

Conceptual Review Agenda

Schedule for 04/08/13 to 04/08/13

281 Conference Room A

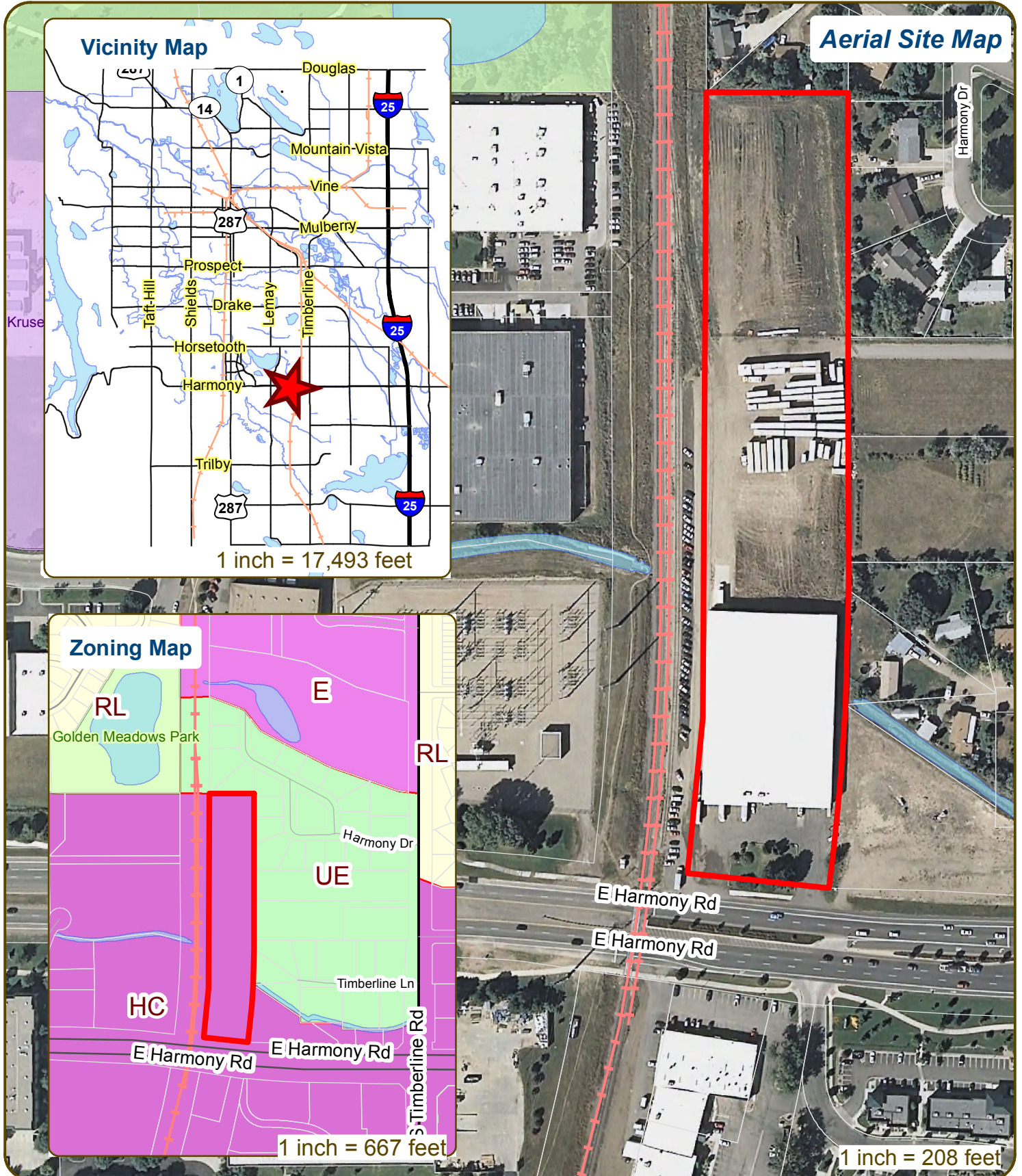
Monday, April 8, 2013

Time	Project Name	Applicant Info	Project Description	Planner
9:00	1800 Harmony - Baseball Training Facility	JD Padilla 970-407-7808 jd@postmoderndevelopment.com	This is a request to use a portion of an existing warehouse as a baseball training facility located at 1800 East Harmony Road (Parcel # 87314-00-033). The project is located in the Harmony Corridor (H-C) Zone District. The project will require an Addition of a Permitted Use, subject to Planning & Zoning Board (Type 2) review.	Ted Shepard
9:30	316 Willow - Print Shop	Todd Simmons 970-227-9383 todd@wolverinefarm.org	This is a request to renovate an existing building for several new uses located at 316 Willow Street (Parcel # 97122-08-007). The building formerly housed a glass shop; new uses envisioned include a letterpress print shop, museum, community workspace, retail and the sale of beverages/snacks for public events. Several renovation and expansion scenarios are presented, including two scenarios involving an addition to the existing structure. The site is located in the River Downtown Redevelopment (R-D-R) Zone District. Some of the potential uses (e.g. Print Shop) are subject to Planning & Zoning Board (Type 2) review in the R-D-R Zone District.	Jason Holland

Monday, April 8, 2013

Time	Project Name	Applicant Info	Project Description	Planner
10:15	425 10th St - Museo Interpretive Center	Betty Aragon 970-412-4536 blaragon@msn.com	This is a request to construct a new building to house an interpretive center for the Museo de las Tres Colonias, located at 425 10th Street (Parcel#s 87072-07-901 & 87072-07-902). The interpretive center would be 2 stories and 2,000 square feet, hosting a small library, exhibit work and activity spaces, as well as office space and a kitchen. The site is located in the Low Density Residential (R-L) Zone District. Community Facilities are subject to Planning & Zoning Board (Type 2) review in the R-L Zone District.	Courtney Levingston
11:00	Canceled			

1800 E Harmony Rd Baseball Training Facility



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CONCEPTUAL REVIEW:
APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.**

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

JD Padilla (owner)

Business Name (if applicable) 1800 Lucky Shot, LLC

Your Mailing Address 144 N Mason St #4, Fort Collins, CO 80524

Phone Number 970-407-7808 **Email Address** _____

Site Address or Description (parcel # if no address) _____

1800 E Harmony Rd, Fort Collins, CO 80525

Description of Proposal (attach additional sheets if necessary) _____

see attached

Proposed Use Baseball training facility **Existing Use** Warehouse

Total Building Square Footage 160,250 **S.F. Number of Stories** 1 **Lot Dimensions** _____

Age of any Existing Structures Built in 1977, 36 years old

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☐ Yes ☒ No **If yes, then at what risk is it?** _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

Increase in Impervious Area _____ **S.F.**

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

1800 Lucky Shot, LLC

**144 N. Mason Street, Suite 4
Fort Collins, CO 80524
(Office) 970-407-7808
(Fax) 970-407-7823**

March 25th, 2013

Conceptual Review Board Members,

1800 Lucky Shot, LLC would like to add an Additional Permitted Use to the current building that is located at 1800 E Harmony Rd, Fort Collins, CO 80525. The existing building is located in the Harmony Corridor and the current use is Warehouse, we would like to add the additional use of a Baseball Training Facility.

Breakdown of space

60,250	Total Square Footage of Building
- 40,000	Square Footage for Woodward Warehouse
= 20,250	Remaining Space
- 5,191	Offices, common areas (bathroom, break room, kitchen, halls, etc.)
= 15,059	Which is 24.99% of the total building.

Land use code 4.26 D(2) states:

(2) *Secondary Uses.* All secondary uses shall be integrated both in function and appearance into a larger employment-based development plan that emphasizes primary uses. A secondary use shall be subject to administrative review or Planning and Zoning Board review as required for such use in Section 4.26(B). The following permitted uses shall be considered secondary uses in this zone district and together shall occupy no more than twenty-five (25) percent of the total gross area of the development plan.

Thank you

JD Padilla
1800 Lucky Shot, LLC - owner

79 feet

100 Additional
square feet
around the fire
riser
equipment that
is not for
baseball

Walk way and common
concrete area

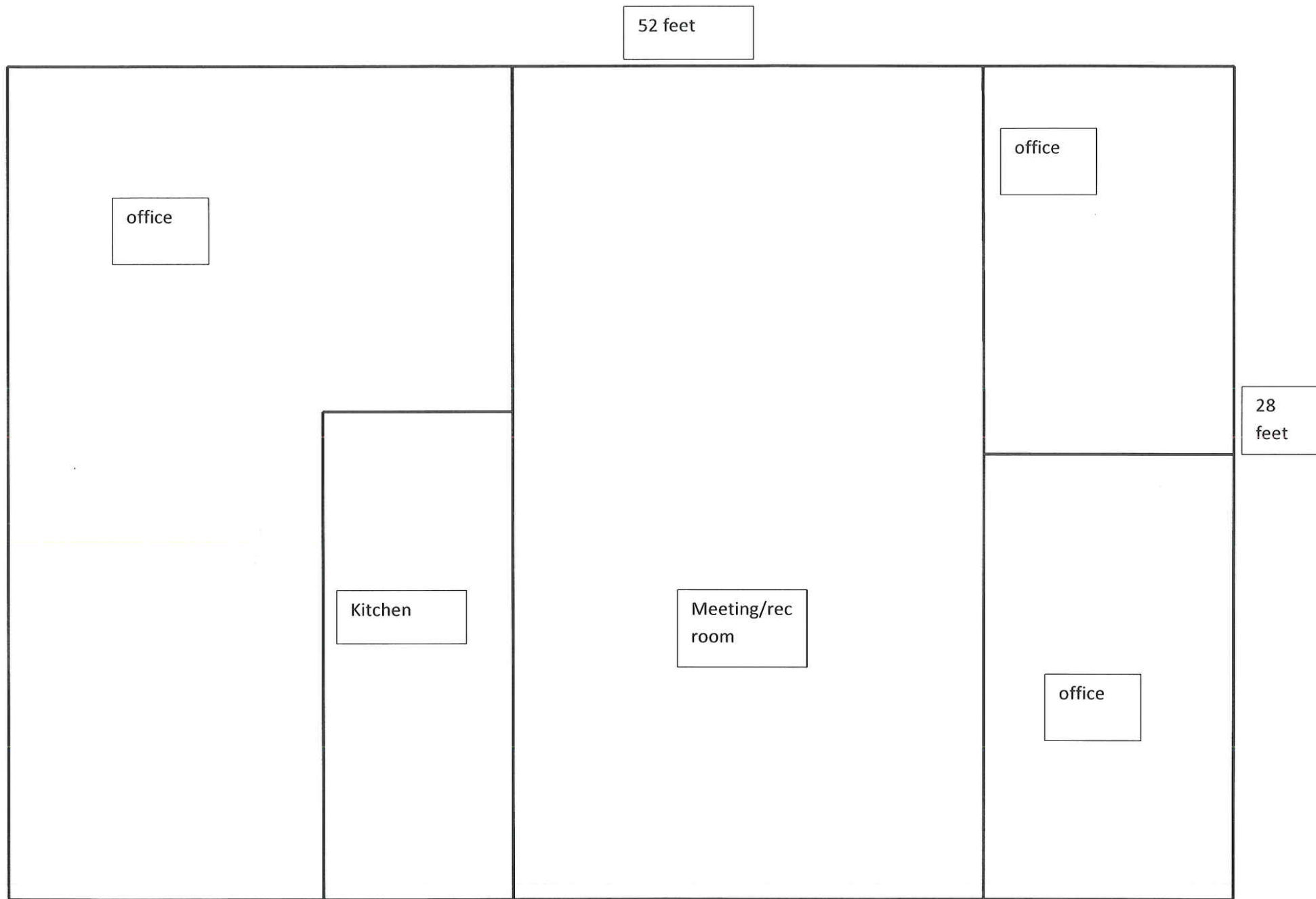
46
feet

Cage

Office Space

1800 E Harmony
Downstairs

total sq footage
= 3634



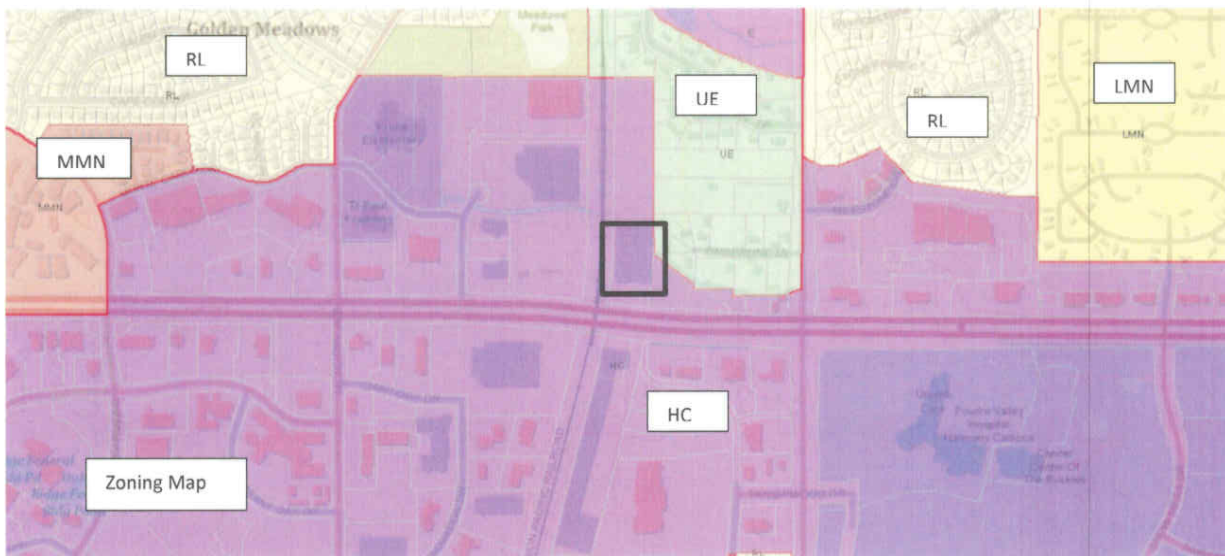
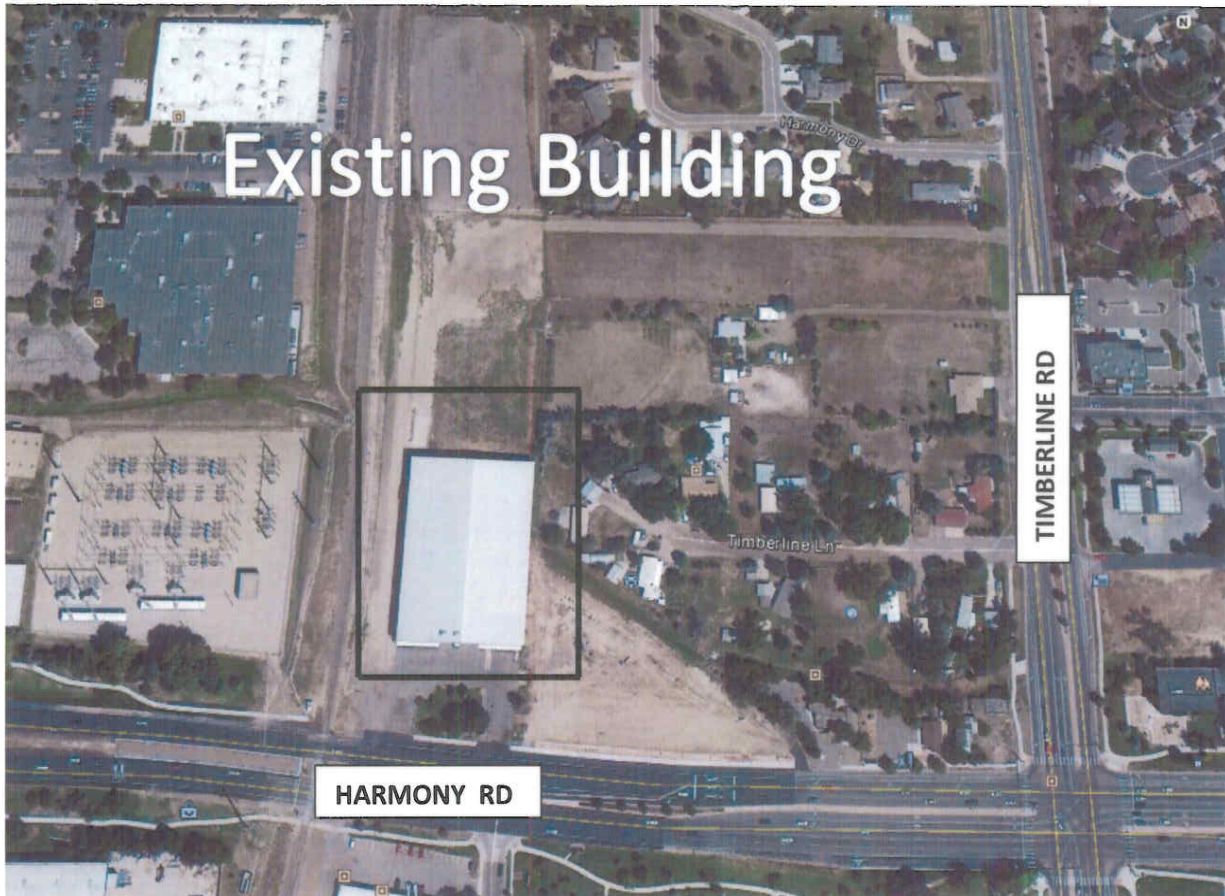
1800 E Harmony
upstairs

total sq footage
= 1457

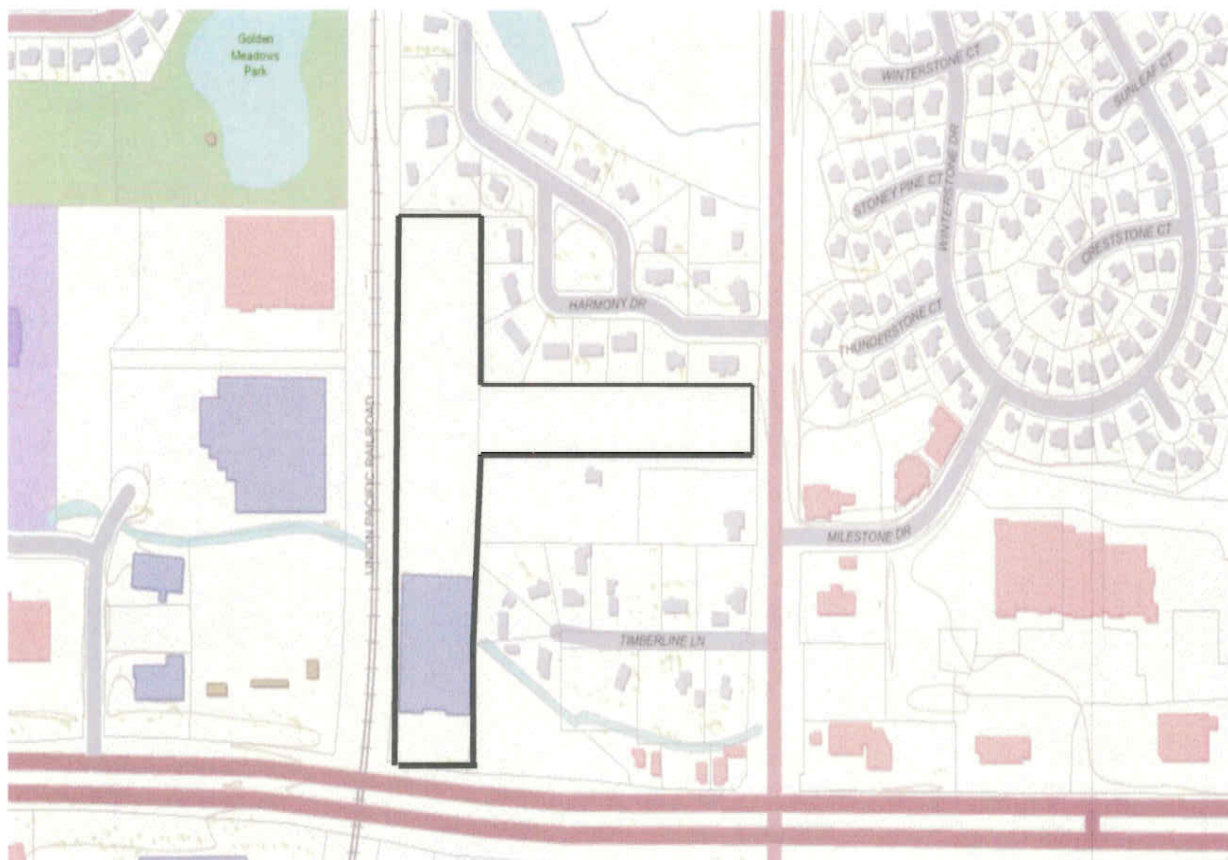
Concept Review – Sketch Plans

1800 E Harmony Rd

Site plan and Location













Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

April 15, 2013

Jd Padilla
1800 Lucky Shot, LLC
144 N Mason Street #4
Fort Collins, CO 80525

Re: 1800 Harmony - Baseball Training Facility

Description of project: This is a request for an Addition of a Permitted Use for Unlimited Indoor Recreation in the Harmony Corridor zone to use a portion of an existing warehouse as a baseball training facility located at 1800 East Harmony Road (Parcel # 87314-00-033). An Addition of a Permitted Use must be accompanied by a Project Development Plan, or an Amendment to an approved plan and is subject to Planning & Zoning Board (Type 2) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ted Shepard, at 970-221-6343 or tshepard@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Noah Beals, 970-416-2313, nbeals@fcgov.com

1. Land Use Code (LUC) 4.26(D)(1) All Development in the Harmony Corridor (HC) zone district shall comply with the Harmony Corridor Land Use Standards

Unlimited Indoor Recreation is not a listed permitted use in the HC zone district.

LUC 4.26(D)(2) Secondary uses are limited to 25% of the total gross area of the development plan

1800 E Harmony has never been platted and will need to be platted in conjunction with the Development Review Process.

LUC 4.26(B)(3)(c)6. An Addition of Permitted Use is subject to a Type 2 (Planning and Zoning Board) review.

2. LUC 3.5.3(B)(2) Build-to lines based on a consistent relationship of buildings to the street sidewalk shall be established by development projects for new buildings and, to the extent reasonably feasible, by development projects for additions or modifications of existing buildings, in order to form visually

Department: Zoning

Contact: Noah Beals, 970-416-2313, nbeals@fcgov.com

continuous, pedestrian-oriented streetfronts with no vehicle use area between building faces and the street.

3. LUC 3.2.2(D)(3)(c) All vehicle Use areas shall be surfaced with asphalt or concrete.
Details on the site and landscape should include how vehicles will be prevented from driving on unpaved areas.

LUC 3.2.2(K)(2)(a) There is a maximum number of Off-Street Vehicle-Parking spaces allowed for the property.

Warehouse use is limited to .75 spaces per employee

Unlimited Recreation is limited to 6 spaces per 1000 sq ft

We will need to know the number of employees in the warehouse on the largest shift.

LUC 3.2.2(K)(5) Accessibility spaces are required when providing any off street parking. The total number required will depend on the total number of vehicle spaces being provided. Accessibility spaces shall be located as close as possible to primary entrances and designated by a sign. At least one of the accessibility spaces shall be van accessible (8ft stall width and 8ft loading area).

LUC 3.2.2(C)(4) Bicycle Parking is required for each use.

Recreational requires at least 1 space for every 2000 sq ft

Warehouse requires only 4

The minimum required shall be fixed spaces for both uses.

4. LUC 3.2.2(J) Vehicle Use areas shall have a landscaped setback along a lot Line at least 5ft and along an Arterial Street 15ft

LUC 3.2.1 A landscape plan is required it shall include but not limited to street trees, foundation plantings, trees every 15 spaces in the vehicle use areas and parking lot perimeter trees (see section for further details).

5. LUC 3.2.5 An enclosure adequately sized for both the trash and recycling for all uses of the property is required. Such enclosure shall be designed with walk-in access without having to open the main service gate and located on a concrete pad at least 20ft from a public sidewalk (chain link fence is prohibited).
6. LUC 3.2.4 A lighting plan is required such plan should include a photometric site plan and catalog cut-sheets.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Water service to this property is currently provided by the Fort Collins-Loveland Water District.
2. Wastewater from the facility is treated with an onsite septic system. The Larimer County Environmental Health Department has jurisdiction over septic systems in Larimer County. The septic system may be used as long as it is in compliance with Health Department standards.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. If no changes are planned to the existing water/wastewater service, there are no comments at this time.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. If there is an increase in imperviousness greater than 1,000 square feet a drainage and erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. Only grading and erosion control plans are required when there is between 1,000 and 350 square feet of new imperviousness.
3. Also when there is an increase in impervious area greater than 1,000 square feet; onsite detention is required with a 2 year historic release rate for new impervious area.
4. If the site is required to meet present Land Use Code requirements, onsite water quality treatment of the runoff is required. Water quality treatment methods are described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). A method that could be used on an existing site is to direct the downspouts to a landscape area. Another is if perimeter landscape buffers or parking lot medians are required, they could be used to treat the runoff in bio-retention areas or rain gardens. (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)
5. A change of use triggers the site being brought up to present standards; water quantity detention for some of the existing asphalt needs to be constructed. The existing asphalt on the road to Timberline and the asphalt in the storage area are not grandfathered since both were not approved by the City. The existing building and the asphalt parking area on the south side of the building are grandfathered for water quantity detention. The outfall for the south side of the building does need some improvement since the pipe is damaged and the channel downstream of the pipe needs to be formally shaped and stabilized.
6. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new parking lots must be pervious. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information. There is also more information on the EPA web site at: http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996.
7. A possible outfall for the site could be the channel on the east side of the railroad along the substation in the Fox Meadows development and eventually to their detention pond. Some of the site could possibly flow to the north to the Timberline Wetland in the railroad ROW or through the Harmony Half Acres development. Some of the site could drain onto Timberline Road if it were detained and released into

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

the curb and gutter.

8. The contact for the irrigation ditch siphon that runs under the building is John Moen, Superintendent (482-3309) and the Attorney is Brent Bartlett, (407-9000 Ext. 217) for the Warren Lake Reservoir Company. The irrigation ditch is the outfall for Warren Lake and there was a lateral that was abandoned called the Dixon Lateral. At one time the site to the east, "Paws of the Rockies" was considering using the abandoned lateral under Harmony Road for their drainage and sanitary sewer connections.
9. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
10. The design of this site must conform to the drainage basin design of the Fox Meadows Master Drainage Plan Update as well the Fort Collins Stormwater Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM
Buildings greater than 50,000 square feet will require a fire department, emergency communication system evaluation. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority.
Poudre Fire Authority Bureau Admin Policy #07-01
2. KEY BOXES REQUIRED
Poudre Fire Authority requires at least one key box ("Knox Box") to be mounted in approved location(s) on every new building equipped with a required fire sprinkler or fire alarm system. The top shall not be higher than 6 feet above finished floor. Premise keys shall be updated as needed.
2006 International Fire Code 506.1 and Poudre Fire Authority Bureau Policy 88-20
3. PREMISE IDENTIFICATION
New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.
2006 International Fire Code 505.1

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. No comments.

Department: Engineering Development Review

Contact: Tyler Siegmund, 970-221-6501, tsiegmund@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. It is not anticipated that additional right-of-way will be needed.
7. The street frontage along Harmony was improved last year with a city capital improvement project. Per the City of Fort Collins Municipal Code 24-95, this project would be required to repay the City for the developer's local street portion costs for the improvements fronting the property. The applicant should contact Dean Klinger in Engineering Capital Projects (221-6511) for establishment of the repay obligation amount, which would be required prior to a building permit on the property.
8. Utility plans may be required and a Development Agreement will be recorded once the project is finalized.
9. A Development Construction Permit (DCP) or an excavation permit may need to be obtained prior to starting any work on the site.
10. An updated drive approach and reconfiguration of the access into the site off of Harmony Rd will be required as part of this project. Current access to the site off of Harmony does not meet our LCUASS drive approach minimum spacing requirements. There are (2) existing driveways into the site spaced approximately 100 ft from edge to edge. Only one driveway into the site will be permitted off of Harmony Rd. It will be the projects responsibility to design a single access point (driveway) into the property that meets current standard and remove the additional driveway/access point. Configuration of the new access point in relation to the railroad should be considered to minimize conflicts.

Department: Electric Engineering

Contact: Janet McTague, 970-224-6154, jmctague@fcgov.com

1. Please coordinate additional capacity, if needed, with Light and Power. Janet McTague 224-6154

Current Planning

Contact: Ted Shepard, 970-221-6343, tshepard@fcgov.com

1. An Addition of a Permitted Use is reviewed by the criteria in Section 1.3.4.(A) and (B). Generally, the burden of proof is on the applicant to demonstrate to the Planning and Zoning Board how the pertinent criteria are satisfied such that the proposed use may be added to the zone district where the use is not otherwise allowed.
2. An Addition of a Permitted Use must be accompanied by either a Project Development Plan or an Amendment to an existing approved plan. As such, the submittal must meet the requirements for such a review process.
3. For projects that go to the Planning and Zoning Board, a neighborhood meeting is required per Section 2.2.2.
4. Please note also that the standards contained in Section 3.5.1 are also applicable to a review of an Addition of a Permitted Use.
5. The site and building were developed prior to the adoption of numerous standards. Due to the complexity of bringing existing developed properties up to the applicable standards, Staff recommends a pre-submittal meeting so that the nature and extent of what would be required with a submittal is clear so as to not cause problems as the review proceeds.
6. The proposed addition of permitted use is subject to Section 1.3.4 Addition of Permitted Uses, of the LUC. The proposed use is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request will be required to hold a neighborhood information meeting prior to formal submittal of the project. Type 2 development proposals are subject to the neighborhood meeting requirement, per Section 2.2.2 of the LUC. Please contact me at 221-6750, to assist you in setting a date, time, and location for a meeting. A planner and possibly other City staff, would be present to facilitate the meeting.
7. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
8. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
9. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
10. Please see the Submittal Requirements and Checklist at:
<http://www.fcgov.com/developmentreview/applications.php>.

11. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
12. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

2009 International Building Code (IBC)

2009 International Residential Code (IRC)

2009 International Energy Conservation Code (IECC)

2009 International Mechanical Code (IMC)

2009 International Fuel Gas Code (IFGC)

2009 International Plumbing Code (IPC) as amended by the State of Colorado

2011 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

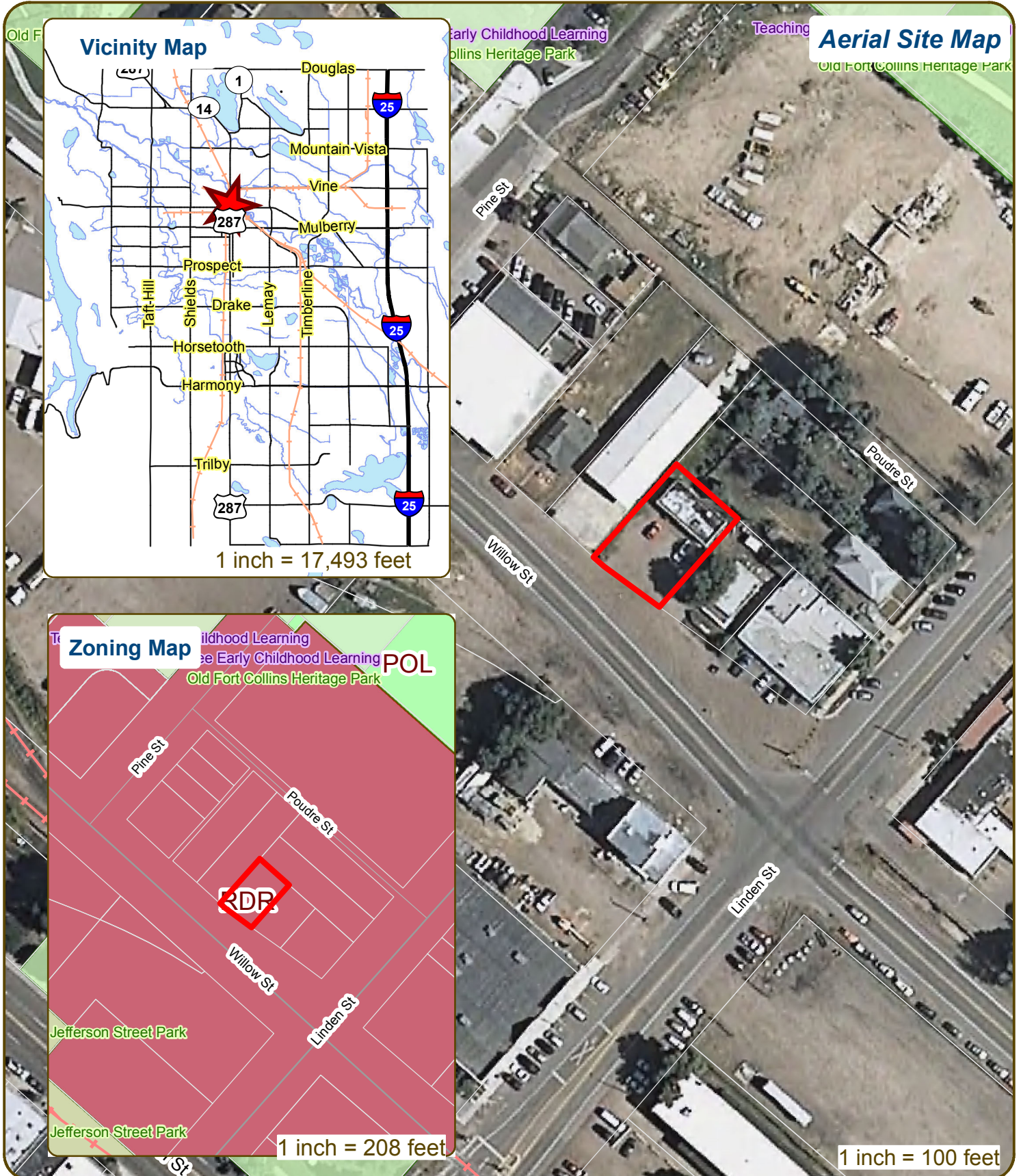
Energy Code Use

1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
416-2341

316 Willow Street Print Shop



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Development Review Guide – STEP 2 of 8

CONCEPTUAL REVIEW: APPLICATION

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Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Todd Simmons owner

Business Name (if applicable) Wolverine Farm Publishing

Your Mailing Address PO Box 814 FC, CO 80522

Phone Number 970-227-9383 **Email Address** todd@wolverinefarm.org

Site Address or Description (parcel # if no address) 316 Willow

Description of Proposal (attach additional sheets if necessary) Attached

Proposed Use Letterpress Print Shop and Community Workspace **Existing Use** Glass Shop / Commercial

Total Building Square Footage 1200 **S.F. Number of Stories** 1 **Lot Dimensions** ~5500

Age of any Existing Structures Built in 1974

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☒ Yes ☐ No If yes, then at what risk is it? _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

Increase in Impervious Area Building addition 600 - 1500 + parking ~ 700 sq. ft. S.F. Porous paving
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

Wolverine Farm Publishing 316 Willow Property Proposal

We want to renovate the current building to accommodate a letterpress print shop, a wall-mounted vintage bicycle museum, tables and benches for literary, art, and craft workshops, locally-produced retail, and the sale of beer, wine, coffee, other soft beverages, and light snacks for private and public events, workshops, films, performances, and other artistic projects.

We are considering three different approaches to this renovation, detailed below:

Scenario #1

The 1200 sq ft building will have approximately 250 sq ft. devoted to letterpress equipment, workbenches and paper storage, 300 sq ft devoted to tables and benches (tables are 8' long and 3' wide), 200 sq ft devoted to retail space, 300 sq ft to a bar, hand & dishwashing area, and refrigeration equipment, 100 sq ft devoted to an enclosed furnace area, and 50 sq ft devoted to a handicap-accessible unisex bathroom. We will replace the existing windows with more efficient versions. We will install a 2nd exit door on the rear wall of the building. We will devote 300 sq ft of wall space for hanging bicycles.

Attached to the front of the building we will have a 500 sq ft timber-framed covered patio (20' x 25') with additional tables and benches, a flagstone walkway winding through approximately 1,500 sq ft of xeriscape landscaping, bike racks for 35 bicycles, and 800 sq ft of paved parking for 6 cars (we would like to use porous pavers), and sidewalk bordering Willow Street. An enclosed trash area will be located on the NW side of the building.

Scenario #2

We will do all of the above with the existing building, in addition to adding on a second story with two rooms, bringing the total square footage to almost 2400 sq ft. The addition will consist of one 900 sq ft room with a bicycle museum, gallery space, and community meeting space, and 300 sq ft devoted to office space. On the NW side of the 2nd story, inside the 900 sq ft room, will be an emergency fire exit and stairs.

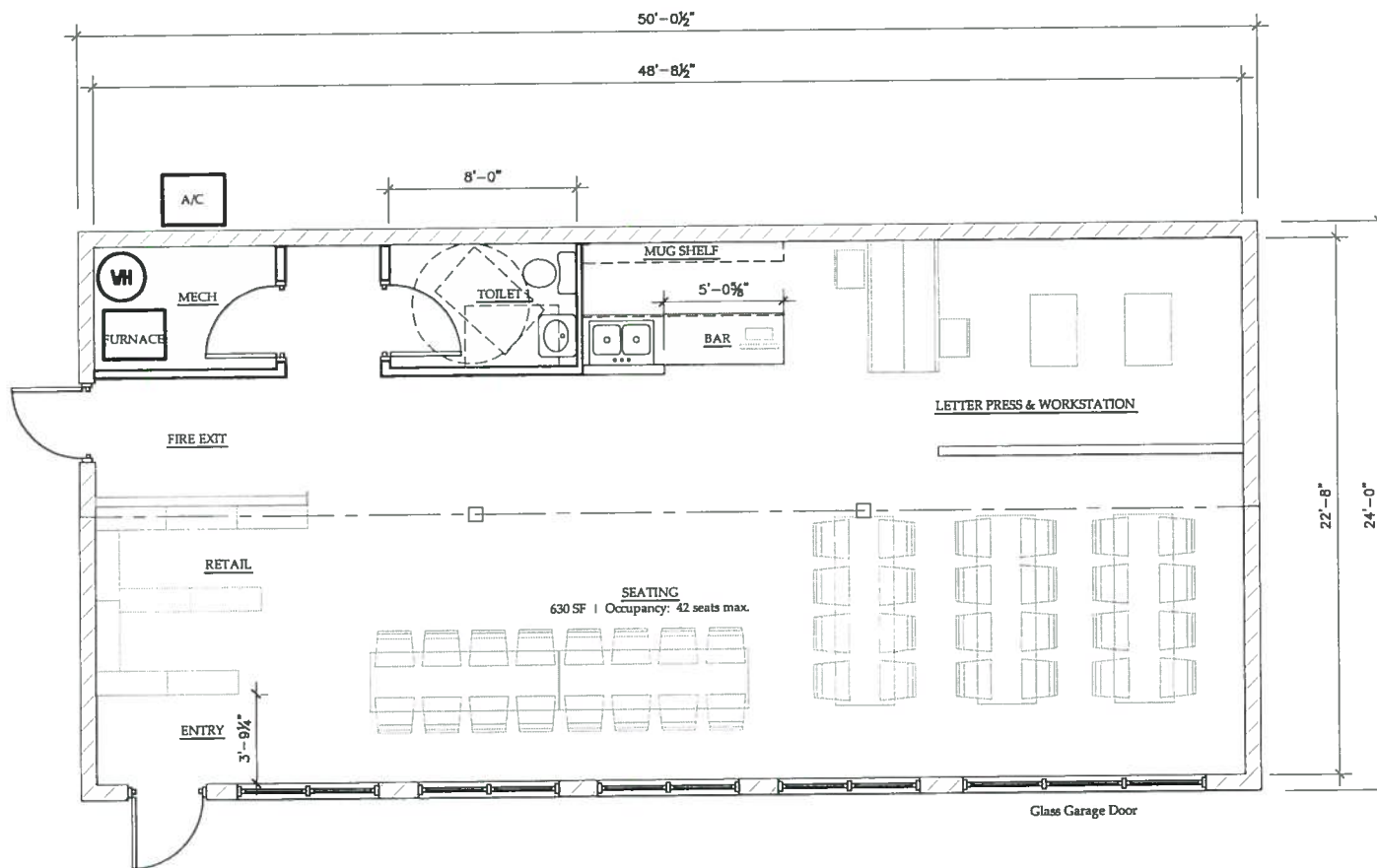
The outside elements are the same as described in Scenario #1.

Scenario #3

We will build a 1200 sq ft addition on the side of the building with the garage door, extending toward Willow Street perpendicular from the existing building. The addition will mirror the current building in style, with one continuous parapet wall at the top of the building. The addition will have two garage doors, an entry door, and two windows the same size as on the current building. The addition will consist of one 900 sq ft room with a bicycle museum, gallery space, and community meeting space, and 300 sq ft devoted to office space.

The existing building will be renovated consistent with Scenario #1.

The outside elements are consistent with those described in Scenario #1, though with a smaller outside patio area (300 sq. ft), slightly less landscaping (750 sq ft), and parking for 4 cars (500 sq ft).



M56 :: CONCEPTUAL FLOOR PLAN

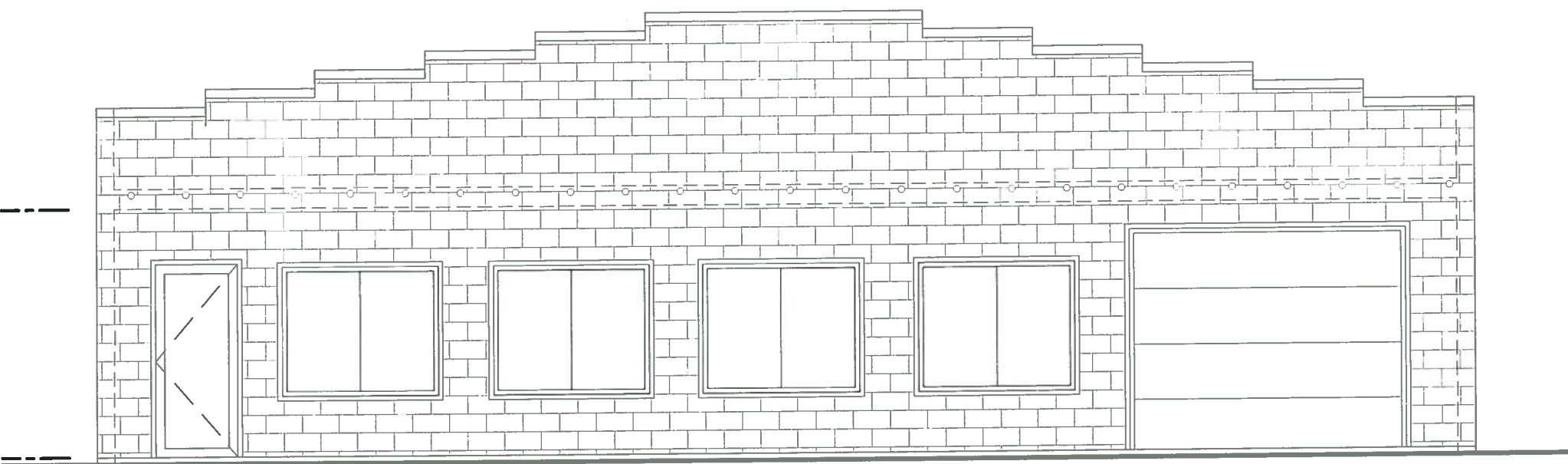
1/8" = 1' - 0"

03~21~13



urban | rural | design

U/R



M56 :: SOUTHWEST ELEVATION
3/16" = 1' - 0"



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

April 15, 2013

Todd Simmons
Wolverine Farm Publishing
PO Box 814
Fort Collins, CO 80522

Re: 316 Willow - Print Shop

Description of project: This is a request to renovate an existing building for several new uses located at 316 Willow Street (Parcel # 97122-08-007). The building formerly housed a glass shop; new uses envisioned include a letterpress print shop, museum, community workspace, retail and the sale of beverages/snacks for public events. Several renovation and expansion scenarios are presented, including two scenarios involving an addition to the existing structure. The site is located in the River Downtown Redevelopment (R-D-R) Zone District. Some of the potential uses (e.g. Print Shop) are subject to Planning & Zoning Board (Type 2) review in the R-D-R Zone District.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Jason Holland, at 970-224-6126 or jholland@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Noah Beals, 970-416-2313, nbeals@fcgov.com

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1. LUC 3.5.3 Build-to lines based on a consistent relationship of buildings to the street sidewalk shall be established by development projects for new buildings and, to the extent reasonably feasible, by development projects for additions or modifications of existing buildings, in order to form visually continuous, pedestrian-oriented streetfronts with no vehicle use area between building faces and the street.
2. LUC 3.2.2(D)(3)(c) All vehicle Use areas shall be surfaced with asphalt or concrete.

LUC 3.2.2(K)(2)(a) There is a maximum number of Off-Street Vehicle-Parking spaces allowed for the property. This is determined by the total square footage of building and uses.

LUC 3.2.2(K)(5) Accessibility spaces are required when providing any off street parking. The total

Department: Zoning

Contact: Noah Beals, 970-416-2313, nbeals@fcgov.com

number required will depend on the total number of vehicle spaces being provided. Accessibility spaces shall be located as close as possible to primary entrances and designated by a sign. At least one of the accessibility spaces shall be van accessible (8ft stall width and 8ft loading area).

LUC 3.2.2(C)(4) Bicycle Parking is required. The square footage of building will determine the number of bicycle spaces that will need to be provided. Some of these spaces will be required to be fixed and some enclosed.

3. LUC 3.2.2(J) A landscape setback is required for Vehicle Use areas. This setback shall be 5ft along a lot line and 10ft along a non-arterial street.

LUC 3.2.1 Requires a landscape plan that includes such things as but not limited to street trees, trees along lot lines and foundation plantings (see section for further details).

LUC 3.2.5 An enclosure is required that is adequately sized for both trash and recycling. Such enclosure shall be designed with walk-in access without having to open the main service gate and located on a concrete at least 20ft from a public sidewalk.

4. LUC 3.2.4 A lighting plan is required this usually includes a photometric site plan with catalog cut-sheets.
5. LUC 4.17(D)(3)(b) Except as otherwise provided in this subsection (3), all new nonresidential buildings, including industrial buildings, shall comply with the standards for Mixed-use and Commercial Buildings contained in Section 3.5.3.

LUC 4.17(D)(3)(c)

2. Parking lots. Buildings shall be sited so that any new parking lots and vehicle use areas are located in either: (1) interior block locations between buildings that face the street and buildings that face the River, or (2) side yards.

3. Street frontage. Proposed parking lots and/or vehicular use areas located within fifty (50) feet of any street right-of-way shall not exceed fifty (50) percent of the street frontage of the parcel upon which the parking lot or vehicular use area is proposed.

LUC 4.16(D)(3)(d)

1. Articulation. Exterior building walls shall be subdivided and proportioned to human scale, using offsets, projections, overhangs and recesses, in order to add architectural interest and variety and avoid the effect of a single, massive wall with no relation to human size.

2. Outdoor spaces. Buildings and extensions of buildings shall be designed to form outdoor spaces such as balconies, arcades, terraces, decks or courtyards, and to integrate development with the landscape to the extent reasonably feasible.

3. Windows. Windows shall be individually defined with detail elements such as frames, sills and lintels, and placed so as to visually establish and define the building stories and establish human scale and proportion. Glass curtain walls and spandrel-glass strip windows shall not be used as the predominant style of fenestration for buildings in this District. This requirement shall not serve to restrict the use of

Department: Zoning

Contact: Noah Beals, 970-416-2313, nbeals@fcgov.com

atrium, lobby or greenhouse-type accent features used as embellishments to the principal building.

4. Rooflines. A minimum pitch of 8:12 shall be used for gable and hip roofs to the maximum extent feasible. Where hipped roofs are used alone, the minimum pitch shall be 6:12. Flat-roofed buildings shall feature three-dimensional cornice treatment on all walls facing streets, the river or connecting walkways, unless they are stepped and terraced back to form a usable roof terrace area(s). A single continuous horizontal roofline shall not be used on one-story buildings except as part of a design style that emulates nearby landmarks (or structures eligible for landmark designation).

LUC 4.17(D)(3)(e) Textured materials with native and historic characteristics such as brick, stone and wood, and materials with similar characteristics and proportions shall be used in a repeating pattern as integral parts of the exterior building fabric, to the maximum extent feasible. Other exterior materials, if any, shall be used as integral parts of the overall building fabric, in repeating modules, proportioned both horizontally and vertically to relate to human scale, and with enough depth at joints between architectural elements to cast shadows, in order to better ensure that the character and image of new buildings are visually related to the Downtown and River context.

LUC 4.17(D)(4)(b)) Walls, fences and planters shall be designed to match or be consistent with the quality of materials, the style and colors of nearby buildings. Brick, stone or other masonry may be required for walls or fence columns.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers in this area include a 6-inch water main and a 24-inch sewer in Willow.
2. The existing water service to this site is a ¾-inch service.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. If a larger water service is needed, development fees and water rights will be due at building

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. If there is an increase in imperviousness greater than 1,000 square feet a drainage and erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

the drainage engineer. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns. If there is less than 1,000 but more than 350 square feet of new impervious area; a site grading and erosion control plan is required instead of a complete construction plan set.

3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1,000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.
4. Water quality treatment is also required as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs).
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
5. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new parking lots must be pervious. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information. There is also more information on the EPA web site at: http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996.
6. The project narrative mentioned using porous pavers which would meet the LID requirements and possibly some of the water quantity detention as well. To do that the underdrain system for the pavers would have to tie into the storm sewer in Willow in order to drain. However the drainage master plan shows that the existing site drains to the Poudre River and it also assumes that it does not drain to storm line D in Willow. Therefore the design engineer will have to evaluate the capacity of the line D and justify that it does not have a negative effect on that storm line and the BaySaver that treats the water in that system.
7. The only other drainage outfall for the site is towards the river through private property. The Legacy site has taken this into account but there are two other privately owned properties to drain through before the runoff gets to the Legacy site. There would need to be a system installed and easements for it.
8. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
9. The design of this site must conform to the drainage basin design of the Cache la Poudre River Master Drainage Plan as well the Fort Collins Stormwater Manual.

Department: Historical Preservation

Contact: Josh Weinberg, 970-221-6206, jweinberg@fcgov.com

1. Because the building immediately adjacent to the east has been determined individually eligible for Landmark designation and because the area across Willow Street is part of the Old Town National Register Historic District, the redevelopment of 316 Willow Street will be subject to 3.4.7 of the Land Use code. The intent of this Section is to ensure that, to the maximum extent feasible: (1) historic sites, structures or objects are preserved and incorporated into the proposed development and any undertaking that may potentially alter the characteristics of the historic property is done in a way that does not adversely affect the integrity of the historic property; and (2) new construction is designed to respect the historic character of the site and any historic properties in the surrounding neighborhood.

1.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. PREMISE IDENTIFICATION

New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

2006 International Fire Code 505.1

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. This project is greater than 500' from the closest natural feature (the Poudre River), and as such, an Ecological Characterization Study is not required. However, please note that projects in the vicinity of the Poudre River must also comply with Section 3.4.1(I)(1) of the Land Use Code, which states the following: "Projects in the vicinity of large natural habitats and/or natural habitat corridors, including, but not limited to, the Poudre River Corridor and the Spring Creek Corridor, shall be designed to complement the visual context of the natural habitat. Techniques such as architectural design, site design, the use of native landscaping and choice of colors and building materials shall be utilized in such manner that scenic views across or through the site are protected, and manmade facilities are screened from off-site observers and blend with the natural visual character of the area. These requirements shall apply to all elements of a project, including any aboveground utility installations."
2. Save the Poudre has requested to be contacted whenever a project is proposed within 800' of the Poudre River. Please add the following address to your APO labels: Save the Poudre, c/o Gary Wockner, PO Box 20, Fort Collins, CO 80522-0020
3. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.
4. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any trees within this site have a DBH of

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

Department: Engineering Development Review

Contact: Andrew Gingerich, 970-221-6603, agingrich@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. No additional right of way shall be required to be dedicated with this project; however any easements that are necessary for this project will need to be dedicated.
7. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
8. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
9. Per the River District area plan an enhanced road cross section is planned for Willow Street. A 12' wide decorative sidewalk is planned along the frontage of this project. This project will be responsible for paying the local street portion of \$204 per lineal foot of frontage.
10. Further discussions will need to be had regarding the parking for this project. Specifically how it will be parked in the interim without Willow improved and in the future when Willow street has been improved to the ultimate.

Department: Electric Engineering

Contact: Janet McTague, 970-224-6154, jmctague@fcgov.com

1. This property is currently served with single-phase power. If three-phase power is needed, we will need to modify the electric system at the expense of the builder/owner. Additional capacity fees will also apply with credit given for the existing capacity.

Current Planning

Contact: Jason Holland, 970-224-6126, jholland@fcgov.com

1. A site and landscape plan will be required with the project submittal. The parking lot and any required site elements such as landscape islands and trash enclosures will need to be designed to the dimensional and performance standards listed in Section 3.2 of the Land Use Code.
2. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
3. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
4. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
5. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
6. Please see the Submittal Requirements and Checklist at:
<http://www.fcgov.com/developmentreview/applications.php>.
7. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
8. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

2009 International Building Code (IBC)

2009 International Residential Code (IRC)

2009 International Energy Conservation Code (IECC)

2009 International Mechanical Code (IMC)

2009 International Fuel Gas Code (IFGC)

2009 International Plumbing Code (IPC) as amended by the State of Colorado

2011 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

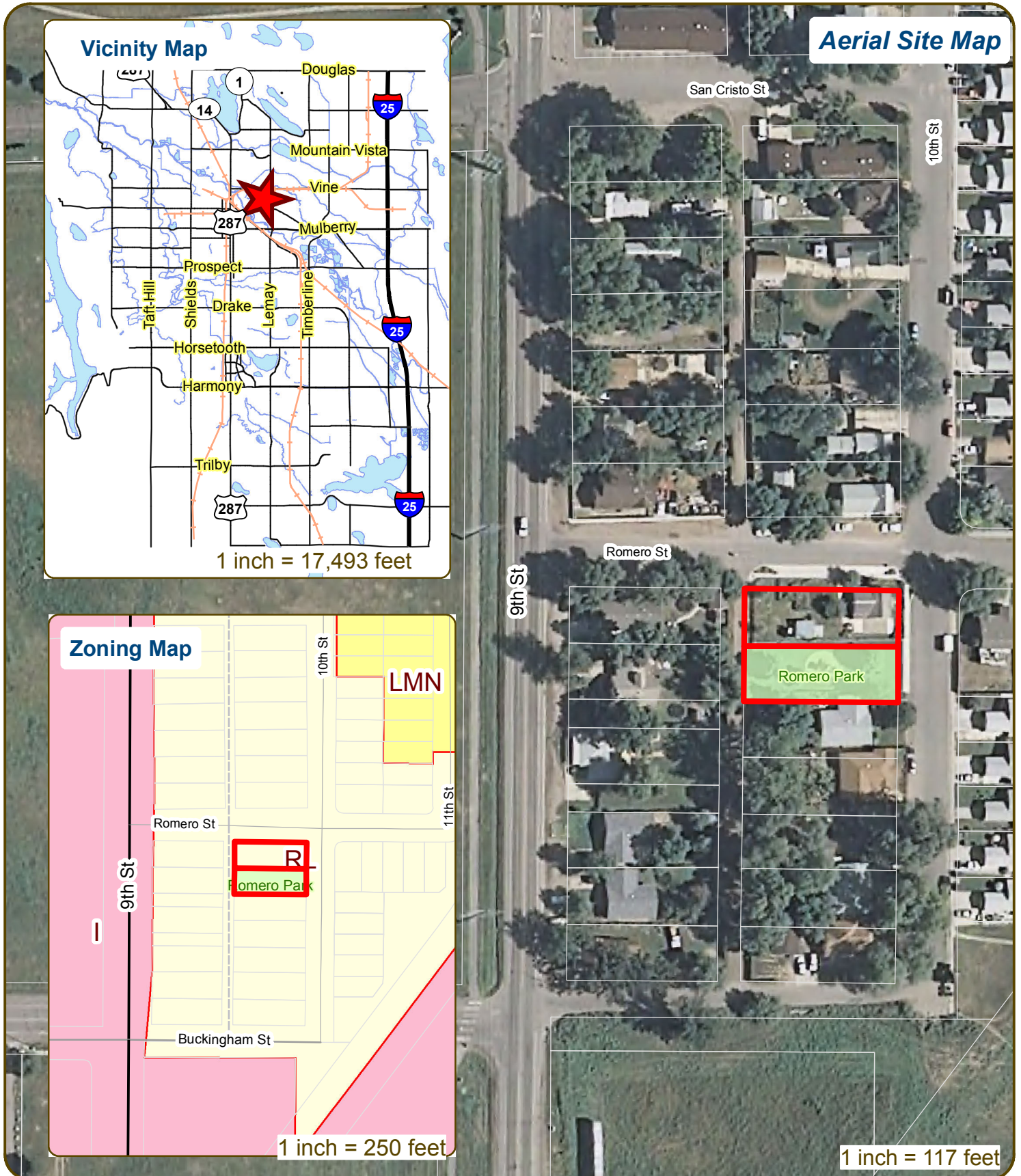
Energy Code Use

1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
416-2341

425 10th Street Museo de las Tres Colonias Interpretive Center



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.



Conceptual Review Application



General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the press.

Conceptual Reviews are scheduled on three Mondays per month. One half-hour meeting is allotted per applicant. Please call Planning and Zoning at 416-2283 or 221-6750 to schedule a Conceptual Review meeting. Conceptual Review is a free service. Applications and sketch plans must be submitted to City staff no later than **5pm on the Tuesday** prior to the Monday Conceptual Review meeting. Application materials can be dropped off in person to 281 N. College, emailed to RMichels@fcgov.com (or ftcplanning@msn.com) or faxed (970) 224-6134.

At Conceptual Review, you will meet with staff from a number of City departments, such as Current Planning, Light and Power, Stormwater, Water/Wastewater, Zoning, Transportation, Engineering, and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. After the meeting, a City planner will follow-up with the applicant in writing, summarizing staff's comments.

Contact Name(s) and Role(s): BettyAragon_Director of Museo de las Tres Colonias
, Tom Tisthammer, Consultant, Peter Stewart, Architect

Business Name (if applicable): Museo de las Tres Colonias

Phone Number: 970-412-4536

Fax Number: _none

Mailing Address: 425 10th Street, Fort Collins, Colorado 80524

Email Address:

museodelastrescolonias_____

Site Address or Location Description: Romero Park

Description of Proposal: *(attach additional sheets if necessary)* _see attached sheet

2000 sq feet building with 2 stories there is no existing structure on site except for a play structure for children to play on. _____

I do not see that this is in a flood plain; we anticipate 100 feet for parking in the back toward alley.

Suggested items for the sketch plan:

- Property location and boundaries
- Surrounding land uses
- Proposed use(s)
- Existing and proposed improvements (buildings, landscaping, parking/drive areas)
- Existing natural features (water bodies, wetlands, large trees, wildlife)
- Utility line locations (if known)
- Photographs (helpful but not required)

**The more information provided on your sketch plan will result in more specific and detailed comments about your proposal.*

revised 1/09/08

Description of Proposal:

The Museo de las Tres Colonias is a 4 room adobe home highlighting Hispanic Life in the Tres Colonias in the 1927-1940. We would like to keep the house as the living history museum. The Interpretative Center would allow us to have a large room where we could have exhibit work, a small library, and a place where we could do interactive work by having sliding panels to make a small area for different activities. We would also have a commercial kitchen for cooking classes, and we would need bathrooms. We need an area for a meeting room upstairs for the board members and to have an office space. We see the Interpretative Center a needed space, when we have school tours we have 60 children at a time, we can't fit them all in the Museo, with the center, we can split them up so a group could come tour the Museo and the others could be doing activities at the center until it would be time to rotate them. We see the center as a connection to the Museo, a place where we can expand to be able to do exhibit work, have book authors do book signings, and artists present presentations. When the weather is bad we can have many of the events indoors.

At the last meeting we had several years ago, we talked about what would happen to the small play structure that is in the park now, since Via Lopez was added to the neighborhood we have many children in the neighborhood, there is only one structure for small children to play on, so we talked about putting that structure on the back of the Museo's property for the small children, and the possibility of having a more adult park at the streets facility since there is already a basketball court there. At that time there was support and I was told there was money that we could do a better park for all the children in the Andersonville and Via Lopez neighborhood. The Center will be an asset

to the Museo and to the community at large. Parking for events would continue to be designated to the Streets Facility where they would have a shuttle driver bring them to the Museo and back to the parking lot when the event is over. We are sensitive to the neighborhood, and having people park at the Streets facility then folks will not park in the neighborhood. For the cooking class we would only have 10 people at a time so parking in front of the Museo and on the side would not be an issue.

20' ALLEY

ROMERO STREET

(4) ON-STREET

135'

Walk

50'

(5) PARKING
(possible)

ROMERO
HOUSE

(425 10TH)

SHED

Walk

WALKWAY PARKING (3) ON-STREET

LEADS TO 10TH STREET

50'

(5) PARKING

Porch

Proposed
Interpretive Cntr

135'

CONCEPT
SITE PLAN

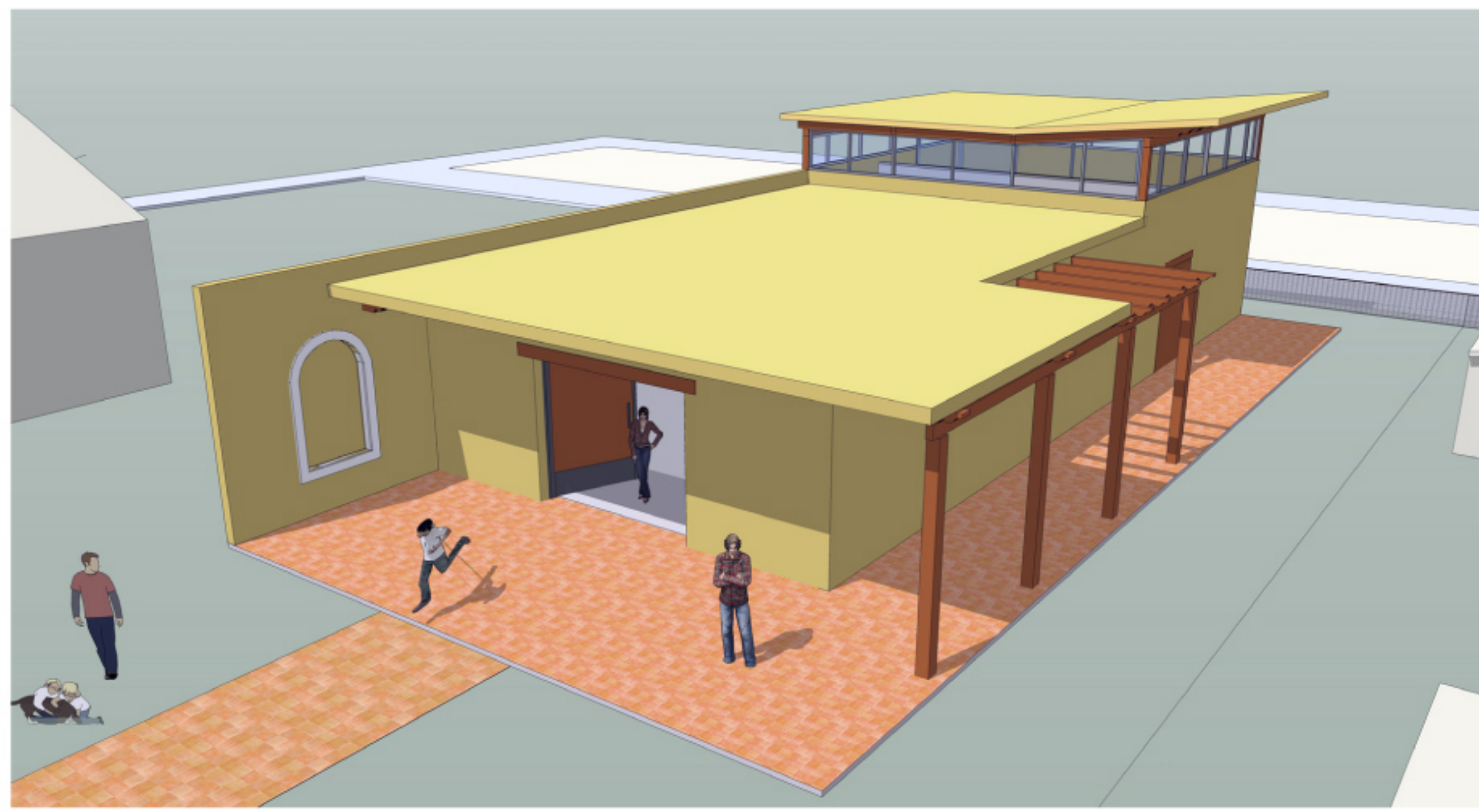
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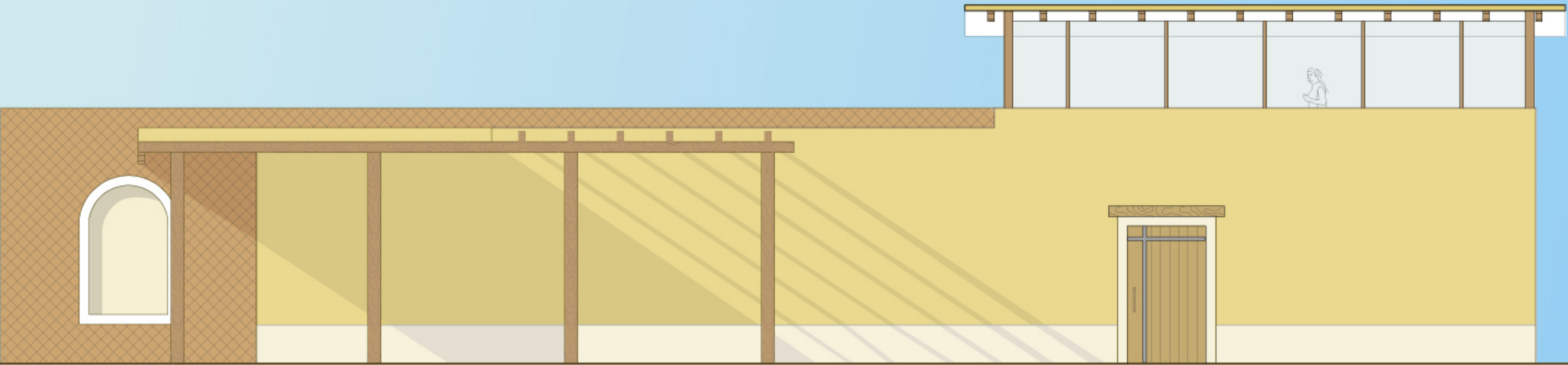
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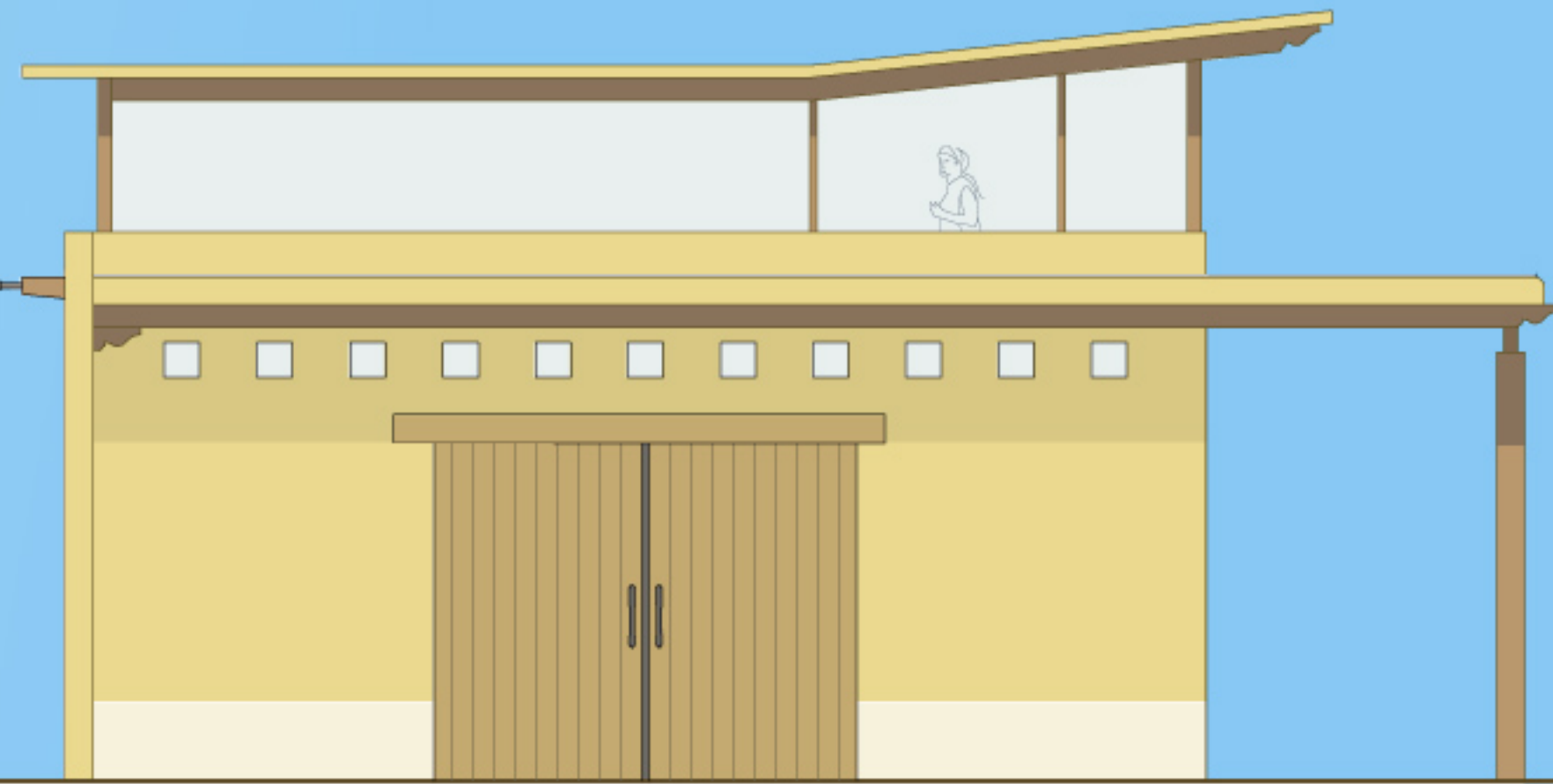
FACING WEST





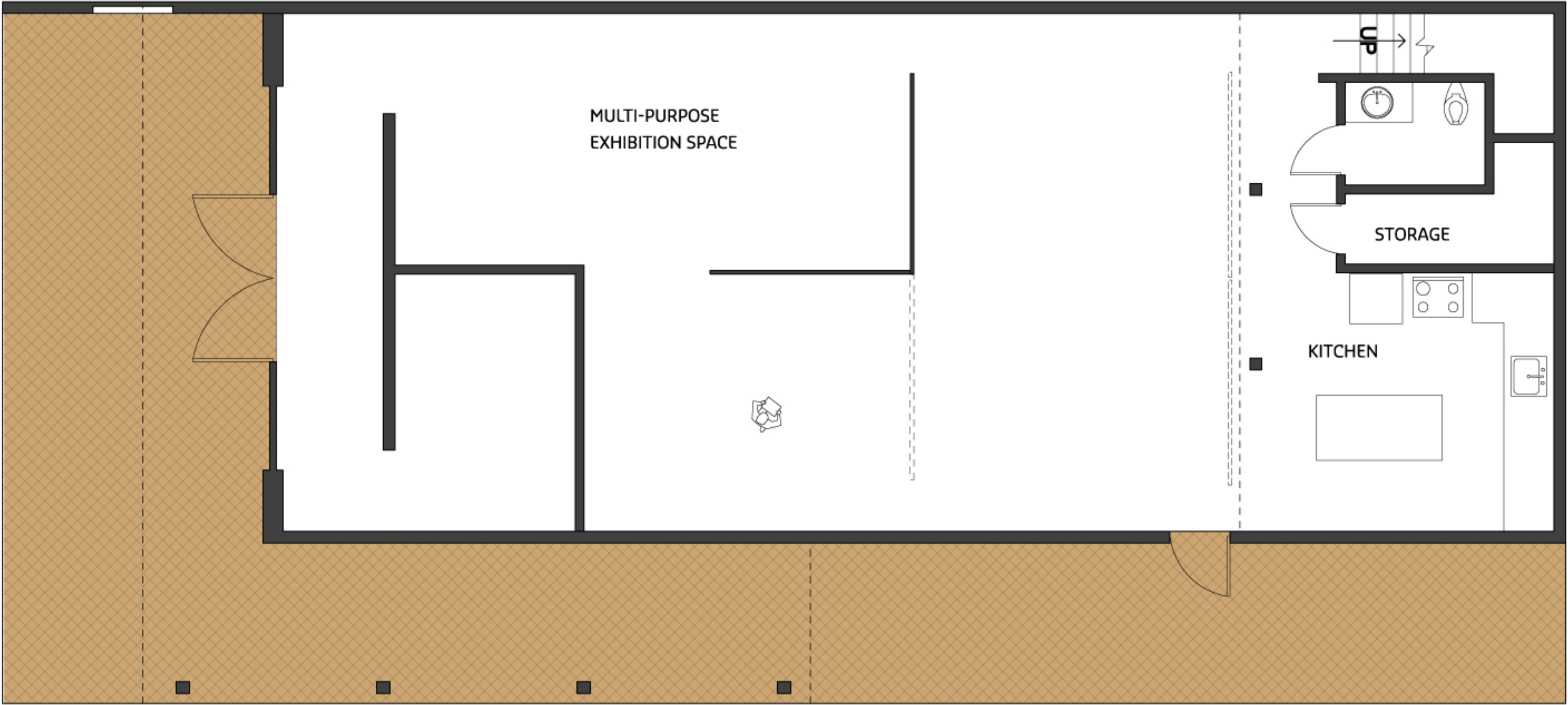
SOUTH ELEVATION

SCALE : 1/4" = 1'



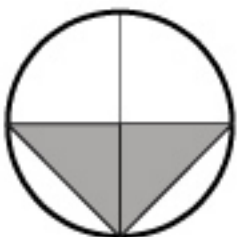
WEST ELEVATION

SCALE : 1/4" = 1'

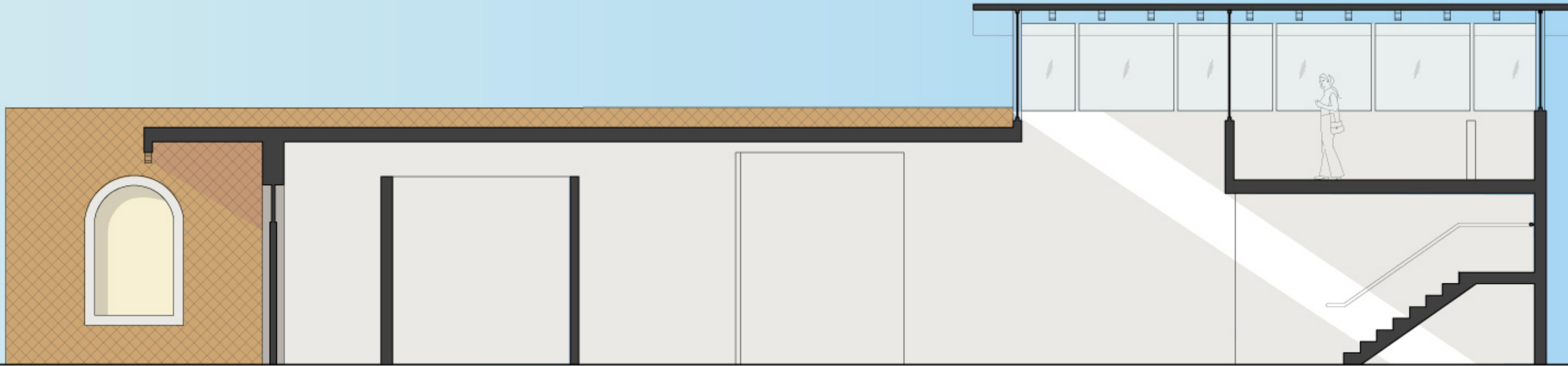


FLOOR 1 PLAN

SCALE : 1/4" = 1'

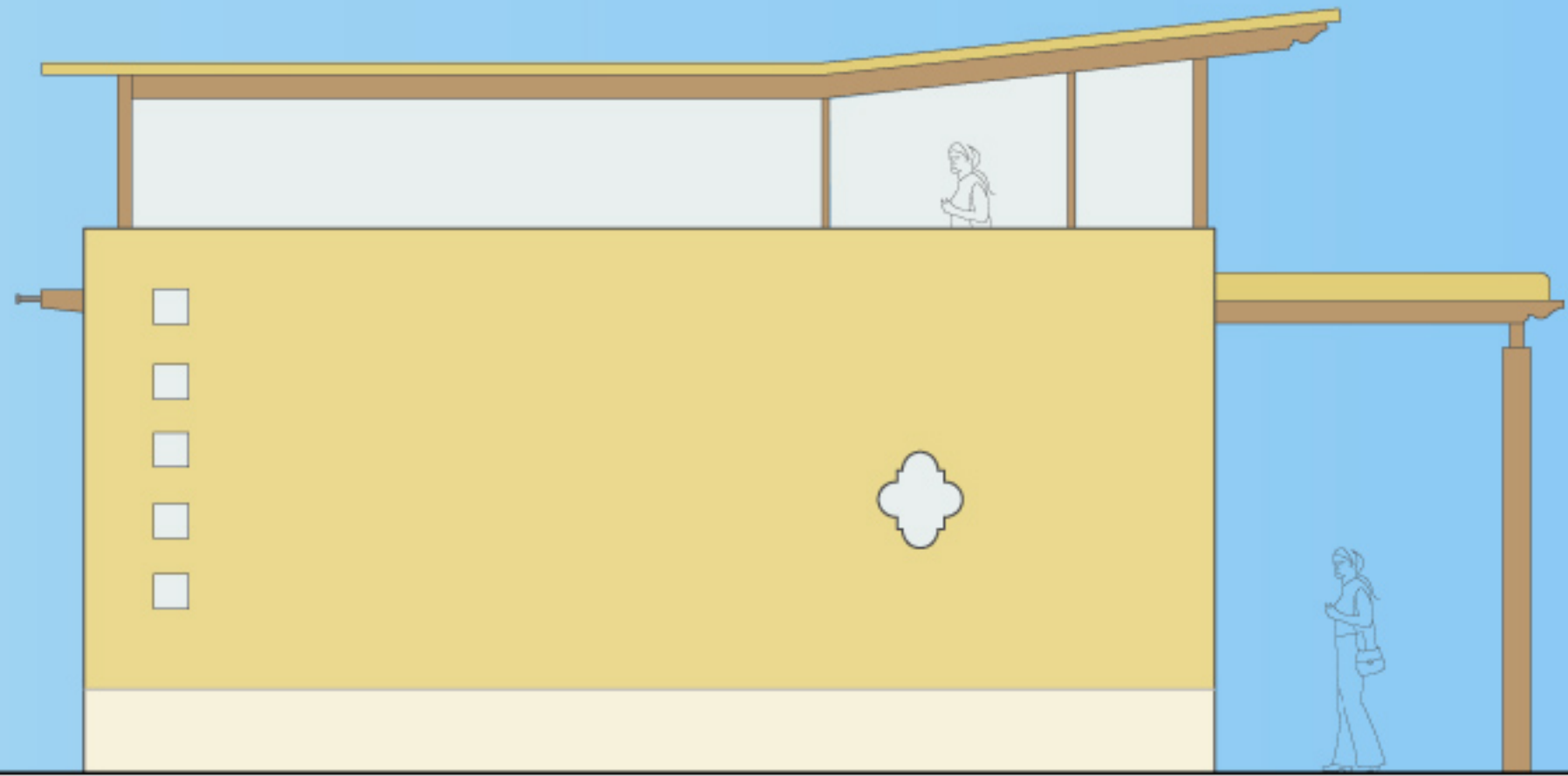


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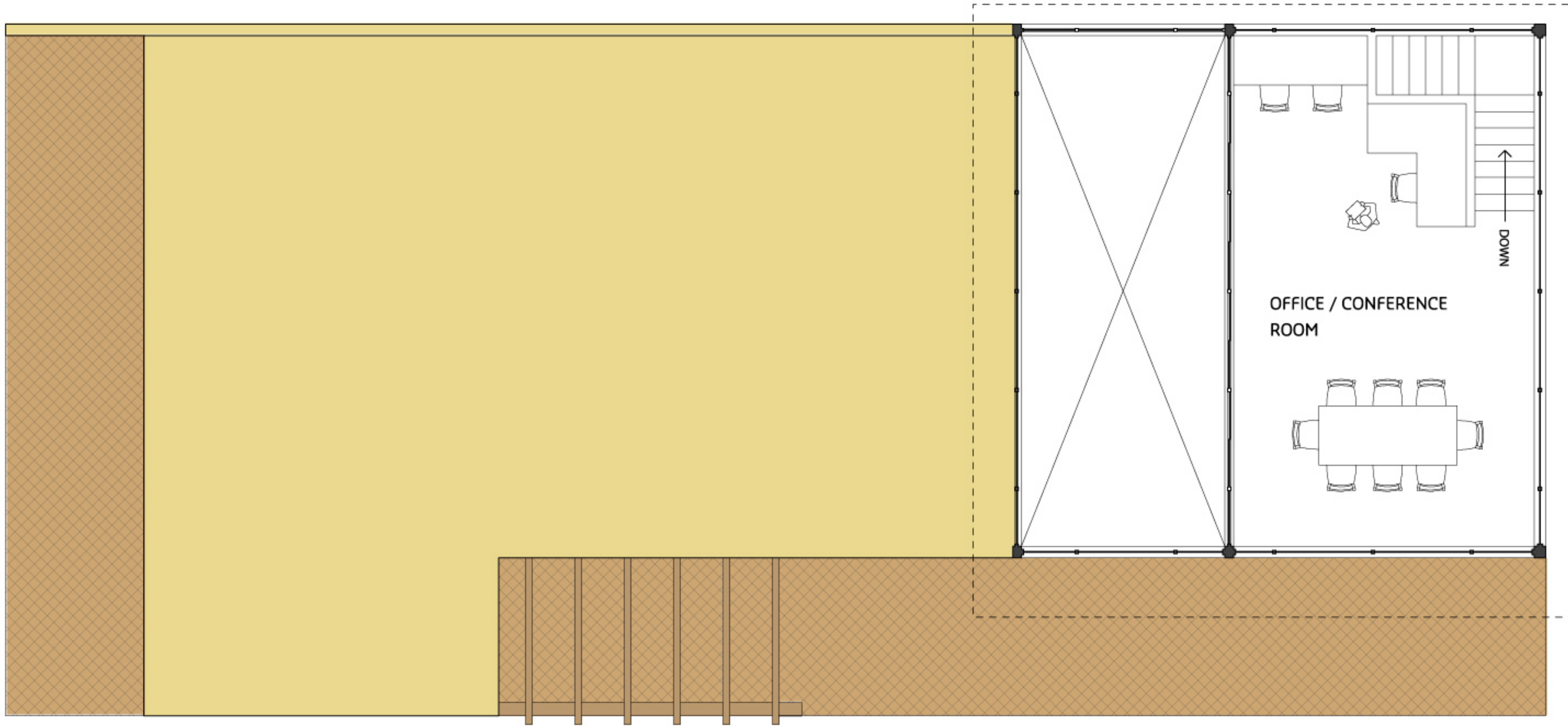
SOUTH ELEVATION SECTION

SCALE : 1/4" = 1'



EAST ELEVATION

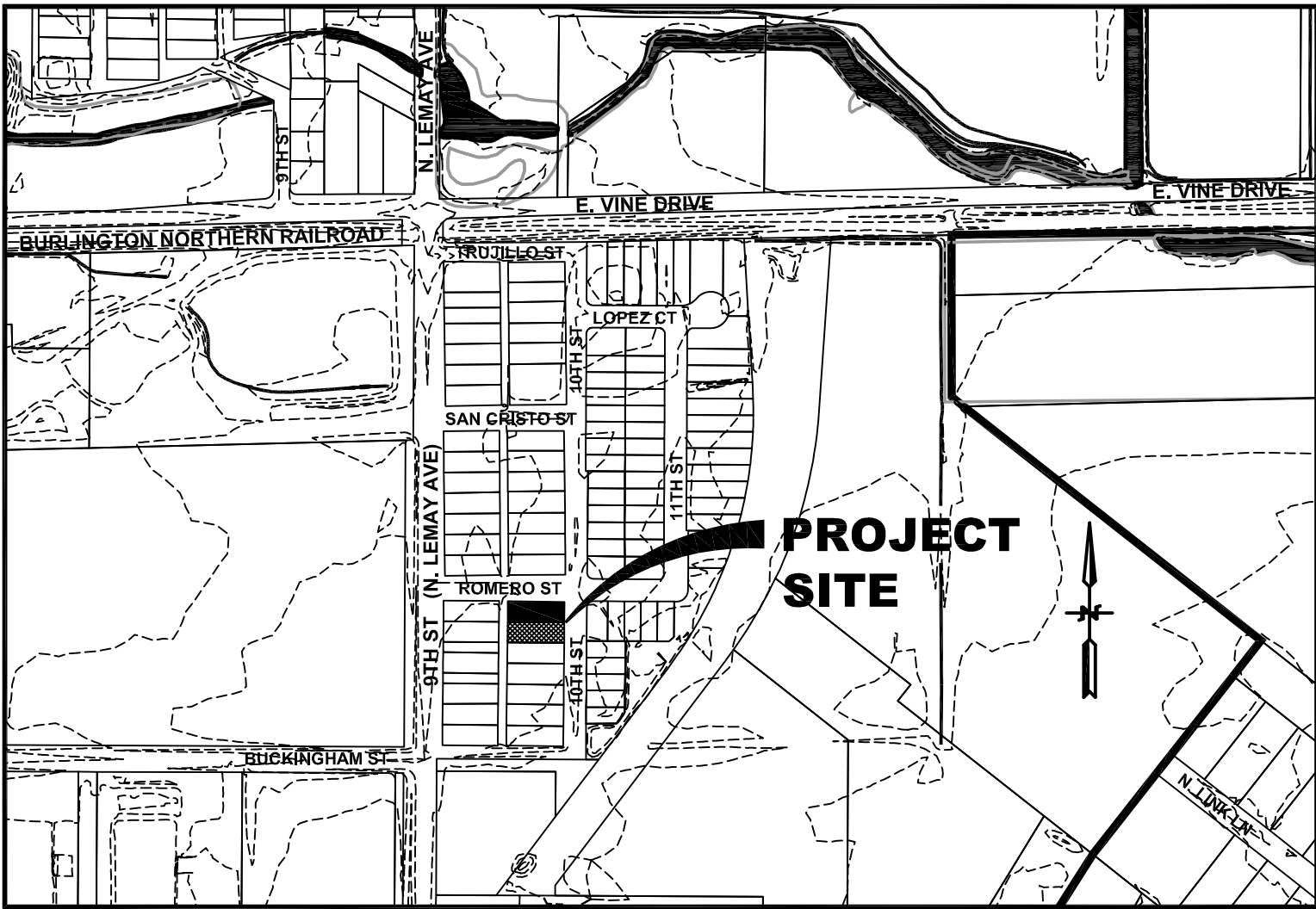
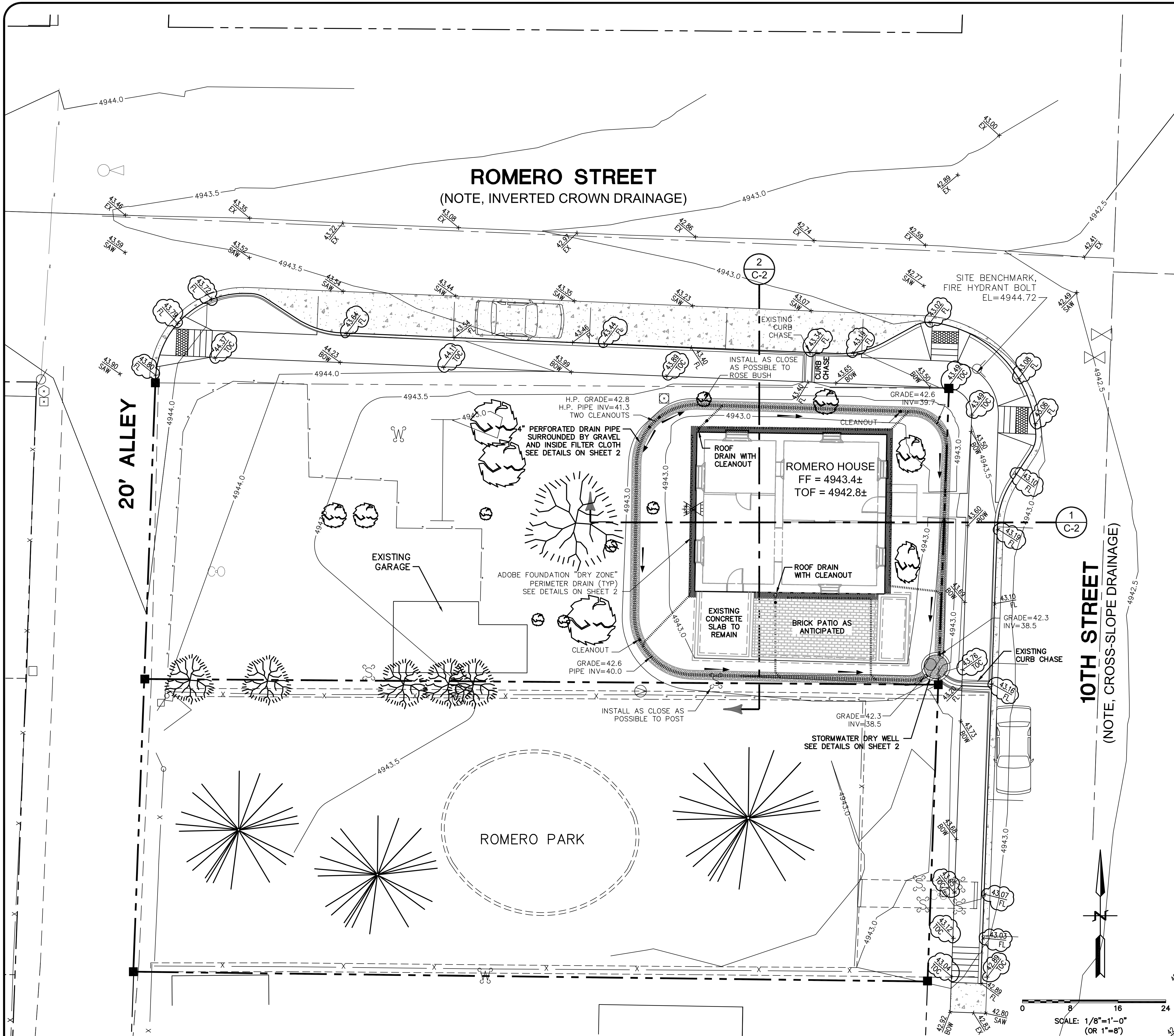
SCALE : 1/4" = 1'



FLOOR 2 PLAN

SCALE : 1/4" = 1'

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VICINITY MAP
SCALE: 1" = 400'

CALL UTILITY NOTIFICATION CENTER OF COLORADO



(OR 303-232-1991 IN METRO DENVER)
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES.

LEGEND

- 5090— DESIGN CONTOUR MAJOR
- 5089— DESIGN CONTOUR MINOR
- ➔ DIRECTION OF FLOW
- - - DRAINAGE BASIN BOUNDARY
- GRAVEL
- STORM DRAINAGE STRUCTURE
- RECORD SURVEY ELEVATION (DATED 8-15-2005) NOTE -ALL REMAINING ELEVATIONS ARE DESIGN ELEVATIONS

GENERAL NOTES:

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- TOTAL LOT AREA = 6691 SF
(NORTH RESIDENCE LOT ONLY, DOES NOT INCLUDE ROMERO PARK).
PROPOSED IMPERVIOUS AREA = 1237 SF
HISTORICAL IMPERVIOUS AREA = 2174 SF
PROPOSED LANDSCAPED AREA (OPEN SPACE) = 5454 SF
HISTORICAL LANDSCAPED AREA (OPEN SPACE) = 4517 SF

City of Fort Collins, Colorado

APPROVED: _____
Stormwater _____ Date _____

SCALE: 1/8"=1'-0"
(OR 1"=8')

SHEET #
C1

3903 RANNOCH STREET
FORT COLLINS, CO 80524
PHONE: (970) 472-5339
FAX: (970) 443-7354
E-MAIL: newideas@cad-qui.com

NEW IDEAS
DESIGN

REVISIONS:
INITIAL RELEASE FOR CONSTRUCTION

GRADING & DRAINAGE PLAN
ROMERO RESIDENCE, 425 TENTH STREET
FORT COLLINS, LARIMER, CO

REVISION: A
DATE: 04-30-05
DRAWN BY: J. KANE
SCALE: 1" = 10'

REVISION DATE: 10-17-05



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

April 15, 2013

Betty Aragon
Museo de las Tres Colonias
425 10th Street
Fort Collins, CO 80524

Re: 425 10th St - Museo Interpretive Center

Description of project: This is a request to construct a new building to house an interpretive center for the Museo de las Tres Colonias, located at 425 10th Street (Parcel#s 87072-07-901 & 87072-07-902). The interpretive center would be 2 stories and 2,000 square feet, hosting a small library, exhibit work and activity spaces, as well as office space and a kitchen. The site is located in the Low Density Residential (R-L) Zone District. Community Facilities are subject to Planning & Zoning Board (Type 2) review in the R-L Zone District.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Courtney Levingston, at 970-416-2283 or clevingston@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Noah Beals, 970-416-2313, nbeals@fcgov.com

1. The two properties are within the Low Density Residential (RL) zone district.

Land Use Code (LUC) 4.4(B)(3)(b)2. A Community Facility is a permitted use in the RL zone district. The Land Use Code defines Community Facility, shall mean a publicly owned or publicly leased facility or office building which is primarily intended to serve the recreational, educational, cultural, administrative or entertainment needs of the community as a whole.

Is the Museum and Interpretative Center publicly owned/leased?

2. LUC 4.4(D)(2)(e) Building height max is 3 stories.

LUC 4.4(D)(1) All development in the RL zone district has a maximum density. Lot shall be 3 times greater than the floor area of the structures.

LUC 3.5.3 The Interpretive Center is an institutional use and would need to meet build-to-line standards which is 0-15ft from the front property line, there is alternative compliance for the build-to-line (see section

Department: Zoning

Contact: Noah Beals, 970-416-2313, nbeals@fcgov.com

for details).

LUC 3.5.3 The sections on Variation in Mass and Character and Image do apply.

3. LUC 3.2.2(K)(1)(a) The maximum parking allowed for both uses is 6 spaces per 1000 sq ft of building.

LUC 3.2.2(K)(5) When any parking is provide accessibility spaces are required. based on 11 vehicle spaces there needs to be one of these as an accessibility space. At least one of the accessibility spaces shall be van accessible (8ft in width and 8ft loading area). All accessibility spaces shall be designated by a sign.

LUC 3.2.2(C)(4) Bicycle parking spaces are required. There will need to be a minimum of 4 spaces for the museum located near the pedestrian entrance. Also a minimum of 4 spaces for the interpretive center located near the pedestrian entrance.

4. LUC 3.2.1 This section requires a landscape plan, such plan shall include but is not limited to street trees, foundation plantings and parking lot screening (see section for details).

LUC 3.2.2(J) Vehicle use areas require a landscape setback. The setback along lot line (alley) is 5ft and along a nonarterial street is 10ft.

If the parking lot on both lots are to function together there should be an access easement recorded.

5. LUC 3.2.4 A Light plan is required

LUC 3.2.5 An enclosure is required that is adequately sized for both trash and recycling. Such enclosure shall be designed with walk-in access without having to open the main service gate and located on a concrete pad at least 20ft from a public sidewalk.

6. LUC 3.5.1(I) Mechanical/Utility equipment (vents, flues, conduit, boxes, meters, transformer and RTU/ac units...) locations shall be located on elevation, landscape plans with notes on how such equipment is screened.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers in this area include a 6-inch water main and a 12-inch sewer in Tenth Street and an 8-inch sewer in the alley to the west.
2. There is a ¾-inch water service to the proposed site which is currently used for irrigation. This can be utilized for the water service to the new building, and a sewer service can be added to connect to either of the available sewers noted above.
3. If a commercial kitchen is included, a grease interceptor may be required.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

5. Development fees for the sewer service will be due at building permit.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

1. Floodplain Comments:
This property is located in the Poudre 500-year Moderate Risk Floodplain, and must satisfy the standards of Chapter 10 of City Code. A Flood Risk Map is attached.
2. Life-Safety and Emergency Response critical facilities are prohibited within the Poudre River 500-year Floodplain. For the Interpretive Center this means there cannot be any children's "daycamp" or "day care" programs. School programs where the bus is nearby are fine. This needs to be included as part of the development agreement and be placed as a note on the plans.
3. Non-residential development is allowed within the 500-year floodplain without any other Chapter 10 restrictions, However, because this is a museum with possible irreplaceable items, elevation of the structure in the 500-year floodplain is recommended.
4. The Floodplain Administrator for the Poudre River Floodplain is Marsha Hilmes-Robinson; 970.224.6036, mhilmesrobinson@fcgov.com. Feel free to contact Marsha if you have any questions.
5. Stormwater Development Review comments:
It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
6. If there is an increase in imperviousness greater than 1000 square feet a drainage and erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. Only grading and erosion control plans are required when there is between 1000 and 350 square feet of new imperviousness.
7. If there is an increase in imperviousness greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. In the Dry Creek basin, the two year historic release rate is 0.2 cfs/acre. Another option to consider is that the assumed imperviousness in the master plan of 55%. If the total site including ½ the street is equal to or less than 55% onsite water quantity detention is not required.
8. Water quality treatment is also required as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs).
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
9. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new parking lots must be pervious. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

There is also more information on the EPA web site at: http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996.

10. The drainage outfall for the site is the street or alley since there are no storm drains in the area. This may mean that fill material will have to be imported to allow the new building to drain properly. If not it would have the same problems that the historic house has with runoff being trapped around the building.
11. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
12. The design of this site must conform to the drainage basin design of the Dry Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.

Department: Park Planning

Contact: Courtney Livingston, 970-416-2283, clevingston@fcgov.com

1. Bill Whirty is the manager of Parks for the City of Fort Collins. At the meeting, questions around the existing play structure (moving, replacing, funding) were posed. Bill can be contacted at 970-221-6305 or bwhirty@fcgov.com
2. Regarding the lease of City owned land, Helen Matson would be your primary contact at 970-221-6276 or hmatson@fcgov.com

Department: Historical Preservation

Contact: Josh Weinberg, 970-221-6206, jweinberg@fcgov.com

1. Because of its immediate adjacency to the locally landmarked Romero House, the development of the Romero Park will be subject to 3.4.7 of the Land Use code. The intent of this Section is to ensure that, to the maximum extent feasible: (1) historic sites, structures or objects are preserved and incorporated into the proposed development and any undertaking that may potentially alter the characteristics of the historic property is done in a way that does not adversely affect the integrity of the historic property; and (2) new construction is designed to respect the historic character of the site and any historic properties in the surrounding neighborhood.
2. As the buildings across the street and to the south of the Park are not historically significant, the Romero House should dictate development compatibility.
3. In reference to new construction the height, setback and/or width of the new structure need to be similar to that of the Romero House building. Where that building setback cannot be maintained design elements can be used to define the edge of the site and maintain alignment. A taller structure or taller

Department: Historical Preservation

Contact: Josh Weinberg, 970-221-6206, jweinberg@fcgov.com

portions of the structure need to be located interior to the site. It is preferable to maintain the historic contextual setback of the neighborhood. If the goal is to maintain the large mature tree towards the front/center of the property, there can be flexibility in adjusting the setback.

4. Any new structure constructed on the site needs to be designed to be in character with the Romero House. Horizontal elements, window patterns, and the pattern of the primary building entrance facing the street should be maintained to the maximum extent feasible.
5. The code further calls for the dominant building material of the existing historic structures adjacent to the proposed new structure be used as the primary material for the new construction. Variety in materials can be appropriate, but shall maintain the existing distribution of materials in the same block. Therefore, plaster/stucco (or plaster/stucco-like) materials should be used in the design. What are the proposed materials for the proposed building?
6. To the maximum extent feasible, existing historic and mature landscaping shall be preserved and when additional street tree plantings are proposed, the alignment and spacing of new trees shall match that of the existing trees. Therefore, the existing evergreen in the center of the lot should be maintained
7. Specifically, to the maximum extent feasible the design of the new building should be compatible with the one story, low pitched roof, and natural plaster-walled character of the Romero House.
8. There is mention in the project description of moving the play structure that is currently located at Romero Park. If there are any changes proposed for the adjacent Romero House property, the Landmark Preservation Commission will review such changes, as the entire property is designated as a Fort Collins Landmark.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy.

COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

2006 International Fire Code 508.1 and Appendix B

2. COMMERCIAL KITCHEN HOODS

A Type I hood shall be installed at or above all commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease vapors.

2006 International Fire Code 609.2

3. PREMISE IDENTIFICATION

New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

2006 International Fire Code 505.1

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

Department: Engineering Development Review

Contact: Marc Virata, 970-221-6567, mvirata@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. The alley abutting both lots would need to be paved out to Romero Street, with a design for the alley paving reviewed and approved by the City.
7. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. LCUASS requires the dedication of an 8 foot utility easement behind the alley right-of-way. This requirement would not be enforced if the utility providers do not require the easement. The paving of the alley however may have implications on whether utility easement behind the right-of-way is required by the utility providers.
8. Construction plans will be required for the alley improvement. If the applicant/owner is not the City, a Development Agreement may be required and recorded once the project is finalized with recordation costs paid for by the applicant.
9. A Development Construction Permit (DCP) or an excavation permit will need to be obtained prior to starting any work on the site.

Department: Electric Engineering

Contact: Janet McTague, 970-224-6154, jmctague@fcgov.com

1. Power is available from the alley. Normal development charges will apply

Current Planning

Contact: Courtney Levingston, 970-416-2283, clevingston@fcgov.com

1. How is trash proposed to be dealt with? With cooking classes, a small trash enclosure with alley access may be necessary. The trash enclosure should be designed to match the building architecture, blend in with the surrounding environment and should be large enough to accommodate recycling services (LUC Section 3.2.5).
2. A walkway connecting the street sidewalk to the building entrance will be required.
3. If you are proposing air conditioning you should give consideration to where the compressor (and other mechanical equipment) will be located. Staff suggests the buildings west elevation, as consideration should be given to the existing property to the south as it relates to the noise created by air conditioning compressors. (LUC Section 3.5.1 (I)).
4. Please call out setback dimensions from the property lines to the proposed interpretive center on the site plan.
5. Your site plan should include the properties to the north and south (with building footprint) as well as show the alley. On the elevations, please have an exhibit that shows the streetscape - the Museo, the proposed building, then the residence to the south. This will help staff assess compliance with Section 3.5.1 of the Land Use Code (compatibility) as well as 3.4.7 (Historic Resource compatibility).
6. On the landscape plan, please provide hydrozone analysis and water budget chart per 3.2.1(E). An automatic, underground irrigation system is required and an irrigation plan is required at time of building permit.

The City's Plant List will help you with preparing your Landscape Plans. This Plant List was developed to meet the provisions of the Land Use Code Section 3.2.1. This list can be found online at:
http://www.fcgov.com/forestry/plant_list.pdf

Additionally, please take a look at the Front Range Tree Recommendation List. This can be found at:
<http://www.ext.colostate.edu/pubs/garden/treereclist.pdf>

7. There is a minimum parking lot interior landscaping requirement of 6%. On the landscape plan please provide the total square footage for the parking area, then provide the square footage of the parking lot interior landscaping (Section 3.2.2 (M)).
8. On the landscape plan, please include these notes:

Please include these landscape notes:

"The soil in all landscape areas shall be thoroughly loosened to a depth of not less than 8 inches and soil amendment shall be thoroughly incorporated into the soil of all landscape areas to a depth of at least 6 inches by tilling, discing or other suitable method, at a rate of at least 3 cubic yards of soil amendment per

Current Planning

Contact: Courtney Levinston, 970-416-2283, clevinston@fcgov.com

1,000 square feet of landscape area."

A permit must be obtained from the City forester before any trees or shrubs as noted on this plan are planted, pruned or removed on the public right-of-way. This includes zones between the sidewalk and curb, medians and other city property. This permit shall approve the location and species to be planted. Failure to obtain this permit may result in replacing or relocating trees and a hold on certificate of occupancy."

9. On the landscape plan, please show utilities. A 6 foot separation distance between trees and water or sewer service lines and 4 feet between trees and gas lines is required.
10. I would recommend going to the Landmark Preservation Commission for initial feedback regarding the proposed project, including relocating the play structure on the the Museo site. Landmark Preservation Commission regular meeting and worksessions are on the second and fourth Wednesdays of the month, respectively. Please contact Karen McWilliams to coordinate being placed on the LPC agenda.
11. It was mentioned at the Conceptual Review meeting that there was interest in revisiting the crosswalk across Lemay Avenue. Please contact Joe Olson at 224-6062 or jolson@fcgov.com to further discuss this topic.
12. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
13. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
14. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
15. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
16. Please see the Submittal Requirements and Checklist at:
<http://www.fcgov.com/developmentreview/applications.php>.
17. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
18. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.