minimum front yard setback is 15 feet. The minimum garage door setback from the back of the sidewalk is 20 feet. The minimum rear yard setback is 15 feet.
12. The minimum sideyard setback is five feet for interior side yards and 15 for corner side yards. Whenever any portion of a building wall along a side lot line exceeds 18 feet, such portion of the building wall must be setback from the interior side lot line an additional one foot for every two feet, or fraction thereof, that exceeds 18 feet.
13. Please note that there are Solar Access Setbacks that require building height to be reduced in order to preserve solar access on adjacent lots an additional one foot beyond the minimum required, for each one foot, or fraction thereof, of building wall that exceeds 14 feet.
14. Maximum building height is two stories.
15. There are a variety of other detailed development standards in Section 4.7(F)(1) and (2). The applicant is encouraged to become aware of these standards and design the project accordingly.
16. Garages must be located behind the front building line of the dwelling units.

17. The applicant should be aware that the City Planning Department is undertaking a significant update to the Westside Neighborhood Plan and the subject parcel is contained within the study boundary. This sub-area planning effort is referred to as the Old Town Neighborhoods Plan. One of the central issues of this plan is to further address the issues of how new residential construction can be made more compatible with the adjacent neighborhood. In selecting an architectural style, the applicant is encouraged to become familiar with the adjacent vernacular and not select a style that is out of character with the neighborhood. Please contact Pete Wray, 221-6754, or Ryan Mounce, 224-6186, for further information.
18. Section 3.2.2(K)(1) requires that off-street parking be provided on a per bedroom per unit basis. For units containing one or less bedroom, there must be a minimum of 1.5 spaces. For unit containing two bedrooms, there must be 1.75 spaces. For units containing three bedrooms, there must be 2 spaces. For any fraction, you round up to whole number. Please indicate the number of bedrooms per unit for the existing duplex and the number of spaces provided. If the number of parking spaces does not comply with the standard, then make sure that the proposed project does not make any non-compliance such that there would be a greater deviation from the current standard.
19. Any request for Modification of Standard will be reviewed by the criteria in Section 2.8.2(H).
20. The proposed addition of permitted use is subject to Section 1.3.4 Addition of Permitted Uses, of the LUC. The proposed use is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request will be required to hold a neighborhood information meeting prior to formal submittal of the project. Type 2 development proposals are subject to the neighborhood meeting requirement, per Section 2.2.2 of the LUC. Please contact me at 221-6750, to assist you in setting a date, time, and location for a meeting. A planner and possibly other City staff, would be present to facilitate the meeting.
21. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
22. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
23. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
24. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
25. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
26. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

20012 International Building Code (IBC)
2012 International Residential Code (IRC)
20012 International Energy Conservation Code (IECC)
2012 International Mechanical Code (IMC)
2012 International Fuel Gas Code (IFGC)
2012 International Plumbing Code (IPC) as amended by the State of Colorado
2014 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

Energy Code Use

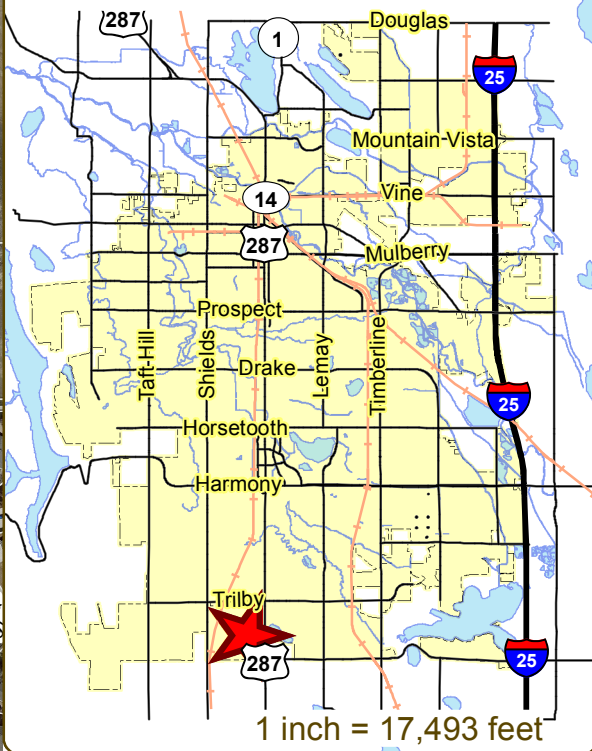
1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

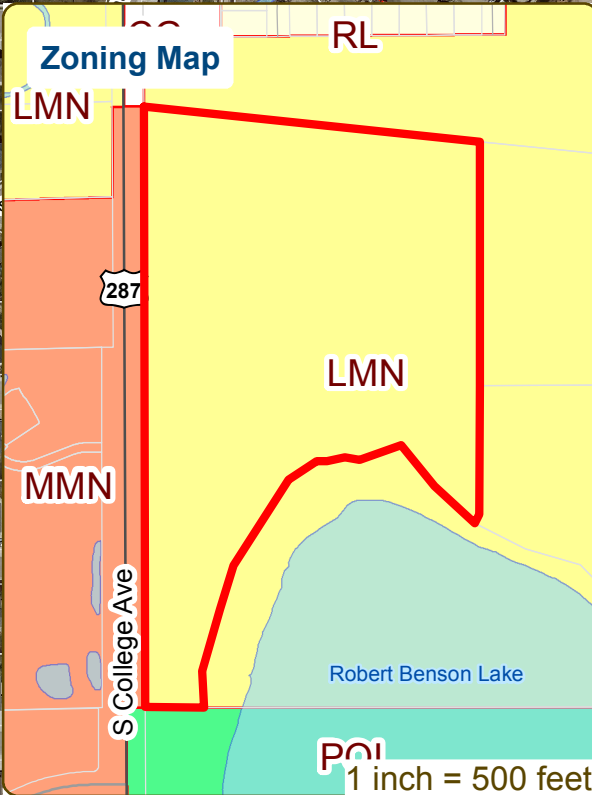
City of Fort Collins
Building Services
Plan Review
970-416-2341

6740 S College Multi-family

Vicinity Map



Zoning Map



Aerial Site Map



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.





CONCEPTUAL REVIEW:
APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a “first come, first served” basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED **The more info provided, the more detailed your comments from staff will be.**

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Patrick Stoffregen

Business Name (if applicable) Pedcor

Your Mailing Address 770 3rd Avenue, SW Carmel, IN 46032

Phone Number 317-437-4948 **Email Address** pstoffregen@pedcor.net

Site Address or Description (parcel # if no address) 6740 S College Ave.

Description of Proposal (attach additional sheets if necessary) 250 units of affordable housing

Proposed Use Multi-family housing **Existing Use** Vacant

Total Building Square Footage _____ **S.F. Number of Stories** _____ **Lot Dimensions** _____

Age of any Existing Structures _____

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☐ Yes ☐ No If yes, then at what risk is it? _____

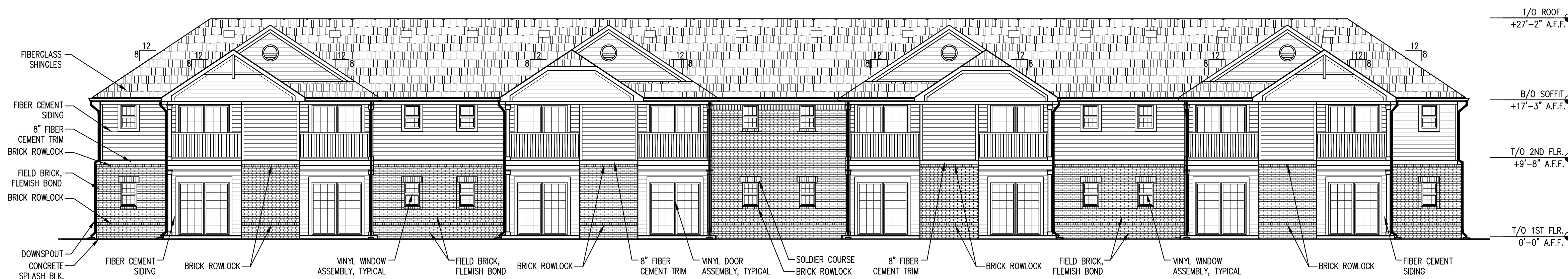
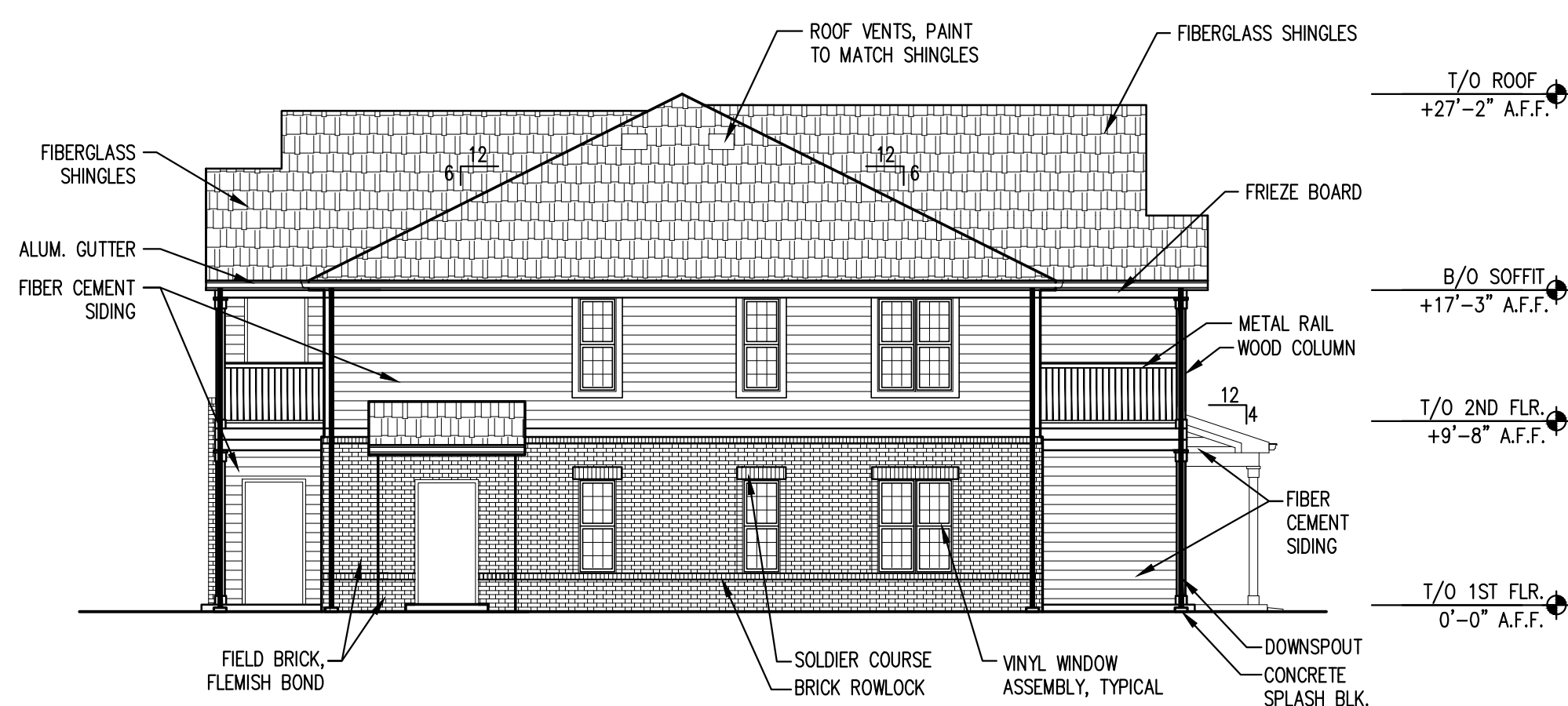
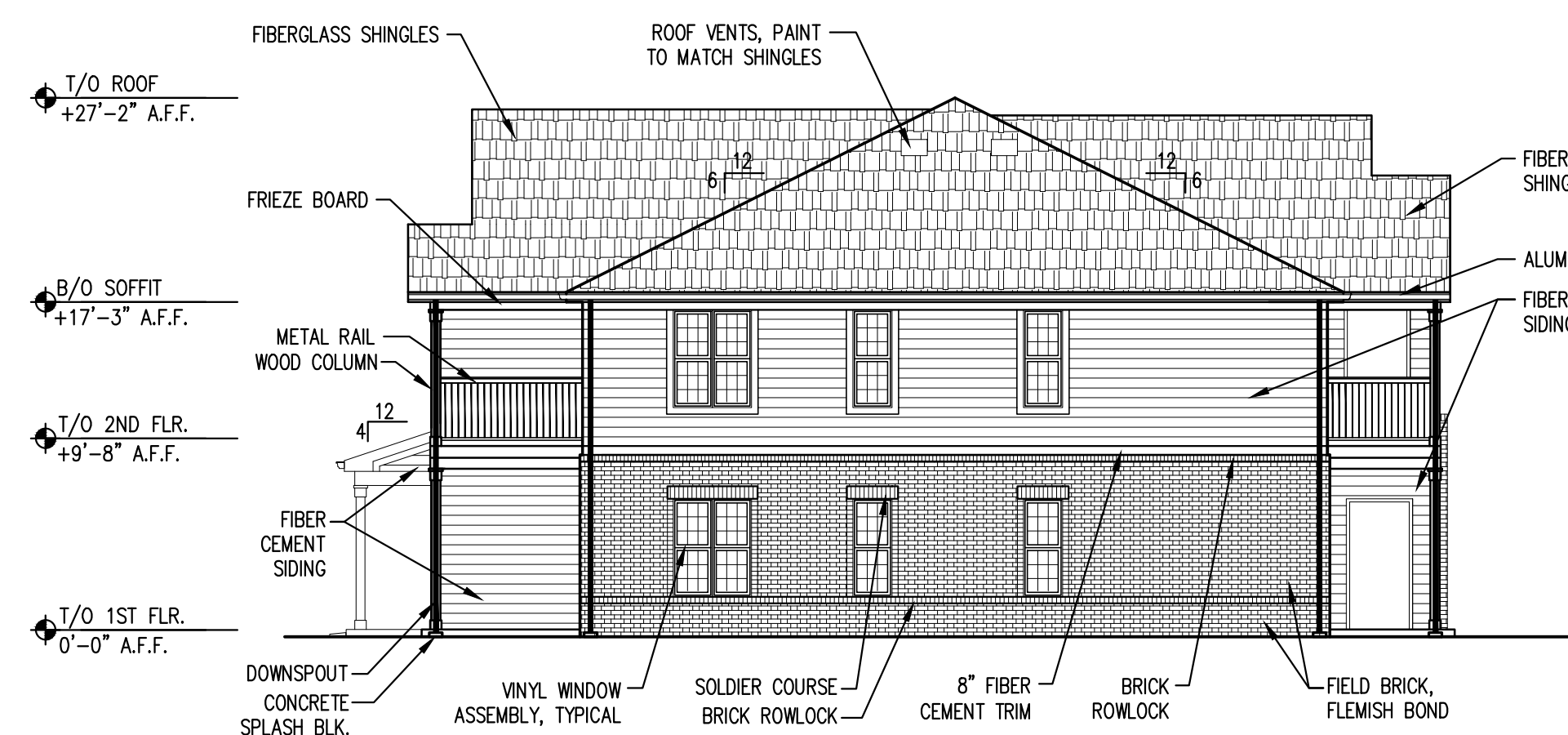
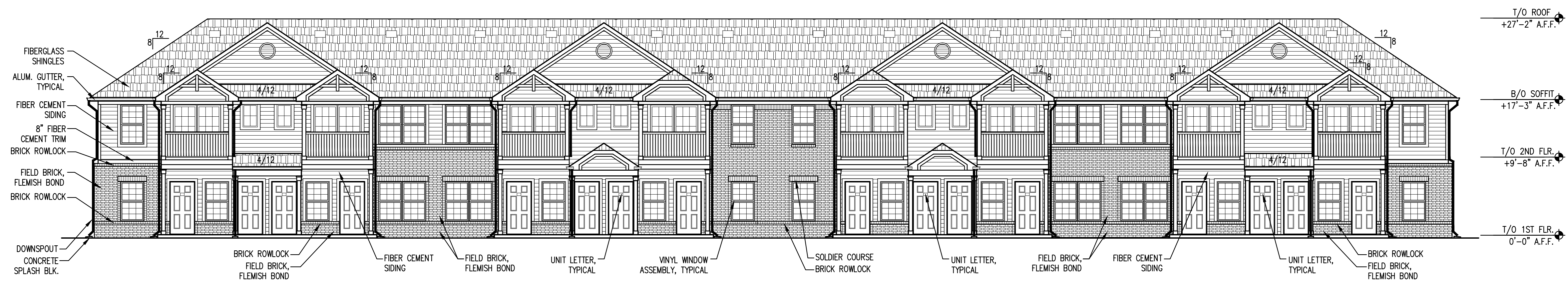
Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

Increase in Impervious Area _____ **S.F.**

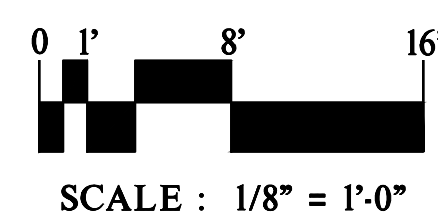
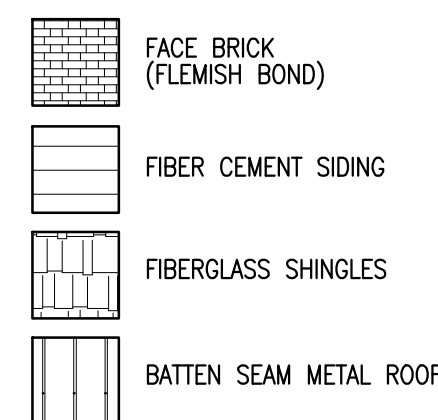
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

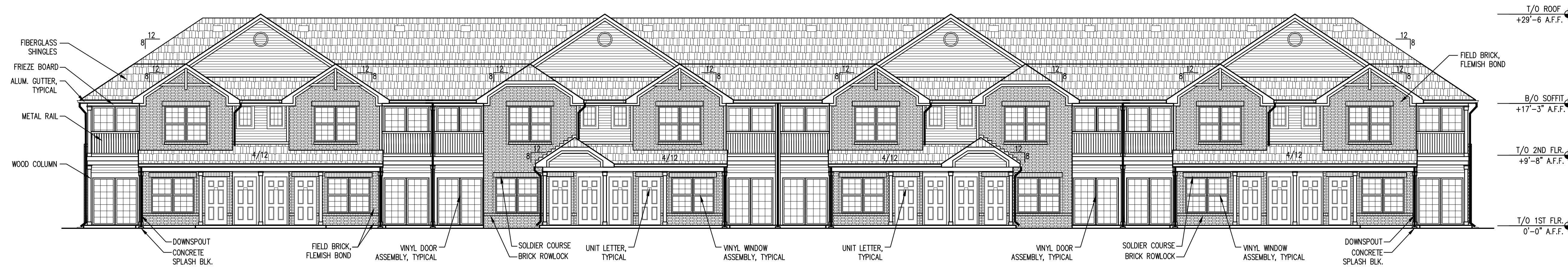
Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

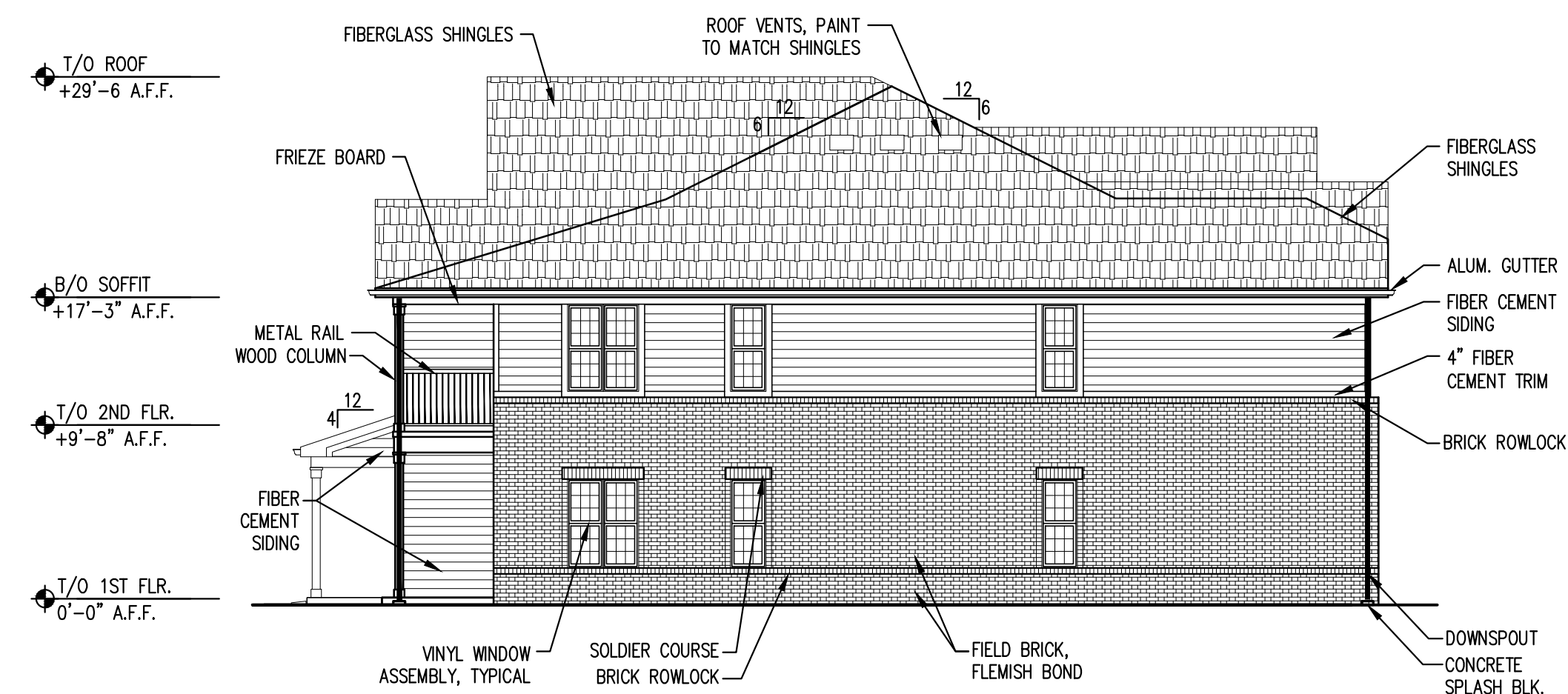


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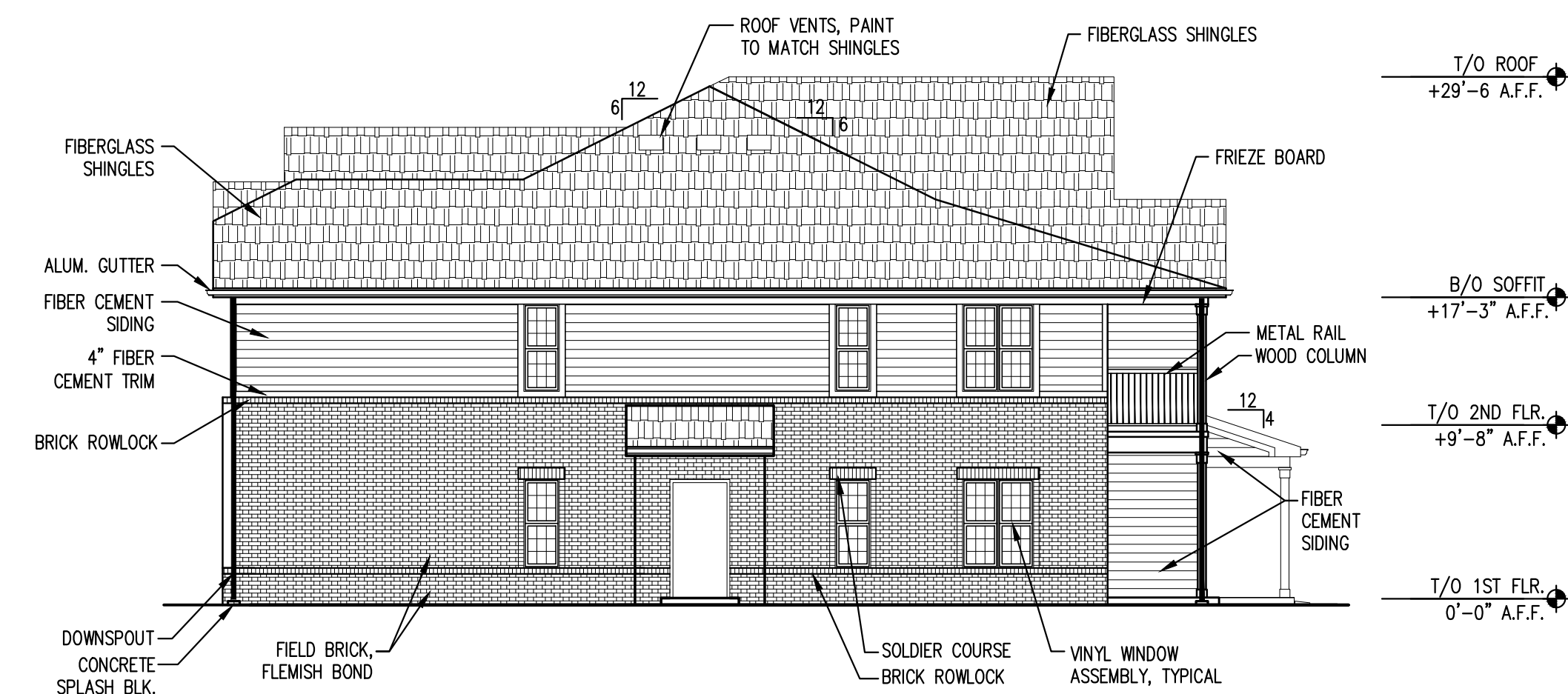




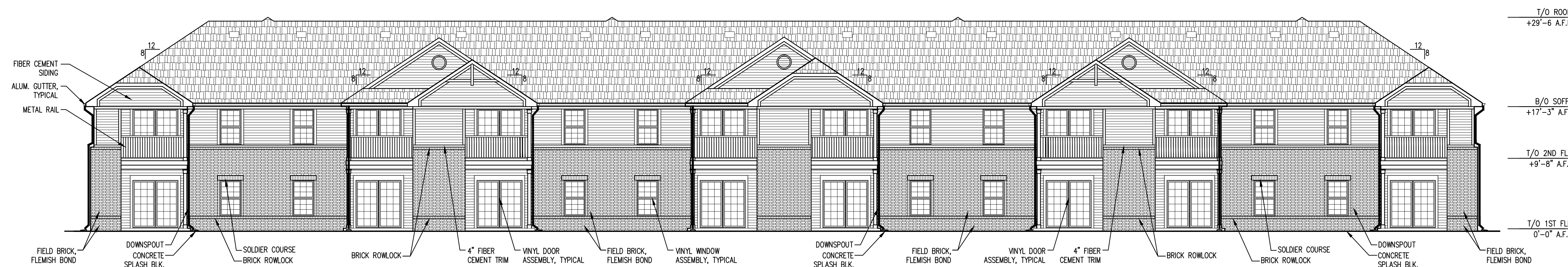
**16B BUILDING
FRONT ELEVATION**



**16B BUILDING
SIDE ELEVATION**

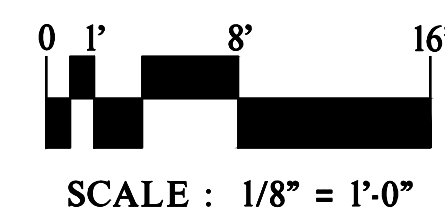
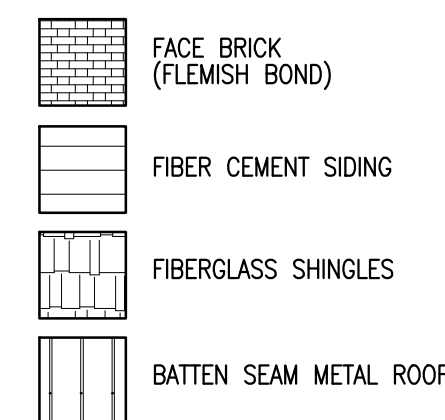


**16B BUILDING
SIDE ELEVATION**

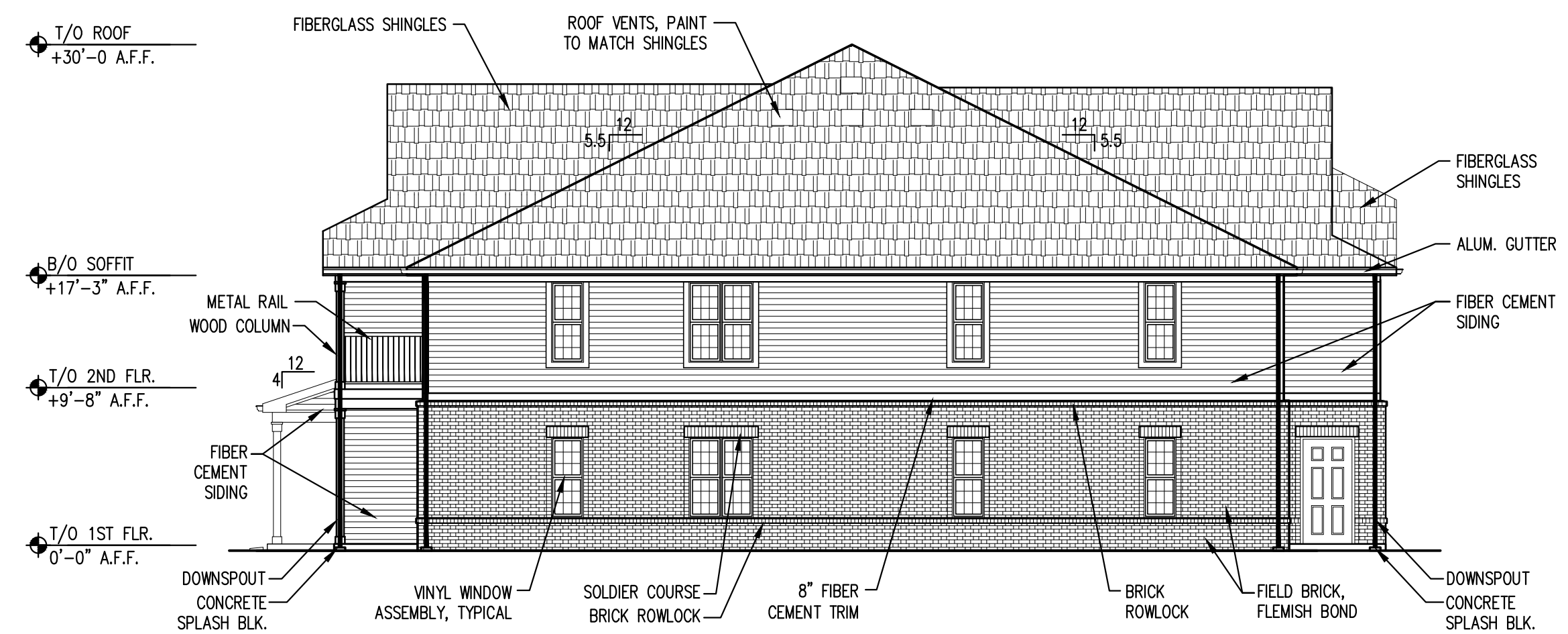
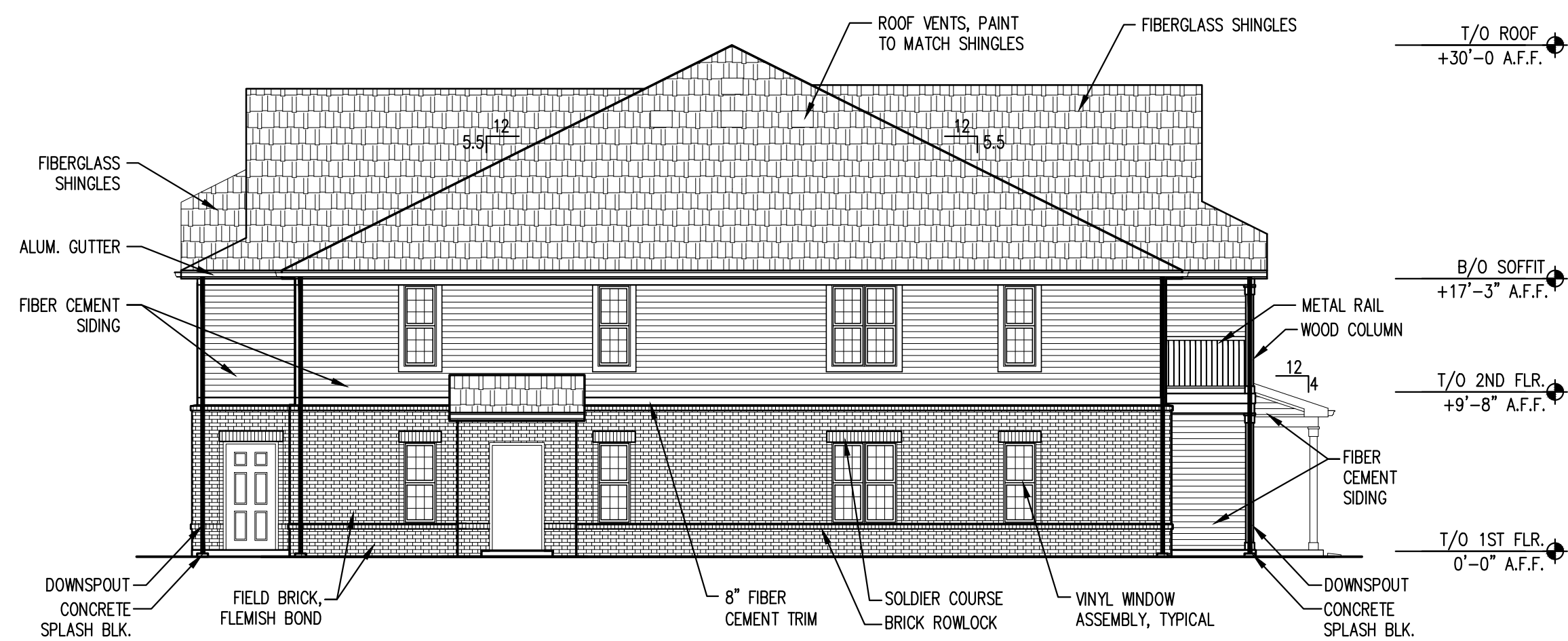
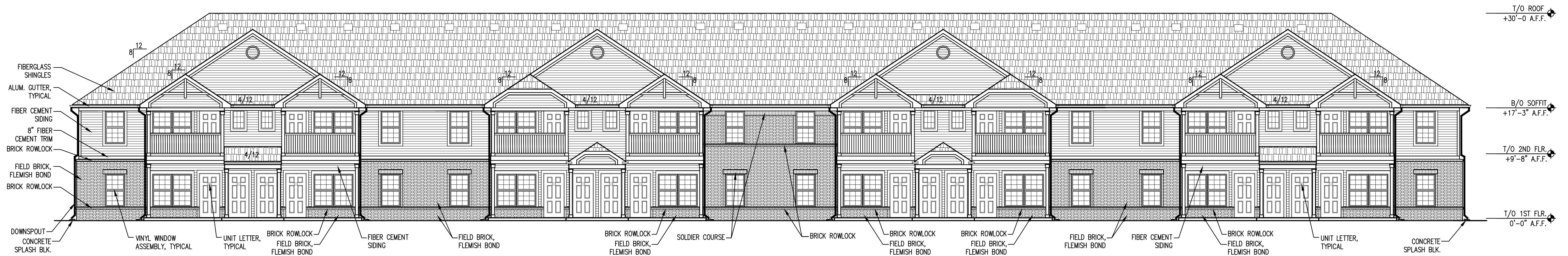


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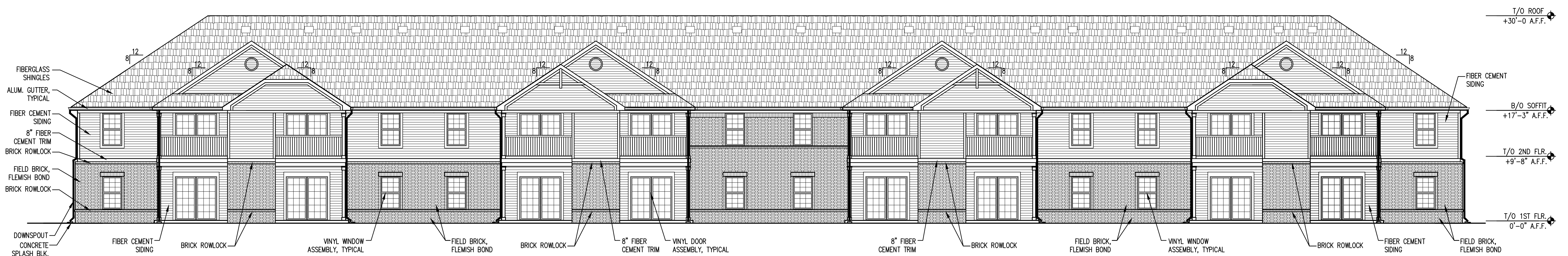
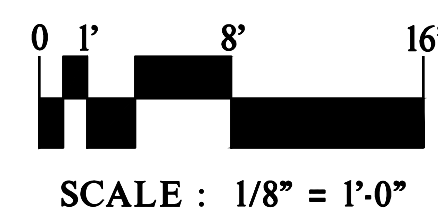
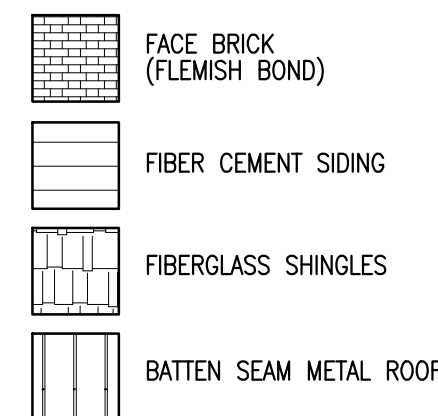
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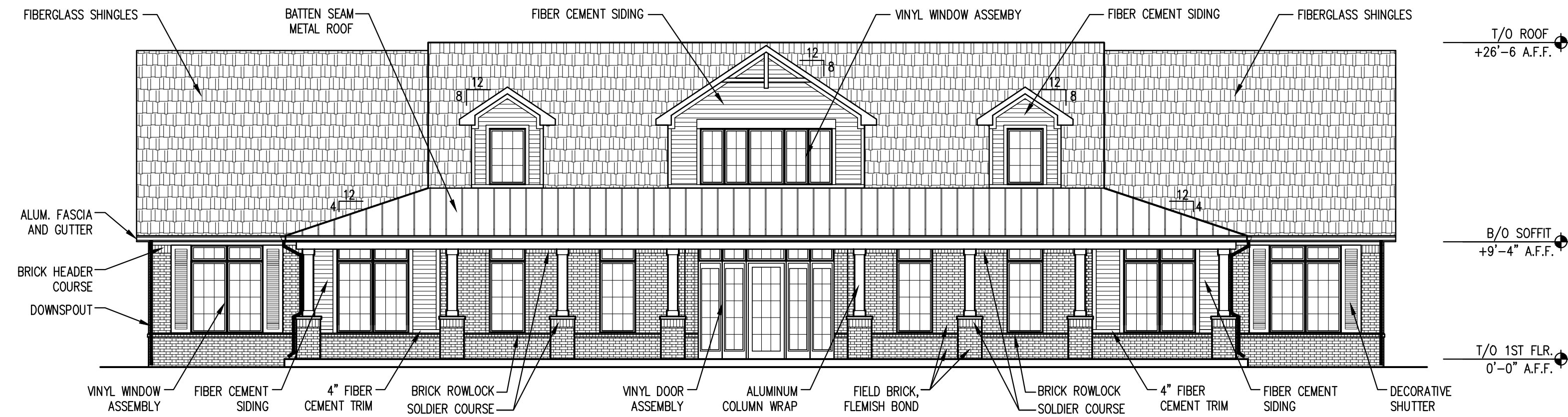


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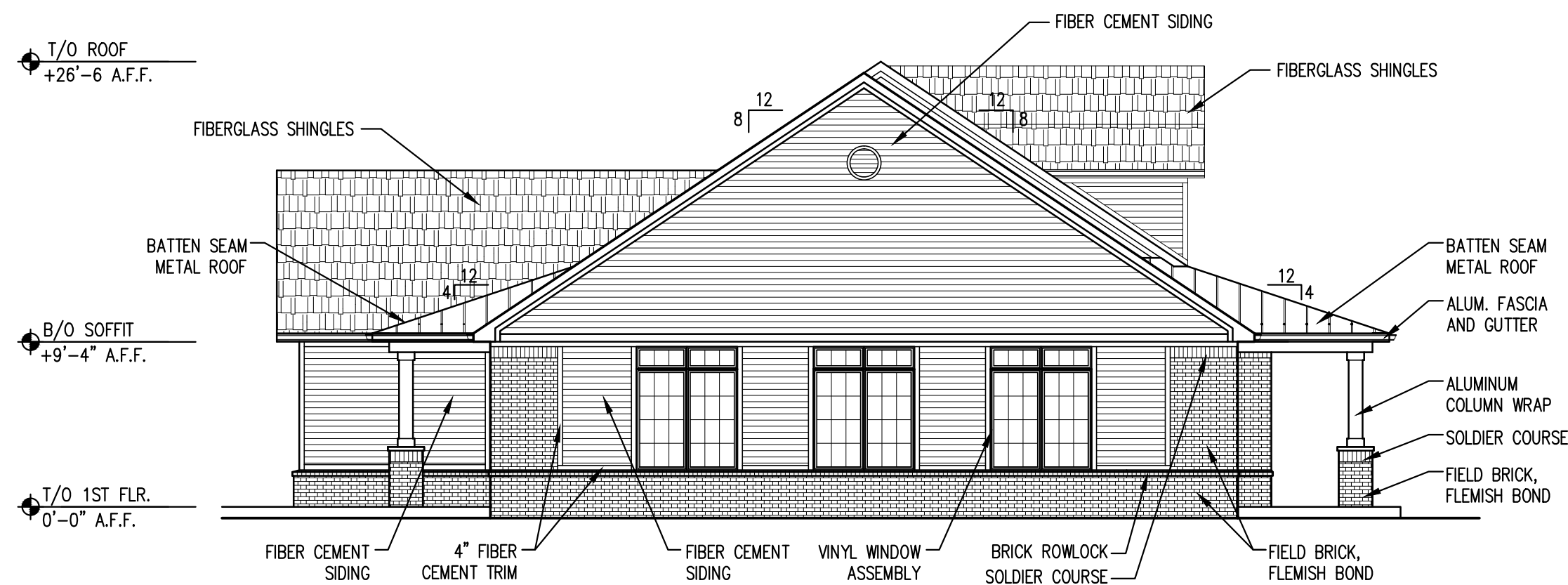


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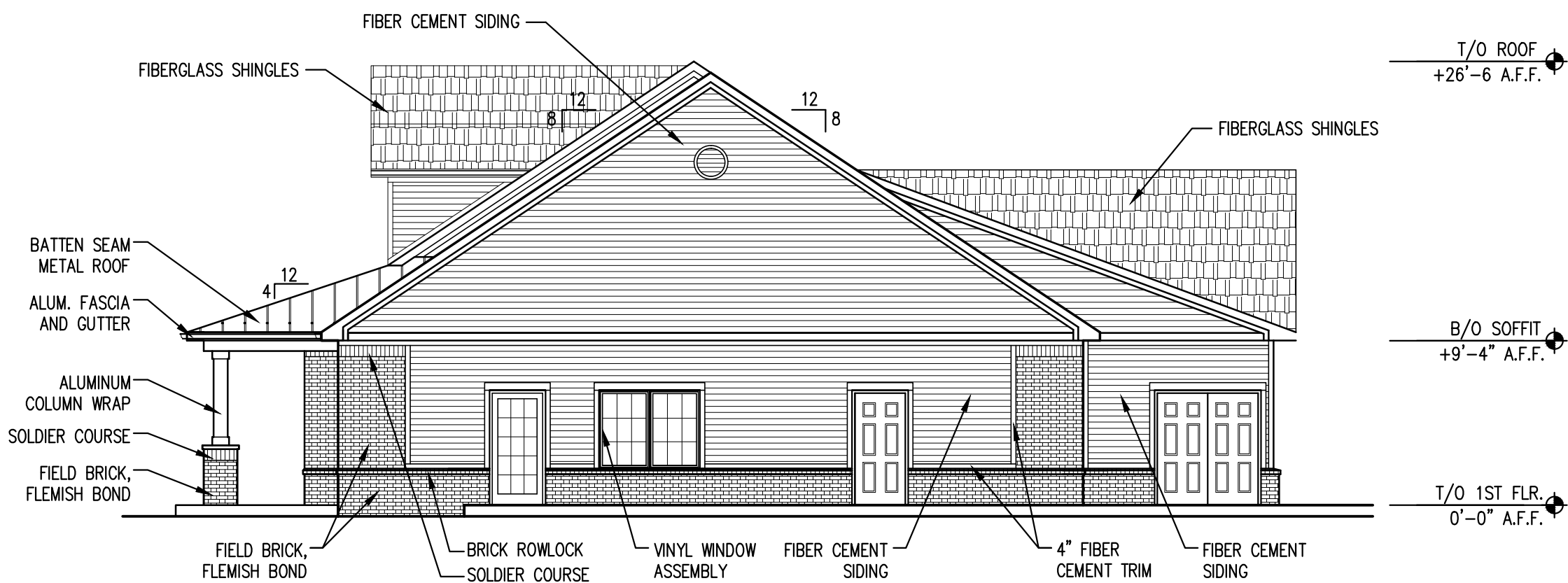




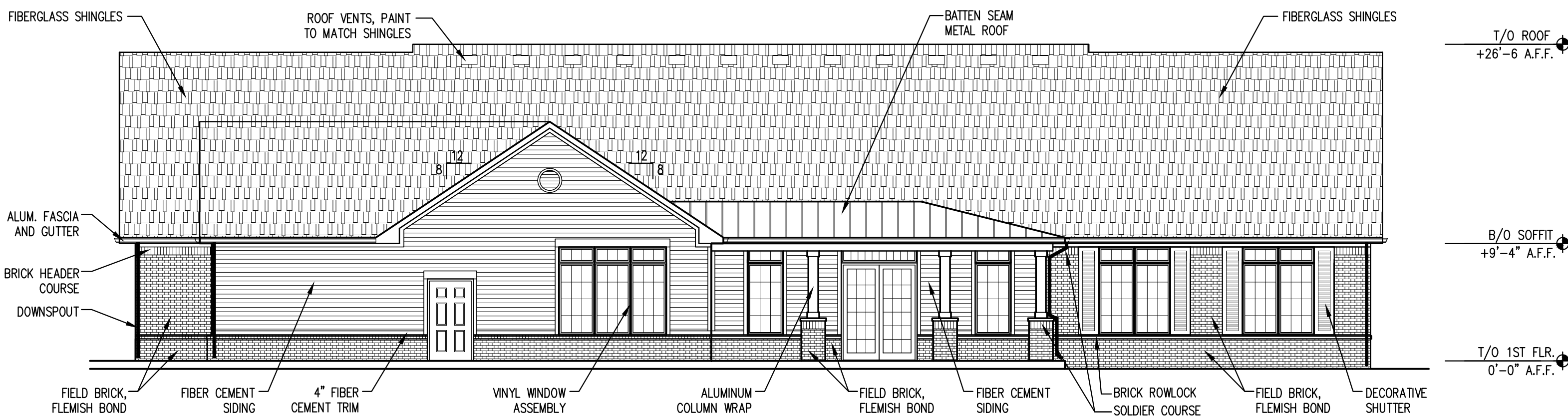
**CLUBHOUSE
FRONT ELEVATION**



**CLUBHOUSE
SIDE ELEVATION**

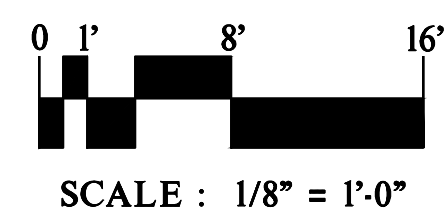
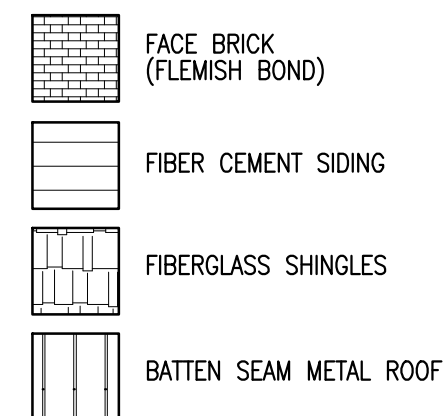


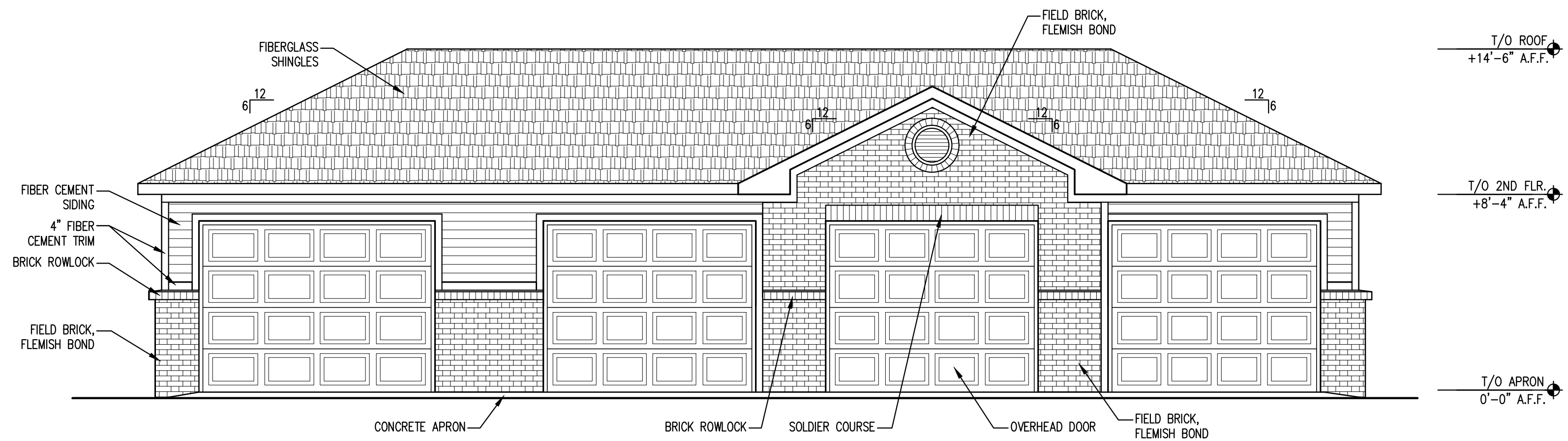
**CLUBHOUSE
SIDE ELEVATION**



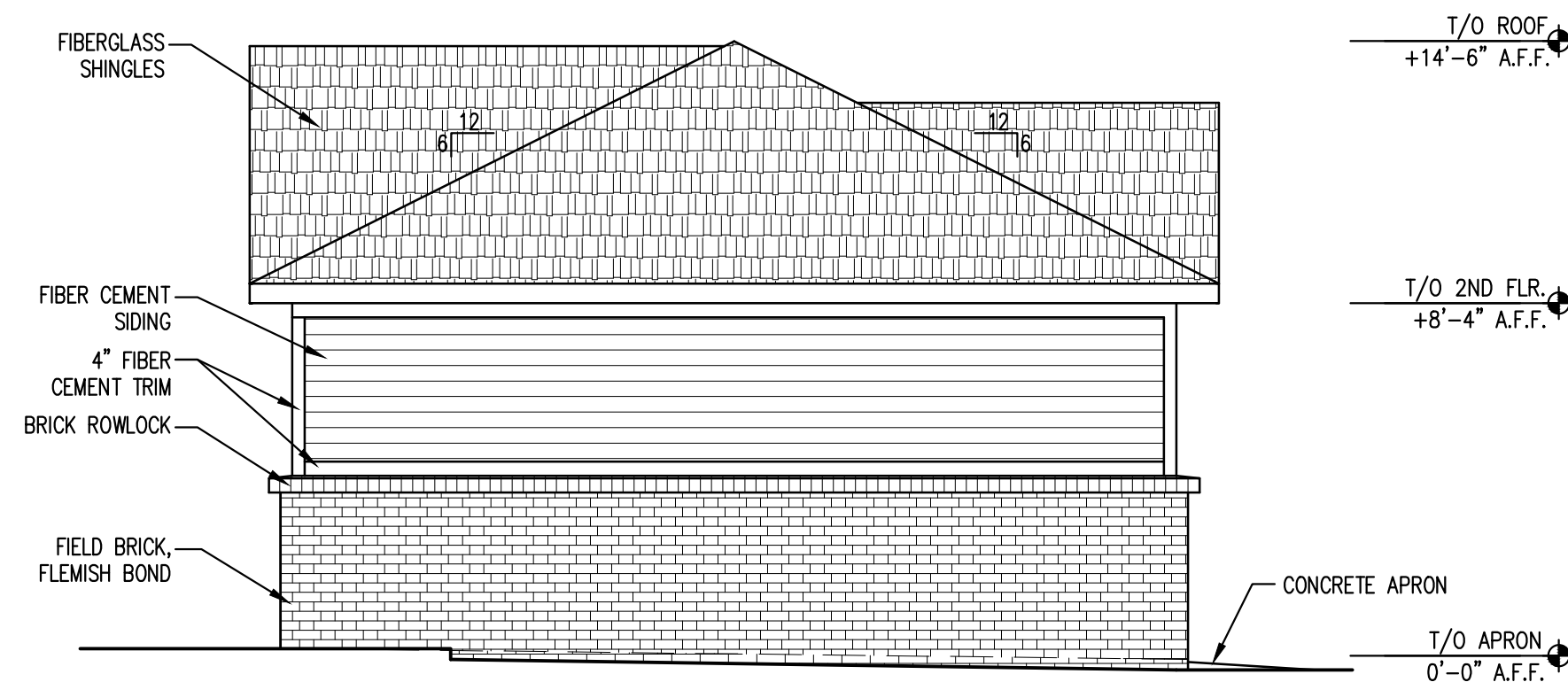
**CLUBHOUSE
REAR ELEVATION**

**MATERIAL
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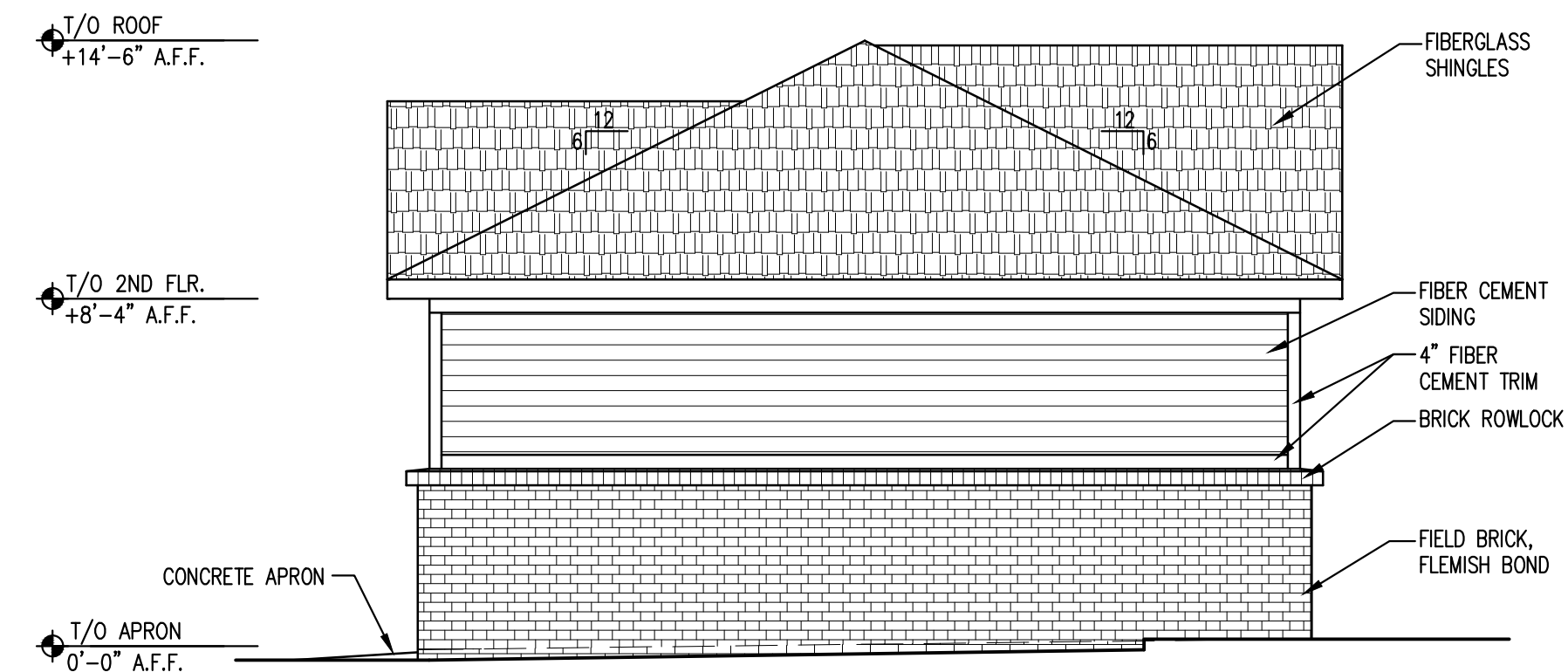




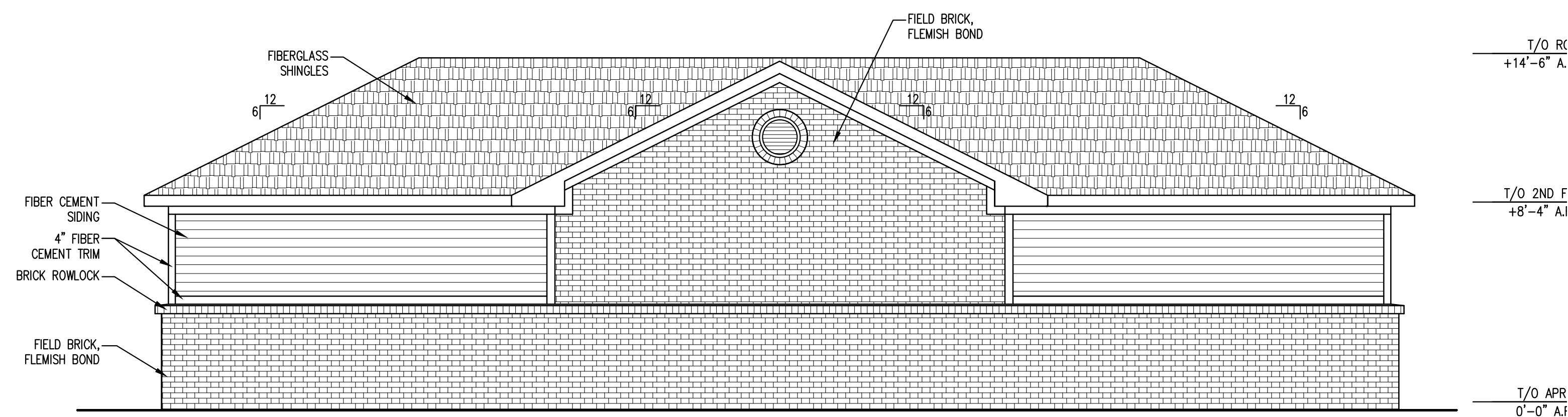
**TYPICAL GARAGE
FRONT ELEVATION**



**TYPICAL GARAGE
SIDE ELEVATION**

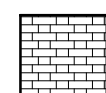

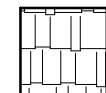
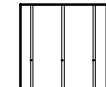


**TYPICAL GARAGE
SIDE ELEVATION**



**TYPICAL GARAGE
REAR ELEVATION**

**MATERIAL
LEGEND:**

-  FACE BRICK (FLEMISH BOND)
-  FIBER CEMENT SIDING
-  FIBERGLASS SHINGLES
-  BATTEN SEAM METAL ROOF

0 1' 4' 8'

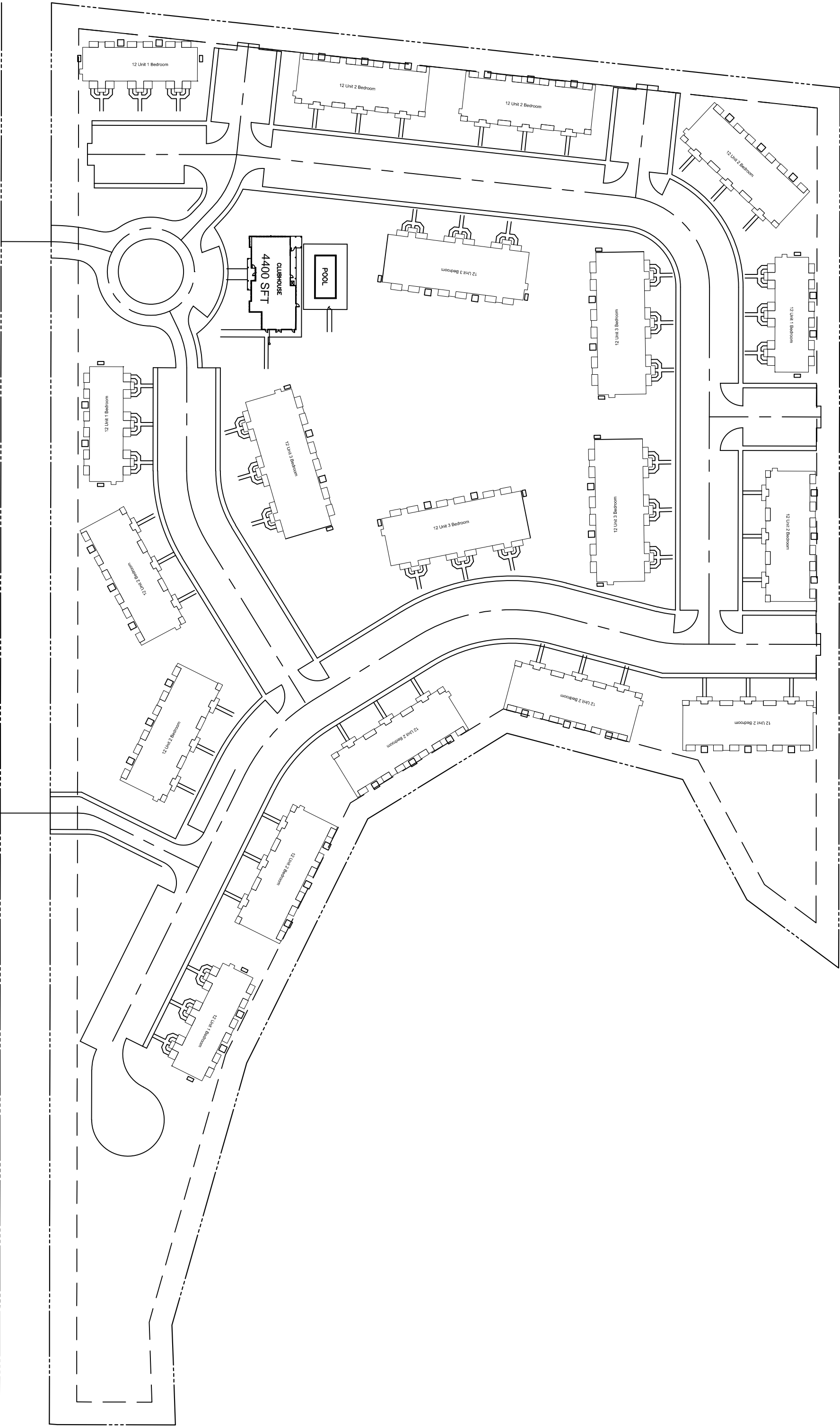
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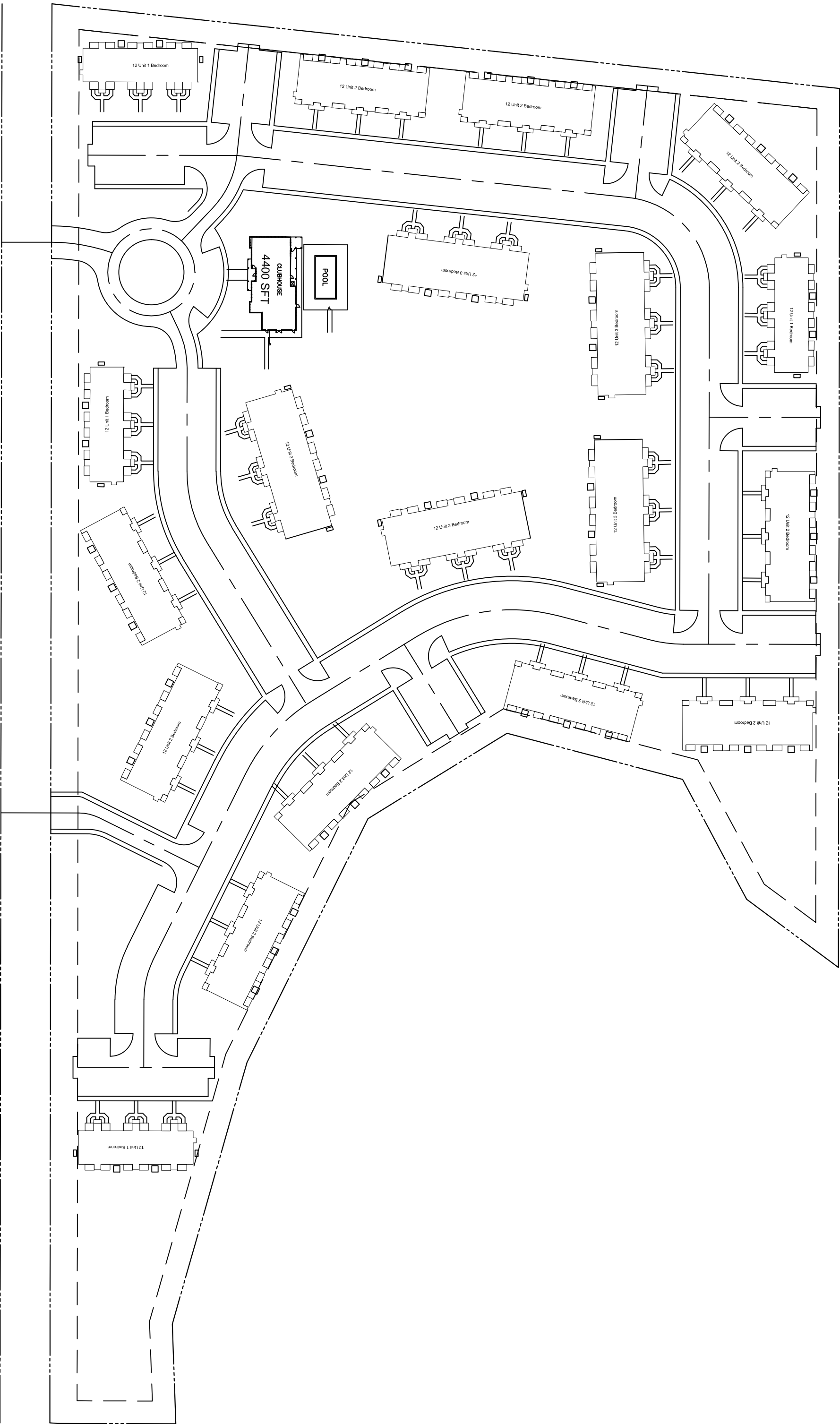


APARTMENT BUILDING VIEW



CLUBHOUSE VIEW





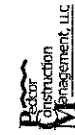
ASHLEY ESTATES

65TH STREET AND EDEN GARDEN DRIVE
LOVELAND, COLORADO

OWNER:

PEDCOR INVESTMENTS
2012-CXXVII, L.P.
ONE PEDCOR SQUARE, 770 3RD AVE. S.W.
CARMEL, INDIANA 46032
(317) 587-0241

BONDING COMPANY:



**PEDCOR CONSTRUCTION
MANAGEMENT, LLC**
ONE PEDCOR SQUARE, 770 3RD AVE. S.W.
CARMEL, INDIANA 46032
(317) 674-0380

LENDER:

GENERAL CONTRACTOR:

CIVIL:



**ASPEN
ENGINEERING**
19 OLD TOWN SQUARE, SUITE 208
FORT COLLINS, CO 80524
(970) 414-4344

ARCHITECT:



CSO ARCHITECTS, INC.
383 KESTONE CORSSING
INDIANAPOLIS, INDIANA 46240
(317) 548-7990

STRUCTURAL:



**SMITH/ROBERTS AND
ASSOCIATES, INC.**
1410 KANDEL PARKWAY
INDIANAPOLIS, INDIANA 46253
(317) 981-1042

MECHANICAL, PLUMBING, & ELECTRICAL:



**CIRCLE DESIGN
GROUP, INC.**
5910 SOUTH EAST STREET, SUITE F
INDIANAPOLIS, IN 46227
(317) 781-4205

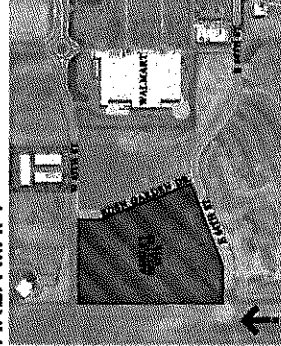
CODE INFORMATION

CONSTRUCTION TYPE:
TYPE VB
OCCUPANCY:
GROUP R2 - 2 STORY APARTMENT BUILDINGS GROUP A3, B, S1 - 1 STORY CLUBHOUSE GROUP U - 1 STORY DETACHED GARAGES
APPLICABLE BUILDING CODES:
• 2012 INTERNATIONAL BUILDING CODE (WITH LOVELAND AMENDMENTS) • 2012 INTERNATIONAL FIRE CODE (WITH LOVELAND AMENDMENTS) • 2012 INTERNATIONAL MECHANICAL CODE (WITH LOVELAND AMENDMENTS) • 2012 INTERNATIONAL PLUMBING CODE (WITH LOVELAND AMENDMENTS) • 2012 INTERNATIONAL ENERGY CONSERVATION CODE (WITH LOVELAND AMENDMENTS) • 2012 INTERNATIONAL ELECTRICAL CODE (WITH LOVELAND AMENDMENTS) • 2012 INTERNATIONAL SAFETY REQUIREMENTS • 2012 INTERNATIONAL ACCESSIBILITY GUIDELINES • 2012 INTERNATIONAL LIFE SAFETY CODE • NFPA 101
DEFERRED SUBMITTALS
• FIRE PROTECTION SYSTEM • ROOF AND FLOOR TRUSSES • POOL FOUNDATION DESIGN • POOL, POOL DECK, & POOL EQUIPMENT • PREMANUFACTURED GAZERO & PLAYGROUND EQUIPMENT

REQUIRED SIGNATURES

OWNER: PEDCOR INVESTMENTS 2012-CXXVII, L.P.	SIGNATURE _____ PRINTED NAME _____ DATE _____
LENDER: XXXXXX	SIGNATURE _____ PRINTED NAME _____ DATE _____
BOND COMPANY: XXXXXX	SIGNATURE _____ PRINTED NAME _____ DATE _____
GENERAL CONTRACTOR: PEDCOR CONSTRUCTION MANAGEMENT, LLC	SIGNATURE _____ PRINTED NAME _____ DATE _____
ARCHITECT: CSO ARCHITECTS, INC.	SIGNATURE _____ PRINTED NAME _____ DATE _____

AREA MAP:



VICINITY MAP:



BID DOCUMENTS

DATE:
OCTOBER 17, 2013

HUD PROJECT NO. XXX-XXXXX

CSO PROJECT NO. 13066

ASHLEY ESTATES
BID DOCUMENTS
OCTOBER 17, 2013

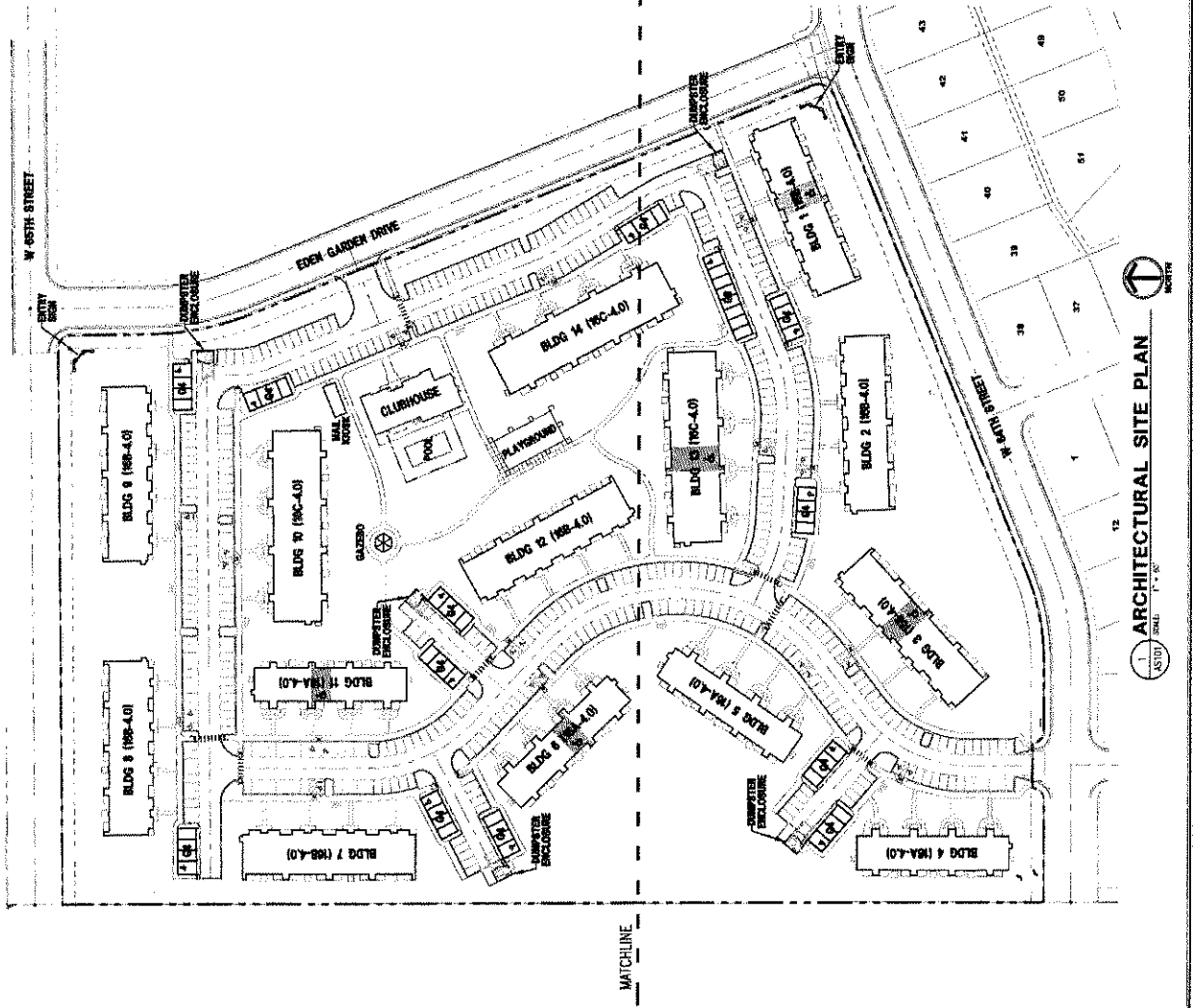
13066

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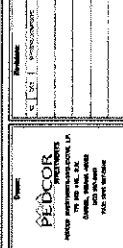
M.C. - 1/2" = 1' - 0"

S.C. - 1/4" = 1' - 0"

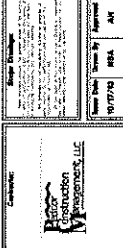
1" = 1' - 0"



<p>PROJECT INFORMATION</p> <p>Project Name: ASHLEY ESTATES Location: LOVELAND, CO</p>		<p>PROJECT NUMBER: AS101</p>	
<p>CLIENT: ASHLEY ESTATES</p>		<p>DESIGNER: CSO ARCHITECTS</p>	
<p>DATE: 10/1/2014</p>		<p>SCALE: 1/4" = 1' - 0"</p>	
<p>PROJECT LOCATION: 10000 W 45th Street, Loveland, CO 80531</p>		<p>PROJECT DESCRIPTION: Residential Development</p>	
<p>DESIGNER'S ADDRESS: CSO ARCHITECTS 1000 W 10th Street, Suite 100 Loveland, CO 80531</p>		<p>CLIENT'S ADDRESS: Ashley Estates 10000 W 45th Street Loveland, CO 80531</p>	
<p>DESIGNER'S PHONE: (970) 666-1111</p>		<p>CLIENT'S PHONE: (970) 666-1111</p>	
<p>DESIGNER'S FAX: (970) 666-1112</p>		<p>CLIENT'S FAX: (970) 666-1112</p>	
<p>DESIGNER'S EMAIL: info@csos.com</p>		<p>CLIENT'S EMAIL: info@ashleyestates.com</p>	
<p>DESIGNER'S WEBSITE: www.csos.com</p>		<p>CLIENT'S WEBSITE: www.ashleyestates.com</p>	

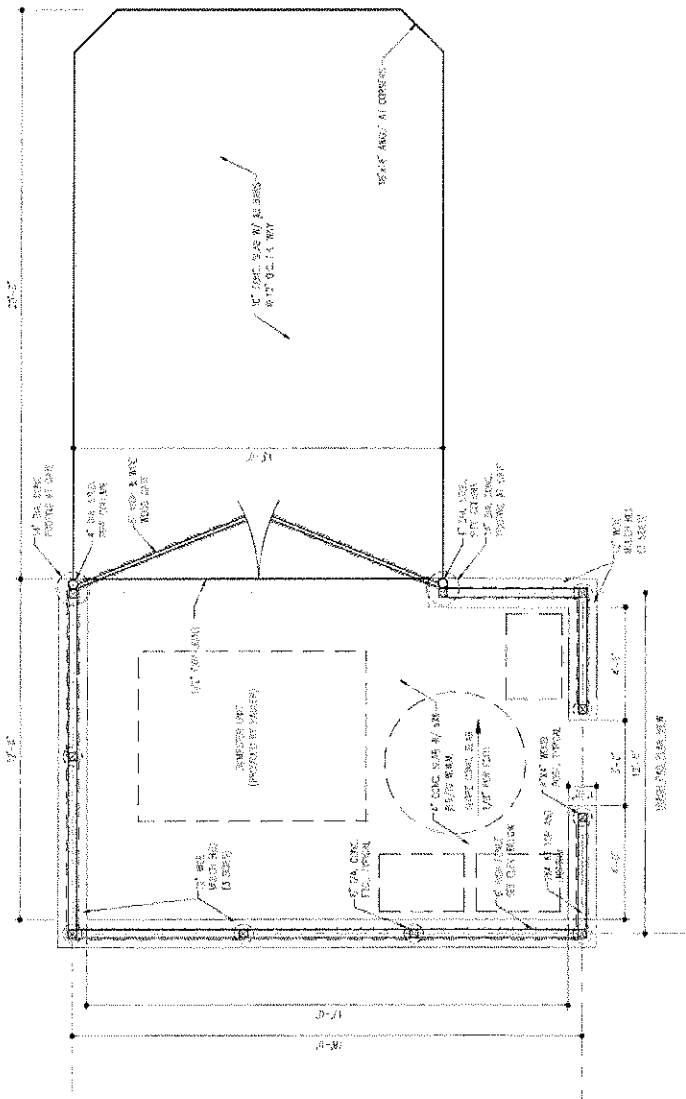
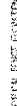
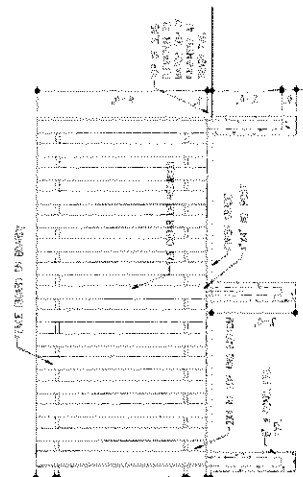
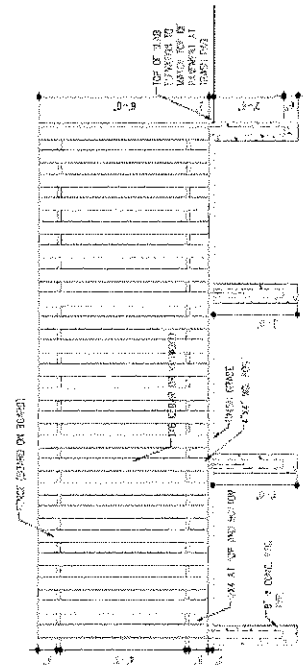
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**DUMPSTER
ENCLOSURE
DETAILS**



**ASHLEY
ESTATES**
LOVELAND, CO

SL103
Project Number:
13066T



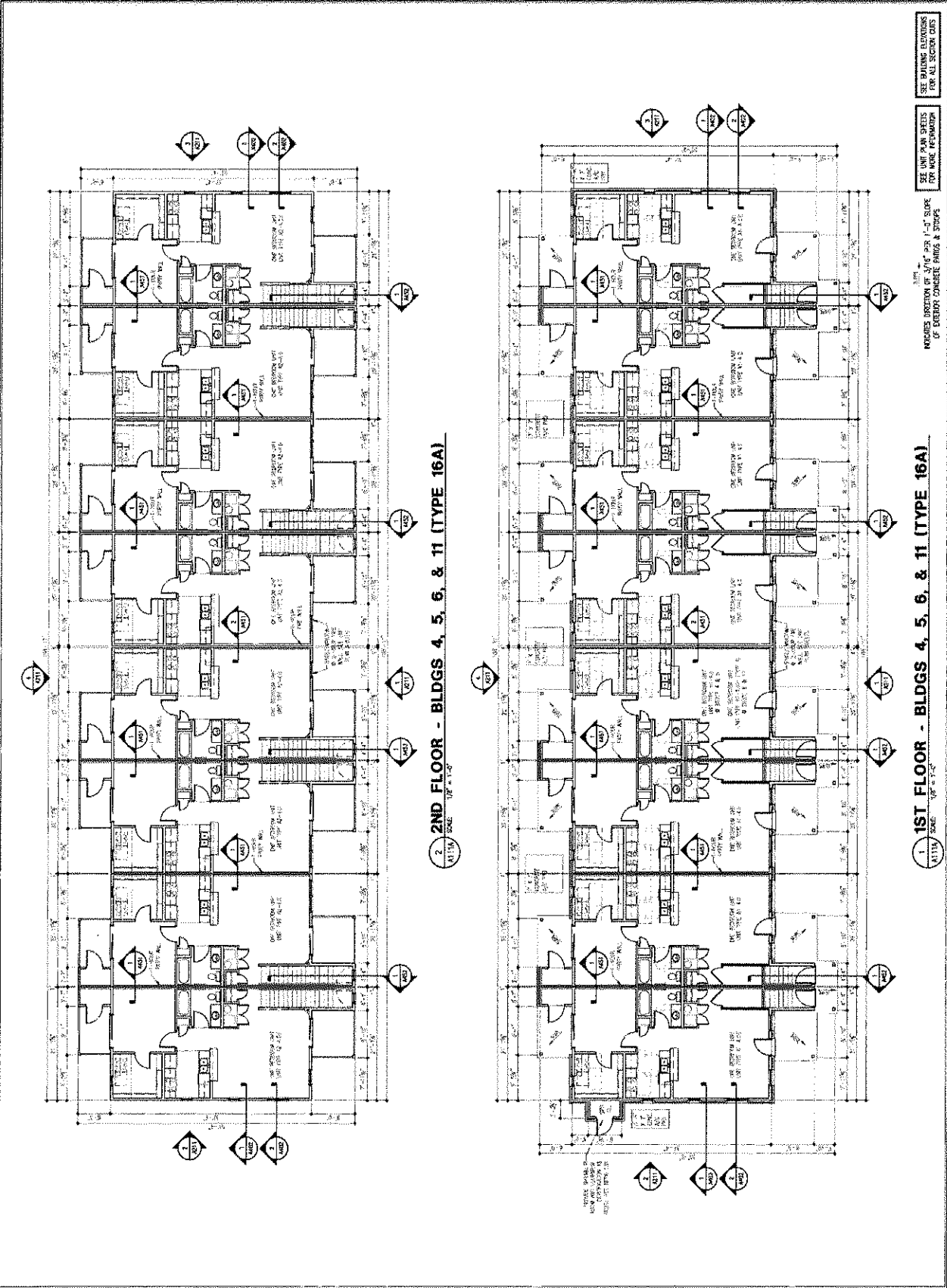
**DUMPSTER ENCLOSURE
PLAN AND ELEVATIONS**

Q103

GENERAL NOTES:

1. THE PROJECT IS FOR THE CONSTRUCTION OF BLDGS. 4, 5, 6, & 11 (TYPE 16A) FLOOR PLANS. THE PROJECT IS LOCATED AT THE INTERSECTION OF 10TH STREET AND 11TH STREET, N.W., IN THE CITY OF DENVER, COLORADO. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, BUILDING CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, PLUMBING CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, ELECTRICAL CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, MECHANICAL CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, FIRE CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, SAFETY CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, ENVIRONMENTAL CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, HISTORIC PRESERVATION CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LANDMARKS AND HISTORIC PRESERVATION CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, CULTURAL RESOURCES CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, PUBLIC WORKS CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, UTILITIES CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, TRANSPORTATION CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, AIRPORTS AND AIRWAYS CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, MARINE CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, RAILROADS CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, MINING CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, OIL AND GAS CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, POWER CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, TELECOMMUNICATIONS CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, WASTE MANAGEMENT CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, WATER SUPPLY CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, WASTE WATER CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, WIND CODE, 2009 EDITION. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, WOOD CODE, 2009 EDITION, AND THE CITY OF DENVER, COLORADO, YACHTING CODE, 2009 EDITION.

PROJECT ASHLEY ESTATES LOVELAND, CO		PROJECT NUMBER A111A		PROJECT NUMBER 130667	
ARCHITECT CSO Architects 1000 14TH STREET, SUITE 100 DENVER, CO 80202		ENGINEER PERCOR 1000 14TH STREET, SUITE 100 DENVER, CO 80202		DATE 01/17/18	
BLDG. 4, 5, 6, & 11 (TYPE 16A) FLOOR PLANS		DATE 01/17/18		DATE 01/17/18	



SEE BUILDING ELEVATIONS FOR ALL EXTERIOR FINISHES
 SEE UNIT PLAN SHEETS FOR MORE INFORMATION
 REQUIRES DIRECTION OF 3/16" PER 1'-0" SLOPE
 OF EXISTING CONCRETE FINISHES & STAIRS

[illegible]

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W <small>WORLDWIDE</small> <small>WORLDWIDE</small>	Name Title R/N/XX	Country City WBA	Approved AH
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Printing Number: **A111R**

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GENERAL NOTES:

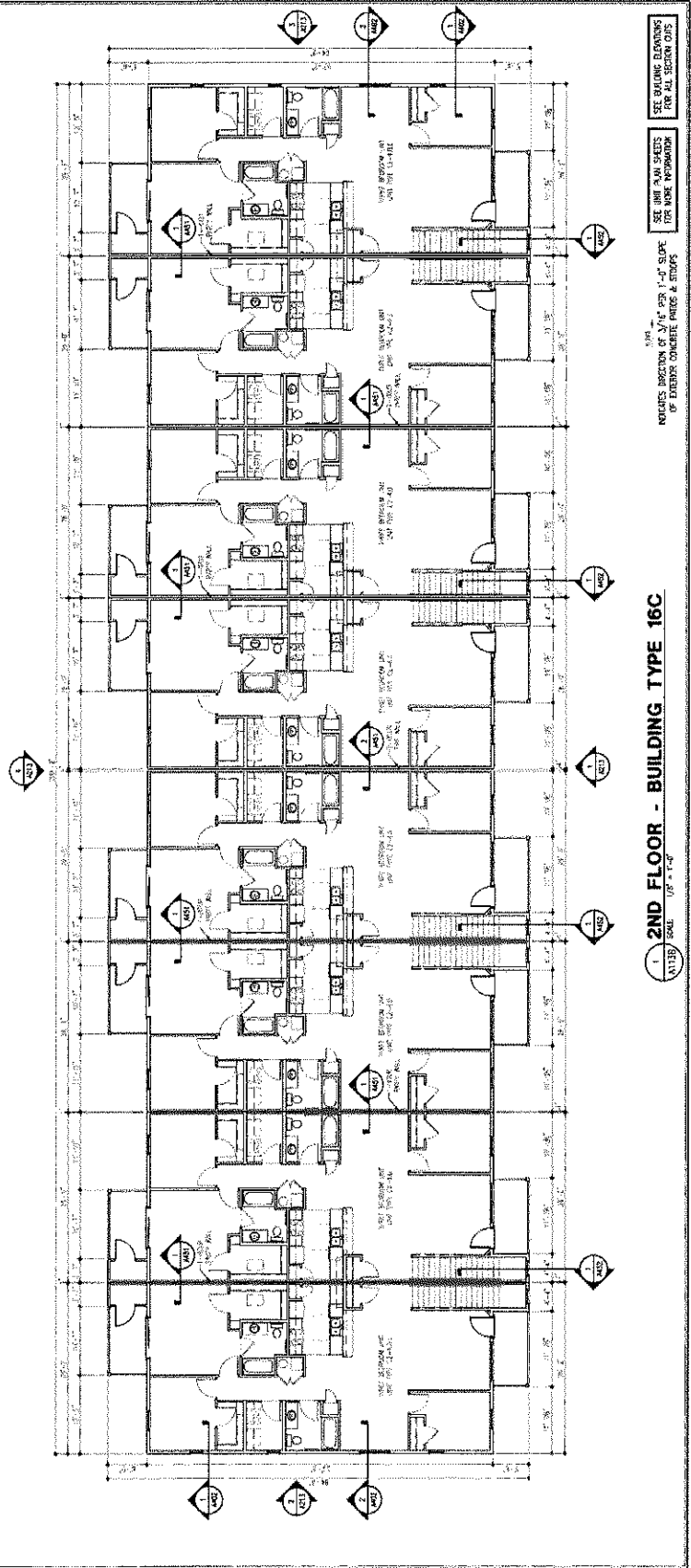
1. SEE SHEET 101 FOR GENERAL NOTES TO ALL SHEETS.
2. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTER OF THE WALL OR TO THE FACE OF THE WALL, UNLESS OTHERWISE NOTED.
3. ALL WALLS ARE 8" THICK UNLESS OTHERWISE NOTED.
4. ALL FLOORS ARE 4" THICK UNLESS OTHERWISE NOTED.
5. ALL ROOFS ARE 4" THICK UNLESS OTHERWISE NOTED.
6. ALL STAIRS ARE 4" THICK UNLESS OTHERWISE NOTED.
7. ALL ELEVATIONS ARE TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
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PROJECT PEDCOR PROJECT: 101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1221-1222-1223-1224-1225-1226-1227-1228-1229-1230-1231-1232-1233-1234-1235-1236-1237-1238-1239-1240-1241-1242-1243-1244-1245-1246-1247-1248-1249-1250-1251-1252-1253-1254-1255-1256-1257-1258-1259-1260-1261-1262-1263-1264-1265-1266-1267-1268-1269-1270-1271-1272-1273-1274-1275-1276-1277-1278-1279-1280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GENERAL NOTES:

1. SEE NOTES TO SET OF ARCHITECTURAL DRAWINGS FOR ALL BUILDING MATERIALS, FINISHES, AND EQUIPMENT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE ORDINANCES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
12. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
14. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
16. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
18. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
20. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
22. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
24. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
26. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
28. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
30. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
32. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
34. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
35. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
36. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
37. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
38. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
39. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
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48. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
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100. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.

PEDCOR PROJECT MANAGEMENT & CONSTRUCTION, LLC 10000 W. 10TH AVE., SUITE 100 DENVER, CO 80231 (303) 733-1000		CSO Architects 8 10000 W. 10TH AVE., SUITE 100 DENVER, CO 80231 (303) 733-1000		ASHLEY ESTATES LOVELAND, CO	
Building Type BUILDING TYPE 16C FLOOR PLANS		Project Number A113B		Project Number 13066T	



NOTES:

1. ALL ROOFING SHALL BE 30 YEAR MINIMUM LIFE EXPECTANCY. SEE SPECIFICATIONS FOR DETAILS.

2. ALL ROOFING SHALL BE 30 YEAR MINIMUM LIFE EXPECTANCY. SEE SPECIFICATIONS FOR DETAILS.

3. ALL ROOFING SHALL BE 30 YEAR MINIMUM LIFE EXPECTANCY. SEE SPECIFICATIONS FOR DETAILS.

4. ALL ROOFING SHALL BE 30 YEAR MINIMUM LIFE EXPECTANCY. SEE SPECIFICATIONS FOR DETAILS.

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10. ALL ROOFING SHALL BE 30 YEAR MINIMUM LIFE EXPECTANCY. SEE SPECIFICATIONS FOR DETAILS.

OWNER:

DESIGNER:

DATE:

PROJECT:

SCALE:

PROJECT NUMBER:

13066T

PROJECT:

ASHLEY ESTATES

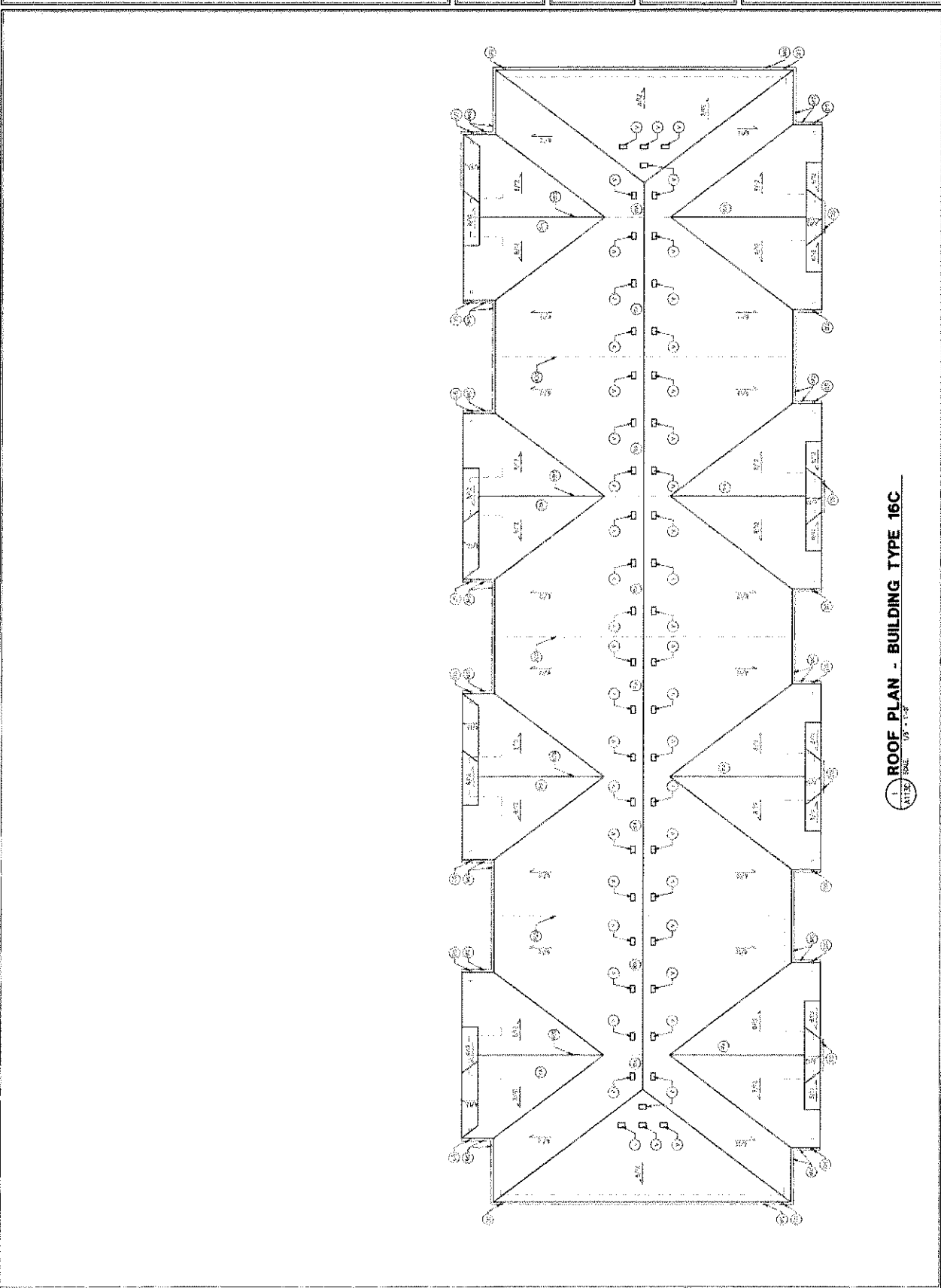
LOVELAND, CO

PROJECT NUMBER:

A113C

PROJECT NUMBER:

13066T



[illegible][illegible]

**UNIT
PLANS**

Architect of Record

C&O Architects

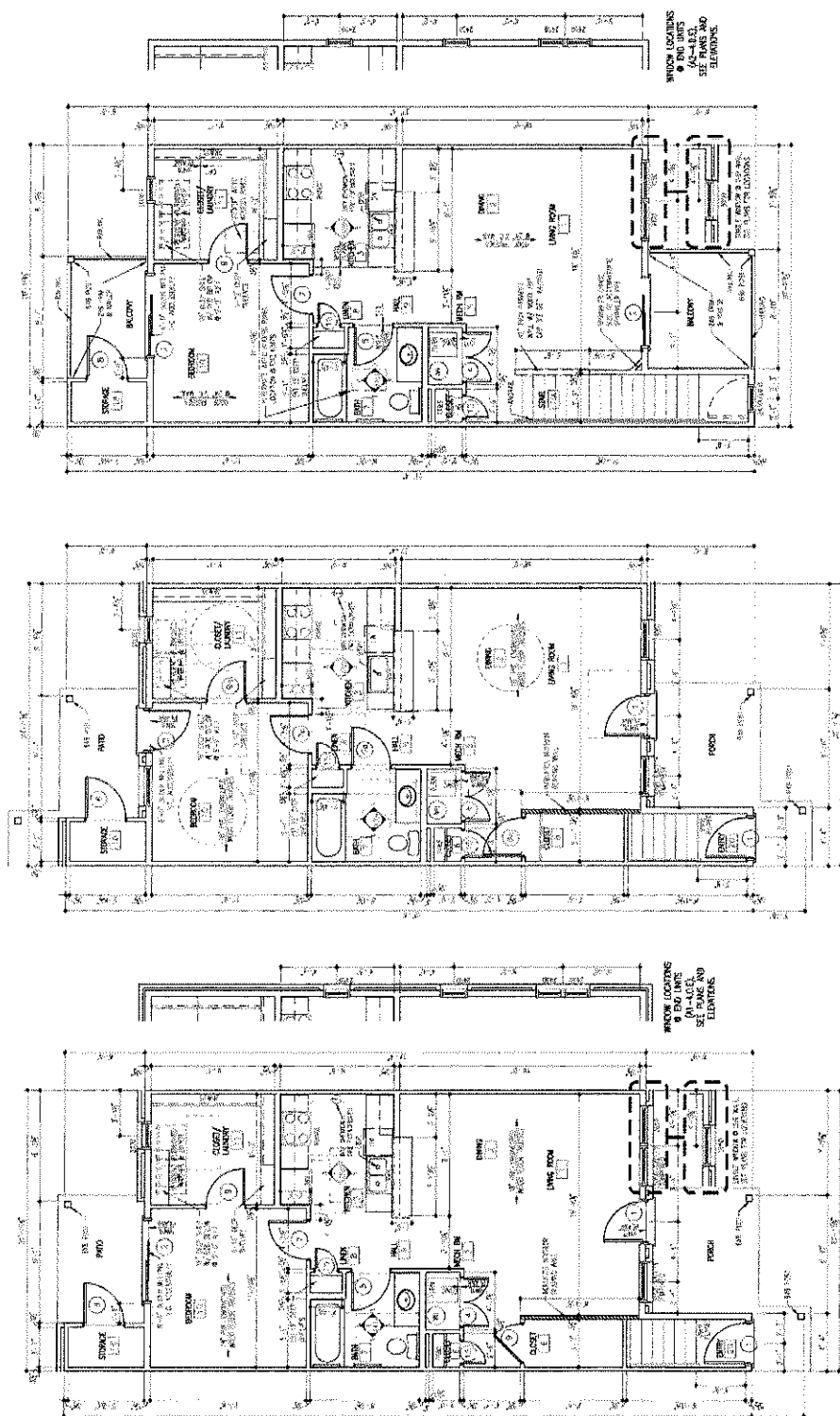
1600 Broadway, Suite 1000
New York, NY 10019-1100

<p>Contractor:</p> <p>Becker Construction Management, LLC</p>	<p>Design Provider:</p> <p>Becker Construction Management, LLC 10000 E. 15th Avenue, Suite 100 Denver, CO 80231 Tel: 303.751.1100 Fax: 303.751.1101 Email: info@beckerconstruction.com Website: www.beckerconstruction.com</p>
<p>Issue Date:</p> <p>01/27/04</p>	<p>Issue By:</p> <p>SEA</p>
<p>Approved:</p> <p>AM</p>	

Project	<p>ASHLEY ESTATES</p>
Location	<p>LOVELAND, CO</p>
Contract No.	
Contract City	

Erving Rudin
A141

Project Number:
13066Y



3 UNIT A2-4.0 SECOND FLOOR

2 UNIT A1-4.0.H FIRST FLOOR
A143 SQUE 1/4" - 1/2"

1 UNIT A1-4.0 FIRST FLOOR

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC AND IMEC).

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PEBOR

PROFESSIONAL ENGINEER

1000 S. 10TH AVE., SUITE 100

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FAX: 602.258.1235

WWW.PEBOR.COM

CSO Architects

1000 S. 10TH AVE., SUITE 100

PHOENIX, AZ 85001

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FAX: 602.258.1235

WWW.CSOARCHITECTS.COM

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UNIT PLANS

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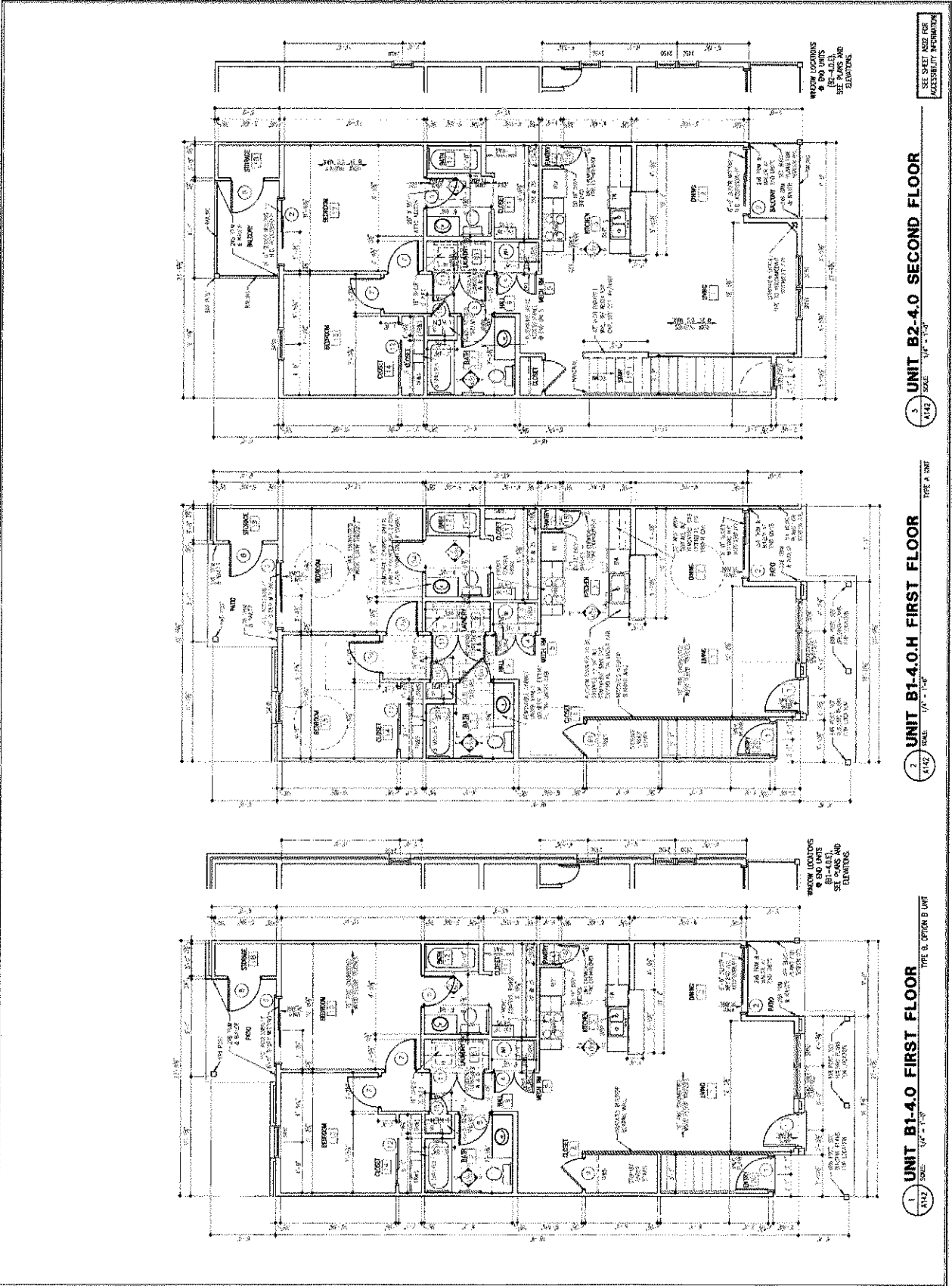
ASHLEY ESTATES

LOWLAND, CO

A142

PROJECT NUMBER

1306657



NOTES:

1. UNITS 101-102, 103-104, 105-106, 107-108, 109-110, 111-112, 113-114, 115-116, 117-118, 119-120, 121-122, 123-124, 125-126, 127-128, 129-130, 131-132, 133-134, 135-136, 137-138, 139-140, 141-142, 143-144, 145-146, 147-148, 149-150, 151-152, 153-154, 155-156, 157-158, 159-160, 161-162, 163-164, 165-166, 167-168, 169-170, 171-172, 173-174, 175-176, 177-178, 179-180, 181-182, 183-184, 185-186, 187-188, 189-190, 191-192, 193-194, 195-196, 197-198, 199-200, 201-202, 203-204, 205-206, 207-208, 209-210, 211-212, 213-214, 215-216, 217-218, 219-220, 221-222, 223-224, 225-226, 227-228, 229-230, 231-232, 233-234, 235-236, 237-238, 239-240, 241-242, 243-244, 245-246, 247-248, 249-250, 251-252, 253-254, 255-256, 257-258, 259-260, 261-262, 263-264, 265-266, 267-268, 269-270, 271-272, 273-274, 275-276, 277-278, 279-280, 281-282, 283-284, 285-286, 287-288, 289-290, 291-292, 293-294, 295-296, 297-298, 299-300, 301-302, 303-304, 305-306, 307-308, 309-310, 311-312, 313-314, 315-316, 317-318, 319-320, 321-322, 323-324, 325-326, 327-328, 329-330, 331-332, 333-334, 335-336, 337-338, 339-340, 341-342, 343-344, 345-346, 347-348, 349-350, 351-352, 353-354, 355-356, 357-358, 359-360, 361-362, 363-364, 365-366, 367-368, 369-370, 371-372, 373-374, 375-376, 377-378, 379-380, 381-382, 383-384, 385-386, 387-388, 389-390, 391-392, 393-394, 395-396, 397-398, 399-400, 401-402, 403-404, 405-406, 407-408, 409-410, 411-412, 413-414, 415-416, 417-418, 419-420, 421-422, 423-424, 425-426, 427-428, 429-430, 431-432, 433-434, 435-436, 437-438, 439-440, 441-442, 443-444, 445-446, 447-448, 449-450, 451-452, 453-454, 455-456, 457-458, 459-460, 461-462, 463-464, 465-466, 467-468, 469-470, 471-472, 473-474, 475-476, 477-478, 479-480, 481-482, 483-484, 485-486, 487-488, 489-490, 491-492, 493-494, 495-496, 497-498, 499-500, 501-502, 503-504, 505-506, 507-508, 509-510, 511-512, 513-514, 515-516, 517-518, 519-520, 521-522, 523-524, 525-526, 527-528, 529-530, 531-532, 533-534, 535-536, 537-538, 539-540, 541-542, 543-544, 545-546, 547-548, 549-550, 551-552, 553-554, 555-556, 557-558, 559-560, 561-562, 563-564, 565-566, 567-568, 569-570, 571-572, 573-574, 575-576, 577-578, 579-580, 581-582, 583-584, 585-586, 587-588, 589-590, 591-592, 593-594, 595-596, 597-598, 599-600, 601-602, 603-604, 605-606, 607-608, 609-610, 611-612, 613-614, 615-616, 617-618, 619-620, 621-622, 623-624, 625-626, 627-628, 629-630, 631-632, 633-634, 635-636, 637-638, 639-640, 641-642, 643-644, 645-646, 647-648, 649-650, 651-652, 653-654, 655-656, 657-658, 659-660, 661-662, 663-664, 665-666, 667-668, 669-670, 671-672, 673-674, 675-676, 677-678, 679-680, 681-682, 683-684, 685-686, 687-688, 689-690, 691-692, 693-694, 695-696, 697-698, 699-700, 701-702, 703-704, 705-706, 707-708, 709-710, 711-712, 713-714, 715-716, 717-718, 719-720, 721-722, 723-724, 725-726, 727-728, 729-730, 731-732, 733-734, 735-736, 737-738, 739-740, 741-742, 743-744, 745-746, 747-748, 749-750, 751-752, 753-754, 755-756, 757-758, 759-760, 761-762, 763-764, 765-766, 767-768, 769-770, 771-772, 773-774, 775-776, 777-778, 779-780, 781-782, 783-784, 785-786, 787-788, 789-790, 791-792, 793-794, 795-796, 797-798, 799-800, 801-802, 803-804, 805-806, 807-808, 809-810, 811-812, 813-814, 815-816, 817-818, 819-820, 821-822, 823-824, 825-826, 827-828, 829-830, 831-832, 833-834, 835-836, 837-838, 839-840, 841-842, 843-844, 845-846, 847-848, 849-850, 851-852, 853-854, 855-856, 857-858, 859-860, 861-862, 863-864, 865-866, 867-868, 869-870, 871-872, 873-874, 875-876, 877-878, 879-880, 881-882, 883-884, 885-886, 887-888, 889-890, 891-892, 893-894, 895-896, 897-898, 899-900, 901-902, 903-904, 905-906, 907-908, 909-910, 911-912, 913-914, 915-916, 917-918, 919-920, 921-922, 923-924, 925-926, 927-928, 929-930, 931-932, 933-934, 935-936, 937-938, 939-940, 941-942, 943-944, 945-946, 947-948, 949-950, 951-952, 953-954, 955-956, 957-958, 959-960, 961-962, 963-964, 965-966, 967-968, 969-970, 971-972, 973-974, 975-976, 977-978, 979-980, 981-982, 983-984, 985-986, 987-988, 989-990, 991-992, 993-994, 995-996, 997-998, 999-1000.

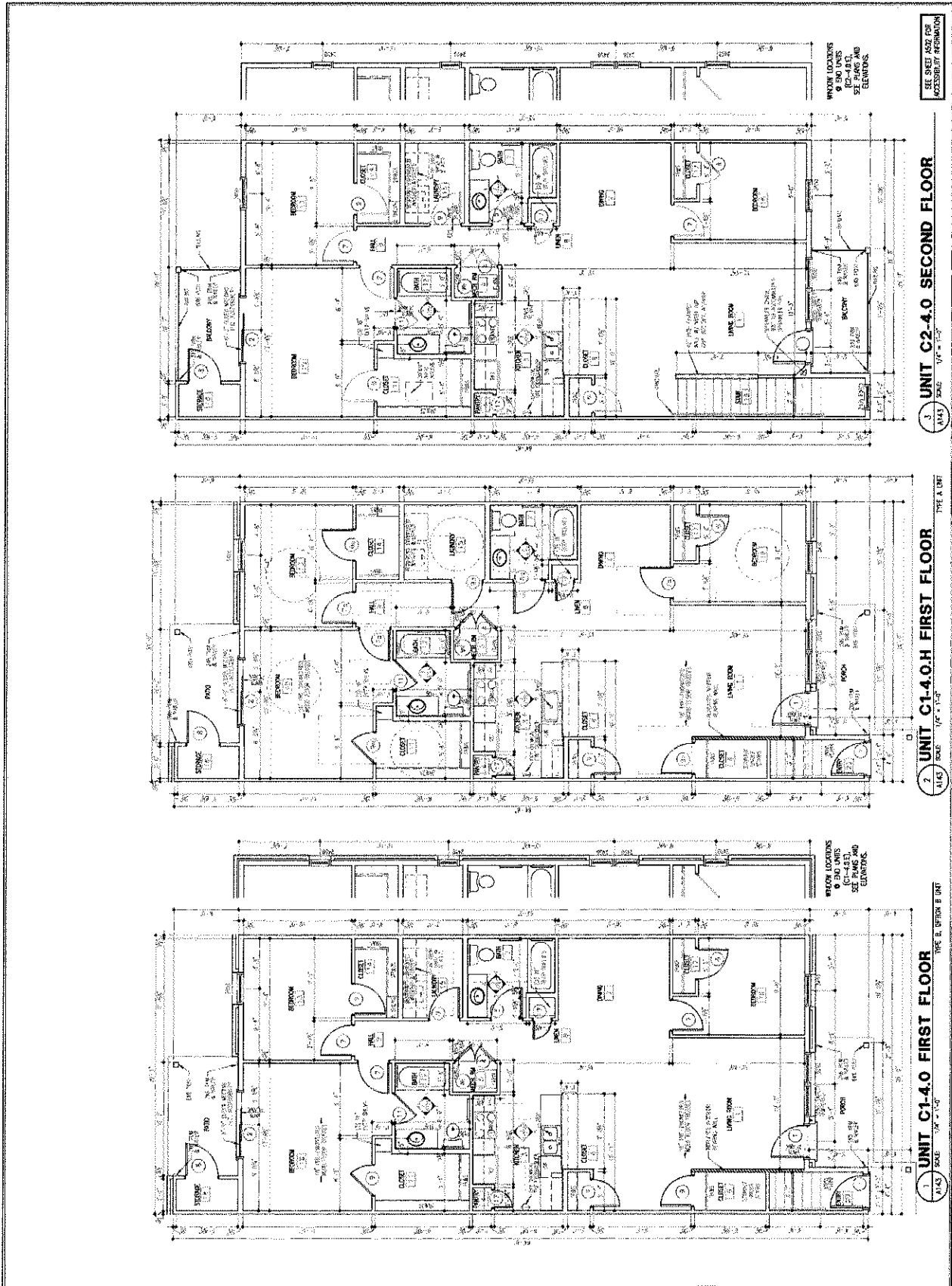
UNIT PLANS

CSO Architects

ASHLEY ESTATES
LOVELAND, CO

A143

13066T



<p>1. INTERCLASS DIFFERENCES</p> <p>2. INTRA-CLASS DIFFERENCES</p> <p>3. INTRA-INDIVIDUAL DIFFERENCES</p>	<p>1. INTER-INDIVIDUAL DIFFERENCES</p> <p>2. INTRA-INDIVIDUAL DIFFERENCES</p> <p>3. INTRA-CLASS DIFFERENCES</p>
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<div style="display: flex; justify-content: space-between;"> DATE REVISED </div>	
<div style="display: flex; justify-content: space-between;"> NO. DATE </div>	<div style="display: flex; justify-content: space-between;"> BY DATE </div>
<div style="display: flex; justify-content: space-between;"> DESCRIPTION REMARKS </div>	

Architect of Record

CSO Architects
ARCHITECTS • INTERIORS • PLANNING

8

11 Irving Ytze
BLDGs 4, 5,
6, & 11
(TYPE 16A)
ELEVATIONS

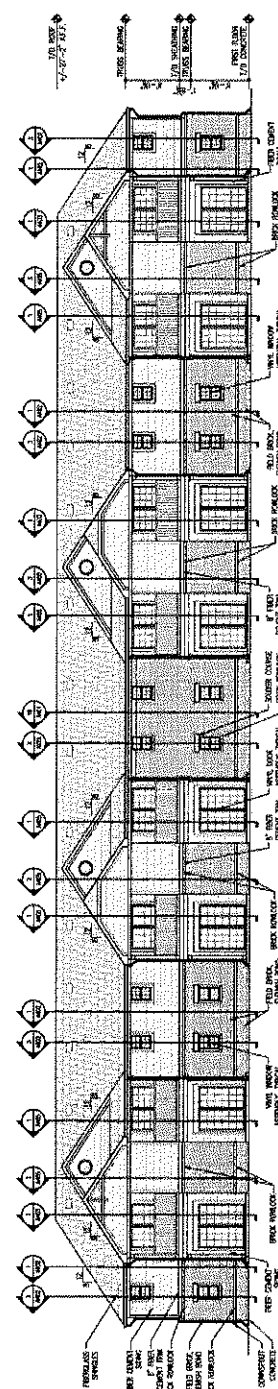
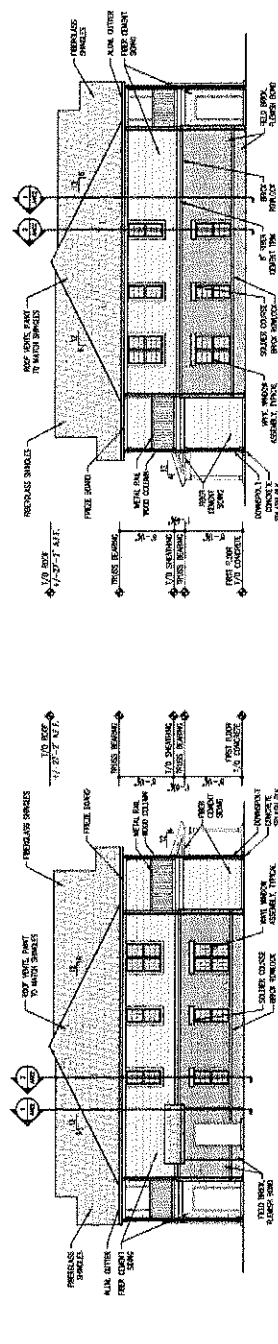
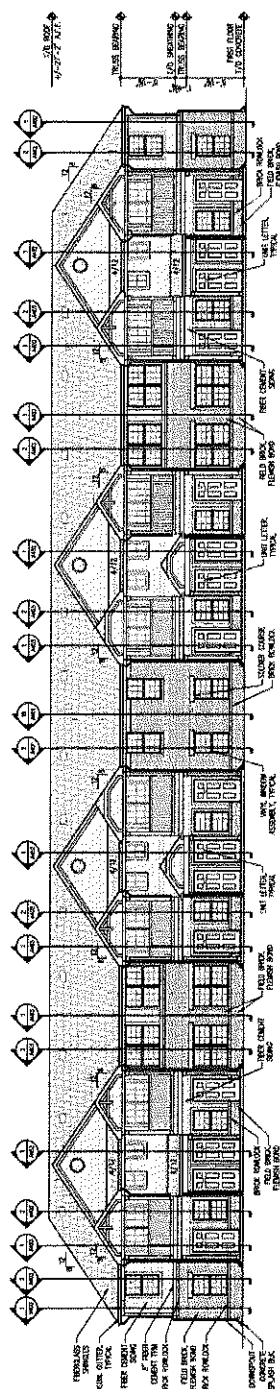
Sample Response:

One way to make the program more effective is to have a more diverse group of people on the committee. This would help to ensure that all voices are heard and that the program is truly representative of the community. Another way to improve the program is to provide more resources and support for the participants. This could include things like transportation, childcare, and food. By making the program more accessible and supportive, we can ensure that everyone has the opportunity to benefit from it.

Issue Date	Discrete By	Approved
90/77/23	MSA	ALH

**ASHLEY
ESTATES**
LOVELAND, CO

Product Number:
A211

Project Number:
13066T

1. FRONT ELEVATION - BLDGS 1, 2, 3, 7, 8, 9, & 12 (TYPE 16B)
SCALE: 1/8" = 1'-0"

2. SIDE ELEVATION - BLDGS 1, 2, 3, 7, 8, 9, & 12 (TYPE 16B)
SCALE: 1/8" = 1'-0"

3. SIDE ELEVATION - BLDGS 1, 2, 3, 7, 8, 9, & 12 (TYPE 16B)
SCALE: 1/8" = 1'-0"

4. REAR ELEVATION - BLDGS 1, 2, 3, 7, 8, 9, & 12 (TYPE 16B)
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND:

- ACR BRICK (FLUSH WITH GUTS)
- RED CLAY TILE
- PERFORATED BRICK

OWNER: PEDCOR

ARCHITECT: CSO Architects

DATE: 08/17/14

PROJECT: BLDGS 10, 13, & 14 (TYPE 16C) ELEVATIONS

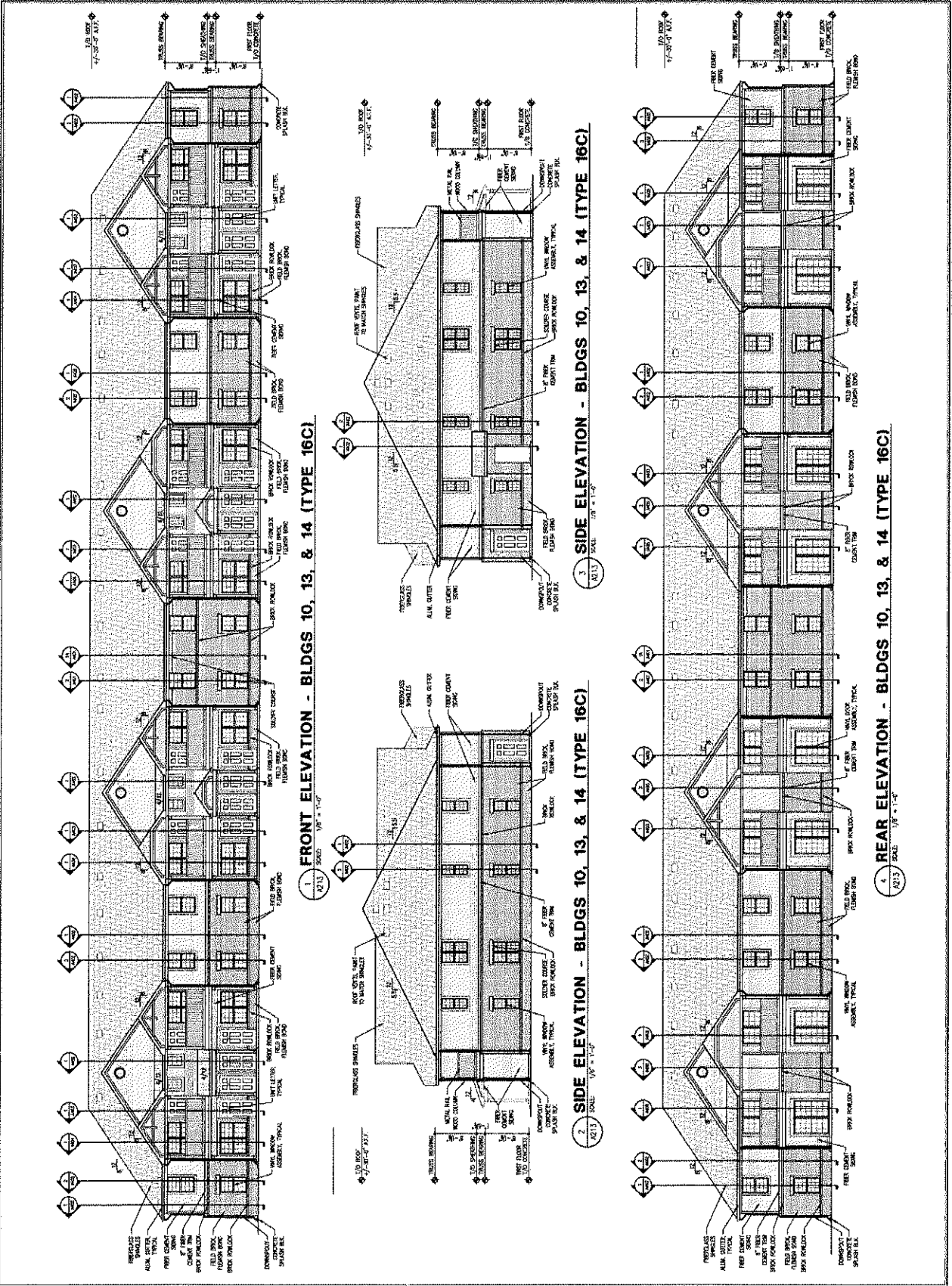
PROJECT: ASHLEY ESTATES

LOCATION: LOVELAND, CO

ARCHITECT: CSO Architects

DATE: 08/17/14

PROJECT: BLDGS 10, 13, & 14 (TYPE 16C) ELEVATIONS



GENERAL NOTES

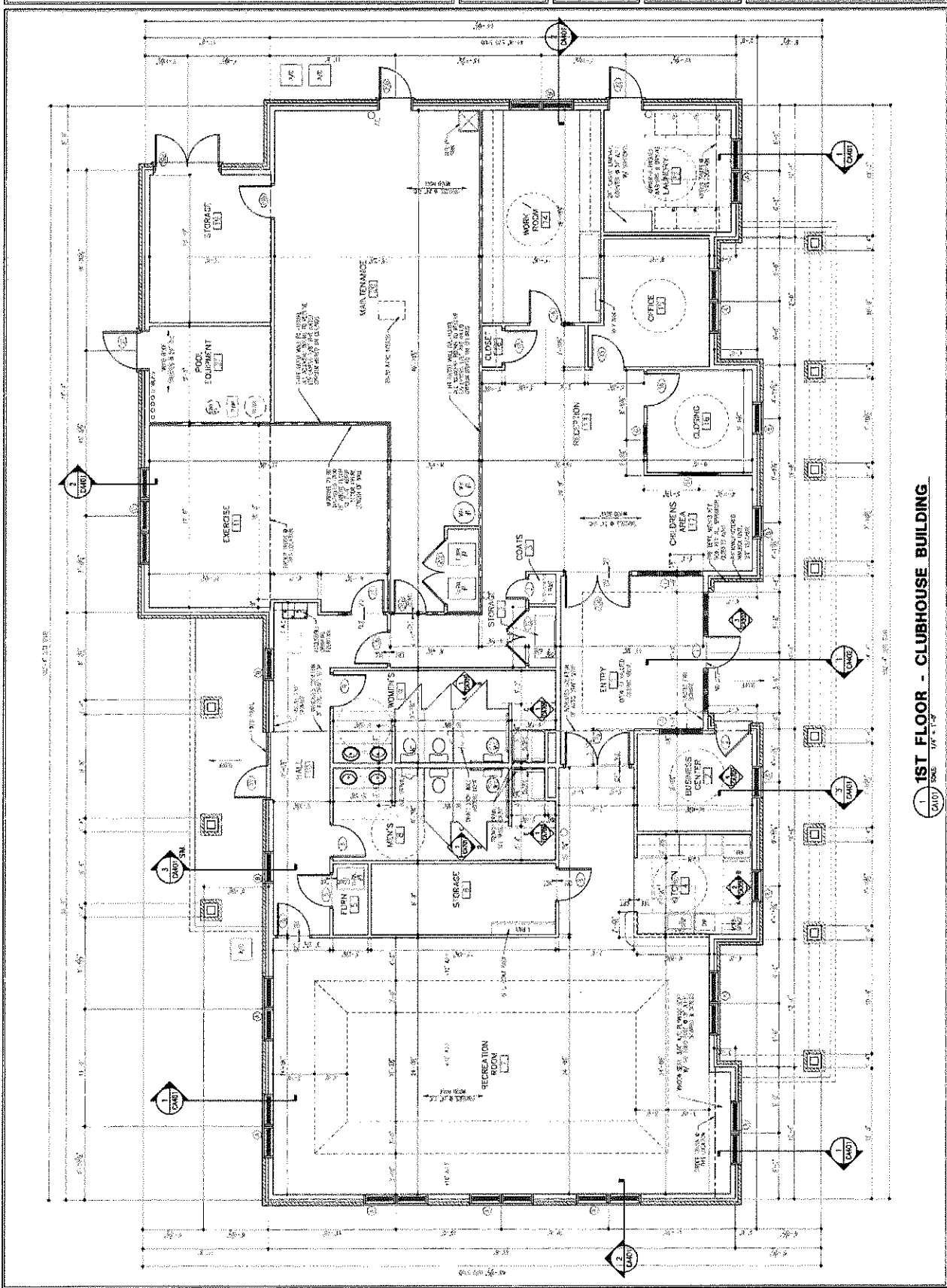
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE 12" THICK CONCRETE BLOCK.
3. ALL FLOORS ARE 4" THICK CONCRETE ON 6" REINFORCED GRAVEL.
4. ALL CEILING ARE 8' HIGH.
5. ALL ROOF ARE 4" THICK CONCRETE ON 6" REINFORCED GRAVEL.
6. ALL EXTERIOR WALLS ARE 12" THICK CONCRETE BLOCK.
7. ALL EXTERIOR DOORS ARE 36" WIDE.
8. ALL EXTERIOR WINDOWS ARE 36" WIDE.
9. ALL INTERIOR DOORS ARE 36" WIDE.
10. ALL INTERIOR WINDOWS ARE 36" WIDE.
11. ALL STAIRS ARE 36" WIDE.
12. ALL ELEVATORS ARE 36" WIDE.
13. ALL HALLWAYS ARE 36" WIDE.
14. ALL CLOSET ARE 36" WIDE.
15. ALL BATHS ARE 36" WIDE.
16. ALL KITCHENS ARE 36" WIDE.
17. ALL DINING AREAS ARE 36" WIDE.
18. ALL LIVING AREAS ARE 36" WIDE.
19. ALL BEDROOMS ARE 36" WIDE.
20. ALL PORCHES ARE 36" WIDE.
21. ALL PATIOS ARE 36" WIDE.
22. ALL DRIVEWAYS ARE 36" WIDE.
23. ALL GARAGES ARE 36" WIDE.
24. ALL POOLS ARE 36" WIDE.
25. ALL SPAS ARE 36" WIDE.
26. ALL HOT TUBS ARE 36" WIDE.
27. ALL SAUNAS ARE 36" WIDE.
28. ALL GYMNASIUMS ARE 36" WIDE.
29. ALL TENNIS COURTS ARE 36" WIDE.
30. ALL BASKETBALL COURTS ARE 36" WIDE.
31. ALL SOFTBALL FIELDS ARE 36" WIDE.
32. ALL BASEBALL FIELDS ARE 36" WIDE.
33. ALL FOOTBALL FIELDS ARE 36" WIDE.
34. ALL HOCKEY RINKS ARE 36" WIDE.
35. ALL ICE SKATING RINKS ARE 36" WIDE.
36. ALL SKI LIFT ARE 36" WIDE.
37. ALL SNOWMAKING ARE 36" WIDE.
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50. ALL SNOW STORAGE ARE 36" WIDE.

PROJECT INFORMATION

OWNER: ASHLEY ESTATES
ADDRESS: LOVELAND, CO
PROJECT NO.: CA101
DATE: 10/1/94

DESIGNER: PEDCOR ARCHITECTS
ADDRESS: 1000 17TH AVENUE, SUITE 100
LOVELAND, CO 80540

CLUBHOUSE BUILDING FLOOR PLANS



[illegible]

Name _____
 Address _____
 City _____ State _____ Zip _____
 Telephone _____
 E-mail _____
 Date _____

PEPCOR
 PEPPER CORP.
 PEPPER CORP.

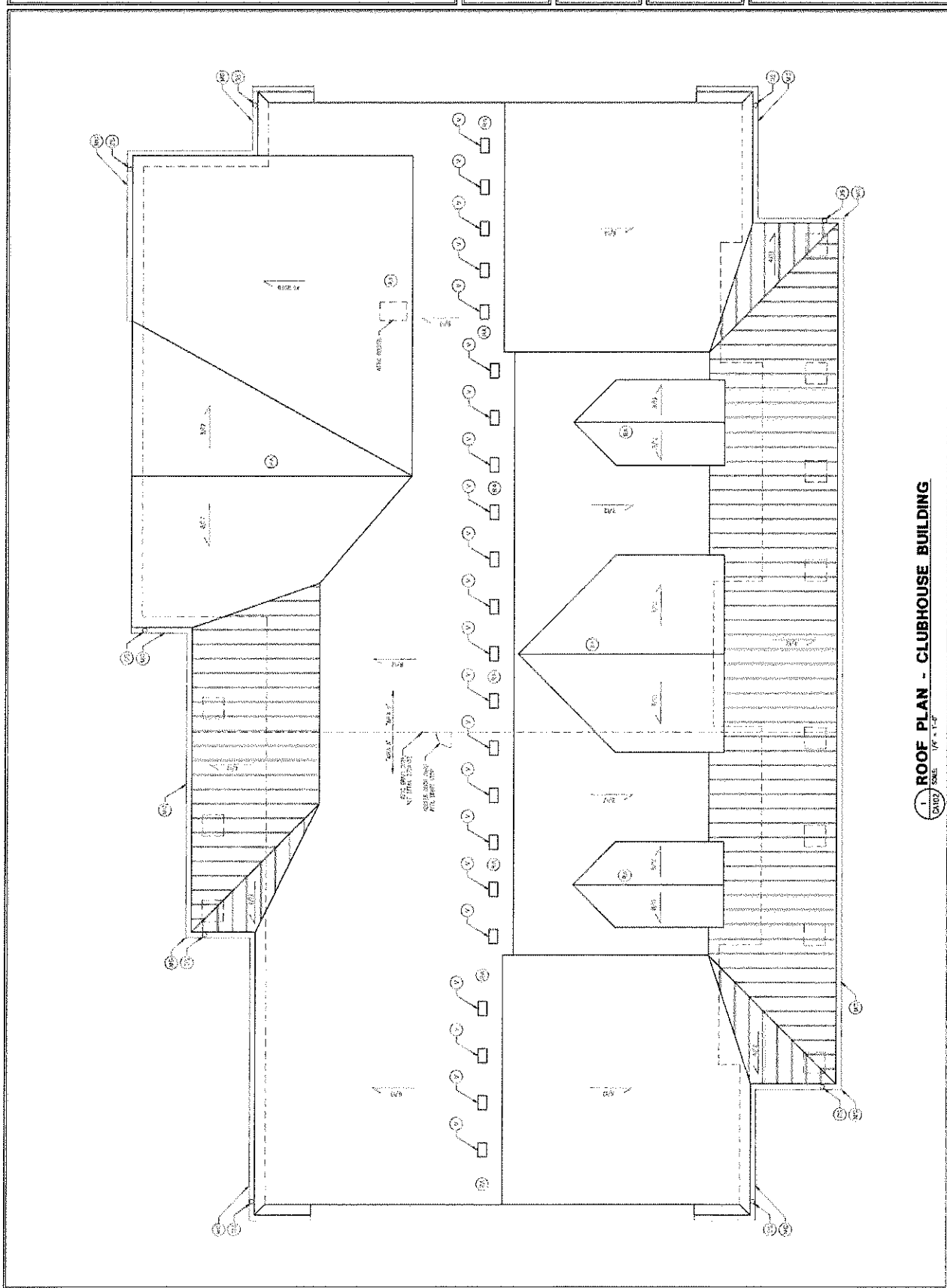
1700 10th Ave., S.W.
 Atlanta, Georgia 30334
 404.525.1000
 FAX 404.525.1000

Contractor 	Scope Description The project consists of the construction of a new 100,000 sq. ft. building for the use of the City of Chicago. The building will be used for the City's new office space. The building will be located at 100 N. LaSalle St. in Chicago, IL. The building will be a 10-story building with a total area of 100,000 sq. ft. The building will be constructed of steel and concrete. The building will have a flat roof. The building will have a parking garage. The building will have a security system. The building will have a fire alarm system. The building will have a heating and cooling system. The building will have an elevator system. The building will have a water supply system. The building will have a waste disposal system. The building will have a ventilation system. The building will have a lighting system. The building will have a communication system. The building will have a data system. The building will have a security system. The building will have a fire alarm system. The building will have a heating and cooling system. The building will have an elevator system. The building will have a water supply system. The building will have a waste disposal system. The building will have a ventilation system. The building will have a lighting system. The building will have a communication system. The building will have a data system.	Issue Date 10/07/10	Review By MHA	Approved AM

<p>Project</p> <p>ASHLEY ESTATES</p> <p>I. OWELAND, CO</p>	<p>Carpeted by:</p>
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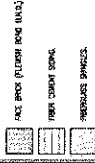
Drinking Water:
CA102

Project Number: 13066T

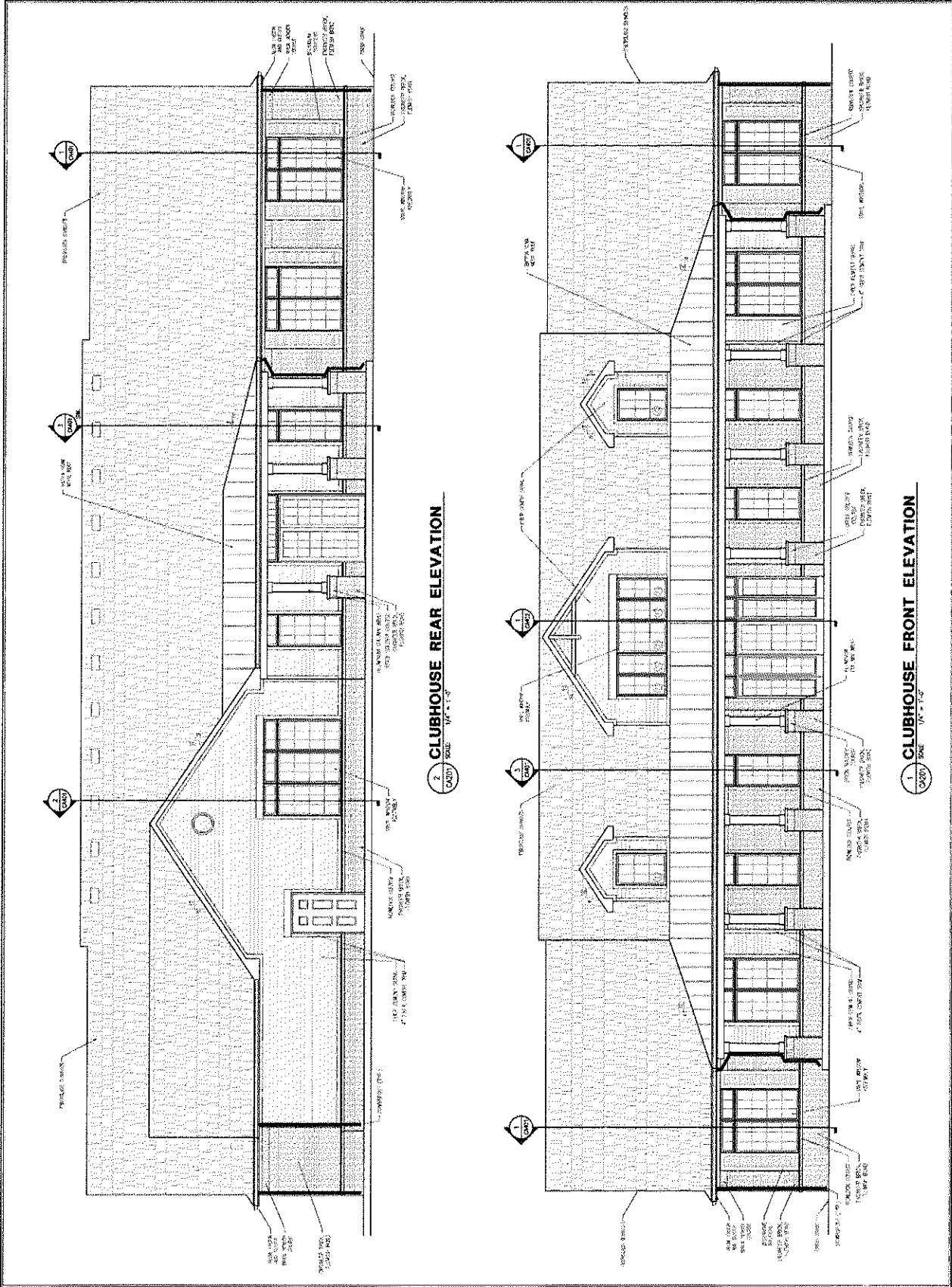


1 ROOF PLAN - CLUBHOUSE BUILDING
SCALE 1/8" = 1'-0"

MATERIAL LEGEND:



PEDDOR PROJECT ARCHITECTS 1000 WEST 10TH AVENUE, SUITE 100 DENVER, CO 80202 TEL: 303.733.1100 FAX: 303.733.1101 WWW.PEDDOR.COM	CSO Architects ARCHITECTS 1000 WEST 10TH AVENUE, SUITE 100 DENVER, CO 80202 TEL: 303.733.1100 FAX: 303.733.1101 WWW.CSOARCHITECTS.COM	CSO Architects ARCHITECTS 1000 WEST 10TH AVENUE, SUITE 100 DENVER, CO 80202 TEL: 303.733.1100 FAX: 303.733.1101 WWW.CSOARCHITECTS.COM	ASHLEY ESTATES LOWELL, CO PROJECT	CA201 SHEET NUMBER	13066T PROJECT NUMBER
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[illegible]



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

June 24, 2015

Patrick Stoffregen
Pedcor
770 3rd Avenue SW
Carmel, IN 46032

Re: 6740 S College - Multi-family

Description of project: This is a request to construct 250 multi-family units at 6740 S College (Parcel #9613200006). All units will be affordable housing units serving families earning between 30-60% of AMI. The proposal also calls for a clubhouse serving the development. The parcel is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or cfrickey@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ali van Deutekom, 970-416-2743, avandeutekom@fcgov.com

1. LUC 3.2.2(C)(b) Multi-Family have a minimum bicycle parking requirement based on the number of bedrooms, with the 60% enclosed and 40% fixed racks.
2. LUC 3.2.2(K)(1)(A) Off-Street parking minimums for multi-family dwellings are based on number of bedrooms.

Spaces that are located in detached residential garages may be credited toward the minimum requirements only if such spaces are made available to dwelling unit occupants at no additional rental or purchase cost (beyond the dwelling unit rental rate or purchase price). If this is the case please add a note to the site plan.

3. LUC 3.2.1(E)(5) A minimum of 6% of the interior space of all parking lots is required to be landscaped. Please show the calculations on how this is being met.
4. LUC 3.2.2(K)(5) Handicap parking spaces are required in numbers per this section.
5. LUC 3.5.1(I) Mechanical/utility equipment (vents, flues, meters, boxes, conduit, transformer, ac/rtu...) locations shall be identified on the plans with notes on how such equipment is screened and painted.

6. LUC 3.5.2(E) and 3.8.30(E) and 3.8.30(F) Buildings are required to comply with these setbacks.
7. LUC 3.2.1 A landscape plan is required.
8. Light sources shall be concealed and fully shielded and shall feature sharp cut-off capability so as to minimize up-light, spill-light, glare and unnecessary diffusion on adjacent property.
9. LUC 3.5.1 (I) (6) All rooftop mechanical equipment shall be screened from public view from both above and below by integrating it into building and roof design to the maximum extent feasible
- 9.

Department: Water-Wastewater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. This site is not served by City of Fort Collins water and sewer.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. A traffic impact study will be needed for this project. Please have your traffic engineer contact me to scope the study. The study will need to take into account the adopted access control plan for this area - which dictates the number and type of access allowed. (Only one access is shown, and this is not anticipated to be a full movement access).
2. The site is adjacent to CDOT state highway and review and approvals will need to be coordinated with them.
3. Please work with Transfort to determine access to public transportation.
4. Adjacent street road improvemetns (frontage of US 287), will be needed, and the potential construction of auxiliary turn lanes.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. 2012 IFC CODE ADOPTION
The Poudre Fire Authority and City of Fort Collins have adopted the 2012 International Fire Code. Building plan reviews shall be subject to the adopted version of the fire code in place at the time of plan review submittal and permit application.
2. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM
New buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority. Poudre Fire Authority Bureau Admin Policy #07-01
3. WATER SUPPLY
Hydrant spacing and flow must meet minimum requirements based on type of occupancy.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to any building, on 600-foot centers thereafter.

CLEAR SPACE AROUND HYDRANTS

> IFC 508.5.5: A 3-foot clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved.

PHYSICAL PROTECTION

> IFC 508.5.6: Where fire hydrants are subject to impact by a motor vehicle, guard post or other approved means shall comply with section 312.

4. FIRE LANES

Fire access is required and fire lane specifications shall apply. Connectivity to the development will be evaluated against local criteria. Dead-end roads in excess of 660' require a second point of access.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENTS

D106.2: Multiple-family residential projects having more than 200 dwelling units shall be provided with two separate and approved fire apparatus access roads regardless of whether they are equipped with an approved automatic sprinkler system.

FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
- > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
- > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
- > Dead-end fire apparatus access roads cannot exceed 660 feet in length. Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
- > Be visible by painting and/or signage, and maintained unobstructed at all times.
- > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.

International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

5. CUL-DE-SACS

> FCLUC 3.6.2(B): Cul-de-sacs are permitted only if they do not exceed 660 feet in length and have a turnaround at the end with a minimum outside turning radius of 50 feet (100 foot diameter).

6. RESIDENTIAL AUTOMATIC FIRE SPRINKLERS

> IFC 903.2.7: An automatic sprinkler system installed in occupancies in accordance with

Section 903.3 shall be provided throughout all buildings with a Group R (Residential) fire area.

As of Aug. 1, 2014 local ordinance prohibits NFPA 13R systems in new, multi-family residential construction. A full, NFPA 13 system is required in all buildings.

BALCONIES AND DECKS

> IFC 903.3.1.2.1: Sprinkler protection shall be provided for exterior balconies, decks, and ground floor patios of dwelling units where the building is of Type V construction.

FDC

> IFC 912.2: Fire Department Connections shall be installed in accordance with NFPA standards. Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access. The location of the FDC shall be approved by the fire department.

7. KEY BOXES REQUIRED

> IFC 506.1 and Poudre Fire Authority Bureau Policy 88-20: Poudre Fire Authority requires at least one key box ("Knox Box") to be mounted in an approved, exterior location (or locations) on every new or existing building equipped with a required fire sprinkler or fire alarm system. The box shall be positioned 3 to 7 feet above finished floor and within 10 feet of the front door, or closest door to the fire alarm panel. Exception can be made by the PFA if it is more logical to have the box located somewhere else on the structure. Size, location and key requirements will be determined at time of building permit.

8. PREMISE IDENTIFICATION

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

9. BUILDINGS EXCEEDING THREE STORIES OR 30 FEET IN HEIGHT

Should any building exceed 30' in height, fire lanes will be subject to requirements of Appendix D of the 2012 IFC.

AERIAL FIRE APPARATUS ACCESS ROADS - WHERE REQUIRED

> IFC D105.1: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

AERIAL FIRE APPARATUS ACCESS ROADS - WIDTH

> IFC D105.2; FCLUC 3.6.2(B)2006; and Local Amendments: Aerial fire apparatus access roads shall have a minimum unobstructed width of 30 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

AERIAL FIRE APPARATUS ACCESS ROADS - PROXIMITY TO BUILDING

> IFC D105.3: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

Department: Environmental Planning

Contact: Kelly Kimple, , kkimple@fcgov.com

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (wetlands and wet meadows). Please note the buffer zone standards range from 50-100' for these features, as identified in Section 3.4.1(E) of the Land Use Code, as you proceed with your site design process. Please note that the Ecological Characterization Study is due a minimum of 10 days prior to the PDP submittal.
2. Within the buffer zone, according to Article 3.4.1(E)(1)(g), the City has the ability to determine if the existing landscaping within the buffer zone is incompatible with the purposes of the buffer zone. Please ensure that your ECS discusses the existing vegetation and identifies potential restoration options. If it is determined to be insufficient, then restoration and mitigation measures will be required.
3. This project must also comply with the following standard, Section 3.4.1(L) Compatibility with Public Natural Areas, as it is adjacent to the Pelican March Natural Area. If the project contains or abuts a publicly owned natural area or conserved land, the development plan shall be designed so that it will be compatible with the management of such natural area or conserved land. In order to achieve this, the development plan shall include measures such as barriers or landscaping measures to minimize wildlife conflicts, setbacks or open space tracts to provide a transition between the development and the publicly owned natural area or conserved land, and educational signage or printed information regarding the natural values, management needs and potential conflicts associated with living in close proximity to such natural area or conserved land.

The Land Use Code requires that whenever a project abuts a Natural Area, then compatibility with and reasonable public access to that Natural Area is required. Please ensure your ECS addresses this code requirement, see Section 3.4.1(L)(M) for more information.

4. Furthermore, as per Section 3.4.1 (M), in the event that the development plan abuts a publicly owned natural area, the development plan shall include such easements and rights-of-way as are necessary to allow reasonable access for the public to such natural area, unless such access is deemed by the decision maker to be unnecessary and undesirable for the proper public utilization of such natural area. Any such access requirement or dedication shall be credited (based on fair market value analysis) against any such natural area dedication or fee-in-lieu thereof required by the city.
5. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.
6. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Tyler Siegmund tsiegmund@fcgov.com or 221-6501 will be the Engineer assigned to this project. Please contact him if you have further questions regarding the engineering comments or requirements.
2. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
3. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>

4. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial, 8 foot along an alley, and 9 foot along all other street classifications). Additional right-of-way will need to be dedicated for SH 287 (College Ave) as needed to accommodate the ultimate 6 lane x-section and any improvements that may be needed to accommodate this site (half row of 72 feet). (copy of EOS sheets 17/18 and x-section from South Colle corridor plan provided at conceptual review meeting)
7. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
8. This site is adjacent to CDOT roadway and all access to the site is governed by an access control plan. The access control plan will need to be followed and implemented with any project. The access control plan identifies that the property will have one $\frac{3}{4}$ access (right-in, right-out, left) into the site. This access will need to be designed and located so that it will work with the $\frac{3}{4}$ access point across the street. The access will need to be designed so that traffic movements are limited to the allowed $\frac{3}{4}$ movements. This could involve the design and construction of interim or ultimate median in SH 287 or possibly the design of an island at the entrance (the island design would need to be one that would effectively control and limit movements into and out of the site). Plans will be routed to CDOT for review and approval and the applicant will need to obtain access permits from CDOT.
9. A second access point onto SH 287 for emergency access ONLY if needed would likely be allowed.
10. As shown on the access control plan (copy of figure 5-4 provided at the conceptual review meeting) the project will need to provide for connections from the SH 287 access point to the east and the north. The City's Land Use Code requires that these connections be public streets (see section 3.6.3 (E) and (F)). We would see both streets eventually tying into the existing street stubs that are north and east of this site.
11. CDOT does not typically allow any additional drainage flows to be directed to the SH other than what was historically going there.
12. The project will be responsible for the design and construction of the frontage improvements along SH 287 adjacent to the property (including required off-site design). This will include accel lane, decel lane, bike lane, and detached sidewalk.
13. Streets that do not connect through will need to have a temporary turn-around at the end.
14. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
15. LCUASS parking setbacks (Figure 19-6) apply to any parking lots and will need to be followed for any parking lot design. In addition drainage is not allowed to flow out of a parking lot through the driveway and across the sidewalk. Sidewalk chases will need to be provided for any drainage from the parking lot out to the street.

16. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.

Department: Electric Engineering

Contact: Coy Althoff, , CAlthoff@fcgov.com

1. Light and Power has single phase electric service available in this area. Full development charges will apply.
2. The location of the electric services will need to be coordinated with Light and Power Engineering. Please note that the residential units must be metered individually.
3. Meter locations for multi-family attached units will need to be coordinated with Light and Power Engineering.
4. Will garage complexes be fed and metered off from the main buildings or is separate service anticipated? If a separate service is the plan, please fill out C-1 form, Link: <http://zeus.fcgov.com/utills-procedures/files/EngWiki/WikiPdfs/C/C-1Form.pdf>
5. Club House (non-residential building) will require C-1 form also. Link: <http://zeus.fcgov.com/utills-procedures/files/EngWiki/WikiPdfs/C/C-1Form.pdf>
6. If entry sign requires electricity for lighting please fill out C-1 form: Link: <http://zeus.fcgov.com/utills-procedures/files/EngWiki/WikiPdfs/C/C-1Form.pdf>
7. Contact Light and Power Engineering to coordinate the transformer and electric meter locations, please show the locations on the utility plans.
8. Streetlights will be placed along public streets. A 40 feet separation on both sides of the light is required between canopy trees and streetlights. A 15 feet separation on both sides of the light is required between ornamental trees and streetlights.
9. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.

Department: Advance Planning

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer and there is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
2. Onsite detention is required for the runoff volume difference between the 100 year developed inflow rate and the 2 year historic release rate. The outfall for this site is into Robert Benson Lake.
3. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.

4. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. More information and links can be found at:
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>. The pervious paver requirement only applies to privately owned (i.e. nonpublic right-of-way) vehicle use areas within a commercial or multi-family development.
5. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
6. The design of this site must conform to the drainage basin design of the Fossil Creek Master Drainage Plan as well the Fort Collins Stormwater Manual.

Planning Services

Contact: Clay Frickey, 970-224-6045, cfrickey@fcgov.com

1. How many parking spaces are you proposing for this development? This project will have to provide parking at the following ratios per section 3.2.2(K)(1)(a) of the Land Use Code:

One bedroom - 1.5 parking spaces
Two bedroom - 1.75 parking spaces
Three bedroom - 2 parking spaces
Four bedroom + - 3 parking spaces
2. Staff is concerned about the repetition of building elements. Per Land Use Code section 3.5.2(C) your development will require 3 distinctly different building designs excluding clubhouses. These designs should incorporate similar roof forms, massing and proportions but have different entry features, elevations and footprints to prevent a monotonous feel to the development. There shall also be no similar buildings placed next to one another on street-like private drives.
3. Access to the site is a concern given its location along College Avenue. Staff recommends connecting to or stubbing to an eventual connection with Stony Brook Road to provide connectivity to adjacent developments.
4. Please provide a table showing the unit and parking mix on the site. As part of this table, please also indicate the acreage and square footage dedicated to open space, buildings, roads, etc.
5. All buildings shall be setback at least 30 feet from arterial streets and 15 feet from non-arterial streets per Land Use Code section 3.5.2(E)(1)-(2).
6. Due to the traffic volumes on College Avenue, staff recommends exploring methods to reduce the noise coming from the street. This can include decorative walls, landscaping, or berms amongst other potential treatments.
7. The proposed street-like private drives proposed shall comply with all relevant elements of section 3.6.2(N) of the Land Use Code. The street-like private drives shall have two travel lanes, on-street parking that is not head in parking, a tree lawn with street trees and a detached, 6' sidewalk minimum.

8. Be sure to provide the appropriate number and properly sized containers for recyclable materials. These containers must be equally distributed throughout the project. In addition, there are new techniques for accommodating compostable materials. For further information, please contact Caroline Mitchell, Environmental Planner, 221 6288, cmitchell@fcgov.com. Caroline can assist in the determining the number and sizes of the necessary containers.
9. Colors of non-masonry materials shall be varied from structure to structure per Land Use Code section 4.5(E)(4)(h). Colors and materials shall be integrated to visually reduce the scale of the buildings by contrasting trim, by contrasting shades or by distinguishing one (1) section or architectural element from another. Bright colors, if used, shall be reserved for accent and trim.
10. The maximum floor area of buildings shall be 14,000 sq. ft. per Land Use Code section 4.5(E)(4)(i)
11. It appears the proposed development is providing a park in the center of the development. This park must meet the standards outlined in section 3.8.30(C) of the Land Use Code. 90% of the dwellings shall be within 1,320 feet of this feature. The park must be at least 10,000 sq. ft. in size. The rear portions of the proposed buildings shall not abut more than 50% of the perimeter frontage of the park. This is to ensure visibility of the park from the street.
12. The proposed buildings use a significant amount of fiber cement siding. Staff would like to see more variation in this material or a higher quality material to better meet the standards in section 4.5(E)(4) and 3.5.2(C). These sections both call for unique architectural characteristics among building models to prevent a uniform development.
13. The way to calculate density can be found in section 3.8.18 of the Land Use Code.
14. If the project includes detached garages, you may want to consider adding dwelling units above the garages to help achieve your desired unit count.
15. When calculating the parking you will be providing, you can count on-street parking so long as the street does not connect to the surrounding neighborhood per Land Use Code section 3.2.2(K)(1)(b).
16. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
17. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
18. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
19. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
20. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.

- 21.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 22.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

20012 International Building Code (IBC)
2012 International Residential Code (IRC)
20012 International Energy Conservation Code (IECC)
2012 International Mechanical Code (IMC)
2012 International Fuel Gas Code (IFGC)
2012 International Plumbing Code (IPC) as amended by the State of Colorado
2014 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

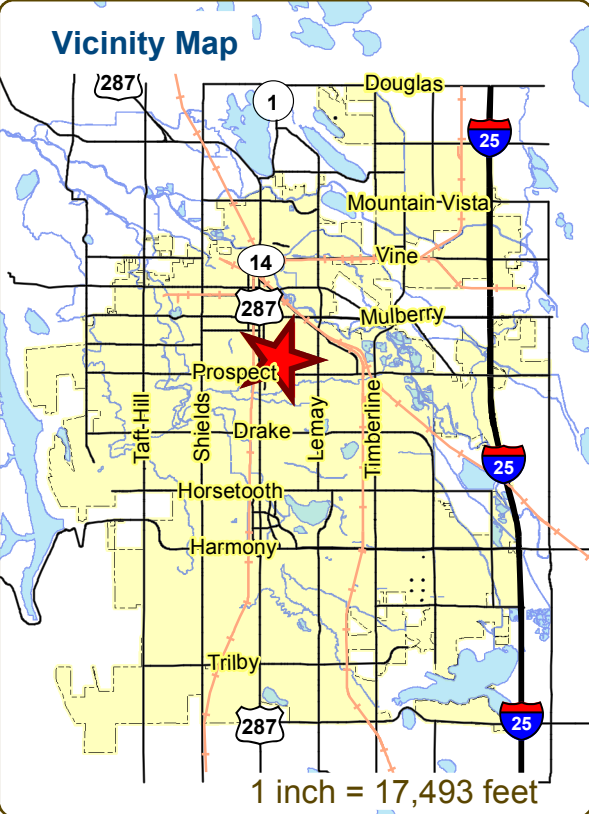
Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
970-416-2341

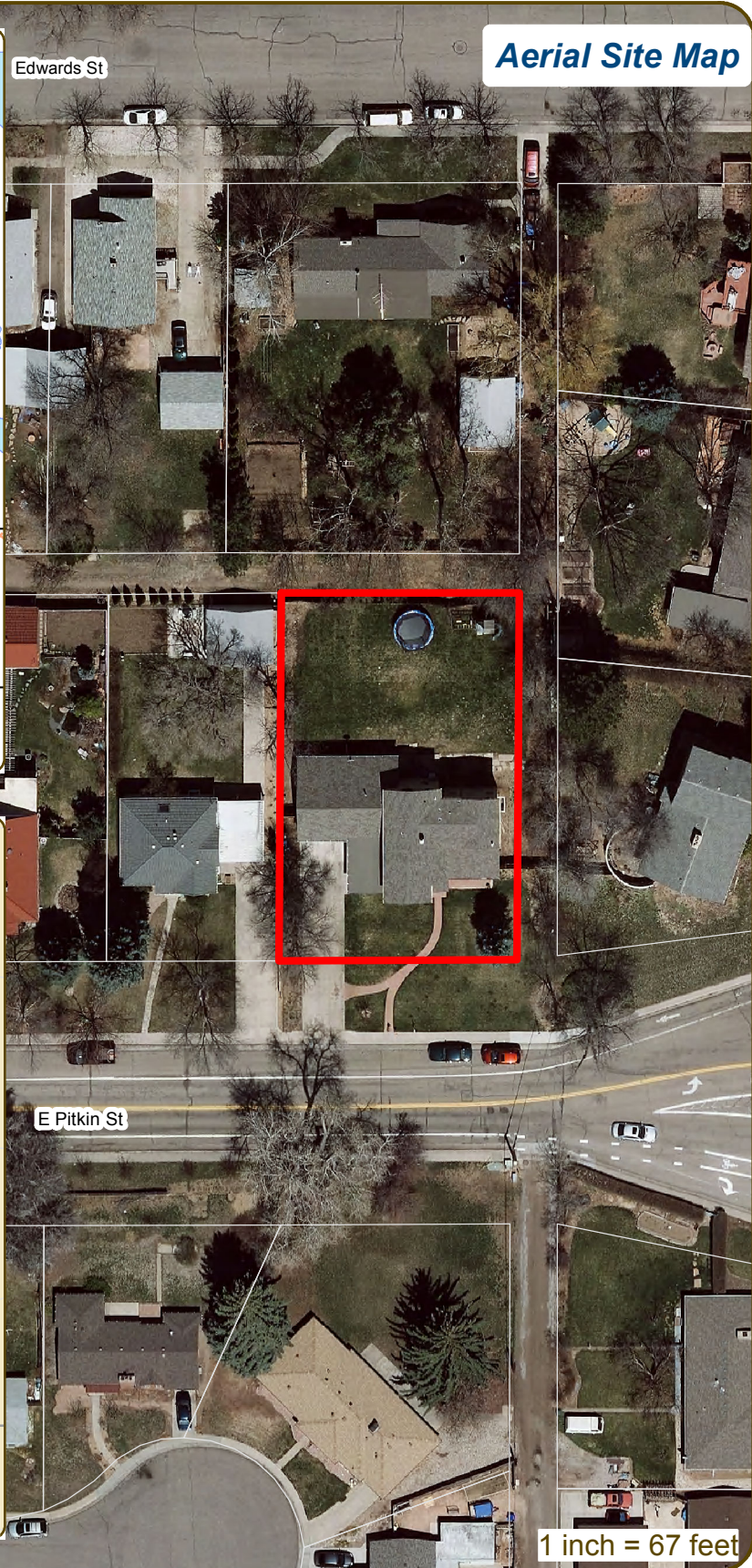
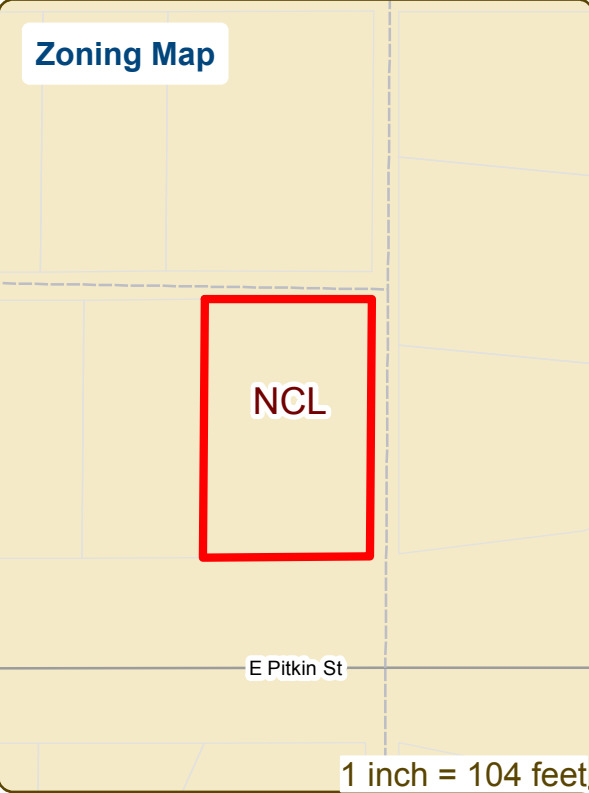
612 E Pitkin Carriage House

Vicinity Map

Aerial Site Map



Zoning Map



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CONCEPTUAL REVIEW:
APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a “first come, first served” basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED **The more info provided, the more detailed your comments from staff will be.**

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Heidi Shuff, Consultant (Project Architect)

Business Name (if applicable) Studio S Architecture

Your Mailing Address 715 W. Mountain Avenue, Fort Collins, CO 80521

Phone Number 970-231-1040 **Email Address** heidishuff@gmail.com

Site Address or Description (parcel # if no address) 612 E. Pitkin Street, Fort Collins

Description of Proposal (attach additional sheets if necessary) New 600 SF garage with Carriage House
above, accessed from the alley at the north side of the property.

**103' x 140' are the dimensions of the lot based on the acquisition of the additional 15' to the east of the property, which is anticipated to be complete by the time of the Conceptual Review*

Proposed Use garage & guest quarters **Existing Use** n/a

Total Building Square Footage 830 SF **S.F. Number of Stories** 1 1/2 **Lot Dimensions** 103' x 140' *

Age of any Existing Structures The existing 2-story house at the south side of the lot has been deemed not individually eligible & will be demolished to construct a new home at the same location

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☐ Yes ☒ No If yes, then at what risk is it? _____

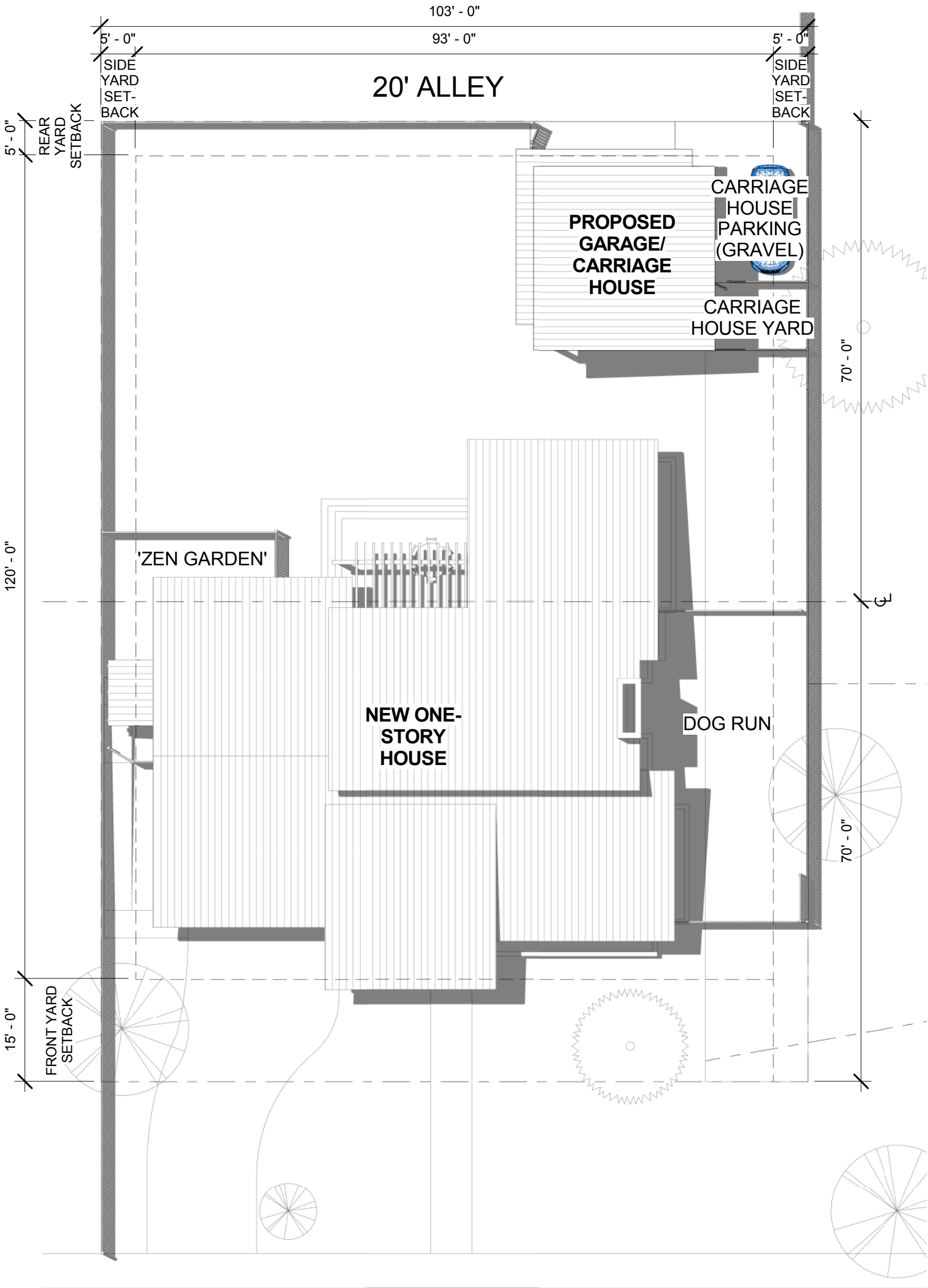
Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

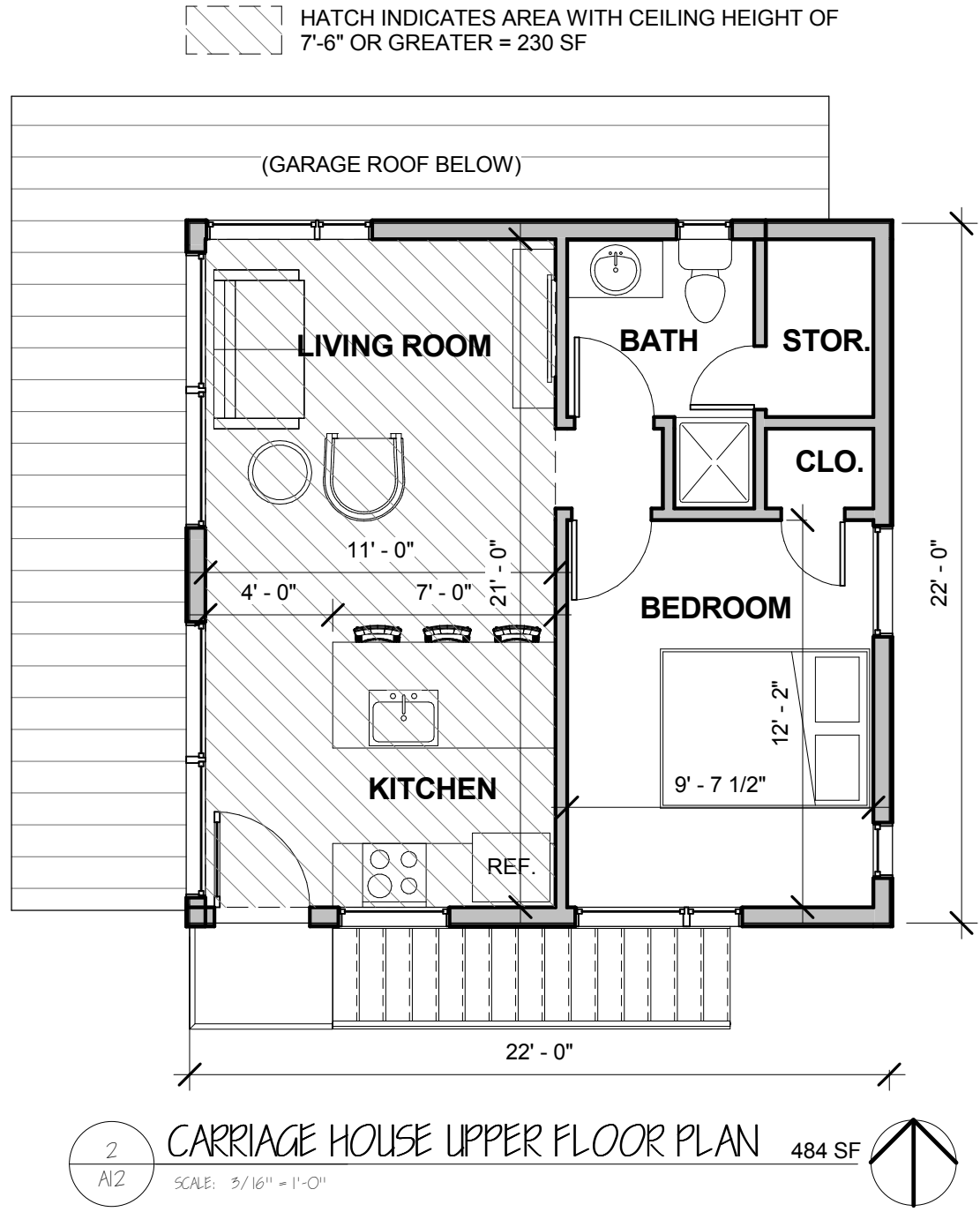
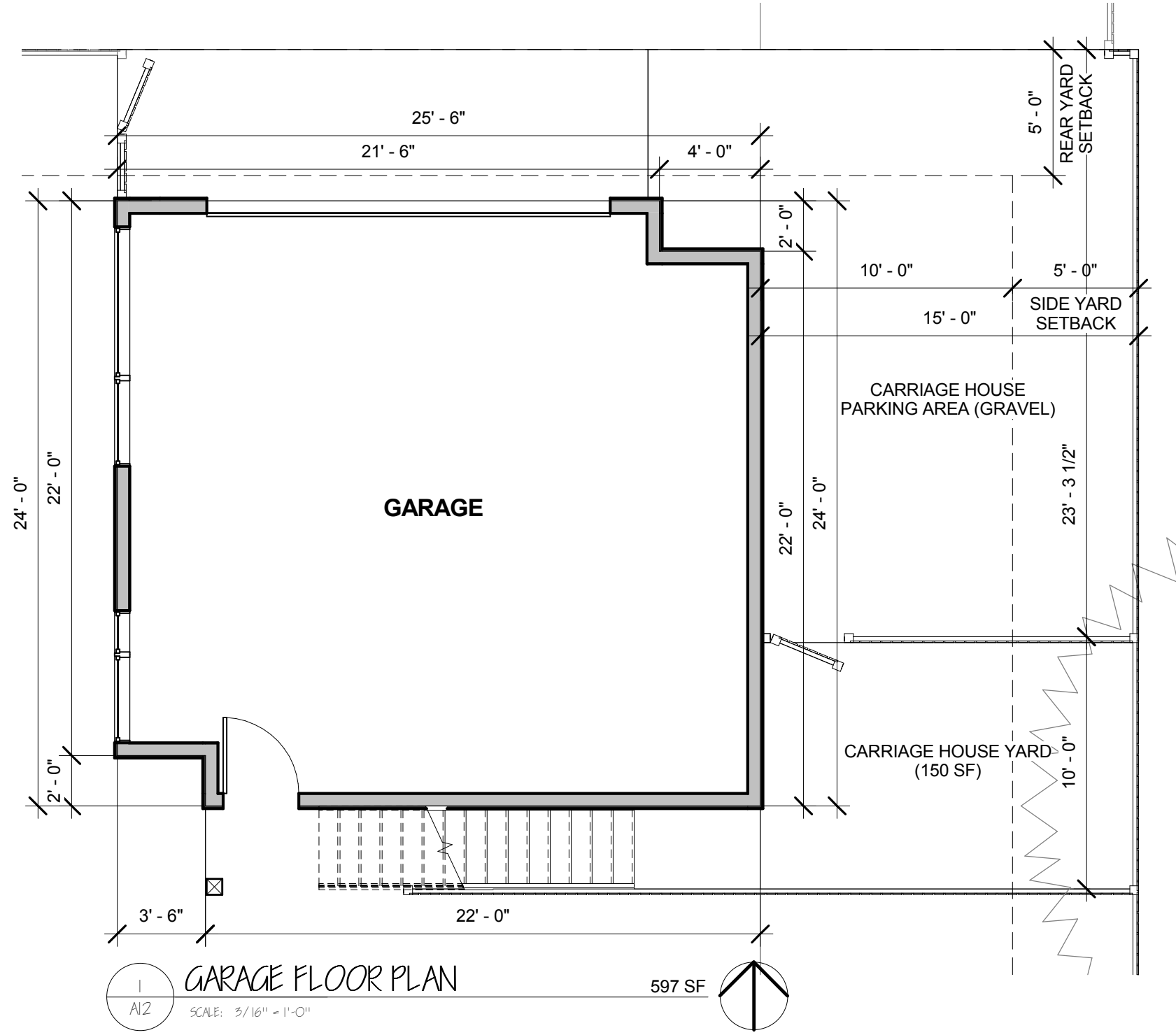
Increase in Impervious Area 725 **S.F.**
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

<u>Property Address:</u>	612 E. Pitkin Street	<u>Lot Size:</u>	14,420 SF
<u>Property Owner:</u>	Pat McGaughran	<u>Floor Area Ratio:</u>	0.30 + 250 SF allowance for Detached Accessory Structure
<u>Owner's Phone:</u>	970-218-1655	<u>Allowable Total Floor Area:</u>	4,576 SF
<u>Parcel No:</u>	97133-17-009	<u>Total Floor Area:</u>	
<u>Legal Description:</u>	LOTS 9 & 10, BLK 13, PLUS 15' EAST OF BLOCK 10, FTC	Main House First Floor:	3,714 SF (3,514 SF + 200 SF over 14' height)
<u>Zoning District:</u>	NCL	Garage:	597 SF
<u>Subdivision:</u>	1028- CRAFTS RESUB	Carriage House:	230 SF
<u>Setbacks:</u>		Total:	4,541 SF
Front Yard-	15 Feet	<u>Allowable Floor Area on Rear 50% of lot:</u>	
Rear Yard-	5 Feet (to Alley)	7,210 SF * .25 =	1,802.5 SF
Side Yard-	5 Feet	<u>Actual Floor Area on Rear 50% of lot:</u>	
		Main House First Floor:	566 SF
		Garage/Carriage House:	827 SF
		Total:	1,393 SF

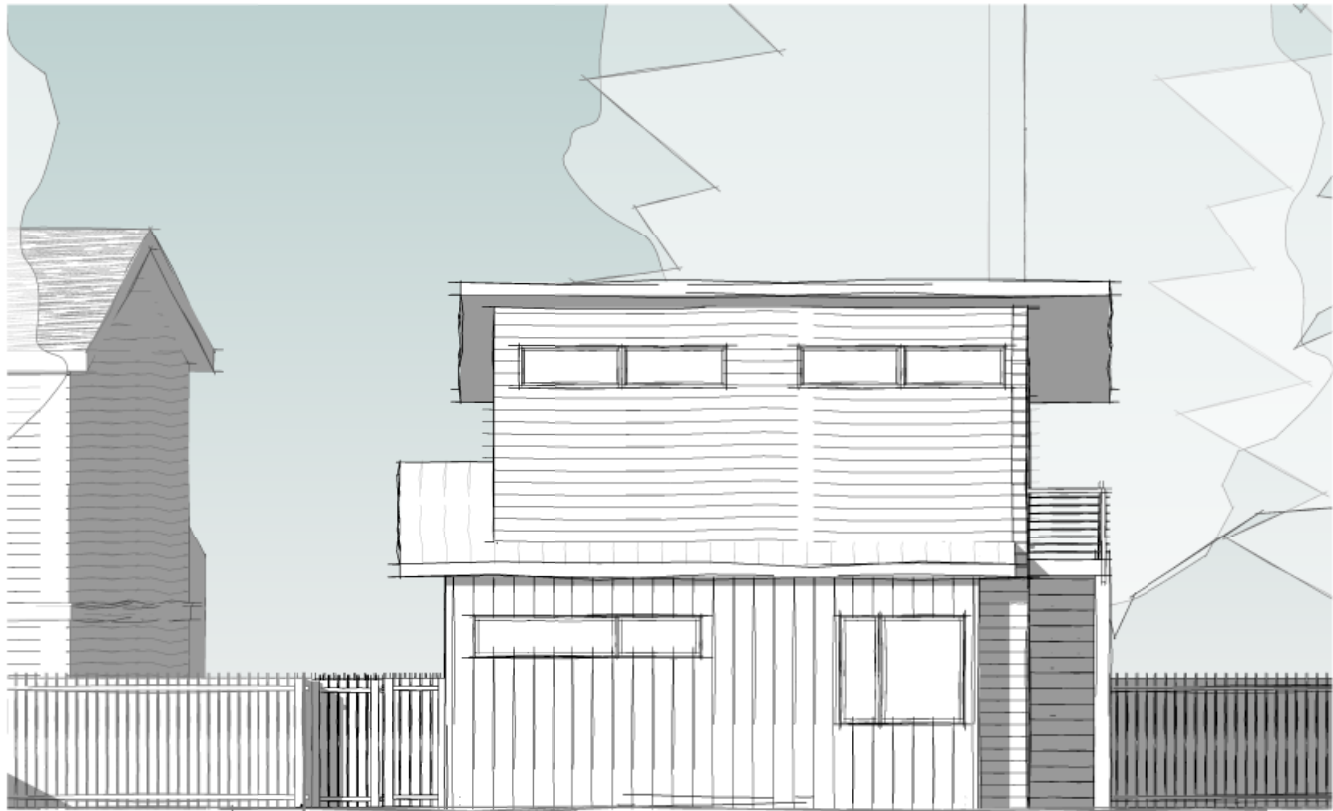




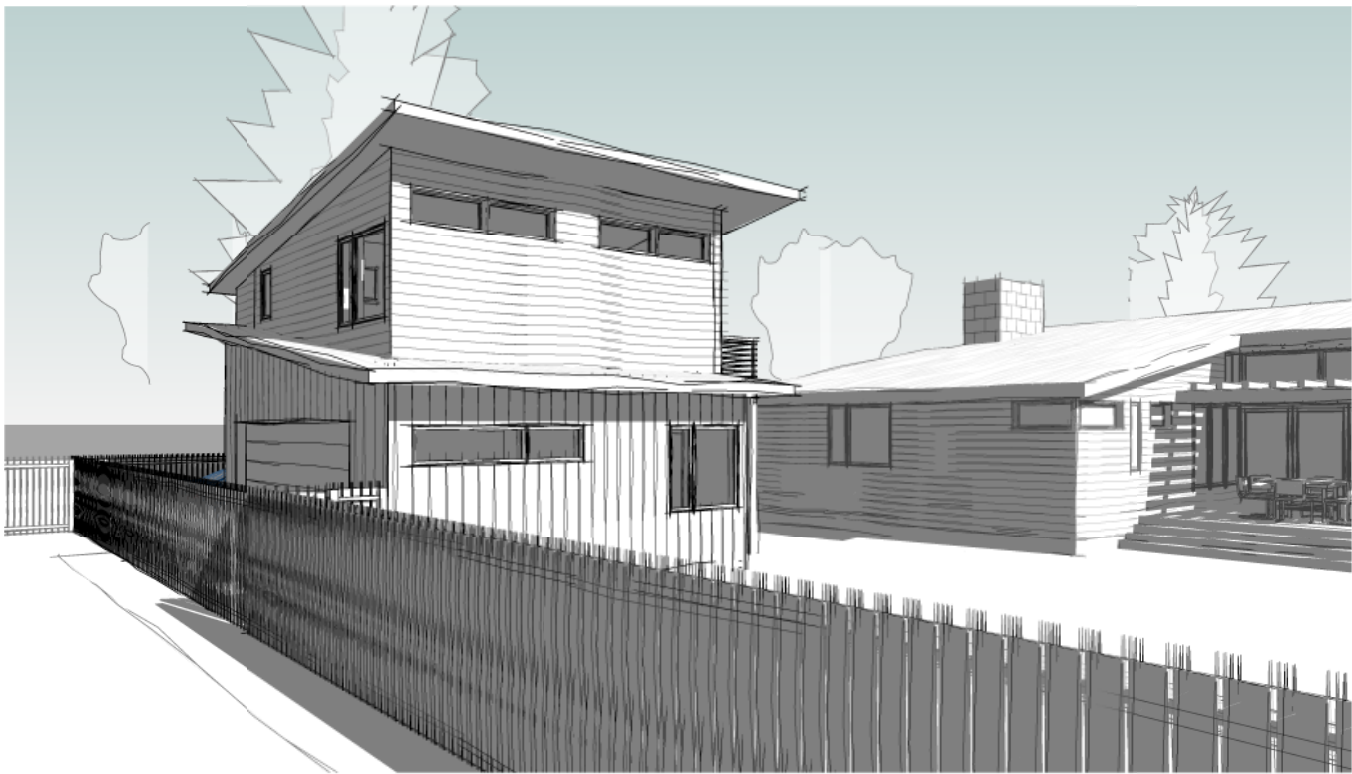
CARRIAGE HOUSE

MCGAUGHRAN RESIDENCE
612 E. Pitkin Street
Fort Collins, Colorado

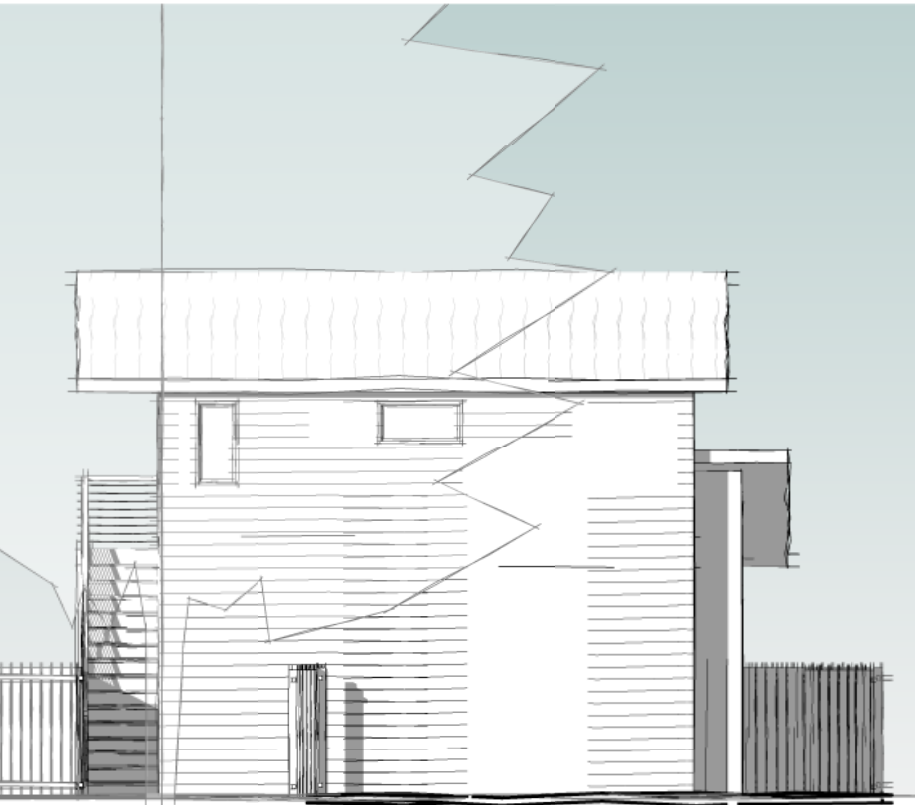
studio
architecture
phone: 970.231.1040
e-mail:heidishurt@gmail.com
715 west mountain avenue
fort collins, colorado 80521



1
A13
CARRIAGE HOUSE WEST ELEVATION
SCALE: 1/8" = 1'-0"



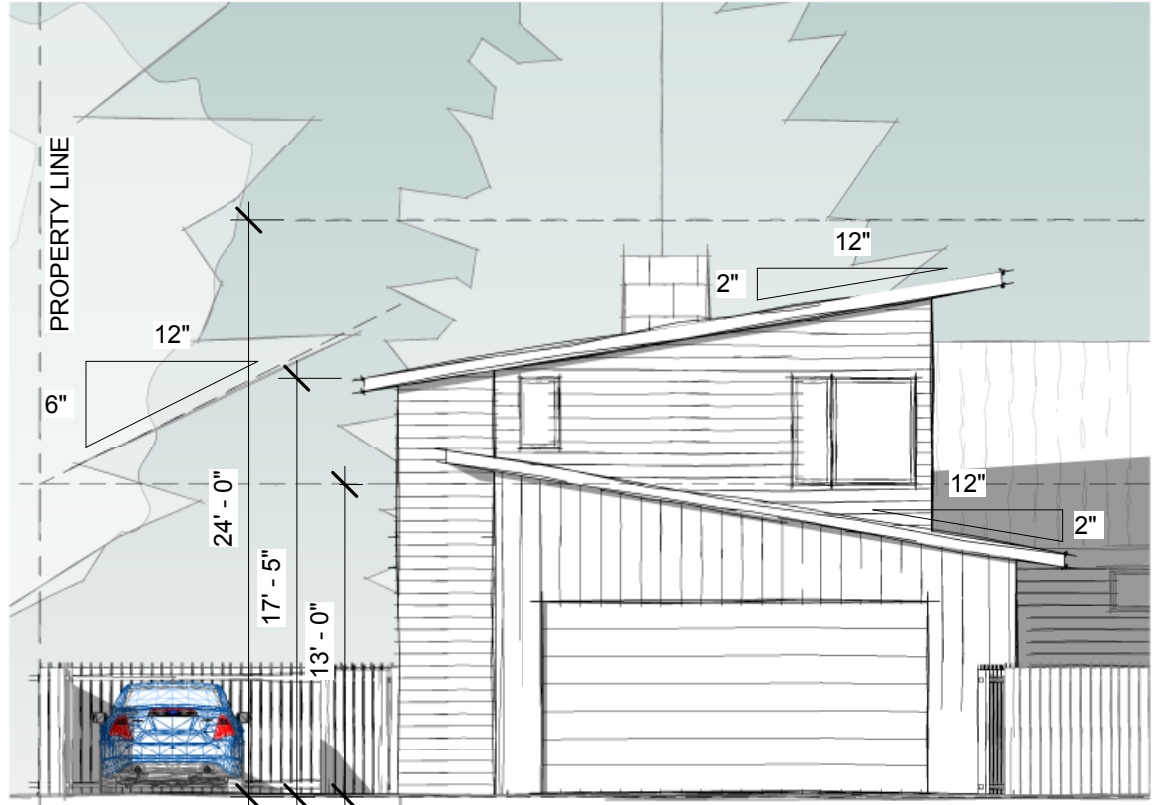
4
A13
3-D VIEW- CARRIAGE HOUSE
SCALE:



5
A13
CARRIAGE HOUSE EAST ELEVATION
SCALE: 1/8" = 1'-0"

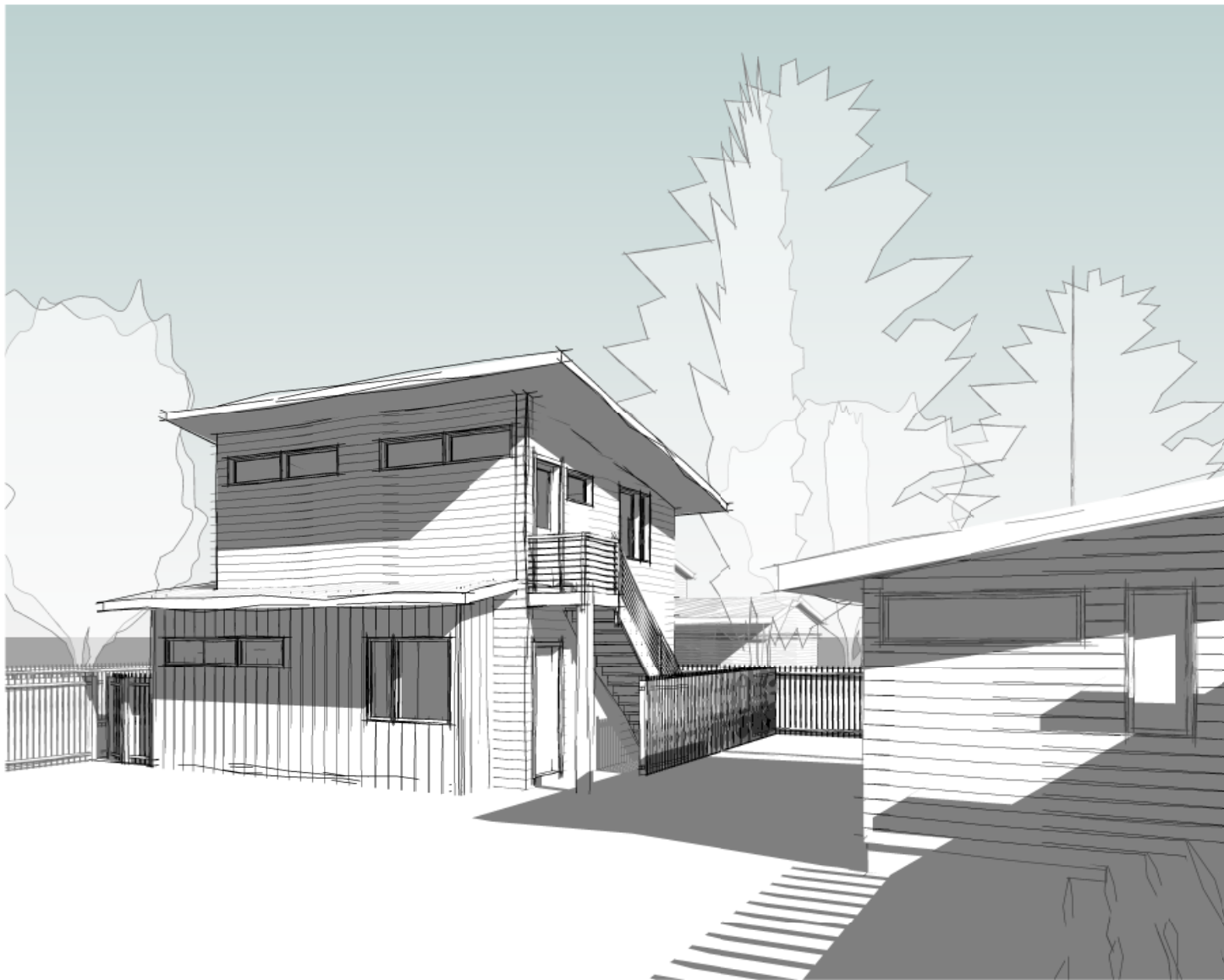


2
A13
CARRIAGE HOUSE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

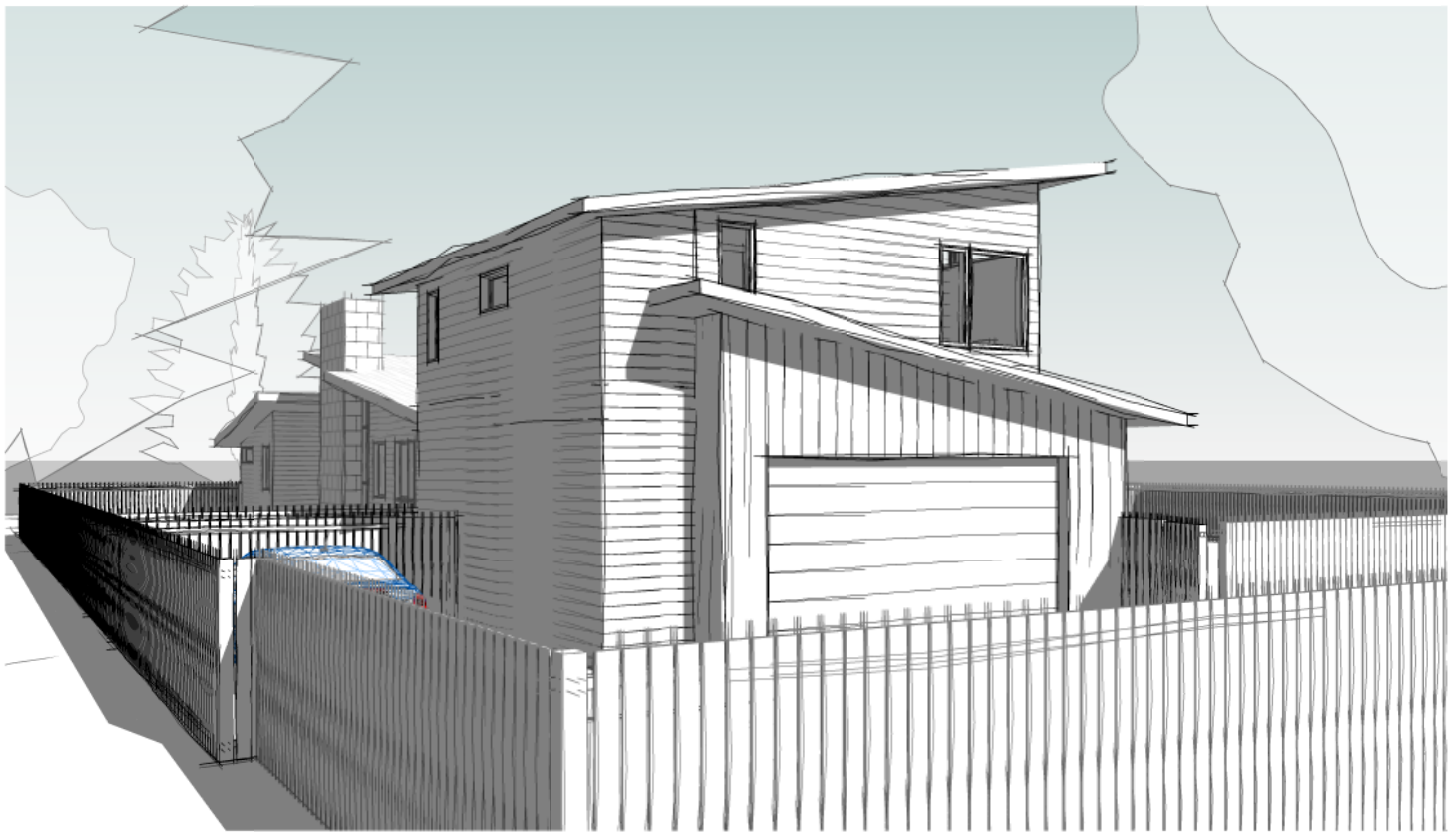


3
A13
CARRIAGE HOUSE NORTH ELEVATION
SCALE: 1/8" = 1'-0"

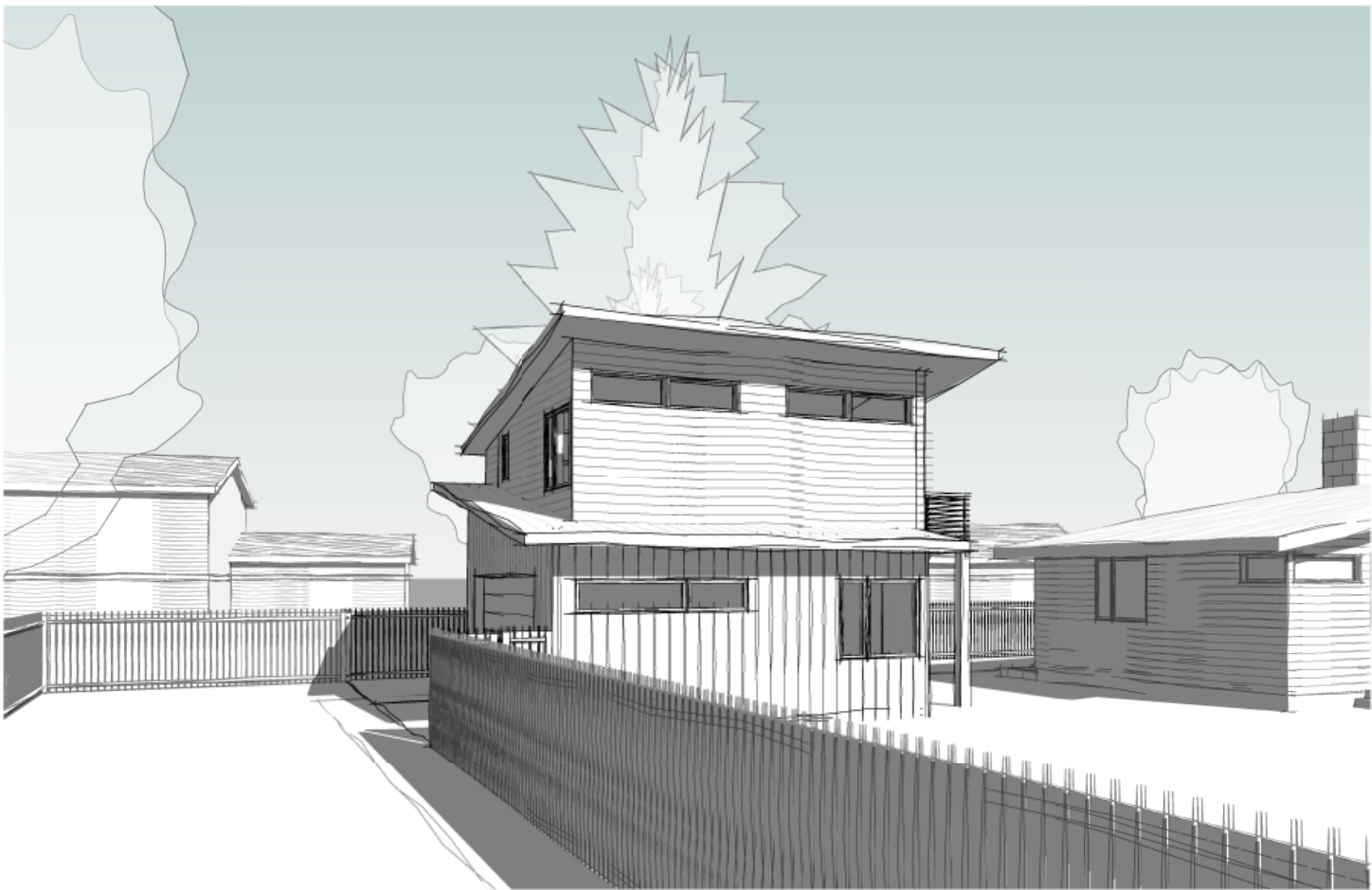
CARRIAGE HOUSE



1
A14
3-D VIEW- CARRIAGE HOUSE 2
SCALE:



2
A14
3D VIEW- CARRIAGE HOUSE 3
SCALE:



3
A14
3D VIEW- CARRIAGE HOUSE 4
SCALE:

CARRIAGE HOUSE 3-D VIEWS

6.01.15

MCGAUGHNAN RESIDENCE
612 E. Pitkin Street
Fort Collins, Colorado

s t u d i o
a r c h i t e c t u r e
phone: 970.231.1040
e-mail:heidishurt@gmail.com
715 west mountain avenue
fort collins, colorado 80521



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

July 06, 2015

Heidi Shuff
Studio S Architecture
715 W Mountain Ave
Fort Collins, CO 80521

Re: 612 E Pitkin - Carriage House

Description of project: This is a request to construct a carriage house at 612 E Pitkin St. (Parcel #9713317009). The carriage house will be 230 sq. ft. on the second story of a 597 sq. ft. alley loaded garage. This project will coincide with the scrape and re-build of the existing single-family home on the site. The parcel is located in the Neighborhood Conservation - Low Density (NCL) zone district. This proposal will be subject to Type I (Administrative) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Pete Wray, at 970-221-6754 or pwray@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ali van Deutekom, 970-416-2743, avandeutekom@fcgov.com

1. It appears there is a small roof on the west side of the main house that may be extending too far into the setback. Roofs can overhang only two feet into a setback.
2. This project will be a type I (administrative) review

Department: Water-Wastewater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. For a carriage house, calculations from a Mechanical Engineer are required to show the existing services have sufficient capacity to serve the new dwelling unit. In addition, a Carriage House Covenant Agreement will be required prior to establishing utility service to the carriage house.
2. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
3. Development fees and water rights will be due at building permit.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.

Department: Stormwater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. If there is an increase in imperviousness greater than 1000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns. If there is less than 1,000 but more than 350 square feet of new impervious area; a site grading and erosion control plan is required instead of a complete construction plan set.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation. The outfall for this property is into Pitkin St.
4. If 1000 square feet of additional impervious area is added, the new impervious area runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
5. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
6. The design of this site must conform to the drainage basin design of the Spring Creek Master Drainage Plan as well the Fort Collins Stormwater Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. FIRE LANES

A fire access lane is required to within 150' of all portions of the carriage house and the location of the proposed carriage house exceeds the maximum distance. For the purposes of determining distances, alleys are not considered dependable means of access and cannot be used. A residential fire sprinkler system would be required. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

2. PREMISE IDENTIFICATION

If the carriage house is intended for rental use, it shall be addressed separately. Address numerals shall be posted on the building and at the street. Code language provided below.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

Department: Environmental Planning

Contact: Kelly Kimple, , kkimple@fcgov.com

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Marc Ragasa mragasa@fcgov.com or 221-603 will be the Engineer assigned to this project. Please contact him if you have further questions regarding the engineering comments or requirements.
2. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
3. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
4. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this

project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.

All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway off of Pitkin will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.

5. The alley adjacent to this lot is not improved (it is dirt/gravel). In accordance with the Land Use Code if this dwelling unit is considered a Carriage House the alley can remain in its current condition. If the dwelling unit doesn't fit within the Carriage House criteria and is not considered a Carriage House, the alley will need to be designed and improved along the frontage of the lot out to the nearest street in accordance with the standards.
6. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
7. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (8 foot along an alley, and 9 foot along Pitkin).
8. Utility plans may be required. It is possible that any grading and utility work can be shown on a site/ landscape plan.
9. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.

Department: Electric Engineering

Contact: Coy Althoff, , CAalthoff@fcgov.com

1. Light and Power has single phase electric service available in this area. Added kVA and system modification charges will apply.
2. Please note that depending on the actual location of the existing service, it may be subject to re-location due to the construction of the new building.
3. Please note that the carriage house will need to have it's own meter separate from the main house.
4. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.

Planning Services

Contact: Pete Wray, 970-221-6754, pwrap@fcgov.com

1. 1. Needs to meet all requirements of the NCL Zoning District Standards. Initial CR description appears to comply with main standards.
2. 2: Lot size is 14, 420 SF based on project description of additional acquisition of 15' on east side as shown in FAR calculations.
3. 3. Water and sewer services may be extended from the main house to the carriage house. But, the Water Department will require both to pay the raw water acquisition fee.
4. 4. The new house and carriage house must comply with the following standards:
 - a. Building Design
 - b. Front Façade Character
 - c. Side Façade Character

- d. Building Height (Carriage House cannot exceed 24 feet)
 - e. Eave Height (cannot exceed 13 feet along a side lot line)
 - f. A back yard is still required and must be at least 120 square feet
5. 5. You get credit for existing water and sewer taps. But, the new water (copper v. galvanized steel) and sewer (plastic v. clay tile) services will require a street cut, fill and patch which is a cost that should be anticipated.
 6. 6. Any accessory building with water and/or sewer service shall be considered to have habital space. At time of building permit, need to coordinate with County to confirm accessory structure shall not be used as a dwelling unit.
 7. 7. Fees: This project appears to meets the criteria for a small project and associated fee schedule. A small project fee request form must be completed to authorize a small project fee, so coordinate with the project planner to process this request. Please contact the Development Review Center to assess associated fees based on approval by the Director.
 8. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
 9. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
 10. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
 11. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
 12. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
 13. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
 14. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.