

# Conceptual Review Agenda

Schedule for 04/25/16 to 04/25/16

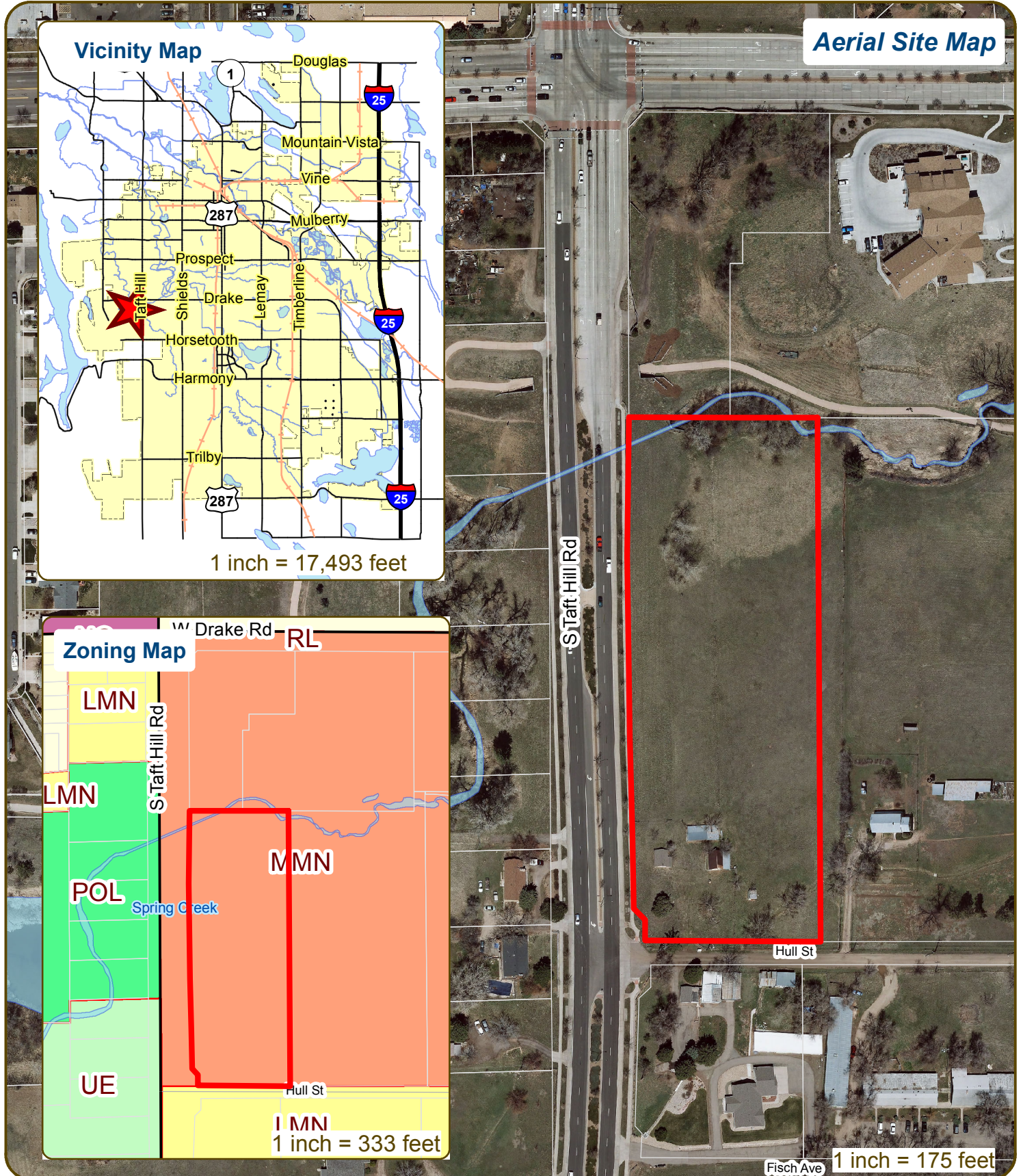
281 Conference Room A

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## Monday, April 25, 2016

Time	Project Name	Applicant Info	Project Description	Planner
9:30	2800 S Taft Hill Rd - Multi-family CDR160032	Kyle Henderson (970) 219-3838 <a href="mailto:kylejhenderson@msn.com">kylejhenderson@msn.com</a>	This is a request to build a 170 unit, multi-family building at 2800 S Taft Hill Rd. (parcel #9727205004). The project will be an age qualified development targeted towards seniors. The development will contain 259 parking spaces and two courtyards for residents. The site is located in the Medium Density Mixed-Use Neighborhood (MMN) zone district. This proposal will be subject to Planning & Zoning Board (Type II) review.	Clay Frickey
10:15	228 S College Ave - Mixed-use CDR160033	Matt Haskell (970) 690-1690 <a href="mailto:mhaskell@urealtyinc.com">mhaskell@urealtyinc.com</a>	This is a request to build a 4-story mixed-use building at 228 S College Ave (parcel #9712319019). The ground floor will be retail with 11 residential units in floors 2-4. No parking is being proposed. The site is located in the Downtown – Old City Center (D) zone district. This proposal will be subject to Basic Development Review.	Meaghan Overton
11:00	Whitcomb Streetscape Improvements CDR160034	Fred Haberecht (970) 491 <a href="mailto:fred.haberecht@colostate.edu">fred.haberecht@colostate.edu</a>	This is a request to expand the parking lot and build streetscape improvements on Whitcomb Street just north of Prospect Road (parcel #'s 9714310915, 9714310916, 9714310017, 9714310018, 9714310019, 9714310020, 9714310021, and 9714310022). 8 existing homes will be removed to add parking for Aggie Village North. CSU will also build detached sidewalks along Lake St and Whitcomb St with enhanced landscaping as part of this project. The site is located in the High Density Mixed-Use Neighborhood (HMN) zone district. This proposal will be subject to Site Plan Advisory Review.	Jason Holland

# 2800 S Taft Hill Rd Multi-family



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CONCEPTUAL REVIEW:  
APPLICATION

**General Information**

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

**\*BOLDED ITEMS ARE REQUIRED\*** *The more info provided, the more detailed your comments from staff will be.\**

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

KYLE HENDERSON (DEVELOPER)

**Business Name** (if applicable) SOUTHPAW PARTNERS

**Your Mailing Address** 195 WEST 12TH AVE, DENVER, CO 80204

**Phone Number** 970-219-3838 **Email Address** KYLEJHENDERSON@MSN.COM

**Site Address or Description** (parcel # if no address) 2800 TAFT HILL, FORT COLLINS, CO

**Description of Proposal** (attach additional sheets if necessary) APPROX 170 UNITS OF AGE-QUALIFIED (SENIORS+) APARTMENTS. 3-STORY STRUCTURES WITH SUBTERRANEAN PARKING (259 STALLS)

**Proposed Use** MULTIFAMILY, AGE-QUALIFIED **Existing Use** VACANT LAND

**Total Building Square Footage** 212,000 S.F. **Number of Stories** 3 **Lot Dimensions** ~280' x 700'

**Age of any Existing Structures** N/A

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

**Is your property in a Flood Plain?**  Yes  No If yes, then at what risk is it? SEB ALTA

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

**Increase in Impervious Area** 70,000 S.F.  
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

**Suggested items for the Sketch Plan:**

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



# ALTA/ACSM LAND TITLE SURVEY

Lot 4, Subdivision of a part of the W1/2 of the NW1/4 of Section 27, Township 7 North, Range 69 West of the 6th P.M., City of Fort Collins, County of Larimer, State of Colorado

DATE:	11/08/2007
FILE NAME:	2007379ALTA
SCALE:	AS NOTED
DRAWN BY:	CSK
CHECKED BY:	LSP

**PROPERTY DESCRIPTION**

LOT 4, SUBDIVISION OF A PART OF THE W 1/2 OF THE NW 1/4 OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M., SAVE AND EXCEPT THAT PORTION OF SUBJECT PROPERTY PREVIOUSLY CONVEYED TO THE CITY OF FORT COLLINS IN AMENDED RULE AND ORDER RECORDED JUNE 6, 2002 UNDER RECEPTION NO. 2002061215, CITY OF FORT COLLINS, LARIMER COUNTY, COLORADO.

**SURVEYOR'S CERTIFICATE**

To: Friedman Properties, L.L.C.  
Richard Grauel  
Fidelity National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and includes items 1, 2, 3, 4, 6, 7(a), 8, 10, 11(a), 13, 16 and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Colorado, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

*L. Spauld* 11-12-07  
Lorraine S. Pepek - On Behalf of King Surveyors, Inc.  
Colorado Registered Professional Land Surveyor #33642

This survey does not constitute a title search by King Surveyors, Inc. to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, King Surveyors, Inc. relied upon Title Commitment Number F212460, dated August 14, 2007 at 7:30 A.M., as prepared by Fidelity National Title Insurance Company to delineate the aforesaid information.

This certificate does not extend to any unnamed parties or the successors and/or assigns of Friedman Properties, L.L.C., Richard Grauel and Fidelity National Title Insurance Company.

**SCHEDULE B EXCEPTIONS**

- Terms, conditions, provisions, agreements and obligations specified under the Agreement for Possession and Use, which was recorded June 14, 2001 at Reception No. 2001047224. (Termination language for Temporary Construction Easement) (NOT PLOTTABLE)
- An easement for drainage, utilities, slope and incidental purposes granted to The City of Fort Collins, Colorado in instrument recorded June 6, 2002 at Reception No. 2002061215, upon the terms and conditions in said instrument. (PLOTTED)
- Any existing leases or tenancies, and any and all parties claiming by, through or under said lessees. (NOT PLOTTABLE)

**NOTICE**

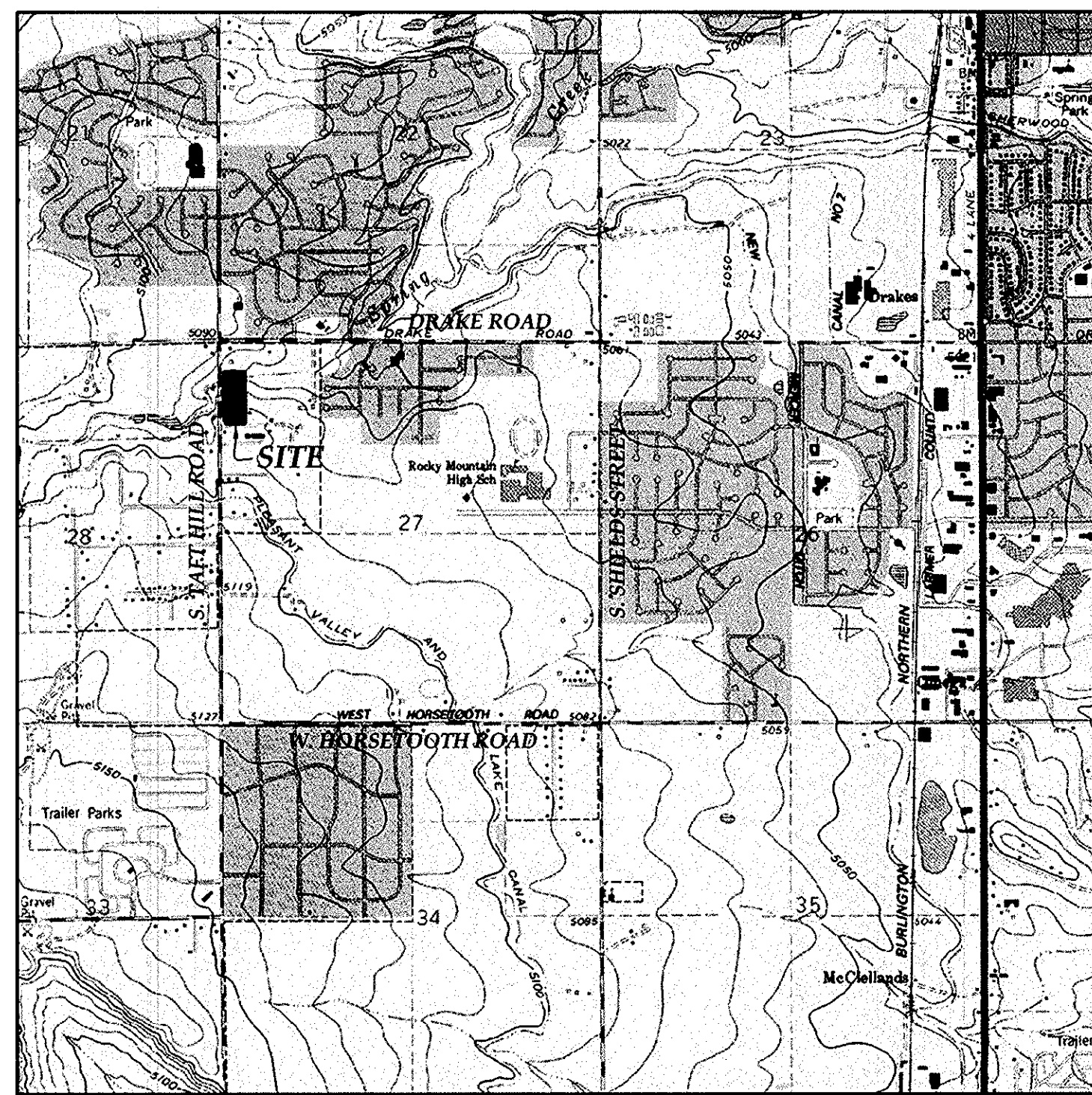
According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon. (13-80-105 C.R.S.)

**SURVEYOR'S NOTES**

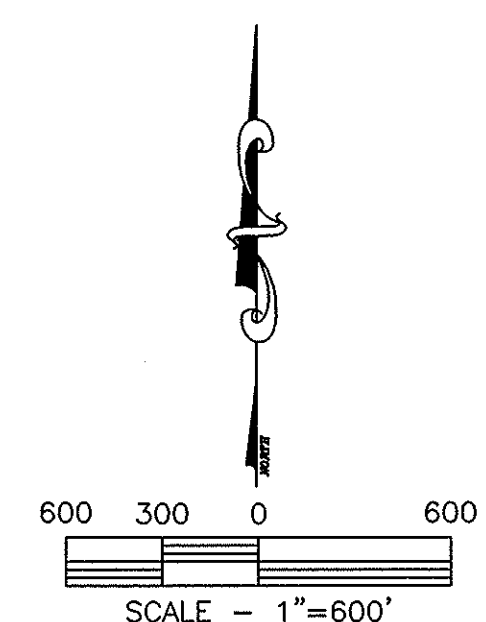
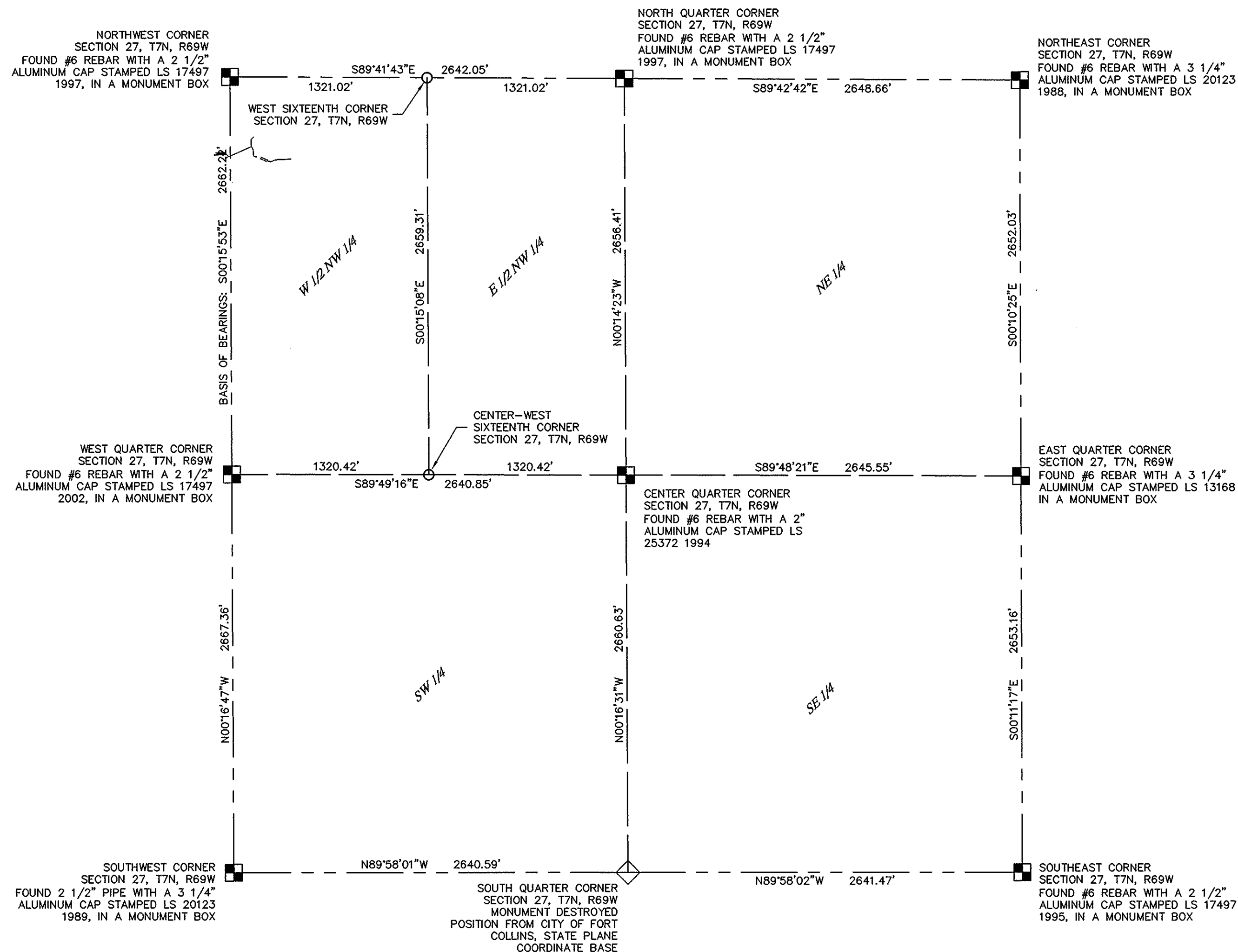
- Initial field survey completed April 24, 2006. Topographic field survey completed November 2, 2007.
- The property is in flood zone "X", "areas determined to be outside the 0.2% annual chance of floodplain" and in flood zone "AE" "areas of 1% chance flood (100-year flood), base flood elevations determined. The floodway in the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood height." Per City of Fort Collins website fcgov.com and per FEMA flood map 0805900986F revised December 19, 2006. For further information, call City of Fort Collins Utilities, phone (970) 221-6700.
- Current zoning is MMU Medium Density Mixed-Use Neighborhood District across entire property. For further information, consult the City of Fort Collins Land Use Code.
- No observable evidence of earth moving work, building construction or building additions within recent months.
- No changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. No observable evidence of recent street or sidewalk construction or repairs.

**BASIS OF BEARINGS**

Assuming the West line of the Northwest Quarter of Section 27, Township 7 North, Range 69 West, as bearing South 00°15'53" East being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/92, a distance of 2662.22 feet with all other bearings contained herein relative thereto.



VICINITY MAP  
SCALE - 1"=2000'



**KING SURVEYORS, INC.**  
650 Garden Drive | Windsor, Colorado 80550  
phone: (970) 686-5011 | fax: (970) 686-5821



DATE:	
REVISIONS:	

ALTA/ACSM LAND TITLE SURVEY  
FOR  
RICHARD GRAUEL  
2002 CAPE CORAL PARKWAY S.W.  
CAPE CORAL, FLORIDA 33914

PROJECT #:  
2007379

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# ALTA/ACSM LAND TITLE SURVEY

Lot 4, Subdivision of a part of the W1/2 of the NW1/4 of Section 27, Township 7 North, Range 69 West of the 6th P.M., City of Fort Collins, County of Larimer, State of Colorado

DATE: 11/08/2007  
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 650 Garden Drive | Windsor, Colorado 80550  
 phone: (970) 686-5011 | fax: (970) 686-5821

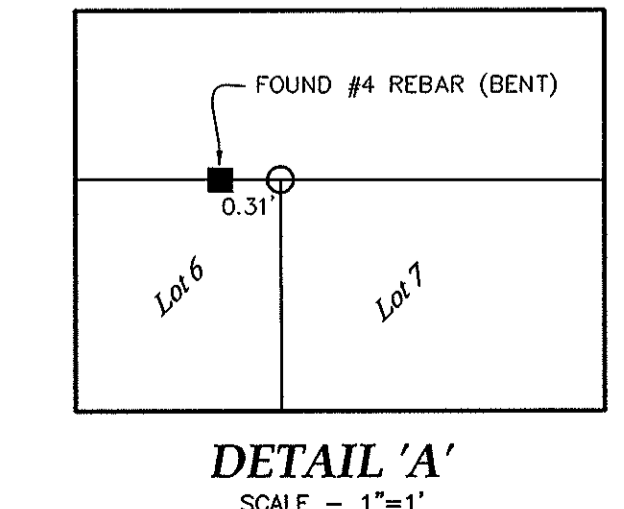
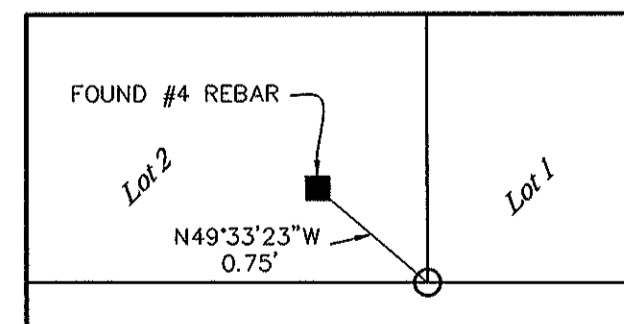
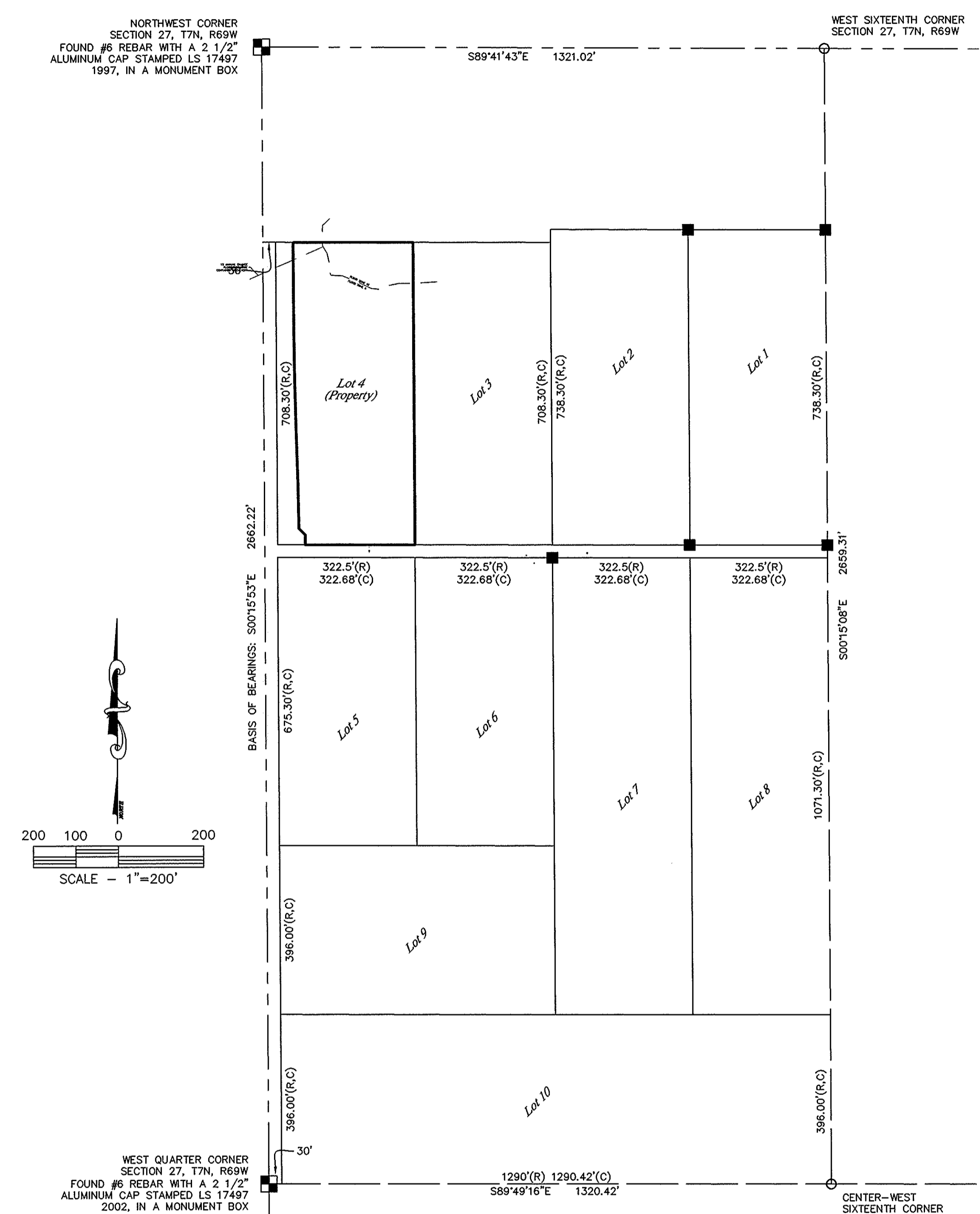


DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_

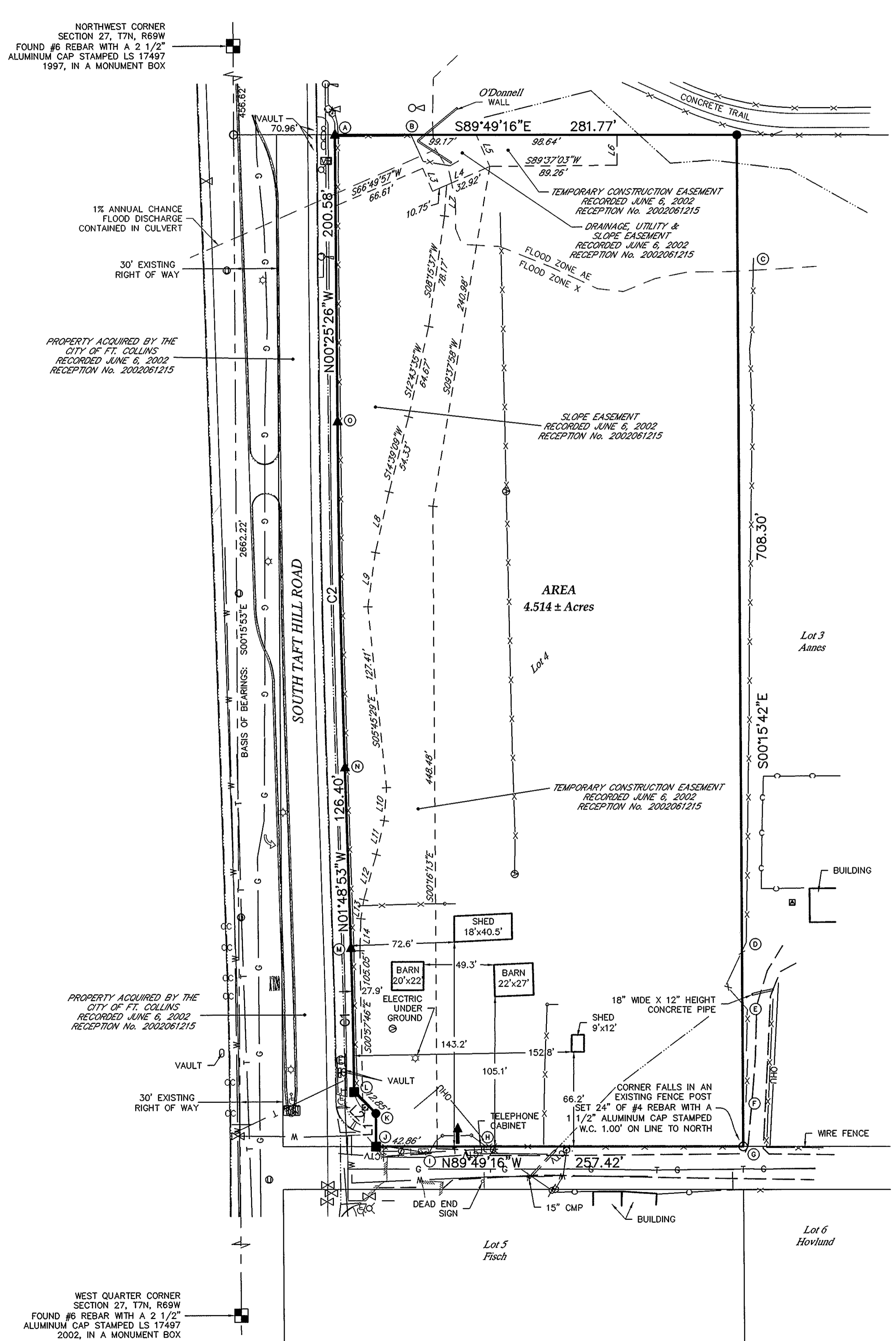
ALTA/ACSM LAND TITLE SURVEY  
 FOR  
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 CAPE CORAL, FLORIDA 33914

PROJECT #: 2007379

**2**  
 SHEET 2 OF 2



- LEGEND**
- CTV — CABLE TV LINE
  - CHAIN LINK FENCE
  - EDGE OF ASPHALT
  - EDGE OF GRAVEL ROAD
  - FLOWLINE
  - FENCE LINE
  - GAS LINE
  - WATER LINE
  - PIPE
  - T — UNDERGROUND TELEPHONE LINE
  - MAILBOX
  - ⊕ SIGN
  - ⊕ REFLECTOR POST
  - ♿ HANDICAP RAMP
  - ➔ EXISTING ACCESS POINT
  - ⊙ SPIGOT
  - ⊙ FIRE HYDRANT
  - ⊙ WATER VALVE
  - ⊙ IRRIGATION BOX
  - ⊙ WATER METER
  - ⊙ ELECTRIC METER
  - ⊙ CABLE TV PEDESTAL
  - ⊙ DRAINAGE MANHOLE
  - ⊙ SANITARY MANHOLE
  - ⊙ ELECTRIC MANHOLE
  - ⊙ UNKNOWN MANHOLE
  - ⊕ POWER POLE
  - ⊕ GUY WIRE
  - ⊕ LIGHT POLE



**LINE TABLE**

LINE	BEARING	LENGTH
L1	N00°17'09"W	23.11'
L2	N45°24'30"W	21.34'
L3	N23°10'03"W	17.50'
L4	S66°49'57"W	43.67'
L5	N23°10'03"W	24.07'
L6	S00°18'10"E	21.23'
L7	S04°04'42"W	21.60'
L8	S12°45'37"W	43.75'
L9	S08°00'47"W	38.21'
L10	S04°04'12"W	23.14'
L11	S13°19'00"W	24.29'
L12	S15°37'06"W	32.69'
L13	S09°00'19"W	13.52'
L14	S01°48'13"W	22.44'

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C1	101.01'	4084.49'	01°25'01"	101.00'	N01°09'51"W
C2	242.43'	9987.00'	01°23'27"	242.42'	N01°07'09"W

- LEGEND**
- EASEMENT
  - SECTION LINE
  - QUARTER SECTION LINE
  - RIGHT-OF-WAY
  - PROPERTY LINE
  - R RECORDED
  - P PLATTED
  - M MEASURED
  - C CALCULATED
  - ⊙ FOUND ALIQUOT CORNER AS DESCRIBED
  - ⊙ SET ALIQUOT CORNER AS DESCRIBED
  - ⊙ FOUND #4 REBAR WITH A YELLOW PLASTIC CAP STAMPED KSI, LS 22098
  - ⊙ FOUND NAIL WITH A BRASS TAG STAMPED LS 22098
  - ⊙ SET 24" OF #4 REBAR WITH A YELLOW PLASTIC CAP STAMPED KSI, LS 33642
  - CALCULATED POSITION

- IMPROVEMENT LOCATION TO PROPERTY LINE TABLE**
- A. Fence corner is 1.3'± South and 2.5'± East of property corner and end of concrete sidewalk is on the property corner.
  - B. Fence corner is 0.8'± South of property line.
  - C. End of fence is 11.2'± East of property line.
  - D. Fence corner is 3.0'± East of property line.
  - E. Fence corner is 3.5'± East of property line.
  - F. End of fence is 2.1'± East of property line.
  - G. End of fence is on the property corner.
  - H. Fence corner is 0.8'± North of property line.
  - I. Fence corner is 4.6'± South of property line.
  - J. Fence corner is 1.0'± North of property corner.
  - K. Fence corner is 0.7'± Northeast of property corner.
  - L. Fence corner is 2.5'± Southeast of property corner and end of concrete sidewalk is on the property corner.
  - M. Fence line is 2.1'± East of property corner and end of concrete sidewalk is on the property corner.
  - N. Fence line is 2.0'± East of property corner and end of concrete sidewalk is on the property corner.
  - O. Fence line is 2.1'± East of property corner and end of concrete sidewalk is on the property corner.

*L. Shoup*  
 November 11, 2007  
 Colorado Registered Professional Land Surveyor #33642

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**2800 Taft Hill, Fort Collins CO - Aqe-Qualified Apartments**

Type	%	Units	Beds	Bath	Den	Sq Ft	Total Sq Ft	Parking	Total Parking
A	10%	17	1	1	0	800	13,600	1.50	26
B	80%	136	1	1.5	1	1,000	136,000	1.50	204
C	10%	17	2	2	0	1,200	20,400	1.75	30
		<b>170</b>				<b>1,000</b>	<b>170,000</b>	<b>1.53</b>	<b>259</b>

20% Gross Up
204,000
8,000 Amenity
<b>212,000</b>

**CONCEPTUAL SITE PLAN**  
SCALE = 1:100







April 29, 2016

Kyle Henderson  
Southpaw Partners  
195 W 12th Ave  
Denver, CO 80204

**Re:** 2800 S Taft Hill Rd - Multi-family

**Description of project:** This is a request to build a 170 unit, multi-family building at 2800 S Taft Hill Rd. (parcel #9727205004). The project will be an age qualified development targeted towards seniors. The development will contain 259 parking spaces and two courtyards for residents. The site is located in the Medium Density Mixed-Use Neighborhood (MMN) zone district. This proposal will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)

1. In addition to the buffer on the east (refer to planning comments) having the parking lot on east side will offer a better transition.
2. Any building over 40ft in height will require a shadow analysis.
3. Section 3.8.30 does apply (See section for details).

Multi-family projects are required to be within a certain distance or have a Access to a park/gathering place of 10,000 sf.

4. Parking requirements are based on the number of units and bedrooms (see section 3.2.2(K)(1)(a)).
5. Mechanical equipment will need to be screened.

**Department: Water-Wastewater Engineering**

**Contact:** Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)



1. There is an existing 12-inch waterline in Taft Hill Road and an existing 12-inch waterline that has been stubbed approximately 60' from the main onto Hull Street.
2. We are assuming that you will be able to serve this single building with a single water service/meter and a fire service. However, if this final project plan results in two or more separate buildings, separate water and sewer services will be required for each building.
3. There is an existing 15-inch sanitary sewer line along Spring Creek and an existing 12-inch sewer in Hull Street.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact: Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)**

1. The anticipated traffic volume from this development meets the threshold for needing a Traffic Impact Study. We'll scope it as just a memo - please have your traffic engineer contact me to detail the scope.
2. Check the access spacing from your proposed access to Taft Hill. It is shown very close - making it difficult for your residents to turn off of Taft Hill and then make an immediate left into the development.
3. Work with engineering on required frontage improvements to Hull.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Spring Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. A drainage report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs. There is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization.
3. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate. Alternatively, if you can show that your project site can "beat the peak", then the onsite detention requirement can be waived.
4. The stormwater outfall option for this site appears to be a direct outfall to Spring Creek. Floodplain regulations will apply if there is any construction or improvements installed within the floodplain or floodway.
5. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
6. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:

- a.50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
- b.75% of all newly added or modified impervious area must be treated by LID techniques.
7. Standard operating procedures (SOPs) for all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:  
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
  8. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins.
  9. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
  10. A portion of this property is located in the FEMA regulatory Spring Creek 100-year Floodplain. Any improvements planned for within the floodplain and floodway boundaries must comply with Chapter 10 of City Code. A Flood Risk Map is attached.
  11. The materials submitted for review do not appear to show any lots or structures proposed within the flood zones. Please add the floodplain and floodway boundaries to all applicable drawings so that it is clear what improvements will be impacting the flood zones. Please contact Beck Anderson of Stormwater Master Planning at [banderson@fcgov.com](mailto:banderson@fcgov.com) for floodplain CAD line work.
  12. The structure shown is so near to the 100-year floodplain boundary that it will need a signed and stamped survey during and after construction to ensure that it is being constructed outside of the regulatory floodplain. Critical facilities which include at-risk populations such as assisted living and/or nursing homes are prohibited within the floodplain. Independent living facilities are not prohibited. If a part of the structure is within the floodplain the entire structure is considered to be within the floodplain.
  13. Even if structures will not be located within the floodplain boundary it is strongly recommended that the buildings be elevated as much as possible and all HVAC, electrical, utilities, etc. be protected from flood damage for those properties bordering the floodplain. Floodplains are remapped regularly using updated topographic information and modeling techniques and a structure this near to the current line could conceivably be mapped into the floodplain in the future, an elevated structure would be more likely to meet floodplain requirements making remodels less restrictive and insurance costs lower.
  14. Nonstructural development (fill, sidewalks, vegetation, stormwater outfalls, etc.) can be completed within the floodway as long it can be proven that the work will not cause a change in the Base Flood Elevation (BFE) or a change to the boundaries of the floodway or floodplain through a No-Rise Certification with supporting documentation and applicable floodplain modeling prepared by a licensed engineer registered in the State of Colorado.
  15. Nonstructural development (fill, sidewalks, vegetation, etc.) is allowed in the floodplain with an approved floodplain use permit



16. Any and all construction activities in the floodplain/floodway must be preceded by an approved Floodplain Use Permit, the appropriate permit application fees, and approved plans.
17. Development review checklists and application forms for floodplain requirements can be obtained at <http://www.fcgov.com/utilities/what-we-do/stormwater/flooding/forms-documents>. Please utilize these documents when preparing your plans for submittal.
18. Please contact Heidi Hansen, 970-221-6854, [hhansen@fcgov.com](mailto:hhansen@fcgov.com) with questions concerning development in the floodplain.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE LANES**

Fire access is required to within 150' of all portions of the building's ground level perimeter. Fire access cannot be measured from an arterial road. At this time, it is unclear how the site plan will be able to achieve this need. Further discussion is warranted. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

**2. AERIAL FIRE APPARATUS ACCESS ROADS**

Buildings exceeding 30' in height have additional requirements to enable ladder truck access to reach upper floors and provide roof access. At this time, it is unclear how the site plan will be able to achieve this need. Further discussion is warranted. Code language provided below or see Appendix D of the 2012 IFC for further details.

> WHERE REQUIRED - IFC D105.1: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

> WIDTH - IFC D105.2; FCLUC 3.6.2(B)2006; and Local Amendments: Aerial fire apparatus access roads shall have a minimum unobstructed width of 30 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

> PROXIMITY TO BUILDING - IFC D105.3: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

**3. WATER SUPPLY**

A fire hydrant is required within 300' of the building as measured along an approved path of vehicle travel. At this time, it is unclear if the site plan meets this requirement. Code language provided below.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

**4. AUTOMATIC FIRE SPRINKLER SYSTEM**

This building will require a full NFPA13 automatic fire sprinkler system under a separate permit. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related

questions at 970-416-2868.

In addition:

> GROUP S-2 AUTOMATIC SPRINKLER SYSTEM REQUIREMENTS - IFC 903.2.9 & 903.2.9.1: An automatic sprinkler system shall be provided throughout buildings classified as enclosed parking garages (Group S-2 occupancy) in accordance with IBC 406.4 OR where located beneath other groups. Exception: Enclosed parking garages located beneath Group R3 occupancies.

> BALCONIES AND DECKS - IFC 903.3.1.2.1: Sprinkler protection shall be provided for exterior balconies, decks, and ground floor patios of dwelling units where the building is of Type V construction.

**5. FDC**

> IFC 912.2: Fire Department Connections shall be installed in accordance with NFPA standards. Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access. The location of the FDC shall be approved by the fire department.

**6. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST**

New buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority. Poudre Fire Authority Bureau Admin Policy #07-01

**Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat or feature, namely Spring Creek. Please note the project will need to be designed in a way that is sensitive to this and other natural features, and the buffer zone standard for Spring Creek is 100', as identified in Section 3.4.1(E) of the Land Use Code. This may affect the site layout that is currently proposed.

Please contact me if you would like to discuss the scope and requirements of the ECS further. Please note that the Ecological Characterization Study is due a minimum of 10 days prior to the PDP submittal.

2. Within the buffer zone, according to Article 3.4.1(E)(1)(g), the City has the ability to determine if the existing landscaping is incompatible with the purposes of the buffer zone. Please ensure that your ECS discusses the existing vegetation and identifies potential restoration options for the area around Spring Creek and any other natural features on the site. If it is determined to be insufficient, then restoration and mitigation measures will be required.
3. With respect to lighting, the City of Fort Collins Land Use Code, in Article 3.2.4(D)(6) requires that "natural areas and natural features shall be protected from light spillage from off site sources." Thus, lighting from the parking areas or other site amenities shall not spill over to the buffer areas. Furthermore, in regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
4. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "... (4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a



DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

5. Projects in the Vicinity of Spring Creek must also comply with Section 3.4.1(I)(1) of the Land Use Code, which states the following: "Projects in the vicinity of large natural habitats and/or natural habitat corridors, including, but not limited to, the Poudre River Corridor and the Spring Creek Corridor, shall be designed to complement the visual context of the natural habitat. Techniques such as architectural design, site design, the use of native landscaping and choice of colors and building materials shall be utilized in such manner that scenic views across or through the site are protected, and manmade facilities are screened from off-site observers and blend with the natural visual character of the area. These requirements shall apply to all elements of a project, including any aboveground utility installations."
6. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.  
Also, please be aware, the creation or enforcement of covenants that prohibit or limit xeriscape or drought-tolerant landscapes, or that require primarily turf-grass are prohibited by both the State of Colorado and the City of Fort Collins.
7. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:
  1. ClimateWise program: [fcgov.com/climatewise/](http://fcgov.com/climatewise/)
  2. Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)
  3. Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)
  4. Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)
  5. Integrated Design Assistance Program: [fcgov.com/idap](http://fcgov.com/idap), contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)
  6. Nature in the City Strategic Plan: [fcgov.com/planning/natureinthecity/?key=advanceplanning/natureinthecity/](http://fcgov.com/planning/natureinthecity/?key=advanceplanning/natureinthecity/), contact Justin Scharton at 970-221-6213 or [jscharton@fcgov.com](mailto:jscharton@fcgov.com)

Please consider the City's sustainability goals and ways for your development to engage with these efforts, and let me know if I can help connect you to these programs.

**Department: Engineering Development Review**

**Contact: Katie Sexton, 970-221-6501, [ksexton@fcgov.com](mailto:ksexton@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.

4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. Hull Street is identified on the master street plan as a minor collector (LCUASS Figure 7-5F). ROW will need to be dedicated and the street will need to be designed and built to function as such along the property's frontage. The property may be eligible for street oversizing fund.
7. Repayment is due for the local street portion of Taft Hill Road (approximately \$220 per linear foot of frontage). See Land Use Code Article 3 Division 1 Sec. 24-95 regarding the obligation for construction.
8. LCUASS access spacing criteria requires the drive to be located 100 feet (CL to CL) from Taft Hill Rd.
9. Overhead utilities are required to be undergrounded with development.
10. This project is responsible for dedicating any easements that are necessary or required by the City for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial and 9 foot along all other street classifications).
11. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
12. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
13. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
14. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
15. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
16. Doors are not allowed to open out into the right-of-way.
17. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
18. In regards to construction of this site: the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.



**Department: Electric Engineering**

**Contact: Tyler Siegmund, 970-416-2772, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)**

1. Light and Power has 3 phase and single phase facilities in the area to feed the development.
2. Electric capacity fees, development fees, building site charges and any system modification charges necessary to feed the site will apply to this development. Please visit the following website for an estimate of charges and fees:

<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>

3. Transformer locations will need to be coordinated with Light & Power. Transformers must be placed within 10 ft of a drivable surface for installation and maintenance purposes. The transformer must also have a front clearance of 10 ft and side/rear clearance of 3 ft minimum.
4. Light & Power will need AutoCAD files of the approved site plan, utility plans, and landscape drawings before design of the electric facilities will begin.
5. Electric meter locations will need to be coordinated with Light and Power Engineering. Each residential unit will need to be individually metered. If you wish to gang the meters on one side of the building please place on the opposite side of the gas meters. The owner is responsible to provide and maintain the electrical service from the transformer to the meter bank.
6. Please contact Tyler Siegmund at Light & Power Engineering if you have any questions at 970.416.2772. Please reference our policies, construction practices, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>

**Department: Building Inspection**

**Contact: Sarah Carter, 970-416-2748, [scarter@fcgov.com](mailto:scarter@fcgov.com)**

1. Please schedule a pre-submittal meeting for this project. Pre-Submittal meetings assist the designer/builder by assuring, early on in the design, that the new projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective. Applicants of new projects should email [scarter@fcgov.com](mailto:scarter@fcgov.com) to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

**Planning Services**

**Contact: Clay Frickey, 970-224-6045, [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com)**

1. For this project to be compatible with surrounding developments, please use similar building materials and colors while retaining a residential scale. Please also make sure the building has entryways that face Taft Hill Rd to ensure the building addresses the street.
2. You will be required to build a trail connection for the Spring Creek Trail. Please show this on your site plan.

3. This development will require a landscape plan. Still will be focusing on how the landscaping provides a buffer from adjacent uses and from Spring Creek.
4. The site plan doesn't show any bike parking. You will be required to provide one bicycle parking space per bedroom with 40% provided by fixed racks and the remaining 60% in enclosed locations. If you decide to provide bicycle parking spaces in the units, please submit floor plans that show where the bike racks are located within the units.
5. The site plan does not show any connections to the sidewalk along Taft Hill, Hull, or to the Spring Creek Trail. This project must provide connecting walkways to all of these amenities to ensure pedestrians can easily access the site and the surrounding areas.
6. Please show where the trash and recycling enclosure will be located on your site plan and landscape plan. Please also submit elevations of the enclosure to ensure it matches the architectural style of the project. The enclosure should be located on a concrete pad and should have a walk-in access that is separate from the main service gate.
7. How large are the courtyards? Any multi-family project larger than 2 acres is required to have a central gathering space or private park that is at least 10,000 sq. ft. It is unclear if the courtyards shown meet this standard or not.
8. This development must provide a 25 foot buffer yard along the east property line since it is adjacent to a single-family home. Please provide enhanced landscaping in this buffer yard to provide for a transition between your development and the adjacent property.
9. How many feet is the building setback from Taft Hill and Hull? The minimum setback along both streets is 15 feet.
10. While your application says the building will be 3 stories tall, is that measured on the south end of the site or the north end of the site where the land begins to slope into Spring Creek? Staff encourages exploring ways to minimize the height of the building on the north side of the site since there is a big grade difference from the south end of the site to the north end of the site.
11. If there are any existing irrigation laterals that run across the subject property that serve other properties, please be sure to preserve the such laterals so that water gets to the user's property in an unaffected manner. If such laterals exist and are planned to re-routed or placed into a pipe, be sure to work with the owners of the water rights and obtain their permission.
12. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
13. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
14. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
15. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
16. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.



- 17.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 18.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*2012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### Energy Code Use

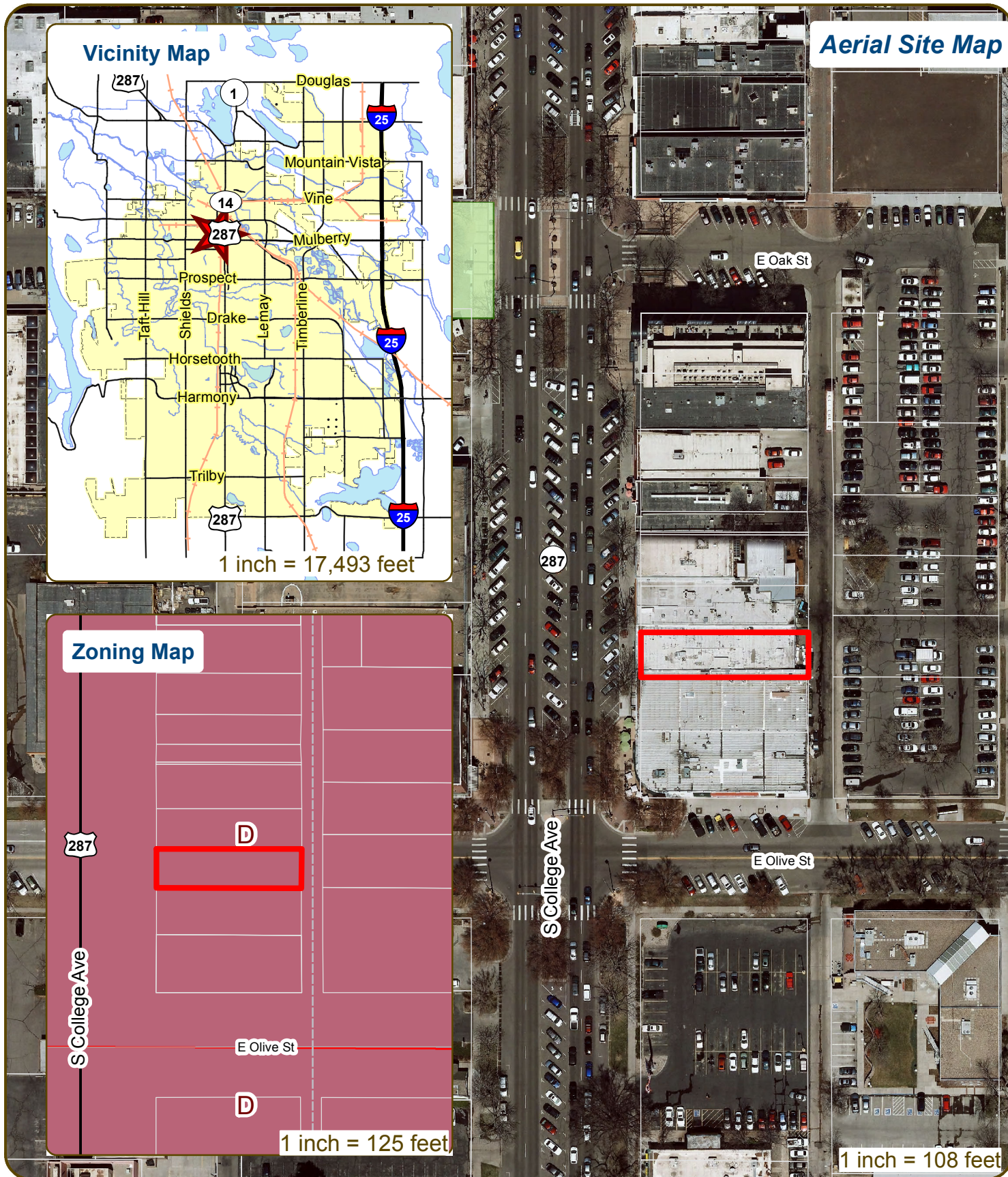
1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341



# 228 S College Ave Mixed-Use



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Matt Haskell

Business Name (if applicable) U Realty

Your Mailing Address 2310 E. Harmony Fort Collins

Phone Number 970-690-1690 Email Address mhaskell@urealtyinc.com

Site Address or Description (parcel # if no address) 228 S. College Ave (Lloyd's barber shop and Ragstock)

Description of Proposal (attach additional sheets if necessary) Eleven residential units (one and two bedroom) above ground level retail.

Proposed Use Retail / Residential Existing Use Retail

Total Building Square Footage 21,280 S.F. Number of Stories 4 Lot Dimensions 38' x 140'

Age of any Existing Structures 1928 Remodeled in 2010

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [x] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 0 S.F.

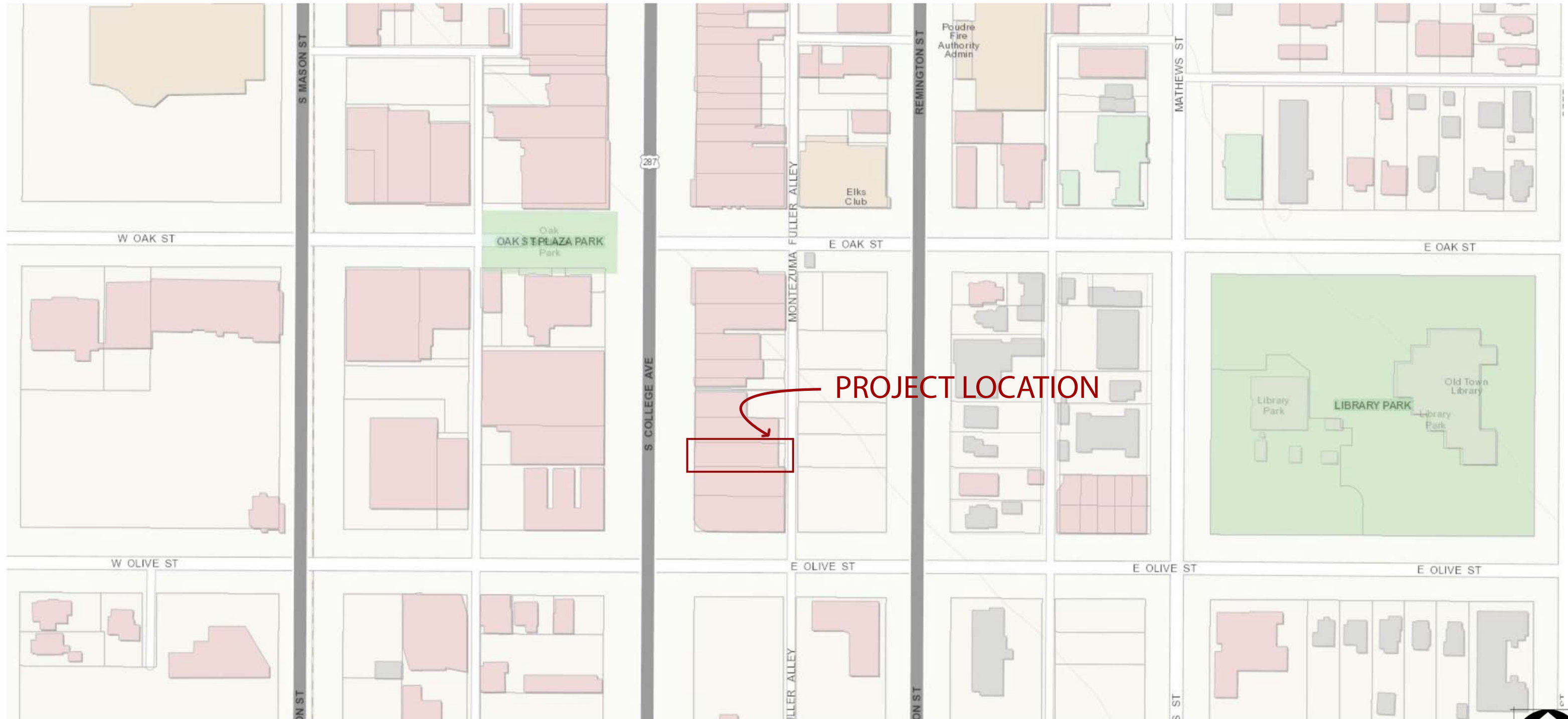
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



ZONE DISTRICT DOWNTOWN - (D) (OLD CITY CENTER)  
WITHIN THE TRANSPORTATION OVERLAY DISTRICT (TOD)  
NOT WITHIN THE CITY FLOODPLAIN  
BASIC DEVELOPMENT REVIEW ANTICIPATED (11 DWELLING UNITS AND RETAIL)



NORTH

AERIAL DATE: 06/19/14 © GOOGLE EARTH

**RIPLEY**  
DESIGN INC.

land planning  
landscape architecture  
urban design  
entitlement

## 228 S. COLLEGE - LOCATION MAP

3/24/16

419 Canyon Ave., Suite 200  
Fort Collins, Colorado 80521  
970.224.5828  
www.ripleydesigninc.com







©2014 Google



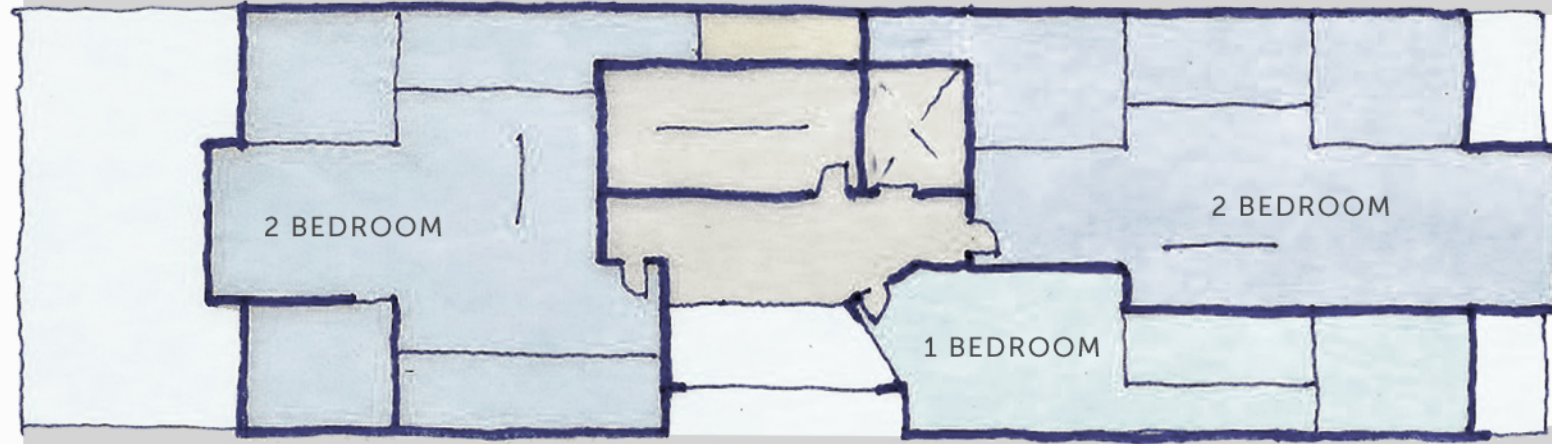
CONCEPT 1

228 SOUTH COLLEGE PLANS | 02.03.16

419 CANYON AVENUE STE 200 | FORT COLLINS, COLORADO | 970.224.1191 || 108 EAST LINCOLNWAY | CHEYENNE, WYOMING | 307.635.5710 | www.VFLA.com

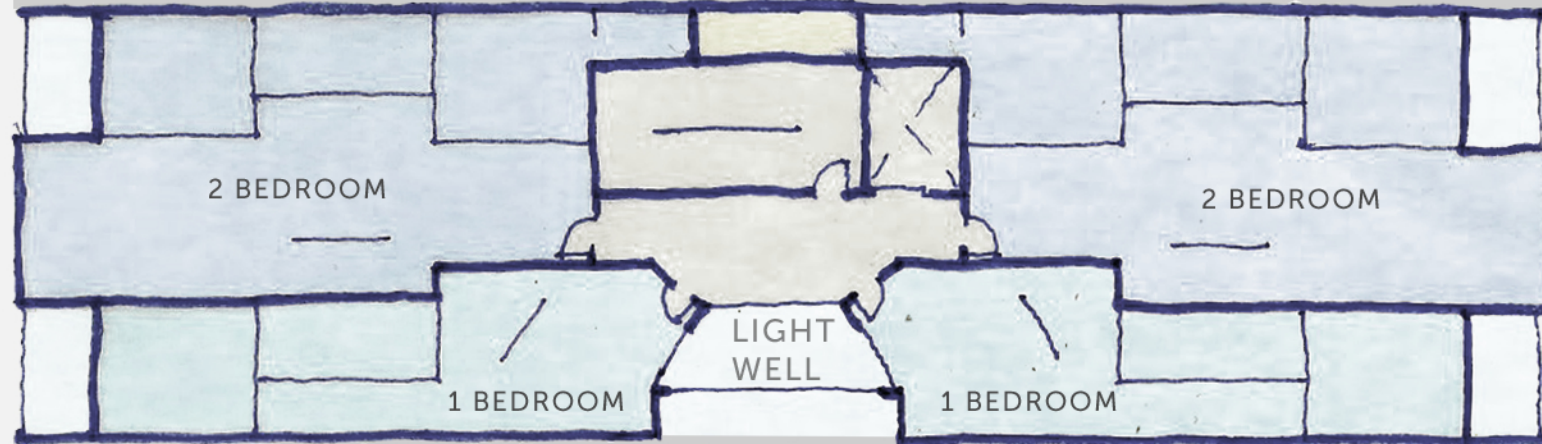


FOURTH FLOOR

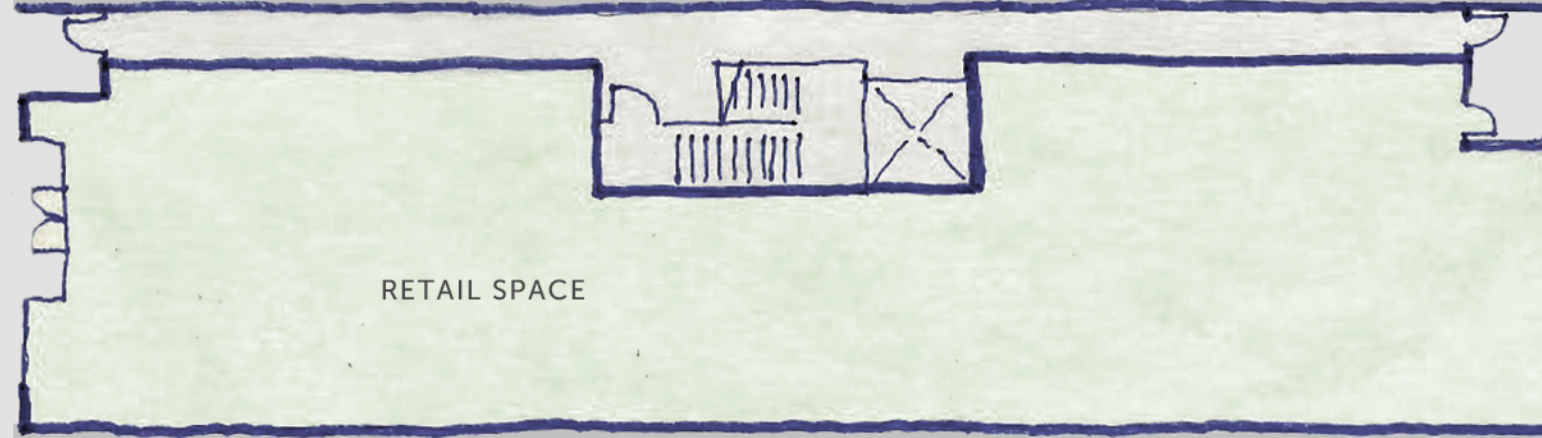


2ND & 3RD FLOORS

COLLEGE AVENUE



GROUND FLOOR



CONCEPT 1

228 SOUTH COLLEGE PLANS | 02.03.16





May 31, 2016

Matt Haskell  
U Realty  
2310 E Harmony Rd  
Fort Collins, CO 80528

**Re:** 228 S College Ave - Mixed-use

**Description of project:** This is a request to build a 4-story mixed-use building at 228 S College Ave (parcel #9712319019). The ground floor will be retail with 11 residential units in floors 2-4. No parking is being proposed. The site is located in the Downtown – Old City Center (D) zone district. This proposal will be subject to Basic Development Review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Meaghan Overton, at 970-416-2283 or [moverton@fcgov.com](mailto:moverton@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. Is this a demo and rebuild or an addition?
2. A modification of standards will be required if you provide no parking.
3. Bike parking will be required.
  - 1 space per 4,000 SF of retail space, 20 % of these must be enclosed.
  - 1 space per bedroom for the residential units, 60% enclosed.
4. LUC 3.2.5 All development shall provide adequately sized conveniently located, accessible trash and recycling enclosures. How will you handle trash?
5. LUC 3.5.1 (I) (6) All rooftop mechanical equipment shall be screened from public view from both above and below by integrating it into building and roof design to the maximum extent feasible
6. Light sources shall be concealed and fully shielded and shall feature sharp cut-off capability so as to minimize up-light, spill-light, glare and unnecessary diffusion on adjacent property.

**Department: Water-Wastewater Engineering**

**Contact:** Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)

1. There is an existing 4-inch water main in College Avenue and an existing 8-inch main in Olive Street. There is an existing  $\frac{3}{4}$ -inch commercial water service to the building. Separate water taps will be required for commercial and residential uses as well as fire service. The existing tap may be used for one of those uses if it is sufficiently sized, however, if this project requires water taps larger than  $\frac{3}{4}$ " , then the existing water tap must be abandoned at the main.
2. This project will be required to provide water demand calculations to verify if the existing 4-inch main in College can support the demands. In addition, we recommend that you coordinate with the Water Field Operations group to conduct a flow test on the waterline during the design phase to determine if you can meet fire flow requirements. This project may be responsible for building a larger water main from the intersection at Olive and College to support its required water demands.
3. There is an existing 8-inch sewer main in the alley to the east. Separate sewer taps will be required for the commercial and residential uses. If this project requires a sewer service that is larger than the existing service then it must be abandoned at the main.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact: Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)**

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.
2. Will there be any parking?
3. How will this proposal impact the alley? Will access be from the alley?

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Old Town Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. When improvements are being added to an existing developed site onsite detention is only required if there is an increase in impervious area greater than 5000 square feet. If it is greater, onsite detention is required with a 2-year historic release rate for water quantity.
3. If there is an increase in imperviousness greater than 1,000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs. If the increase in impervious area is greater than 350 square feet and less than 1,000 square feet, a drainage letter along with a grading and erosion control plan should be sufficient to document the existing and proposed drainage patterns. A grading plan is required if the increase in imperviousness is less than 350 square feet.
4. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
5. Water quality treatment for 50% of the site is provided for in the Udall Natural Area water treatment facility. However additional onsite water quality treatment is encouraged as



described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)

6. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. For this site in particular, we need clarification if existing building is going to remain and be expanded, or if the existing building is going to be completely demolished and replaced. If completely replaced, the LID ordinance will take effect, requiring a higher degree of water quality treatment with one of the two following options:
  - a. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - b. 75% of all newly added or modified impervious area must be treated by LID techniques.
7. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage.
8. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Historic Preservation**

**Contact: Maren Bzdek, 970-221-6206, [mbzdek@fcgov.com](mailto:mbzdek@fcgov.com)**

1. This project will require a demolition/alteration review process to identify the individual eligibility of the existing building and any relevant code compliance and processes that would be required based on eligibility. If any adjacent eligible properties are identified, the proposal will also require a review for compliance with Land Use Code section 3.4.7.
2. This project is located adjacent to and near properties that are more than 50 years old. These properties require evaluation in order to establish a potential area of adjacency for the proposal. To determine the eligibility of these properties, staff will work with the applicant to identify the relevant property addresses. The applicant will be responsible for submitting good quality, labeled photographs of all elevations (and partial elevations) visible from public rights of way, including alleys, of buildings within the area of adjacency.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

1. FIRE LANES  
Fire access is required to within 150' of all exterior portions of the building perimeter as measured from an approved route around the building exterior. Fire access is cannot be measured from an arterial road. The building site creates an out-of-access condition however as the building will be equipped with a fire sprinkler system, the condition is considered acceptable. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a

building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

## 2. AERIAL FIRE APPARATUS ACCESS ROADS

Buildings exceeding 30' in height have additional fire access requirements to enable ladder truck access. The constraints particular to this site will not allow this building to meet this code requirement and a plan will need to be presented to the fire marshal for meeting the intent of the fire code via alternative means of compliance. Code language provided below or see 2012 IFC Appendix D for more details.

> WHERE REQUIRED--IFC D105.1: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

> WIDTH --IFC D105.2; FCLUC 3.6.2(B)2006; and Local Amendments: Aerial fire apparatus access roads shall have a minimum unobstructed width of 30 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

> PROXIMITY TO BUILDING--IFC D105.3: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

## 3. ROOF ACCESS

> IFC 504.3: New buildings four or more stories in height shall be provided with a stairway to the roof. Stairway access to the roof shall be in accordance with IFC 1009.12. Such stairways shall be marked at street and floor levels with a sign indicating that the stairway continues to the roof.

## 4. FIRE STANDPIPE SYSTEM

> IFC Sections 905 and 913: Standpipe systems shall be provided in new buildings and structures in accordance with Section 905 or the 2012 International Fire Code. Approved standpipe systems shall be installed throughout buildings where the floor level of the highest story is located more than 30 feet above the lowest level of fire department vehicle access, or where the floor level of the lowest story is located more than 30 feet below the highest level of fire department vehicle access. The standpipe system shall be capable of supplying at minimum of 100 psi to the top habitable floor. An approved fire pump may be required to achieve this minimum pressure. Buildings equipped with standpipes are required to have a hydrant within 100 feet of the Fire Department Connection.

## 5. AUTOMATIC FIRE SPRINKLER SYSTEM

This building will require a full NFPA13 automatic fire sprinkler system under a separate permit. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related questions at 970-416-2868.

## 6. FDC

> IFC 912.2: Fire Department Connections shall be installed in accordance with NFPA standards. Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access. The location of the FDC shall be approved by the fire department.

## 7. HYDRANT FOR STANDPIPE SYSTEMS

> IFC 507.1.1: Buildings equipped with a standpipe system installed in accordance with Section 905 shall have a fire hydrant within 100 feet of the fire department connections. Exception: The distance shall be permitted to exceed 100 feet where approved by the fire code official.

## 8. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST

New buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority. Poudre Fire Authority Bureau Admin Policy #07-01

### **Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.
3. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:
  1. ClimateWise program: [fcgov.com/climatewise/](http://fcgov.com/climatewise/)
  2. Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)
  3. Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)
  4. Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)
  5. Integrated Design Assistance Program: [fcgov.com/idap](http://fcgov.com/idap), contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)

Please consider the City's sustainability goals and ways for your development to engage with these efforts, and let me know if I can help connect you to these programs.

### **Department: Engineering Development Review**

**Contact: Marc Ragasa, 970.221.6603, [mragasa@fcgov.com](mailto:mragasa@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project.



5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
7. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
8. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
9. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
10. In regards to construction of this site, the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.
11. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
12. The alley adjacent to the site may need to be improved. Depending on the existing condition of the alley and PFA requirements, this may need to be looked at closer.

**Department: Electric Engineering**

**Contact: Tyler Siegmund, 970-416-2772, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)**

1. Early discussions with Light and Power are encouraged to determine power requirements for the development. If an increased electrical load is needed to the building then modification charges will apply. Please plan on placing a transformer on the site or within an off site easement if increased electrical load is anticipated.
2. Electric capacity fees, development fees, building site charges and any system modification charges necessary to feed the site will apply to this development. Please visit the following website for an estimate of charges and fees:

<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>

3. Transformer location will need to be coordinated with Light & Power. Transformer must be placed within 10 ft of a drivable surface for installation and maintenance purposes. The transformer must also have a front clearance of 10 ft and side/rear clearance of 3 ft minimum.
4. Light & Power will need AutoCAD files of the approved site plan, utility plans, and landscape drawings before design of the electric facilities will begin.
5. A commercial service information form (C-1 form) and a one line diagram for the commercial meter will need to be completed and submitted to Light & Power Engineering. A link to the C-form is below:

<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations>

6. Electric meter locations will need to be coordinated with Light and Power Engineering. Each residential unit will need to be individually metered. Please gang the meters on one side of the building and place on the opposite side of the gas meters. The owner is responsible to provide and maintain the electrical service from the transformer to the meter bank.
7. Please contact Tyler Siegmund at Light & Power Engineering if you have any questions at 970.416.2772. Please reference our policies, construction practices, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>

### **Department: Building Inspection**

**Contact: Sarah Carter, 970-416-2748, [scarter@fcgov.com](mailto:scarter@fcgov.com)**

1. Please schedule a pre-submittal meeting for this project. Pre-Submittal meetings assist the designer/builder by assuring, early on in the design, that the new projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective. Applicants of new projects should email [scarter@fcgov.com](mailto:scarter@fcgov.com) to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Planning Services**

**Contact: Meaghan Overton, 970-416-2283, [moverton@fcgov.com](mailto:moverton@fcgov.com)**

1. Building Design: Fourth story building elements must be set back at a 35 degree angle, measured at the intersection of the floor plane of the fourth story and the property line along the public street frontage. Please show this on your submittal.
2. Building Design: The building must meet the standards in Land Use Code (LUC) Section 3.5.3 – mixed-use, institutional and commercial buildings in addition to the standards for the Downtown Zoning district, LUC Section 4.16.
3. Historic Review: The proposed development includes buildings that may be eligible for local landmark designation. The proposal will need to be reviewed by the Landmark Preservation Commission (LPC). Please see comments from Historic Preservation for more detail.
4. Parking: Ten parking spaces are required for the residential units, per the standards in Section 3.2.2(K)(1) of the Land Use Code (LUC). The square footage of the existing retail space is exempt from parking requirements, but any additional commercial square footage will be subject to the minimum parking requirements. If the proposed project does not meet these standards, a request for a modification of standard will need to be submitted in accordance with the process outlined in LUC Section 2.8. There are also several options for demand mitigation and alternative compliance outlined in Section 3.2.2(K).
5. Bicycle Parking: Refer to LUC Section 3.2.2(C)(4) for bicycle parking requirements. In your submittal, please indicate the number of bicycle parking spaces for each use and the proportion of those spaces that will be enclosed bike parking.
6. General: A shadow analysis will be required. See LUC Section 3.5.1(G) for height review standards and submittal requirements.
7. Landscaping: Please refer to LUC 3.2.1 for landscaping standards and planting guidelines. A landscape plan will be required with your submittal. See additional comments from Environmental Planning.
8. Materials: In your submittal, please specify the materials that will be used for the building. LUC 3.4.7(F)(3) requires that the dominant material of “existing historic structures adjacent

to or in the immediate vicinity of the proposed structure” be used as the primary material for new construction. However, we anticipate most of the design submittal and discussion will happen through the Landmark Preservation Commission.

- 9.** General: I'd recommend a charrette-style meeting with other property owners on the block to better understand future potential changes in this section of College Avenue. The planning department would be happy to arrange such a meeting.
- 10.** The proposed development is subject to a Basic Development Review, please contact the Zoning Department regarding your formal submittal.



## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*2012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

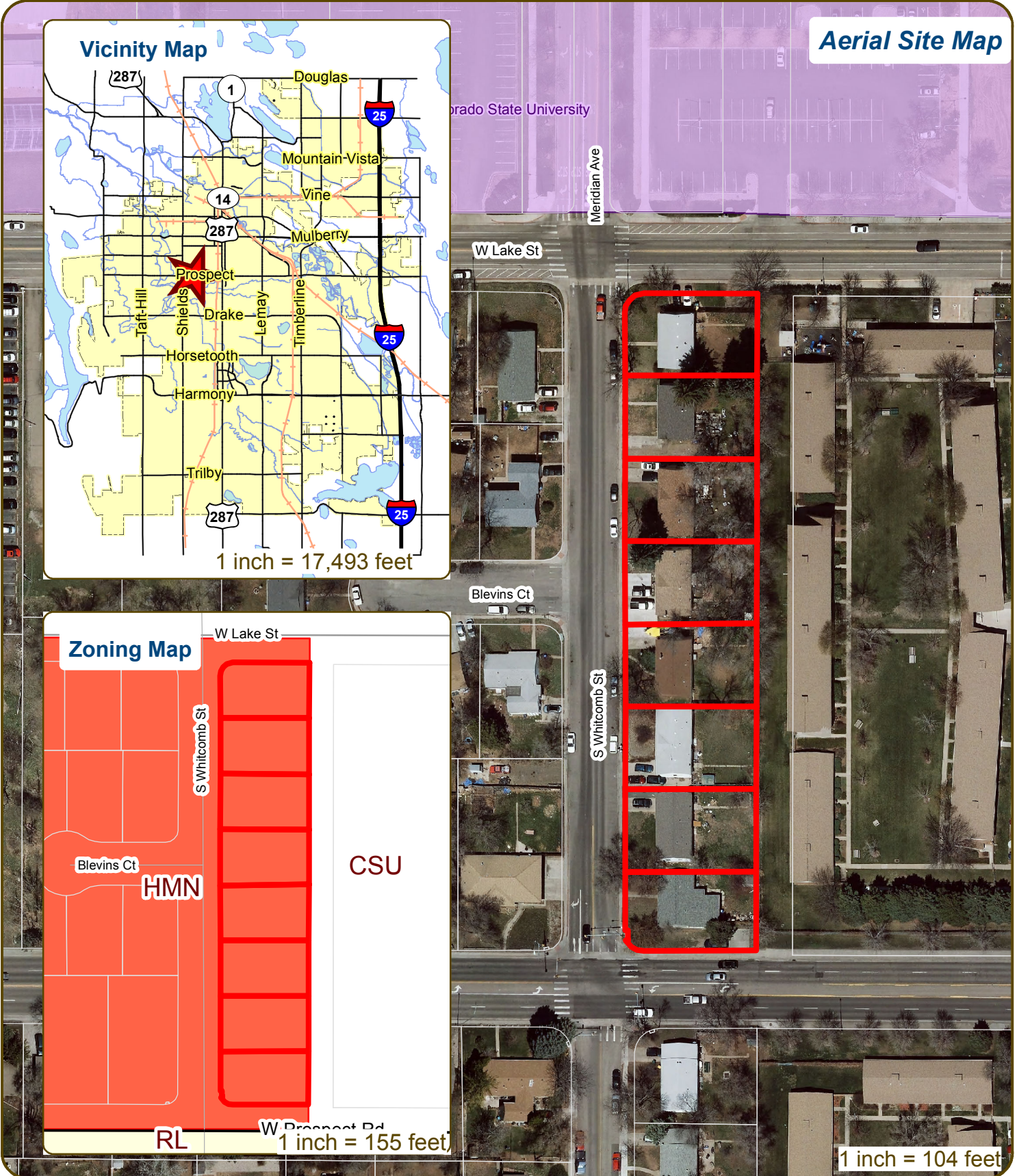
#### Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341

# Whitcomb Streetscape Improvements



**Aerial Site Map**

**Vicinity Map**

1 inch = 17,493 feet

**Zoning Map**

1 inch = 155 feet

1 inch = 104 feet

These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.





CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Nancy Hurt - CSURF, Fred Haberecht - CSU Facilities

Business Name (if applicable) \_\_\_\_\_

Your Mailing Address 6030 Campus Delivery, Colorado State University Fort Collins, CO 80523

Phone Number 970-491-0162 Email Address Fred.Haberecht@Colostate.edu

Site Address or Description (parcel # if no address) \_\_\_\_\_

1500, 1504, 1508, 1512, 1516, 1520, 1524, 1528 S. Whitcomb Street

Description of Proposal (attach additional sheets if necessary) \_\_\_\_\_

Removal of 8 existing homes, expansion of parking lot for CSU Aggie Village North Housing
Improved streetscape on east side of the street with detached sidewalks and landscape enhancements

Proposed Use Surface Parking Existing Use Single Family Housing

Total Building Square Footage \_\_\_\_\_ S.F. Number of Stories \_\_\_\_\_ Lot Dimensions \_\_\_\_\_

Age of any Existing Structures Already reviewed by Historic Preservation, City of Fort Collins

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it? \_\_\_\_\_

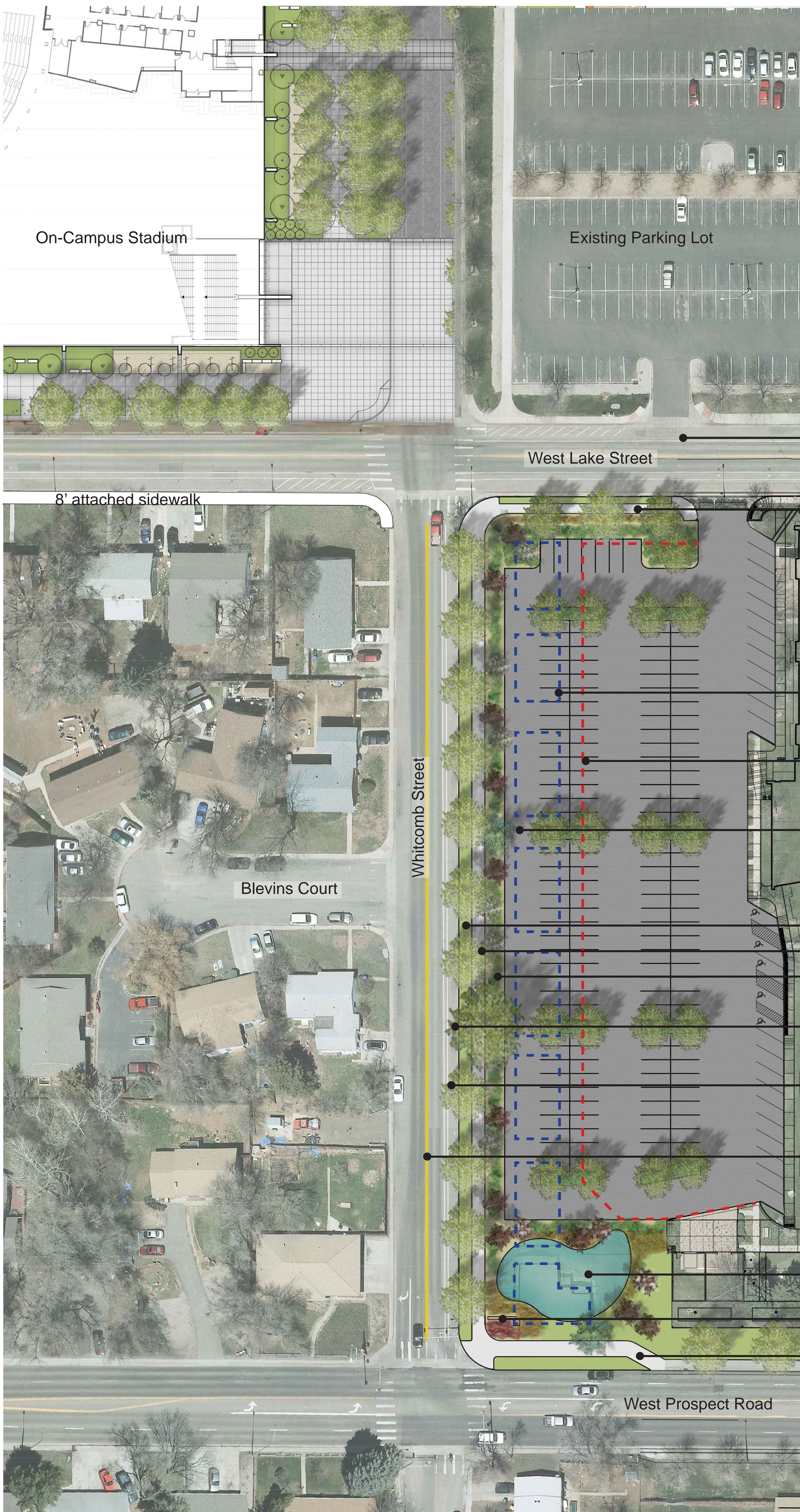
Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area \_\_\_\_\_ S.F.
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?





On-Campus Stadium

Existing Parking Lot

West Lake Street

8' attached sidewalk

Blevins Court

Whitcomb Street

West Prospect Road

On-street parking removed to west side of stadium. New, buffered bike lanes  
New 8' detached sidewalk on south side of Lake Street

Existing home to be removed Typ. all, 8 total

Existing limits of parking lot

Expanded parking lot, +/- 60 additional spaces, w/ head-in orientation

8' Tree Lawn

8' Detached Sidewalk

17' Parking Lot buffer Screen w/ landscape

Bike lane

East curbline on-street parking removed

NOTE: Whitcomb Street width does not change

Detention

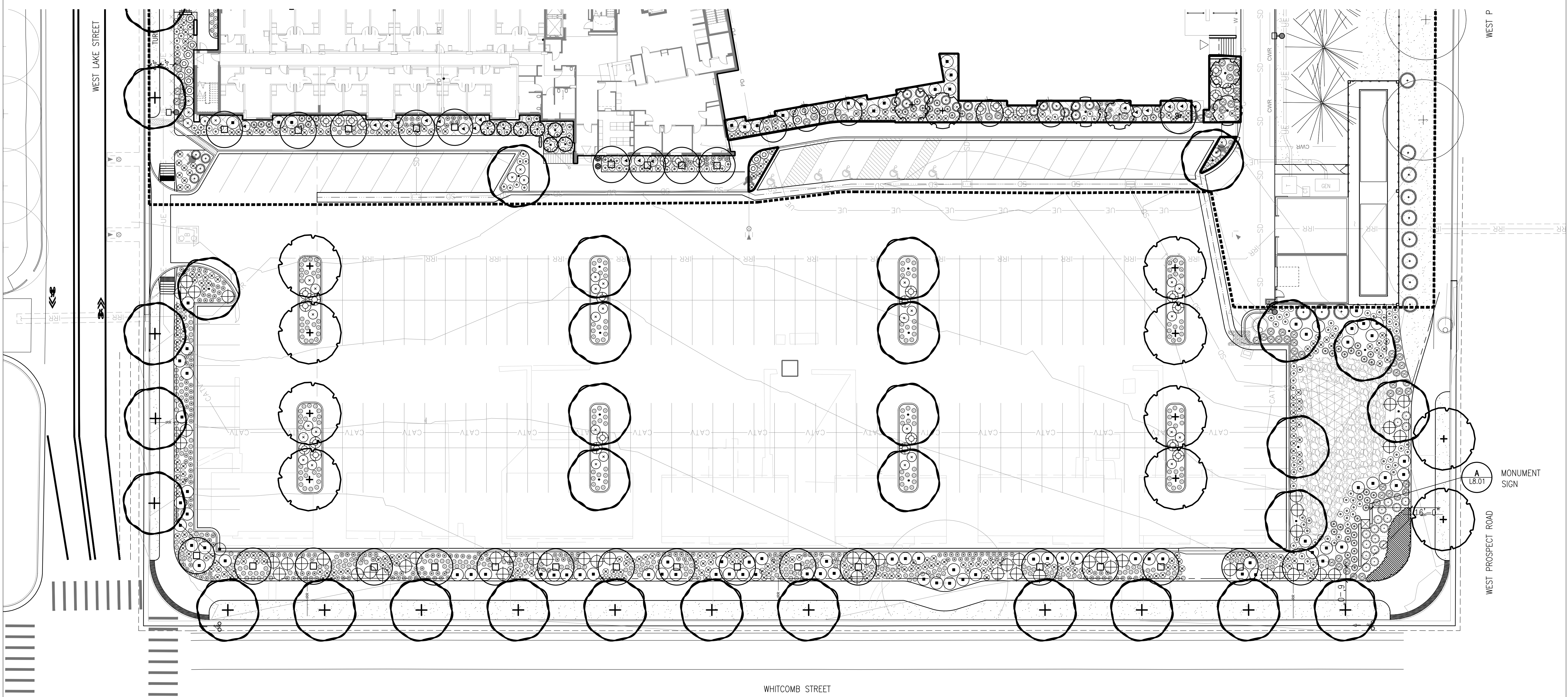
Monument Sign

10' Detached Sidewalk



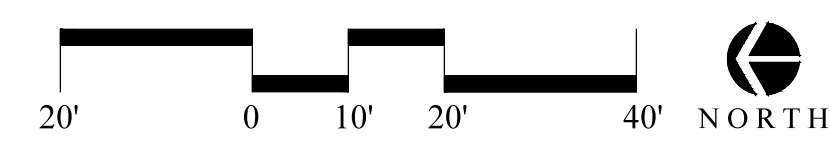


REV.	COMMENT	DATE



LANDSCAPE LEGEND:		LANDSCAPE SCHEDULE		BOTANIC NAME		COMMON NAME		SIZE	QTY.	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	WIDTH	QTY.	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	WIDTH	
	TURF																						
	3-6" GRAY COBBLE																						
	DETENTION AREA PLANTING 25% CANADA WILDRIE 25% INDIAN GRASS 25% PRAIRIE SANDREED 25% SWITCH GRASS FROM: PAWNEE BUTTE SEED CO. 605 25TH STREET GREELEY, CO 80632 (800) 782-5947																						
	ANNUAL SEED MIX																						
		QTY.	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	QTY.	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	WIDTH	QTY.	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	WIDTH			
		DECIDUOUS TREES																					
				ACER SACCHARUM 'CADDO'	CADDO MAPLE	2" CAL.			PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2" CAL.	30-40'	12-15'			CORNUS SERICEA 'ISANTI'	ISANTI DOGWOOD	5 GAL.	4-5'	4-8'			
				GLEDITSIA TRIACANTHOS 'INERMIS'	THORNLESS HONEYLOCUST	4" CAL.			JUNIPERUS SCOPULORUM 'COLOGREEN'	COLORGREEN JUNIPER	6' HT.	16-20'	8-12'			PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES WESTERN SAND CHERRY	5 GAL.	1-2'	5-6'			
				ULMUS 'MORTON SELECT'	MORTON SELECT ELM	4" CAL.			JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	6' HT.	15-20'	3-4'			BOUTELOUA GRACILIS 'BLOND AMBITION'	BLOND AMBITION BLUE GRAMA	1 GAL.	20-24"	20-24"			
		ORNAMENTAL TREES																					
		EVERGREEN TREES																					
		DECIDUOUS SHRUBS																					
		ORNAMENTAL GRASSES																					

**A** OVERALL LANDSCAPE PLAN  
SCALE: 1"=20'-0"



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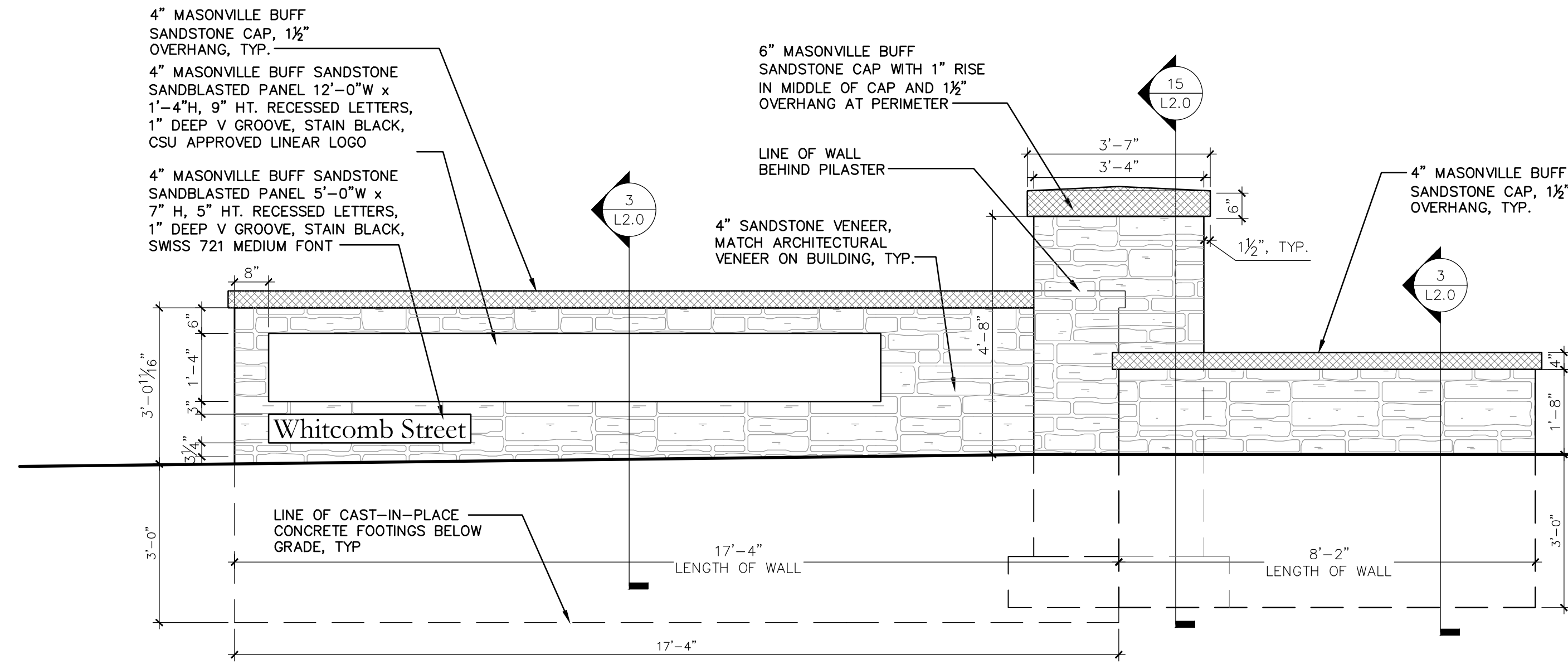
AGGIE VILLAGE PARKING  
LOT EXPANSION

PLANTING PLAN - PARKING LOT

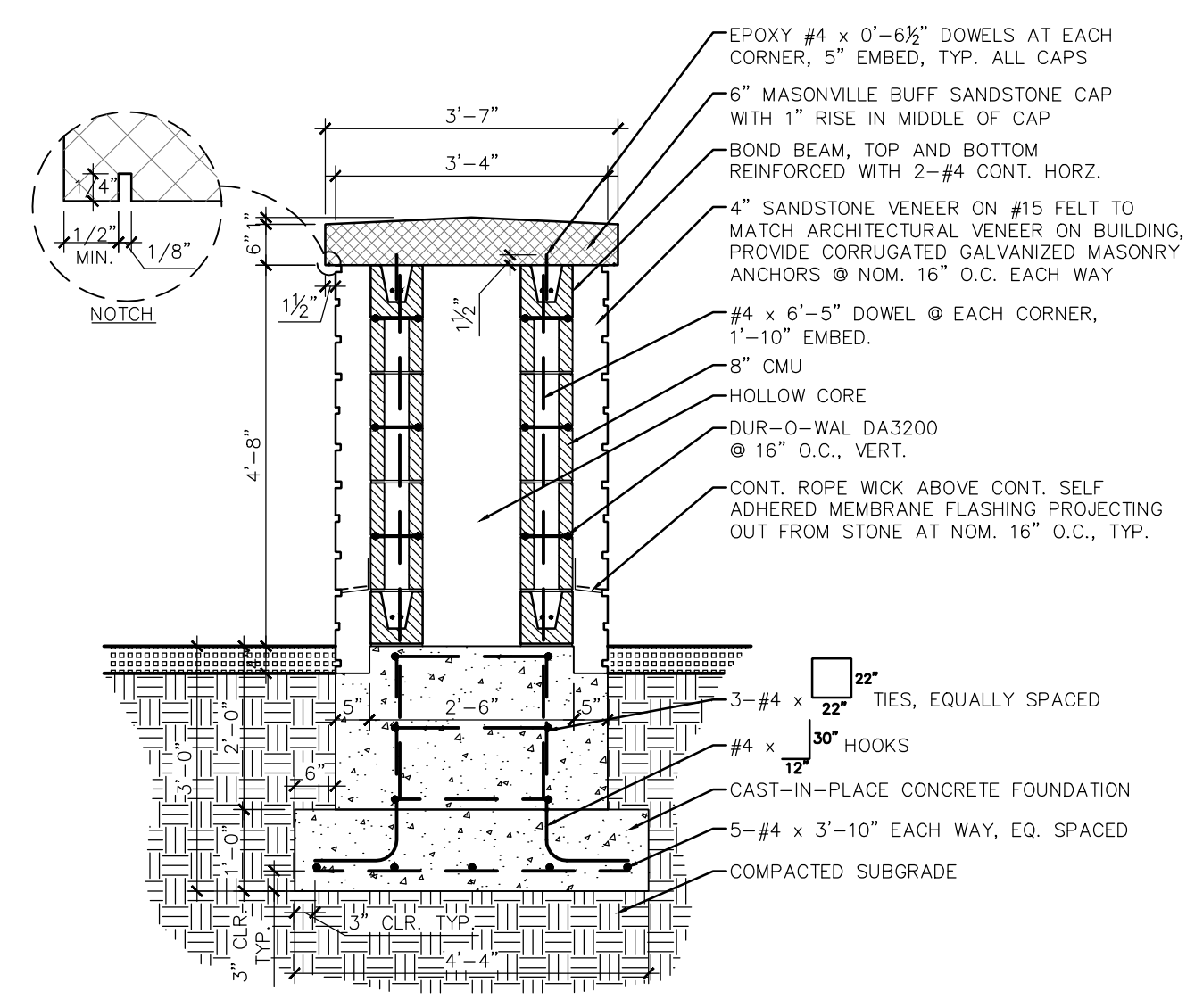
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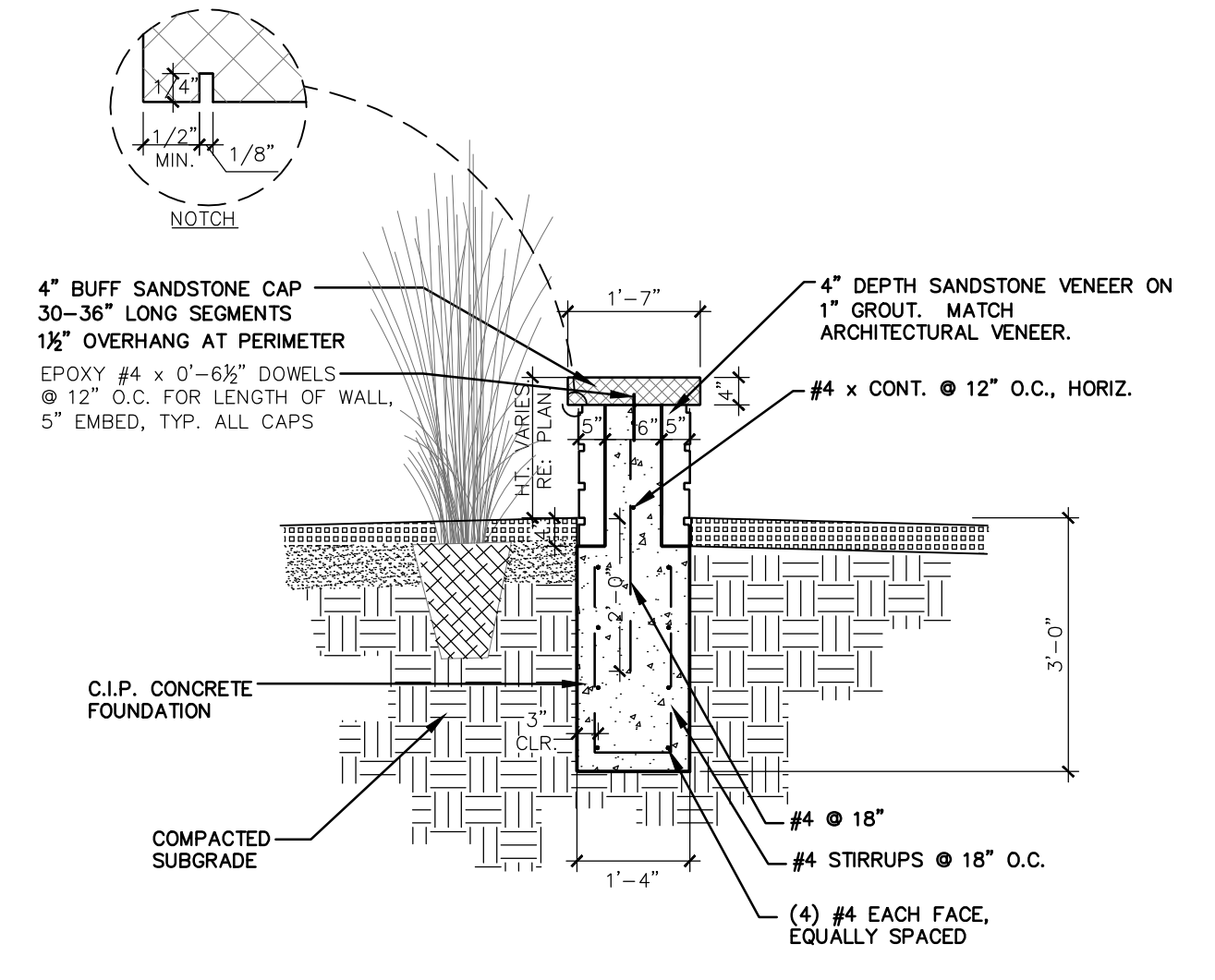
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13 MONUMENT SIGN — ELEVATION LOOKING NORTH  
L2.0 SCALE: 1/2" = 1'-0"



15 MONUMENT SIGN COLUMN  
L2.0 SCALE: 1/2" = 1'-0"



3 SANDSTONE VENEER SEAT WALL  
L2.0 1/2" = 1'-0"

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AGGIE VILLAGE PARKING  
LOT EXPANSION

DETAILS - PARKING LOT

Date: APRIL 2016  
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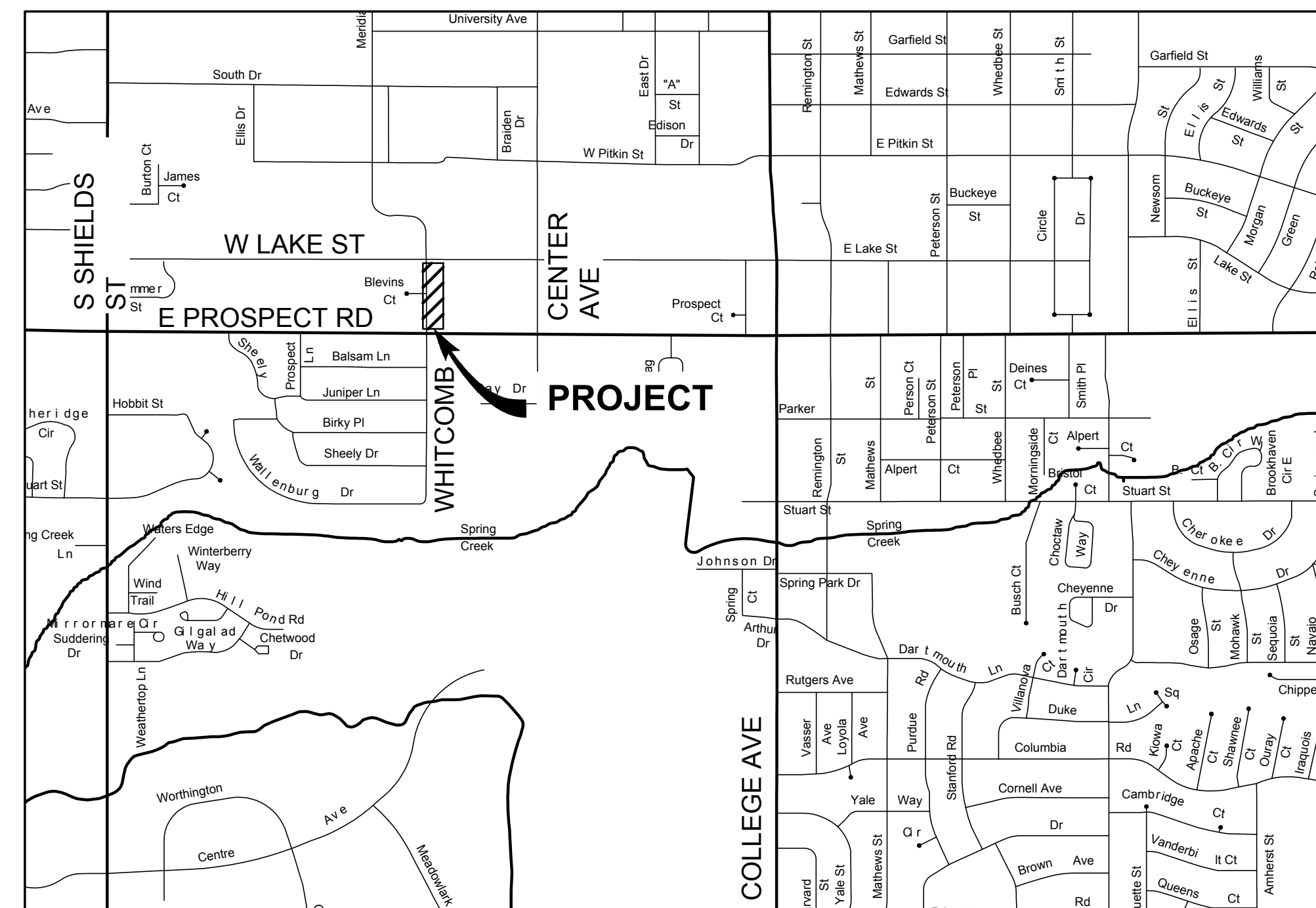
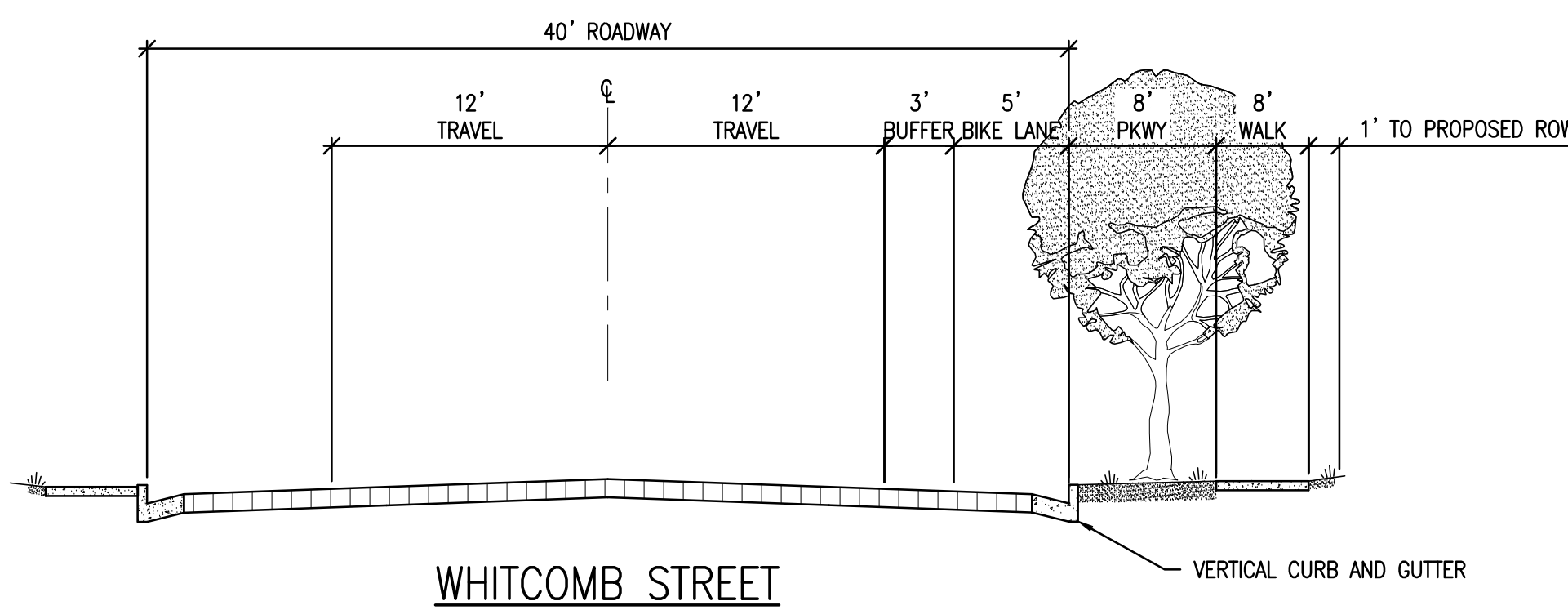


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 Phone: 970.225.9099 Fax: 970.225.6963

# UTILITY PLANS FOR WHITCOMB STREET IMPROVEMENTS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

APRIL, 2016



VICINITY MAP  
 SCALE: 1" = 1000'



I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE CITY OF FORT COLLINS AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DESIGN, REVISIONS AND RECORD CONDITIONS THAT I HAVE NOTED ON THESE PLANS.

NAME: BRIAN J. CAMPBELL  
 P.E. No. 40196

THESE PLANS HAVE BEEN REVIEWED BY THE CITY OF FORT COLLINS FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE CITY ENGINEER, OR THE CITY OF FORT COLLINS FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT THE QUANTITIES OF THE ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED IN ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE CITY OF FORT COLLINS FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

City of Fort Collins, Colorado  
 UTILITY PLAN APPROVAL

APPROVED: \_\_\_\_\_ Date \_\_\_\_\_  
 City Engineer

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Water & Wastewater Utility

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Stormwater Utility

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Traffic Engineer

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Parks and Recreation

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Environmental Planner

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_

NO.	DATE	DRAWN	DESIGNED	REVISION / ISSUE DESCRIPTION

DESIGNED BY: EJK  
 DRAWN BY: EJK  
 CHECKED BY: ETN  
 JOB NUMBER: 2025.3c  
 DATE: 04/01/2016

JVA, INC

WHITCOMB STREET IMPROVEMENTS  
 COVER SHEET

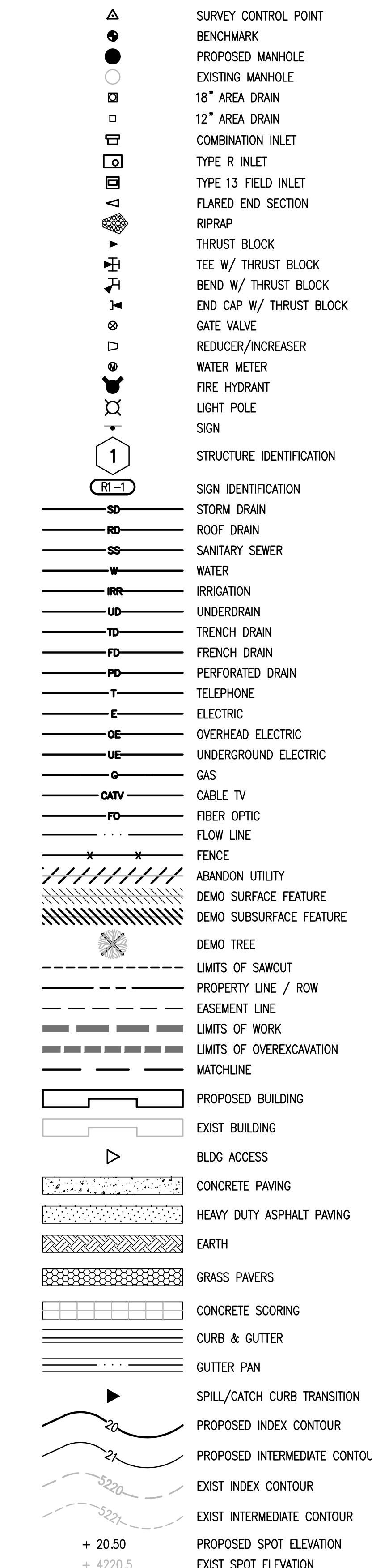
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1/20/16 10:48 AM C:\Users\jcampbell\Documents\2025.3c\2025.3c\_0000.dwg (PLOT) 4/1/2016 4:14 PM

GENERAL NOTES:

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT COLLINS, COLORADO DEPARTMENT OF TRANSPORTATION, Poudre Valley Fire Authority (PFA), AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE PFA REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
2. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
4. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM THE CITY OF FORT COLLINS BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC.), WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER. THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.LUNCC.ORG).
5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
7. RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
8. THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA AND EXISTING CONDITIONS. AT CRITICAL AREAS SUCH AS AROUND UTILITIES AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
9. FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
10. ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
11. OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
12. PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
13. ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
14. THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
15. ADA COMPLIANCE: THE CROSS-SLOPE OF ALL WALKS MUST BE 2.0% MAX. PERPENDICULAR TO DIRECTION OF TRAVEL. MAXIMUM GRADE OF HANDICAPPED ACCESSIBLE WALKS MUST BE 5.0% MAX. IN DIRECTION OF TRAVEL. MAXIMUM GRADE OF ALL HANDICAP RAMPS IS 8.3% OVER A MAXIMUM 6" RISE. MAXIMUM GRADE AT HANDICAP PARKING IS TYPICALLY 2.0% IN ALL DIRECTIONS. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO PLACEMENT OF FLATWORK OF SITE CONDITIONS OR DISCREPANCIES WHICH PREVENT TYPICAL REQUIRED GRADES FROM BEING ACHIEVED. ALL RAMPS, STAIRS AND RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. HANDICAP RAMPS SHALL CONFORM TO LCUIASS STANDARDS.
16. BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY KING SURVEYORS. SEE TOPOGRAPHIC SURVEY DATED 03/07/2014. PROJECT BENCHMARK ELEVATION: 5010.65 AT CITY OF FORT COLLINS BENCHMARK "28-92". DATUM PER SURVEY. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
17. HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:
CP-05-60 N1450396.51 E3115566.69
CP-NAIL-58 N1450232.13 E3115824.18
CP-NAIL-64 N1450309.99 E3115734.59
BASIS OF BEARINGS: BEARINGS ARE BASED ON THE WEST LINE OF SECTION 14, TOWNSHIP 7 NORTH, RANGE 69 WEST, BEARING N00°00'22"E (ASSUMED BEARING).
18. PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES.
19. THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS"), FOR THE CONSTRUCTED IMPROVEMENTS. THE PLANS SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE PLANS SHALL SHOW FINAL PAVEMENT, FLOW LINE ELEVATIONS, CONTOURS AT POND/DRAINAGE FEATURES (AS SURVEYED AND CERTIFIED BY A COLORADO P.L.S.), MANHOLE, PIPE, AND INLET LOCATIONS, INVERTS, GRATE ELEVATIONS, SIZES OF ALL UTILITIES, AND ANY VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.
20. LOCATIONS OF CLEANOUTS, LIGHTS, SIGNAGE, JUNCTION BOXES, AND OTHER SIGNIFICANT SITE FEATURES TO BE STAKED FOR ENGINEER AND OR OWNER APPROVAL PRIOR TO WORK. CLEANOUTS, JUNCTION BOXES, AND ADJACENT GRADES TO BE RAISED ONE-HALF INCH AT ASPHALT/CONCRETE (OR 1" AT LANDSCAPING) TO PROVIDE POSITIVE DRAINAGE AWAY FROM FEATURES.

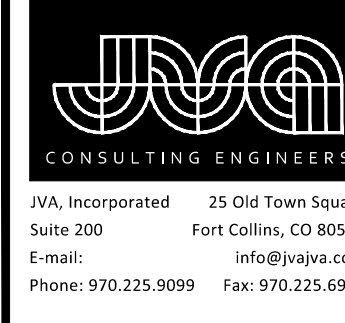
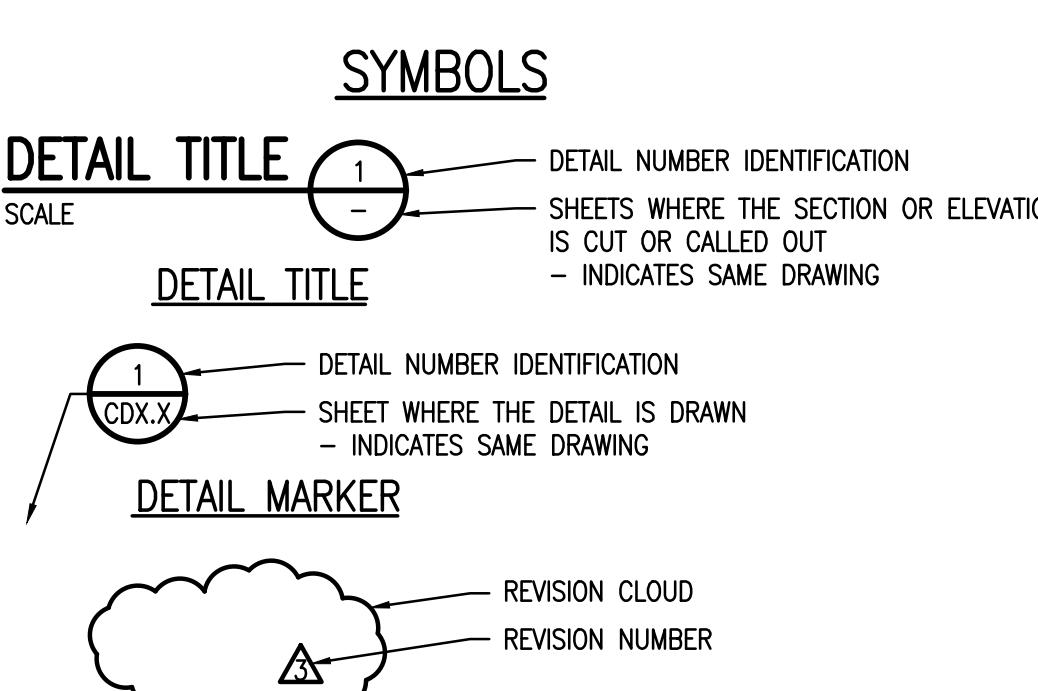
LEGEND



ABBREVIATIONS

Table with columns for Abbreviation and Meaning. Includes terms like AASHTO, ABAN, AC, ADDL, ADDM, ADJ, AL, ALT, AMT, APPROX, ARCH, ARV, ASTM, ASPH, ASSY, ASYM, AUTO, AVG, AWWA, BC, BFV, BLDG, BLK, BM, BMP, BS, BOT, BSMT, BVCE, BVCS, BW, CB, CCW, CDOT, CIP, CJ, CL, CLR, CMP, CMU, CO, CONC, CONST, CONT, COR, CR, CTR, CY, DEMO, DIA, DIAG, DIP, DOW, DN, DR, DWG, DWL, EA, ECH, ECC, EJ, EL, ELB, ELEC, ENGR, EOP, EQ, EQUIP, EQUIV, ESMT, EST, EVCE, EVCS, EW, EXP JT, EXPST, FND, FES, FF, FG, FH, FL, FN, FOC, FPM, FPS, FT, FTG, G, GA, GAL, GALV, GCO, GIP, GND, GPD, GPM, GRTG, GSP, GV, H, HB, HE, HDWL, HNDRL, HORIZ, HP, HR, HVAC, HWY, HWL, HYD, INCL, ID, IN, INSL, INV, IRR, JTS, KB, KO, KPL, KKY, L, LSCAPE, LF, LP, LT, LWL, MAINT, MAN, MATL, MAX, MECH, MFR, MH, MIN, MISC, MJ, N, NA, NIC, NPT, NTS, OC, OD, OPP, OPT, PC, PCO, PCR, PI, PVI, PL, PE, PREFAB, PRELIM, PREP, PROP, PRV, PSF, PSI, PT, PV, PVC, PVMT, QTY, R, RAD, RCP, RD, RE, RECT, REINF, REQD, ROW, SAN, SD, SECT, SPD, SPEC, SQ, SQ IN, SQ FT, SQ YD, SS, SST, STA, STD, STL, STRUCT, SWMP, SYM, TB, TBC, TBM, TEMP, THK, TOB, TOC, TOT, TW, TYP, UBC, UGE, UTIL, VERT, VC, VCP, W, W/, W/O, WQCE, WSE, WW, X SECT, YH.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL. APPROVED: City Engineer Date. CHECKED BY: Water & Wastewater Utility Date. CHECKED BY: Stormwater Utility Date. CHECKED BY: Traffic Engineer Date. CHECKED BY: Parks and Recreation Date. CHECKED BY: Environmental Planner Date.



REVISION / ISSUE DESCRIPTION table with columns for NO., DATE, DRAWN, DESIGNED.

DESIGNED BY: EJK. DRAWN BY: EJK. CHECKED BY: ETN. JOB NUMBER: 2025.3c. DATE: 04/01/2016. JVA, INC.

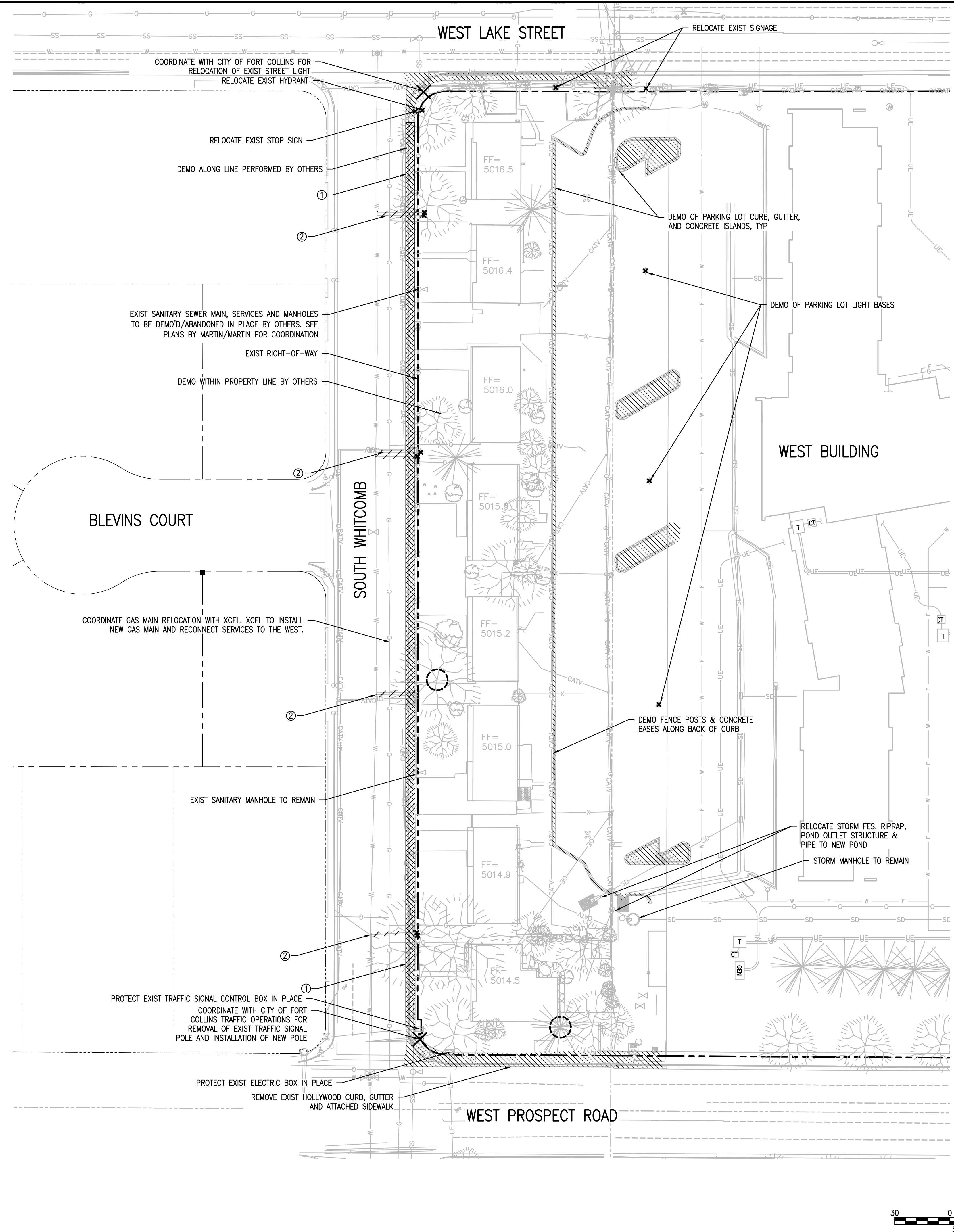
WHITCOMB STREET IMPROVEMENTS. NOTES, LEGEND, & ABBREVIATIONS. SHEET NUMBER C0.1

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**STREET CUT NOTES:**

1. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THE PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
2. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
3. LAKE STREET: IN AREAS WHERE CURB AND GUTTER IS TO BE REMOVED AND REPLACED, MULTIPLE FLOWLINE ELEVATIONS SHALL BE DOCUMENTED PRIOR TO EXCAVATION AND REMOVAL SO THAT CURB AND GUTTER CAN BE RECONSTRUCTED BACK MATCHING EXISTING ELEVATIONS.

**DEMOLITION KEY NOTES:**

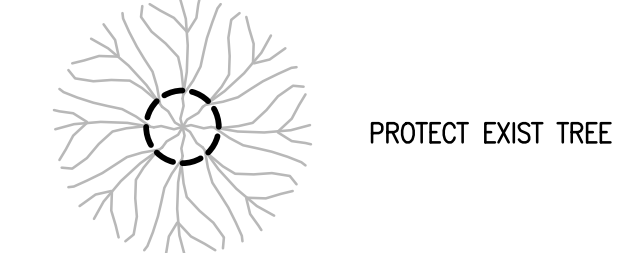
- ① DEMO EXISTING CONCRETE, ASPHALT, CURB AND GUTTER. SAW CUT ALL PAVEMENT ADJACENT TO AREAS TO BE PROTECTED. REMOVAL LIMITS SHOWN ARE APPROXIMATE AND WILL REQUIRE FIELD VERIFICATION AND COORDINATION WITH CSU AND CoFC. LINE ALONG WHITCOMB DEMO'D BY OTHERS.
- ② REMOVE AND PLUG EXISTING WATER SERVICES BACK TO THE MAIN. REMOVE ALL METERS, CURB STOPS, AND VALVES ON EXISTING WATER SERVICE BY OTHERS.

**DEMOLITION NOTES:**

1. CONTRACTOR TO PROVIDE EROSION CONTROL ALONG OUTSIDE PERIMETER OF ALL DISTURBED AREAS.
2. TEMPORARY CONSTRUCTION FENCE, IF NECESSARY, TO REMAIN IN PLACE UNTIL FINAL CONSTRUCTION IS COMPLETE & APPROVED BY CSU.
3. REFERENCE IRRIGATION PLAN FOR IRRIGATION LINE REMOVAL & ABANDONMENT; COORDINATE WITH CSU'S ASBESTOS ABATEMENT CONTRACTOR FOR ALL ASBESTOS CONTAINING PIPE REMOVAL.
4. SEE GENERAL NOTES FOR TREE PROTECTION. REFER TO LANDSCAPE PLANS FOR FINAL TREE REMOVAL PLAN.
5. COORDINATE DEMOLITION REQUIREMENTS, LIMITS OF DEMOLITION, SALVAGE ITEMS, PROTECTION OF ITEMS TO REMAIN, TREES, FENCING, ETC. WITH OWNER, ARCHITECT, ENGINEER, AND RELEVANT CONSTRUCTION AND PHASING PLANS. ADDITIONAL DEMOLITION OF PAVING, TREES, UTILITIES, STRUCTURES, ETC. TO BE PERFORMED AS REQUIRED.
6. REPLACE EXIST SIDEWALKS AND PAVEMENTS AT UTILITY TRENCHES AS REQUIRED.
7. ALL SAWCUTTING AND PAVEMENT REMOVAL SHOULD BE TO THE NEAREST JOINT.
8. COORDINATE SITE LIGHTING AND ELECTRIC SERVICE ROUTING, DEMOLISHING, RELOCATIONS, AND MODIFICATIONS WITH THE ELECTRICAL ENGINEER, ARCHITECT, AND OWNER.
9. COORDINATE DRY UTILITY DEMOLITION AND RELOCATION WITH OWNER, UTILITY COMPANIES, MECHANICAL ENGINEER, AND ARCHITECT PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER OF DEMOLITION ALIGNMENT REQUIREMENTS.
10. CONTRACTOR TO ADJUST LIMITS OF DEMOLITION AND CONTROL POINTS AS REQUIRED.
11. CONTRACTOR TO COMPLY WITH ALL REGULATORY REQUIREMENTS FOR HAZARDOUS MATERIAL REMOVAL AND DISPOSAL.
12. DEMO OF HOMES, TREES, CONCRETE, FEATURES, ETC WITHIN PROPERTY LINE BY OTHERS. (PCL)

**DEMOLITION LEGEND**

- DEMO SITE FEATURES
- DEMO UTILITIES BY OTHERS
- DEMO BY OTHERS



**City of Fort Collins, Colorado  
UTILITY PLAN APPROVAL**

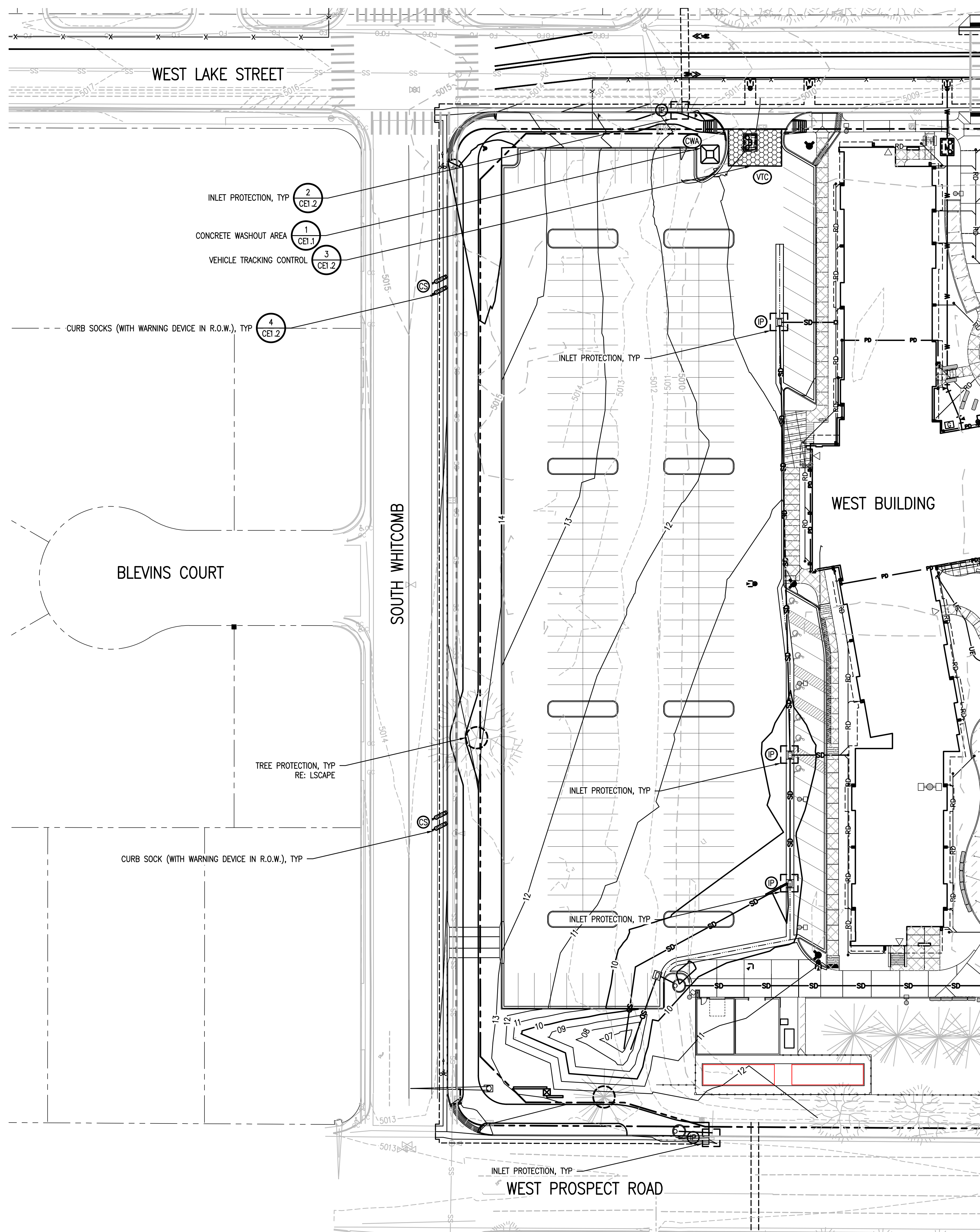
APPROVED:	_____	City Engineer	_____	Date
CHECKED BY:	_____	Water & Wastewater Utility	_____	Date
CHECKED BY:	_____	Stormwater Utility	_____	Date
CHECKED BY:	_____	Traffic Engineer	_____	Date
CHECKED BY:	_____	Parks and Recreation	_____	Date
CHECKED BY:	_____	Environmental Planner	_____	Date
CHECKED BY:	_____		_____	Date

NO.	DATE	DRAWN	DESIGNED	REVISION / ISSUE DESCRIPTION

DESIGNED BY:	EJK
DRAWN BY:	EJK
CHECKED BY:	ETN
JOB NUMBER:	2025.3c
DATE:	04/01/2016
JVA, INC	

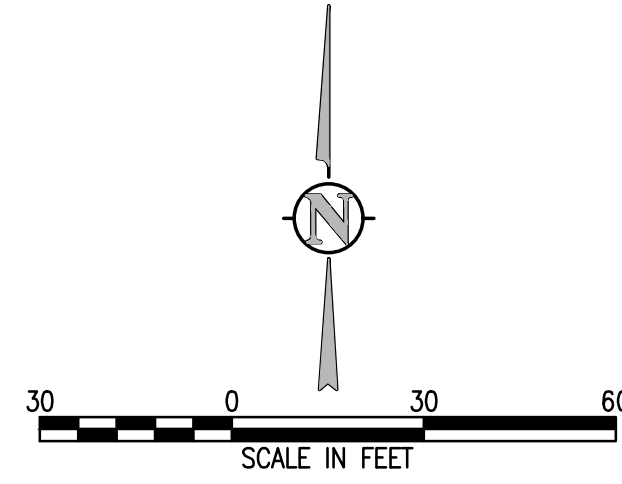
WHITCOMB STREET IMPROVEMENTS  
 DEMOLITION PLAN





**EROSION CONTROL LEGEND**

- CURB SOCK
- INLET PROTECTION
- VEHICLE TRACKING CONTROL
- CONCRETE WASHOUT AREA
- TREE PROTECTION (RE: LScape)



City of Fort Collins, Colorado  
 UTILITY PLAN APPROVAL

APPROVED:	_____	Date _____
CHECKED BY:	City Engineer	
CHECKED BY:	Water & Wastewater Utility	Date _____
CHECKED BY:	Stormwater Utility	Date _____
CHECKED BY:	Traffic Engineer	Date _____
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JVA, INC.			
WHITCOMB STREET IMPROVEMENTS		EROSION CONTROL PLAN	
SHEET NUMBER			
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STORMWATER MANAGEMENT PLAN (SWMP)

THIS STORMWATER MANAGEMENT PLAN IS TO BE RETAINED AND MAINTAINED ONSITE INCLUDING FINAL LANDSCAPING PLANS AND ANY OTHER EROSION CONTROL DOCUMENTATION...

NAME: \_\_\_\_\_
CONTACT INFO: \_\_\_\_\_

THE SITE IS LOCATED AT <STREET ADDRESS, CROSS STREETS, OTHER>, AND AT APPROXIMATELY \_\_\_\_\_" LATITUDE, \_\_\_\_\_" LONGITUDE. THE PROPOSED PROJECT CONSISTS OF <PARKING, UTILITY SERVICE CONNECTIONS, OVERLOT GRADING, BUILDING CONSTRUCTION, PAVING OF SIDEWALKS, PLAY AREAS, PARKING LOTS, ENTRANCE DRIVES, UTILITY INFRASTRUCTURE, OTHER> CONSTRUCTION IN THE <CITY, TOWN, COUNTY, OTHER>...

Table with columns: PHASE, ESTIMATED, ACTUAL. Rows include CONSTRUCTION START, ROAD AND OVERLOT GRADING, UTILITY CONSTRUCTION, BUILDING CONSTRUCTION, PAVING, SITE RESTORATION.

THE EXISTING SITE CONSISTS OF <DEVELOPED LAND, NATIVE GRASSLAND, VEGETATION, OPEN RANGE, OTHER> AND IS APPROXIMATELY \_\_\_\_% COVERED WITH VEGETATIVE GROUND COVER. THE ESTIMATED HISTORIC AND DEVELOPED RUNOFF COEFFICIENTS ARE \_\_\_\_\_ AND \_\_\_\_\_ (COPY FROM DRAINAGE REPORT) RESPECTIVELY.

OFFSITE RUNOFF FLOWS ONTO THE PROPERTY (FROM WHERE?, IF APPLICABLE \_\_\_\_\_) ONSITE FLOWS ARE \_\_\_\_\_. ONSITE DETENTION IS \_\_\_\_\_. STORMWATER IS DISCHARGED FROM THIS SITE TO \_\_\_\_\_ (CREEK/RIVER, REGIONAL DETENTION POND, \_\_\_\_\_) PUBLIC STORM SYSTEM THAT ULTIMATELY OUTFALLS TO \_\_\_\_\_.

OTHER POTENTIAL POLLUTION SOURCES SUCH AS (VEHICLE FUELING, STORAGE OF FERTILIZER OR CHEMICALS, VEHICLE WASHING, WASTE INCINERATION, HAUL-ROADS, LOADING/ UNLOADING AREAS OTHER? \_\_\_\_\_) ARE LOCATED \_\_\_\_\_. (OR DO NOT EXIST AT THIS SITE) NON-STORMWATER COMPONENTS OF THE DISCHARGE, SUCH AS SPRINGS, LANDSCAPE IRRIGATION RETURN FLOW, OTHER? \_\_\_\_\_ ARE LOCATED \_\_\_\_\_.

(ADD ANY SPECIFIC TEXT DESCRIBING THE SOIL, SOIL EROSION POTENTIAL, OR QUALITY OF ANY DISCHARGE FROM THE SITE.)

BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT

NON STRUCTURAL BMPs WILL BE IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE. THE UTILIZATION OF NON STRUCTURAL BMPs WILL BE AN ONGOING PROCESS DIRECTED AT PREVENTING EROSION. THE NON STRUCTURAL BMPs WILL RECEIVE CONTINUOUS EMPHASIS THROUGHOUT CONSTRUCTION BECAUSE THEY AVERT PROBLEMS BEFORE THEY OCCUR AND REDUCE THE NEED FOR STRUCTURAL BMPs...

PLANNED STRUCTURAL BMPs FOR EROSION AND SEDIMENT CONTROL ARE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN. IMPLEMENTING THESE MEASURES SHOULD MINIMIZE NUISANCE SILT AND SEDIMENTATION EXITING THE SITE AND PREVENT CLOGGING EXISTING STORM SEWERS AND STREET GUTTERS.

APPLICATION OF THESE BMPs FOR STORMWATER MANAGEMENT ARE FOR CONSTRUCTION PERIODS AND ARE CONSIDERED TEMPORARY. POST-DEVELOPMENT STORMWATER MANAGEMENT IS PROVIDED THROUGH (VEGETATED LANDSCAPED AREAS, GRASSED SWALES, RIPRAP PROTECTION, STORM COLLECTION SYSTEM, AND THE UTILIZATION OF THE PERMANENT DETENTION AND WATER QUALITY POND, OTHER? \_\_\_\_\_)

VEHICLE TRACKING CONTROL (VTC):

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED AT (STREET NAME \_\_\_\_\_). THE CONSTRUCTION ACCESS AND PARKING WILL BE GRADED AND COVERED WITH A CRUSHED STONE BASE COURSE DURING CONSTRUCTION. THE VEHICLE TRACKING CONTROL WILL BE RELOCATED WITH THE CONSTRUCTION ACCESS AS NECESSARY.

SILT FENCING (SF):

SILT FENCING SHALL BE INSTALLED WITH RESPECT TO PROPOSED DRAINAGE PATTERNS. SILT FENCE SHALL BE CONSTRUCTED ALONG THE PORTIONS OF THE (EAST, WEST, SOUTH, NORTH, OTHER? \_\_\_\_\_) SIDE OF THE PROPERTY AND ALONG ANY DRAINAGE AREAS SUBJECT TO EROSION. THE FENCE SHALL BE INSTALLED AT THE DOWNHILL SIDE OF THE EXISTING SLOPES ACROSS THE SITE AND AT ALL POINT DISCHARGE AREAS WHETHER SHOWN OR NOT...

INLET PROTECTION (IP):

THE INLET PROTECTION WILL BE INSTALLED AS THE STORM SEWER STRUCTURES ARE CONSTRUCTED. EACH INLET ON THE PROPOSED STORM SEWER SYSTEM WILL HAVE A TEMPORARY INLET SEDIMENT TRAP CONSTRUCTED AROUND IT. IN PAVED AREAS, THIS TRAP CONSISTS OF (WIRE MESH SOCKS, CONCRETE BLOCKS, AND/OR SCREENS, OTHER? \_\_\_\_\_) TO FILTER THE STORM RUNOFF AND ALLOW ANY SILT TO SETTLE OUT.

STRAW BALE DROP STRUCTURES DAMS (SB):

STRAW BALE BARRIERS WILL BE INSTALLED TO PROTECT THE PROPOSED SWALE(S) PRIOR TO LANDSCAPING THE SITE. THESE BARRIERS WILL REDUCE THE FLOW VELOCITY IN THE SWALE(S) AND ALLOW THE DISTURBED SOIL TO SETTLE OUT.

ROCK CHECK DAMS (RCD):

ROCK CHECK DAMS WILL BE INSTALLED AS SHOWN AND MAINTAINED AT LOCATIONS AROUND THE SITE WHERE FUTURE GRASS LINES SWALES WILL CARRY THE STORM RUNOFF. PRIOR TO LANDSCAPING OF THE SITE, THESE BARRIERS WILL REDUCE THE FLOW VELOCITIES IN THESE SWALES AND ALLOW THE DISTURBED SOIL TO SETTLE OUT.

OUTLET PROTECTION (OP):

THE STORM SEWER OUTLETS WILL BE PROTECTED WITH RIPRAP. PLACING RIPRAP AT PIPE OUTFALLS REDUCES EXIT VELOCITIES AND REDUCES SCOUR. THIS RIPRAP WILL BE LEFT IN PLACE AS PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN.

DIVERSIONS DIKES (DD):

SEVERAL DIVERSION DIKES ARE TO BE INSTALLED TO DIRECT STORMWATER TO PROPOSED SWALES OR PROPOSED GUTTER PLANS. THESE TEMPORARY DIVERSIONS WILL BE NECESSARY UNTIL ALL INLETS BECOME FUNCTIONAL, SURROUNDED WITH PAVEMENT.

OVERLOT GRADING:

ALL OPEN AREAS WILL BE TREATED WITHIN 14 DAYS OF COMPLETION OF THE OVERLOT GRADING. ALL OVERLOT GRADING IN THE NON-IRRIGATED AREAS WILL HAVE THE SURFACE ROUGHENED AND WILL BE PERMANENTLY LANDSCAPED OR TEMPORARILY SEEDED UNTIL THE PLANNED INSTALLATIONS ARE COMPLETED. AT THE COMPLETION OF THE MASS GRADING, ALL EXPOSED SOIL AREAS WILL HAVE THE SURFACE ROUGHENED AND PLANTED WITH A REVEGETATION SEED MIX.

DUST CONTROL MEASURES:

DISTURBED AREAS NOT YET READY TO BE SEEDED, LANDSCAPED, PAVED, OR OTHERWISE STABILIZED SHALL BE WATERED, OR RIPPED AS NECESSARY TO PRECLUDE VISIBLE DUST EMISSIONS.

ITEMS ARE SCHEDULED TO BE IMPLEMENTED ACCORDING TO THE CONSTRUCTION SCHEDULE. AS WORK PROCEEDS, IMPLEMENTATION OF INDIVIDUAL BMPs IS TO CONDUCE WITH THE CONSTRUCTION THEREBY MINIMIZING THE EXPOSURE OF UNPROTECTED AREAS. THE SILT FENCE, INLET PROTECTION (FOR EXISTING INLETS), AND GRAVELING OF THE CONSTRUCTION ENTRANCE WILL BE PERFORMED WHEN THE GRADING BEGINS.

THE EROSION AND SEDIMENT CONTROL PLAN MAY BE MODIFIED BY THE (DEPARTMENT OF HIGHWAYS AND TRANSPORTATION, OWNER'S ENGINEER, COUNTY ENGINEERING INSPECTORS, MUNICIPALITY, OTHER? OF \_\_\_\_\_) OR ITS AUTHORIZED REPRESENTATIVE AS FIELD CONDITIONS WARRANT.

STORMWATER DETENTION AND WATER QUALITY:

STORMWATER DETENTION IS PROVIDED (ONSITE IN DETENTION AREA, OTHER? \_\_\_\_\_). WATER QUALITY TREATMENT IS PROVIDED (ONSITE IN WATER QUALITY AREA, OTHER? \_\_\_\_\_). THE PROPOSED DETENTION AREA WILL BE UTILIZED AS (A SEDIMENT BASIN, OTHER? \_\_\_\_\_).

TEMPORARY SEEDING AND MULCHING:

ALL SEEDS FURNISHED SHALL BE FREE FROM NOXIOUS SEEDS (SUCH AS RUSSIAN OR CANADIAN THISTLE, COURSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAWEED, AND LEAFY SPURGE, OTHER? \_\_\_\_\_). THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS).

Table with columns: SPECIES, COMMON NAME, VARIETY, LBS/ACRE. Rows include AGROPYRON SMITHI, ARRHENATHERUM ELATES, LOLIUM PERENNE.

ALL SEEDS SHALL BE DRILLED NOT HYDROSEDED. ALL DISTURBED AREAS SHALL BE SEEDED AND CRIMP MULCHED IF PERMANENT VEGETATION IS NOT IMMEDIATELY INSTALLED. AFTER SEEDING HAS BEEN COMPLETED, A RATE OF 4,000 LBS. OF STRAW PER ACRE SHALL BE APPLIED UNIFORMLY, CRIMPED IN WITH A CRIMPER OR OTHER APPROVED EQUIPMENT OR OTHERWISE ATTACHED.

PERMANENT STABILIZATION MEASURES:

RIPRAP FOR STORM DRAIN OUTFALLS AND ROCK CHECK DAMS WILL BECOME PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN AND WILL NOT BE REMOVED. PERMANENT LANDSCAPING WILL INCLUDE (SODDING, SEEDING, TREES, SHRUBS, OR OTHER VEGETATIVE COVER, OTHER? \_\_\_\_\_) TO OPEN AREAS.

MATERIALS AND SPILL PREVENTION:

THE CONTRACTOR WILL STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN CONFINED AREAS ON SITE FROM WHICH RUNOFF WILL BE CONTAINED AND FILTERED. MATERIALS WILL BE STORED OFF THE GROUND AND PROTECTED FROM THE WEATHER BY A COVER OR STORED IN A CONTAINER SUCH AS A VAN OR TRAILER.

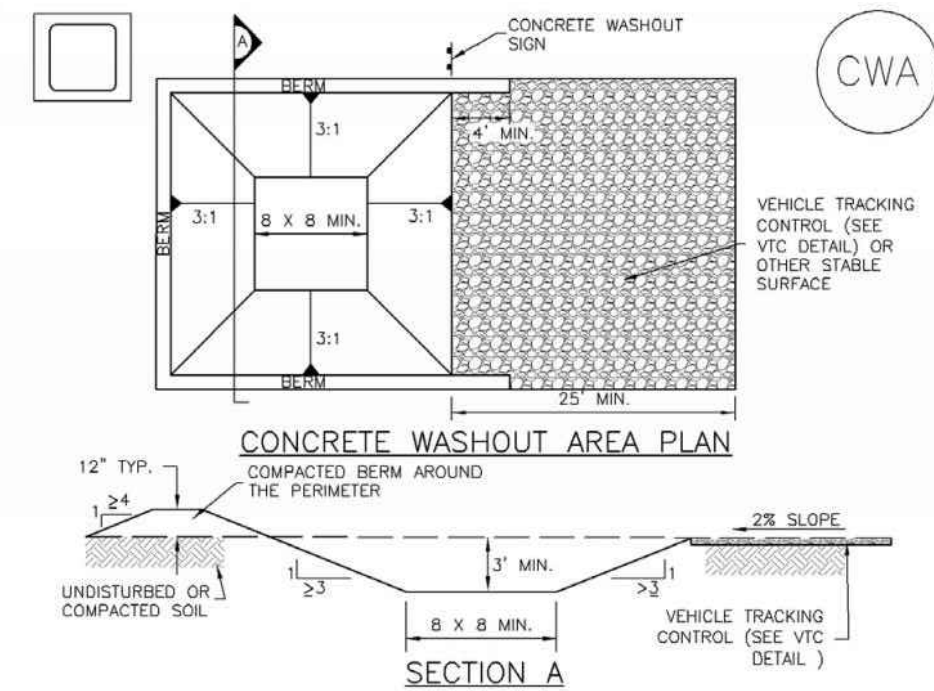
INSPECTION AND MAINTENANCE:

THE EROSION CONTROL MEASURES WILL BE INSPECTED DAILY DURING CONSTRUCTION BY THE CONTRACTOR AND AFTER EACH RAIN EVENT. ALL INSPECTIONS SHALL BE DOCUMENTED AND SHALL INCLUDE THE DATE OF INSPECTION, ANY INCIDENCE OF NON-COMPLIANCE, SIGNED CERTIFICATION THAT THE SITE IS IN COMPLIANCE, AND ANY NOTES, DRAWINGS, MAPS, ETC. PERTAINING TO REPAIRS.

FINAL STABILIZATION AND LONG-TERM STORMWATER QUALITY:

FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OR PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED.

Concrete Washout Area (CWA) MM-1



CWA-1. CONCRETE WASHOUT AREA

- CWA INSTALLATION NOTES: 1. SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION. 2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY...

MM-1 Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...

CONCRETE WASHOUT FACILITY DETAIL

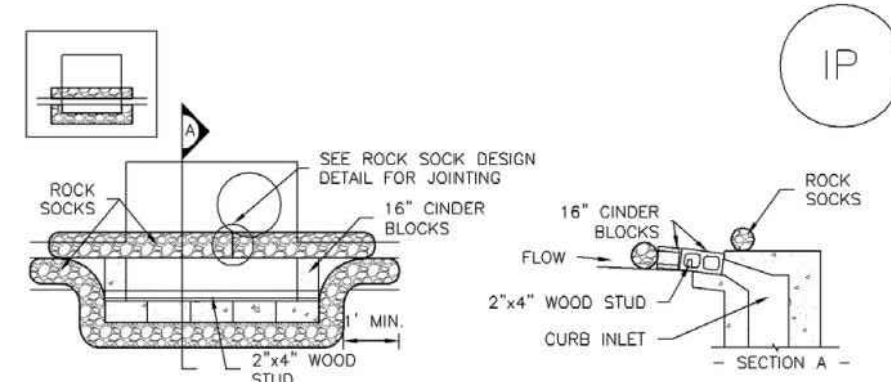


City of Fort Collins, Colorado UTILITY PLAN APPROVAL table with columns for APPROVED, CHECKED BY, and Date for various roles like City Engineer, Water & Wastewater Utility, Stormwater Utility, Traffic Engineer, Parks and Recreation, Environmental Planner.

Vertical sidebar containing JVA CONSULTING ENGINEERS logo, address, revision table (NO., DATE, DRAWN, DESIGNED), and project name WHITCOMB STREET IMPROVEMENTS SWMP & EROSION CONTROL DETAILS SHEET NUMBER CE1.1.



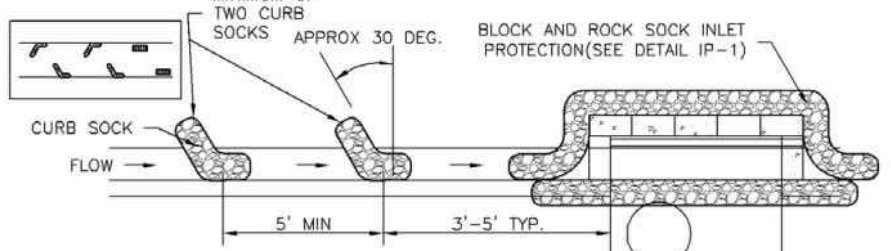
SC-6 Inlet Protection (IP)



IP-1. BLOCK AND ROCK SOCK SUMP OR ON-GRADE INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
- GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINTED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



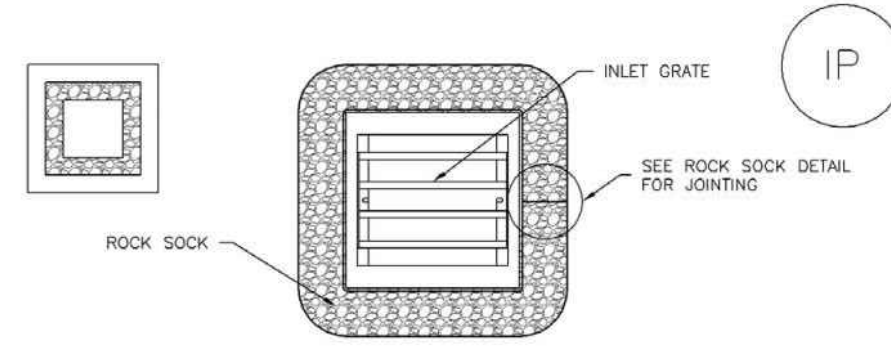
IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES

- SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
- PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
- SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
- AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

IP-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 August 2013

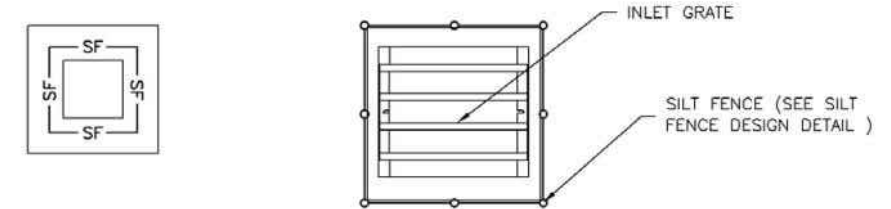
Inlet Protection (IP) SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



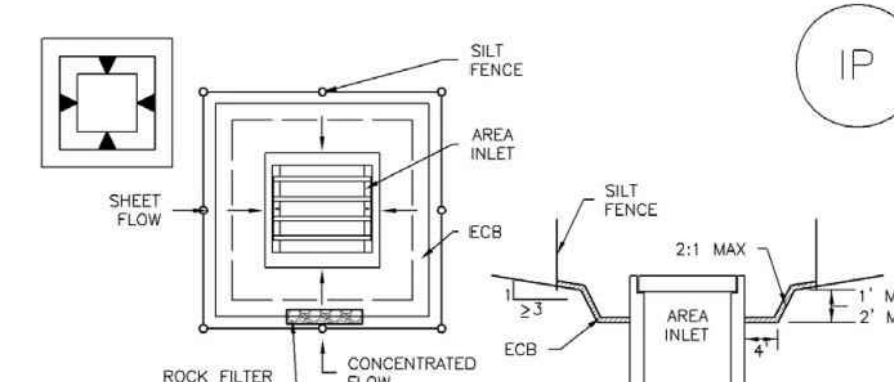
IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

- SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
- STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

August 2013 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 IP-5

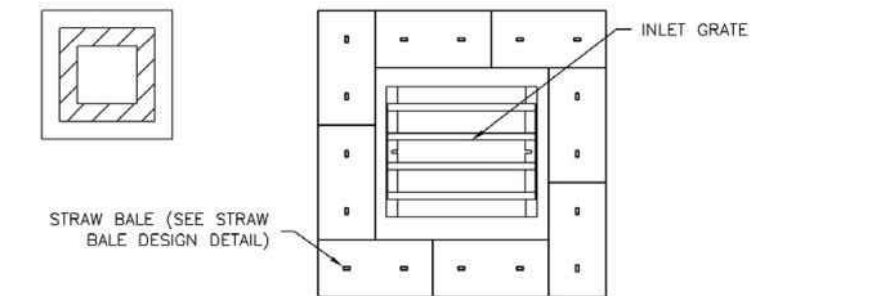
SC-6 Inlet Protection (IP)



IP-5. OVEREXCAVATION INLET PROTECTION

OVEREXCAVATION INLET PROTECTION INSTALLATION NOTES

- THIS FORM OF INLET PROTECTION IS PRIMARILY APPLICABLE FOR SITES THAT HAVE NOT YET REACHED FINAL GRADE AND SHOULD BE USED ONLY FOR INLETS WITH A RELATIVELY SMALL CONTRIBUTING DRAINAGE AREA.
- WHEN USING FOR CONCENTRATED FLOWS, SHAPE BASIN IN 2:1 RATIO WITH LENGTH ORIENTED TOWARDS DIRECTION OF FLOW.
- SEDIMENT MUST BE PERIODICALLY REMOVED FROM THE OVEREXCAVATED AREA.



IP-6. STRAW BALE FOR SUMP INLET PROTECTION

STRAW BALE BARRIER INLET PROTECTION INSTALLATION NOTES

- SEE STRAW BALE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- BALES SHALL BE PLACED IN A SINGLE ROW AROUND THE INLET WITH ENDS OF BALES TIGHTLY ABUTTING ONE ANOTHER.

IP-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 August 2013

SC-6 Inlet Protection (IP)

GENERAL INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR:
  - LOCATION OF INLET PROTECTION.
  - TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
- INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
- MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/3 OF THE HEIGHT FOR STRAW BALES.
- INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
- WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AURORA)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

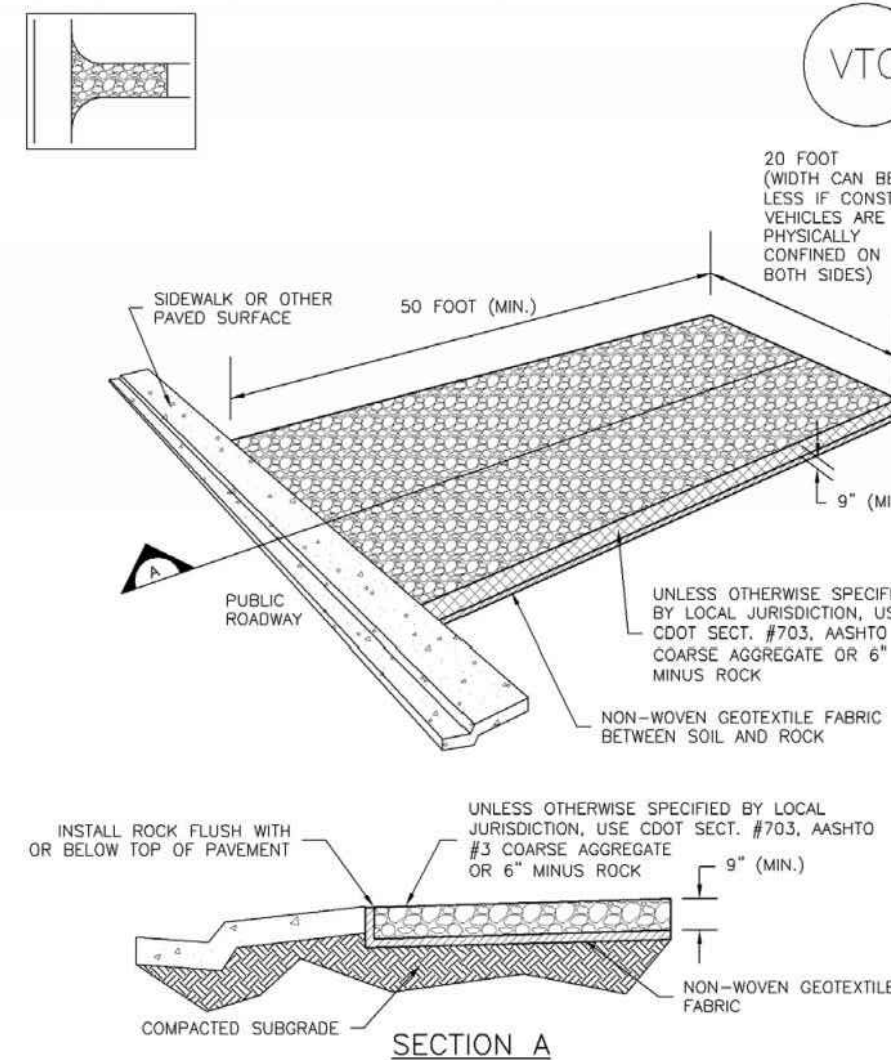
NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

IP-8 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 August 2013

INLET PROTECTION DETAIL

NTS (IP) 2 CE1.0

Vehicle Tracking Control (VTC) SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

VTC-3 November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

SM-4 Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

- SEE PLAN VIEW FOR:
  - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
  - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, MSHTO #3 COARSE AGGREGATE, OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

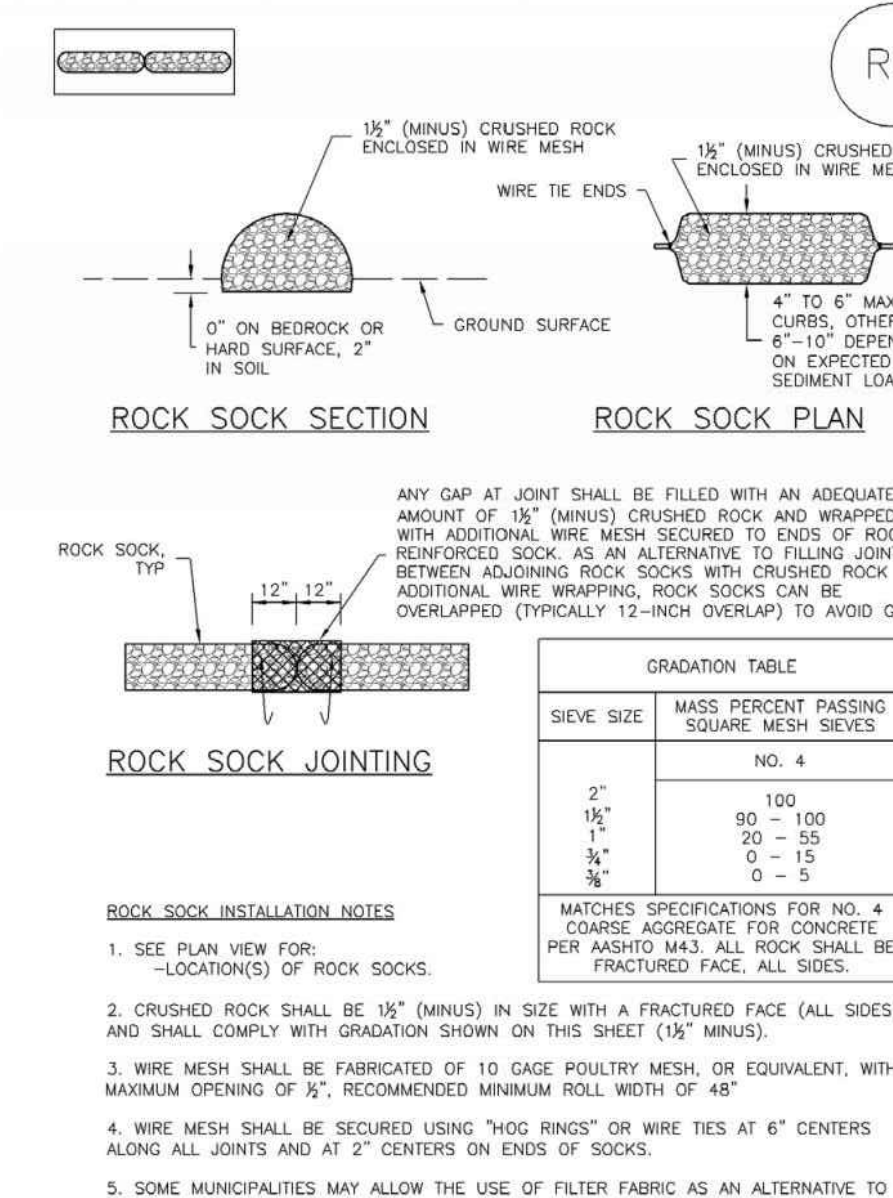
(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AURORA)

VTC-6 November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

VEHICLE TRACKING CONTROL DETAIL

NTS (VTC) 3 CE1.0

SC-5 Rock Sock (RS)



RS-1. ROCK SOCK PERIMETER CONTROL

RS-2 November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

Rock Sock (RS) SC-5

ROCK SOCK MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AURORA)

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

RS-3 November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

CURB ROCK SOCK DETAIL

NTS (CS) 4 CE1.0

City of Fort Collins, Colorado UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Parks and Recreation	Date
CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date

WHITCOMB STREET IMPROVEMENTS  
 EROSION CONTROL DETAILS

SHEET NUMBER  
 CE1.2



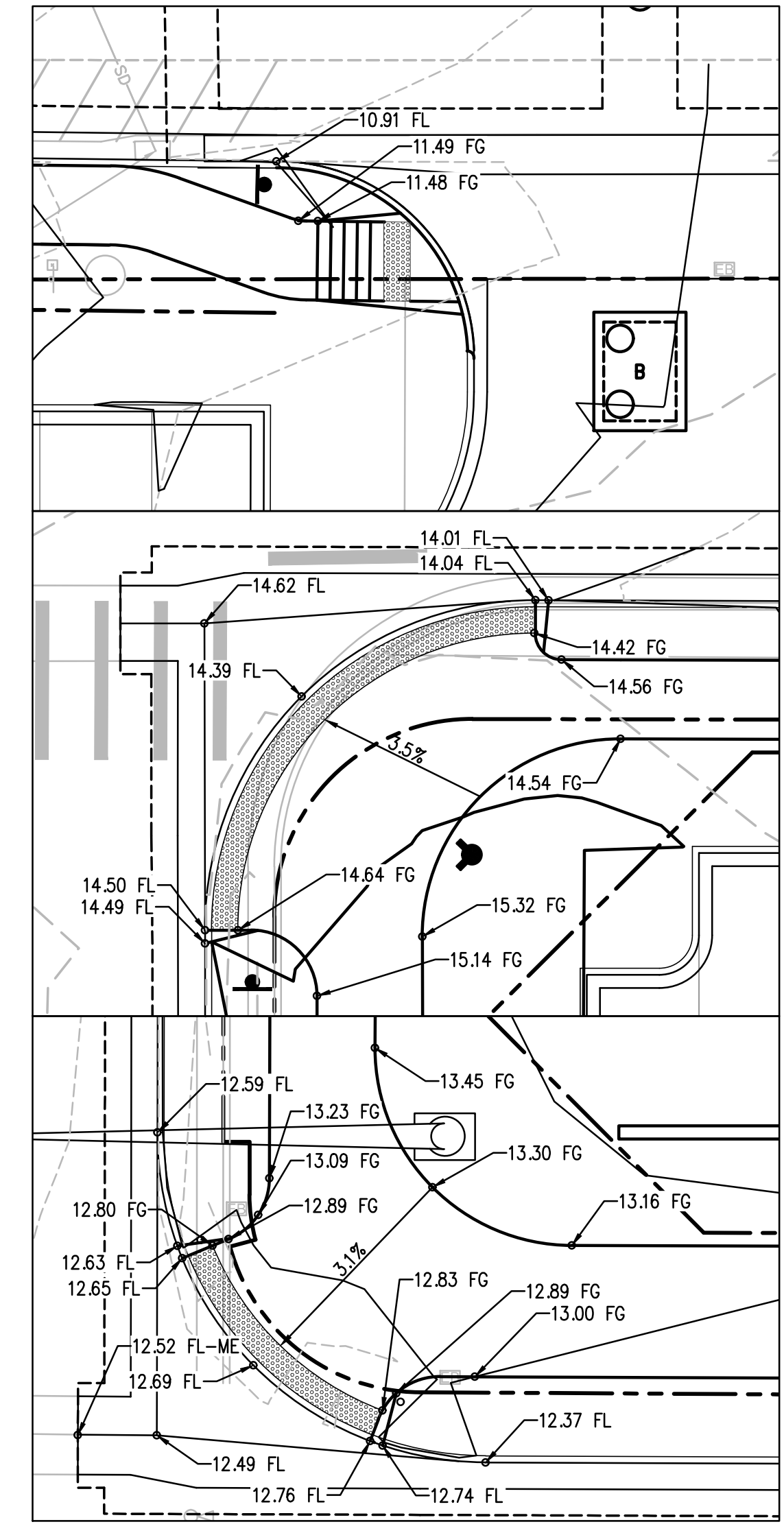
NO.	DATE	DESIGN	REVISION / ISSUE DESCRIPTION

DESIGNED BY:	EJK
DRAWN BY:	EJK
CHECKED BY:	ETN
JOB NUMBER:	2025.3c
DATE:	04/01/2016
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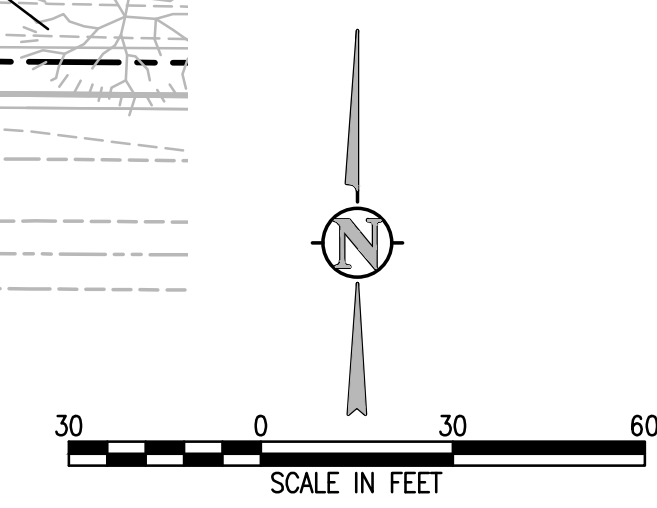
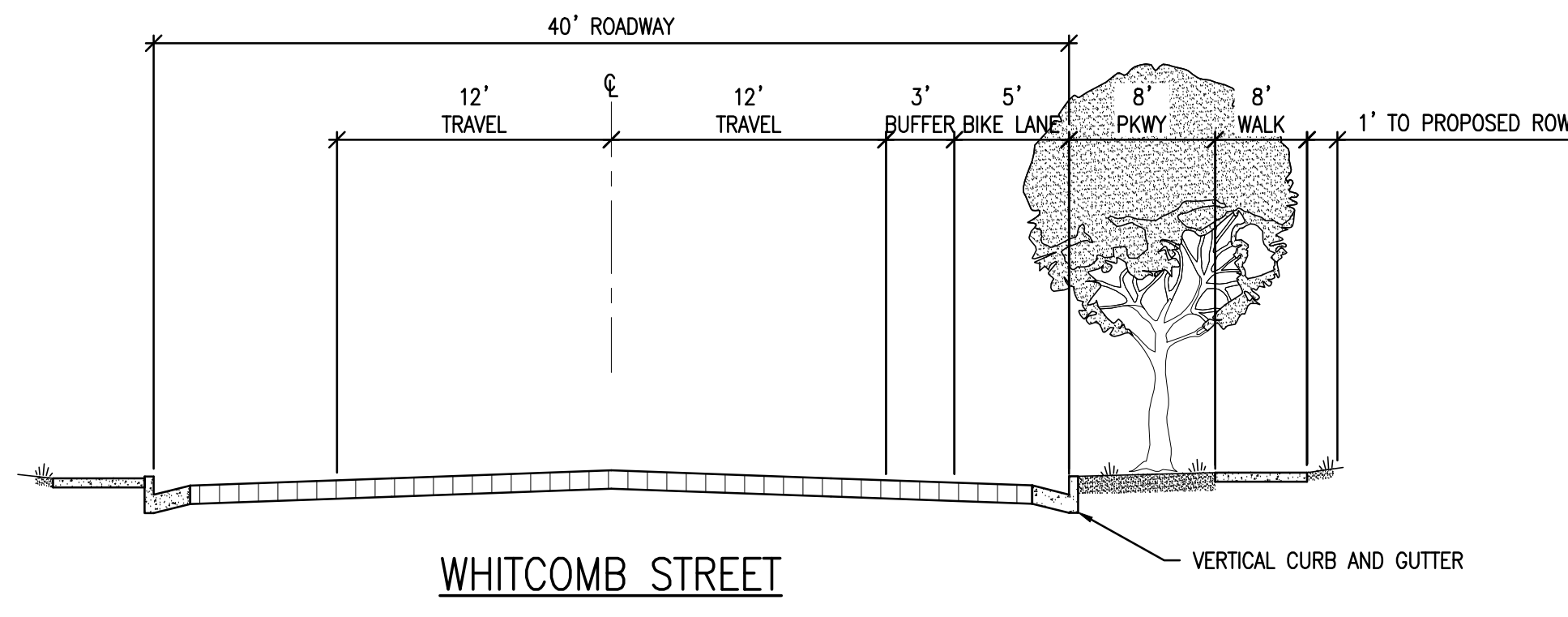
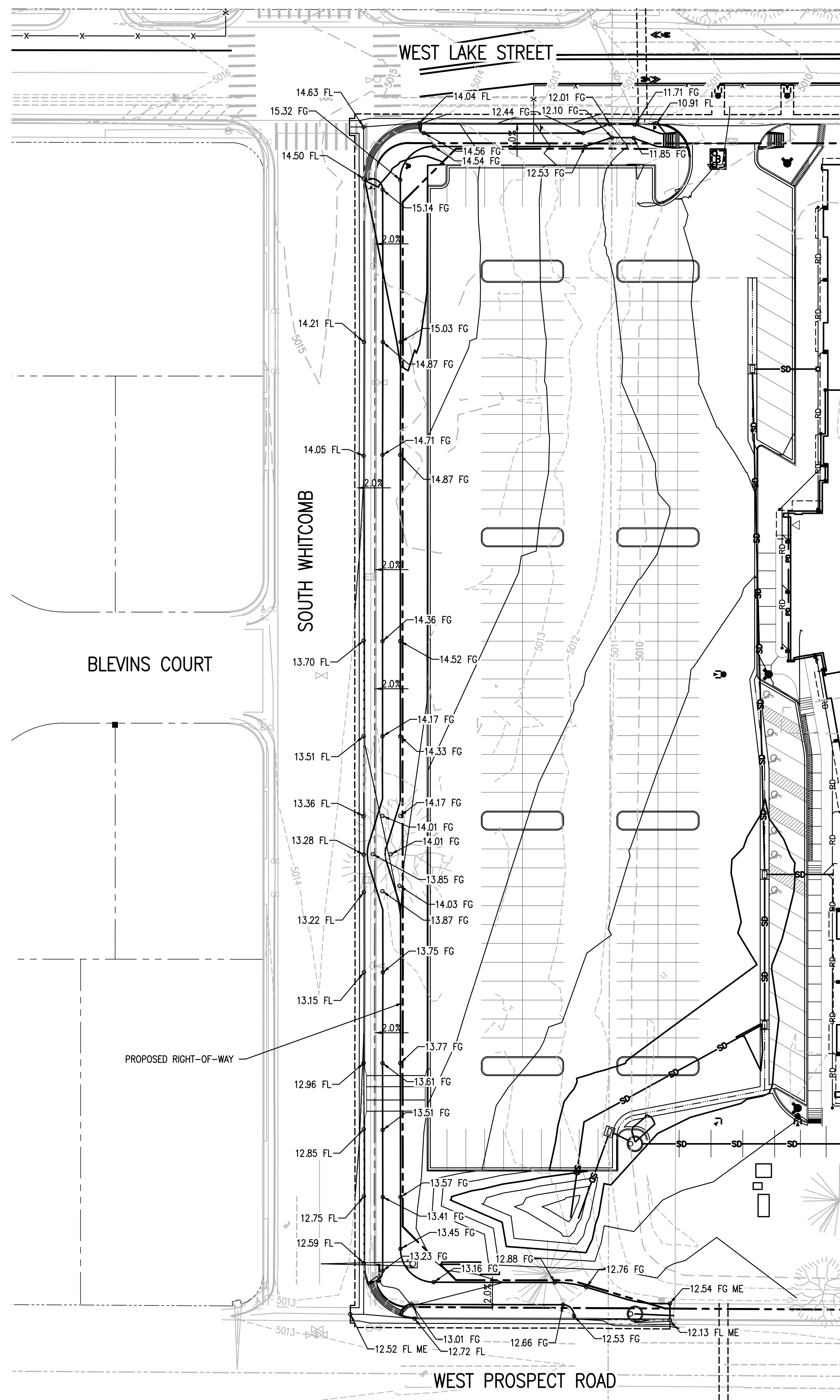
WHITCOMB STREET IMPROVEMENTS
GRADING & DRAINAGE PLAN

APPROVED:	_____	City Engineer	_____	Date
CHECKED BY:	_____	Water & Wastewater Utility	_____	Date
CHECKED BY:	_____	Stormwater Utility	_____	Date
CHECKED BY:	_____	Traffic Engineer	_____	Date
CHECKED BY:	_____	Parks and Recreation	_____	Date
CHECKED BY:	_____	Environmental Planner	_____	Date
CHECKED BY:	_____	_____	_____	Date

- STREET CUT NOTES:**
1. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THE PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
  2. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
  3. LAKE STREET: IN AREAS WHERE CURB AND GUTTER IS TO BE REMOVED AND REPLACED, MULTIPLE FLOWLINE ELEVATIONS SHALL BE DOCUMENTED PRIOR TO EXCAVATION AND REMOVAL SO THAT CURB AND GUTTER CAN BE RECONSTRUCTED BACK MATCHING EXISTING ELEVATIONS.



**City of Fort Collins, Colorado  
 UTILITY PLAN APPROVAL**



15/03/16 10:46 AM JVA, INC. 2025.3c 04/01/2016 10:46 AM JVA, INC. 2025.3c 04/01/2016 10:46 AM JVA, INC. 2025.3c 04/01/2016 10:46 AM



JVA, Incorporated 25 Old Town Square  
 Suite 200 Fort Collins, CO 80524  
 E-mail: info@jva.com  
 Phone: 970.225.9099 Fax: 970.225.6963

NO. DATE DRAWN DESIGNED

NO.	DATE	DRAWN	DESIGNED	REVISION / ISSUE DESCRIPTION

DESIGNED BY: EJK  
 DRAWN BY: EJK  
 CHECKED BY: ETN  
 JOB NUMBER: 2025.3c  
 DATE: 04/01/2016

JVA, INC

WHITCOMB STREET IMPROVEMENTS  
 GRADING & DRAINAGE DETAILS

SHEET NUMBER

CD1.0

**City of Fort Collins, Colorado  
 UTILITY PLAN APPROVAL**

APPROVED: \_\_\_\_\_ Date \_\_\_\_\_  
City Engineer

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Water & Wastewater Utility

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Stormwater Utility

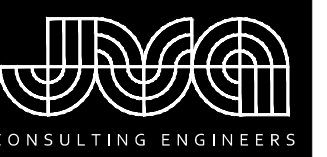
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Traffic Engineer

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Parks and Recreation

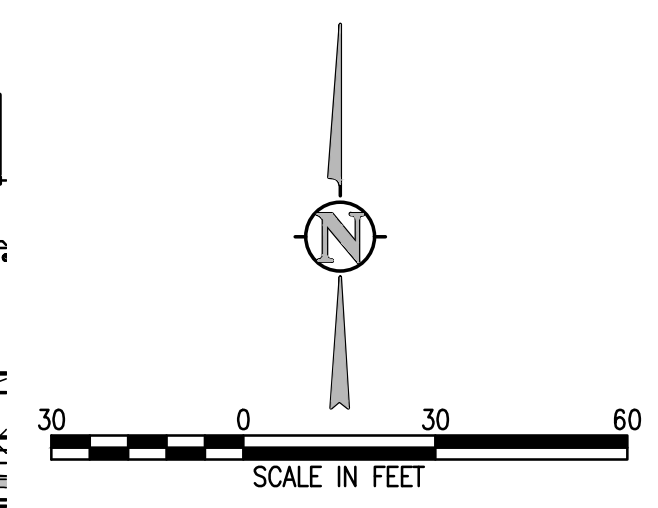
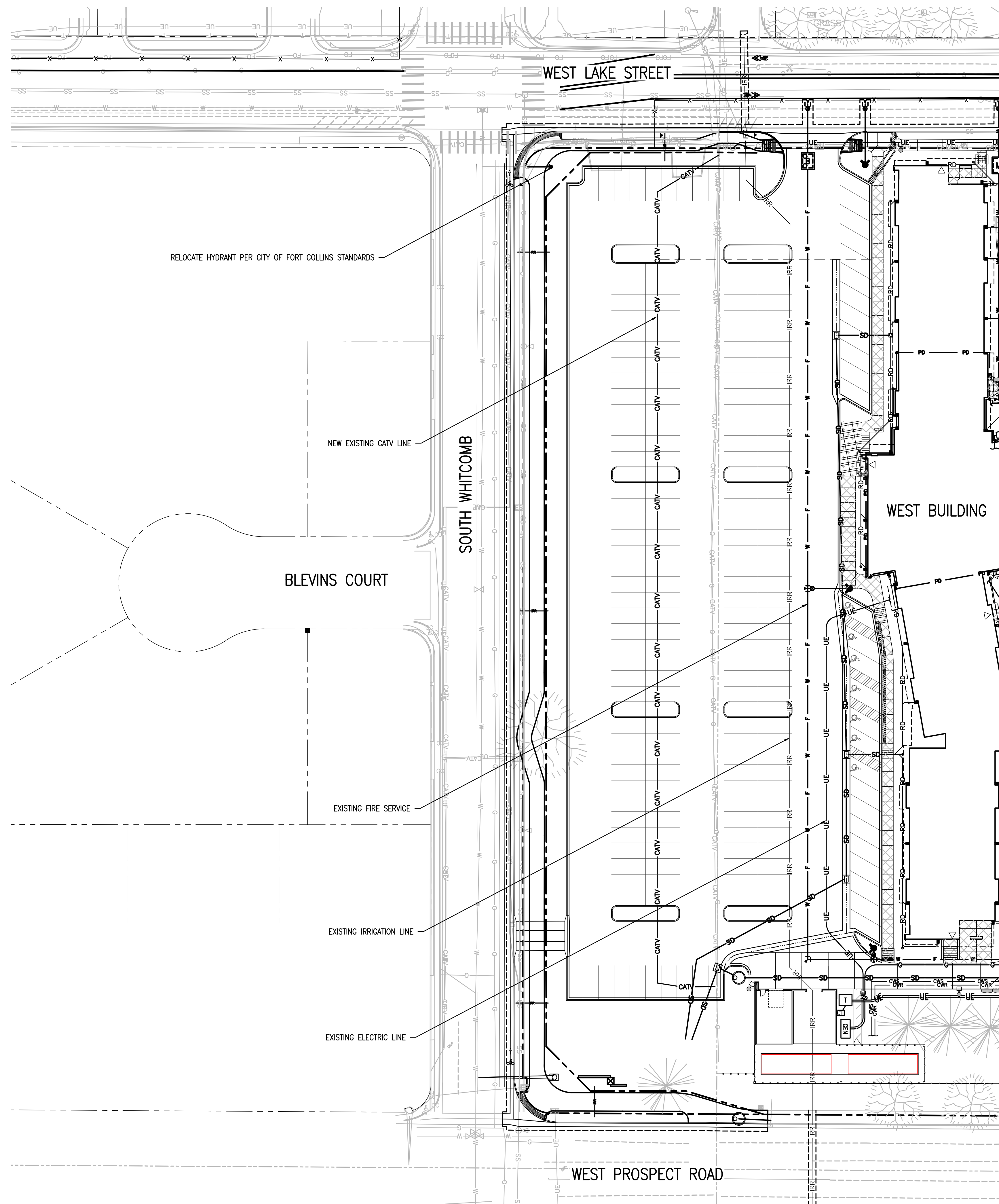
CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Environmental Planner

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_





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 Suite 200 Fort Collins, CO 80524  
 E-mail: info@jva.com  
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City of Fort Collins, Colorado  
 UTILITY PLAN APPROVAL

APPROVED:	_____	Date
	City Engineer	
CHECKED BY:	_____	Date
	Water & Wastewater Utility	
CHECKED BY:	_____	Date
	Stormwater Utility	
CHECKED BY:	_____	Date
	Traffic Engineer	
CHECKED BY:	_____	Date
	Parks and Recreation	
CHECKED BY:	_____	Date
	Environmental Planner	
CHECKED BY:	_____	Date

NO.	DATE	DRAWN	DESIGNED	REVISION / ISSUE DESCRIPTION

DESIGNED BY:	EJK
DRAWN BY:	EJK
CHECKED BY:	ETN
JOB NUMBER:	2025.3c
DATE:	04/01/2016

JVA, INC.

WHITCOMB STREET IMPROVEMENTS  
 UTILITY PLAN

SHEET NUMBER  
 C2.0

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 Suite 200 Fort Collins, CO 80524  
 E-mail: info@jva.com  
 Phone: 970.225.9099 Fax: 970.225.6963

NO. DATE DRAWN DESIGNED

NO.	DATE	DRAWN	DESIGNED	REVISION / ISSUE DESCRIPTION

DESIGNED BY: EJK  
 DRAWN BY: EJK  
 CHECKED BY: ETN  
 JOB NUMBER: 2025.3c  
 DATE: 04/01/2016

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WHITCOMB STREET IMPROVEMENTS  
 UTILITY DETAILS

SHEET NUMBER  
 CD2.0

**City of Fort Collins, Colorado  
 UTILITY PLAN APPROVAL**

APPROVED: \_\_\_\_\_ Date \_\_\_\_\_  
City Engineer

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Water & Wastewater Utility

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Stormwater Utility

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Traffic Engineer

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Parks and Recreation

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
Environmental Planner

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_





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 Suite 200 Fort Collins, CO 80524  
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**STREET CUT NOTES:**

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LINE TABLE			
LINE	LENGTH	DIRECTION	START (N, E)
L1	45.08	S89° 55' 12"E	(1450136.20, 3115663.12)
L2	42.78	S0° 02' 20"E	(1450441.24, 3115604.10)
L3	49.70	S89° 50' 07"W	(1450674.42, 3115713.87)
L4	2.49	S0° 00' 44"W	(1450659.15, 3115751.09)
L5	13.97	N0° 01' 53"E	(1450641.18, 3115735.12)
L6	93.50	N89° 58' 07"W	(1450655.16, 3115735.13)
L7	6.25	N0° 01' 53"E	(1450648.95, 3115641.63)
L8	5.51	S89° 58' 07"E	(1450645.96, 3115633.12)
L9	442.71	S0° 00' 00"E	(1450645.96, 3115633.12)
L10	85.00	N80° 00' 00"E	(1450203.24, 3115633.12)
L11	3.64	N80° 00' 00"E	(1450221.74, 3115723.12)
L12	31.00	N89° 58' 07"W	(1450612.68, 3115752.12)
L13	3.94	N0° 00' 00"E	(1450605.74, 3115755.12)
L14	31.00	N80° 00' 00"E	(1450602.74, 3115721.12)
L15	3.95	S0° 00' 00"E	(1450609.70, 3115718.12)
L16	31.00	N80° 00' 00"E	(1450492.24, 3115721.12)
L17	2.50	S0° 00' 00"E	(1450489.24, 3115755.12)
L18	31.00	N80° 00' 00"W	(1450483.74, 3115752.12)
L19	2.50	N0° 00' 00"E	(1450486.74, 3115718.12)
L20	2.50	N0° 00' 00"E	(1450486.74, 3115718.12)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LEN	START (N, E)
C1	39.23	25.00	89°54'26"	S44°50'11"E	35.33	(1450161.38, 3115604.18)
C2	39.39	25.00	90°17'11"	S45°02'19"W	35.44	(1450674.39, 3115629.21)
C3	22.94	15.00	87°38'17"	N46°18'05"W	20.77	(1450659.81, 3115751.11)
C4	22.89	20.00	65°33'44"	N32°46'52"E	21.66	(1450638.45, 3115739.36)
C5	5.99	3.00	114°28'12"	S57°12'09"E	5.05	(1450641.18, 3115735.12)
C6	4.71	3.00	90°00'00"	N45°01'53"E	4.24	(1450645.95, 3115638.62)
C7	7.85	5.00	90°00'00"	S45°00'00"W	7.07	(1450221.74, 3115723.12)
C8	4.71	3.00	89°58'07"	N44°59'04"W	4.24	(1450609.68, 3115755.12)
C9	4.71	3.00	90°00'00"	N45°00'00"E	4.24	(1450602.74, 3115752.12)
C10	4.71	3.00	90°00'00"	S45°00'00"E	4.24	(1450605.74, 3115718.12)
C11	4.71	3.00	90°01'53"	S45°00'56"W	4.24	(1450612.70, 3115721.12)
C12	4.71	3.00	90°00'00"	S45°00'00"E	4.24	(1450492.24, 3115752.12)
C13	4.71	3.00	90°00'00"	S45°00'00"W	4.24	(1450486.74, 3115755.12)
C14	4.71	3.00	90°00'00"	N45°00'00"W	4.24	(1450483.74, 3115721.12)
C15	4.71	3.00	90°00'00"	N45°00'00"E	4.24	(1450489.24, 3115718.12)

City of Fort Collins, Colorado  
 UTILITY PLAN APPROVAL

APPROVED: \_\_\_\_\_ Date \_\_\_\_\_  
 City Engineer

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Water & Wastewater Utility

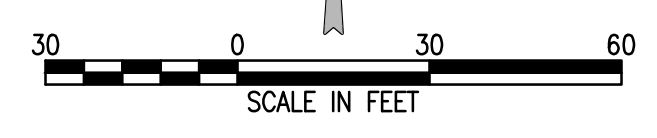
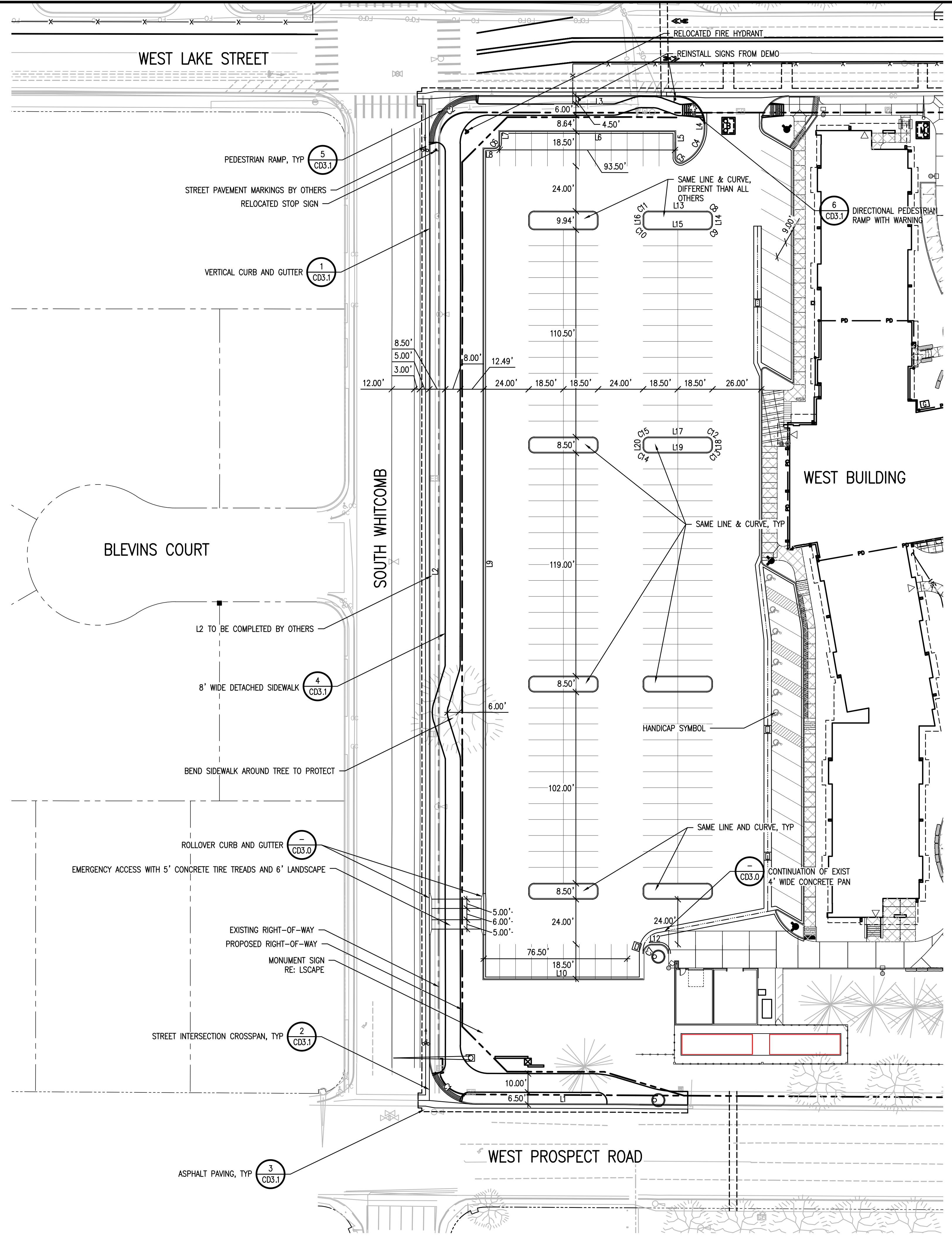
CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Stormwater Utility

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Traffic Engineer

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Parks and Recreation

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Environmental Planner

CHECKED BY: \_\_\_\_\_ Date \_\_\_\_\_



NO. DATE DRAWN DESIGNED  
 REVISION / ISSUE DESCRIPTION

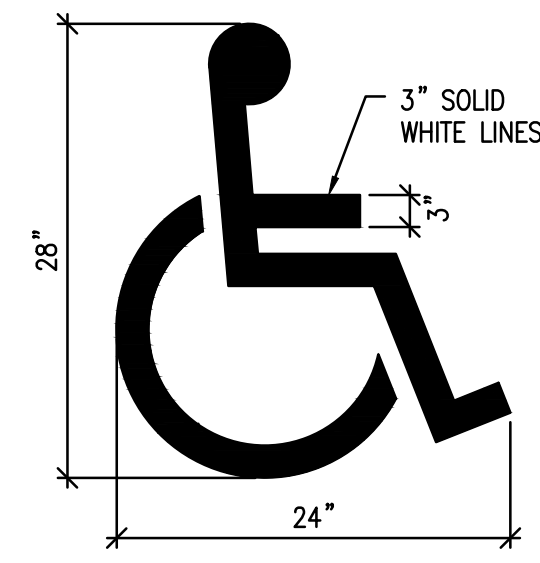
DESIGNED BY: EJK  
 DRAWN BY: EJK  
 CHECKED BY: ETN  
 JOB NUMBER: 2025.3c  
 DATE: 04/01/2016  
 JVA, INC

WHITCOMB STREET IMPROVEMENTS  
 HORIZONTAL CONTROL PLAN

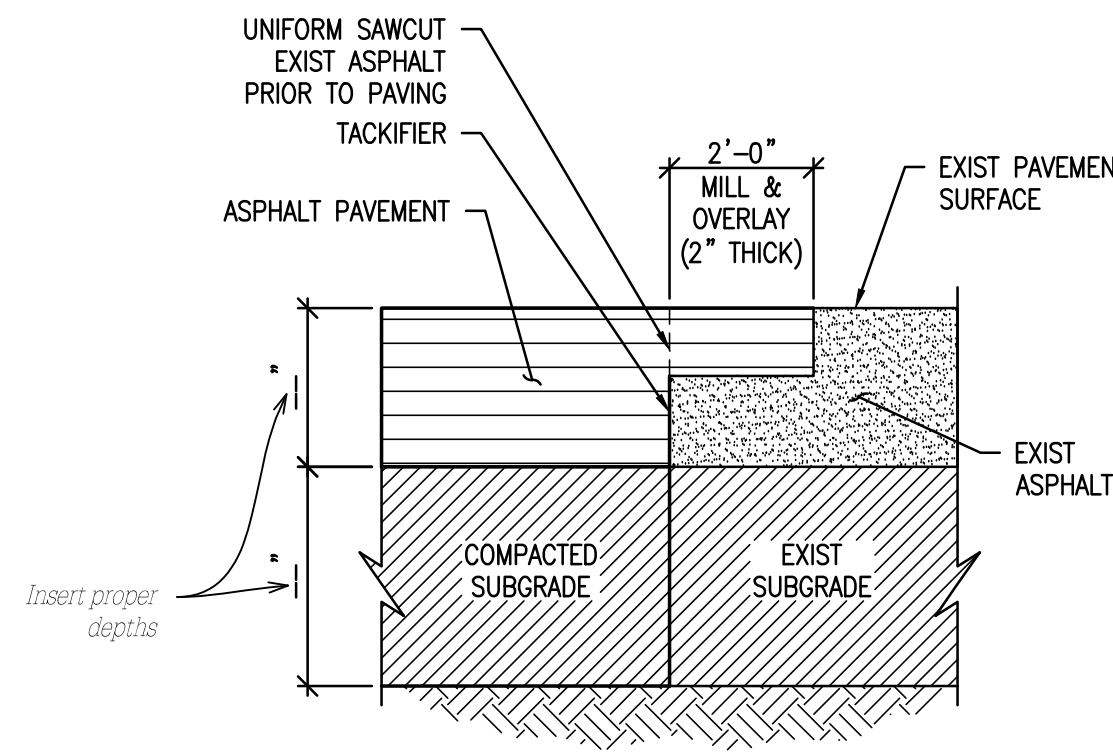
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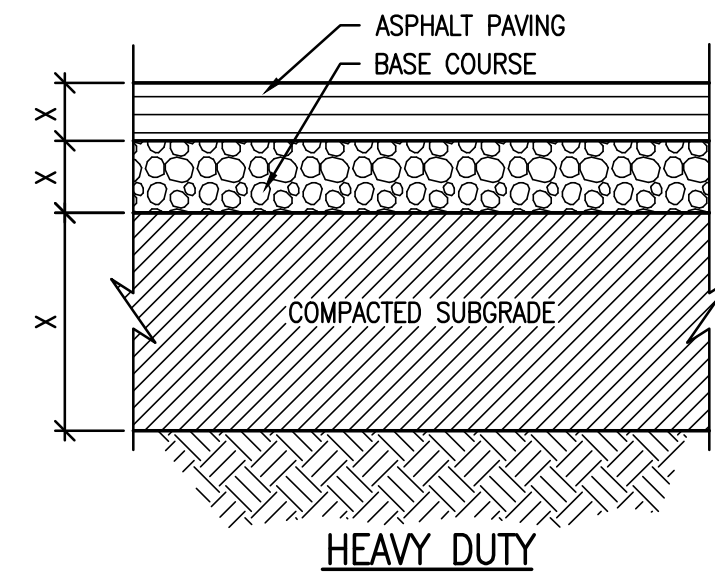


**HANDICAP SYMBOL DETAIL** (NTS)

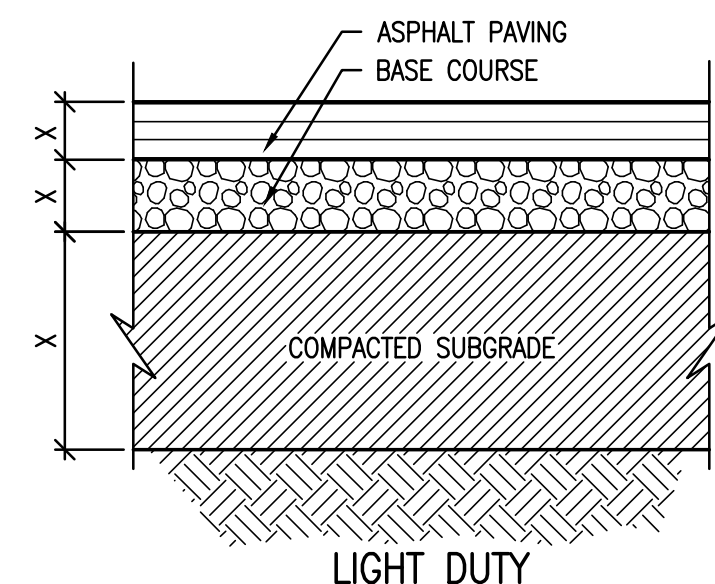


- NOTE:**  
 1. MATCH EXIST ASPHALT DEPTH UNLESS OTHERWISE SPECIFIED.  
 2. COMPACT SUBGRADE PER SPECIFICATIONS.

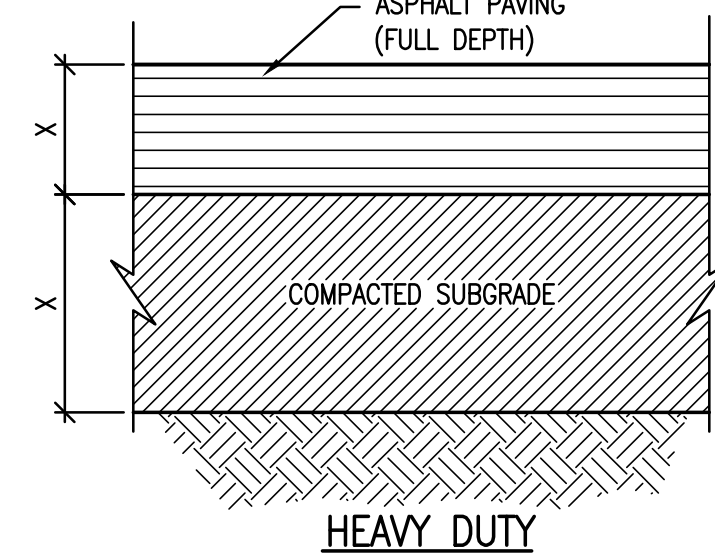
**ASPHALT "T" PATCH DETAIL** (NTS)



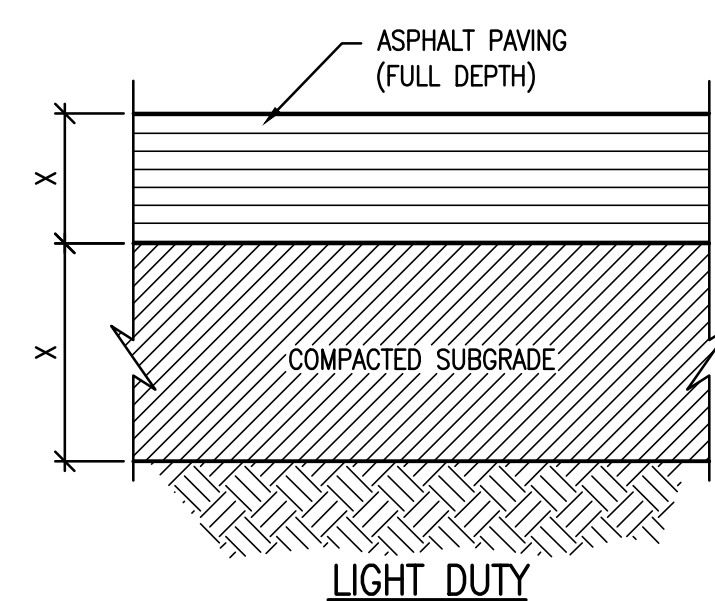
**HEAVY DUTY**



**LIGHT DUTY**



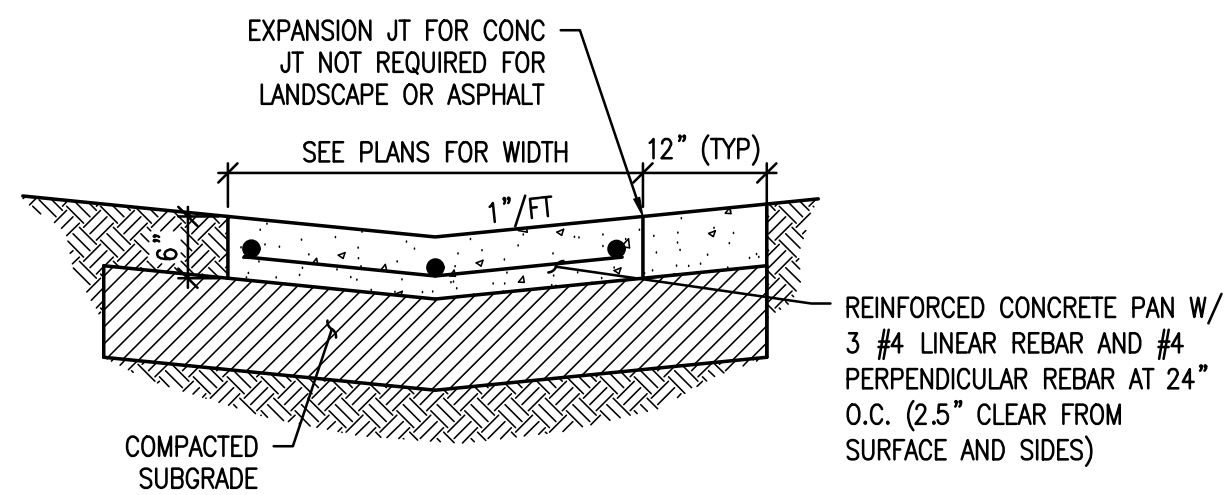
**HEAVY DUTY**



**LIGHT DUTY**

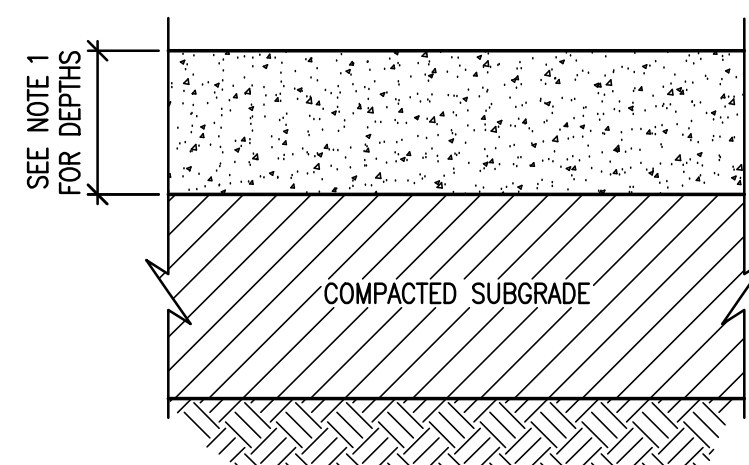
- NOTES:**  
 1. USE HEAVY DUTY ASPHALT SECTION FOR \_\_\_\_\_  
 2. USE LIGHT DUTY ASPHALT SECTION FOR \_\_\_\_\_  
 3. COMPACT SUBGRADE PER SPECIFICATIONS.

**ASPHALT PAVING SECTION DETAIL** (NTS)



- NOTES:**  
 1. SEE THIS SHEET FOR CONTRACTION AND EXPANSION JOINT DETAILS.  
 2. PROVIDE JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. JOINTS TO MATCH ADJOINING SIDEWALK.  
 3. COMPACT SUBGRADE PER SPECIFICATIONS.

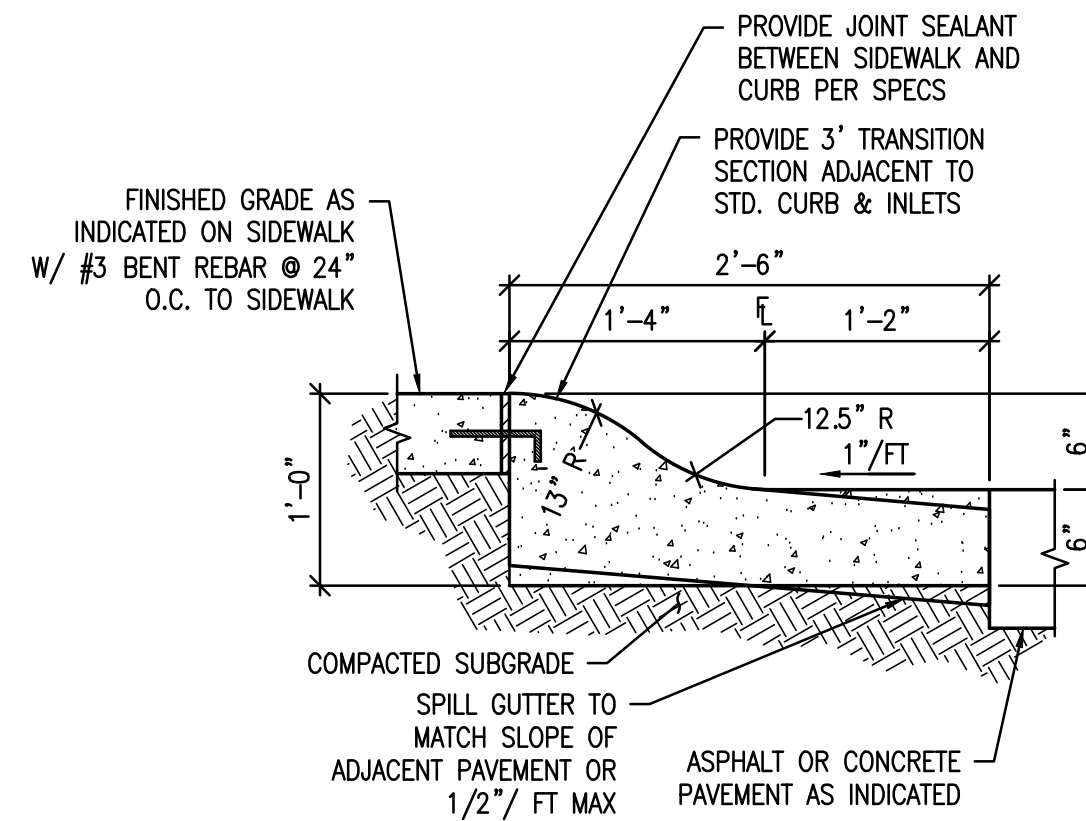
**CONCRETE PAN DETAIL** (NTS)



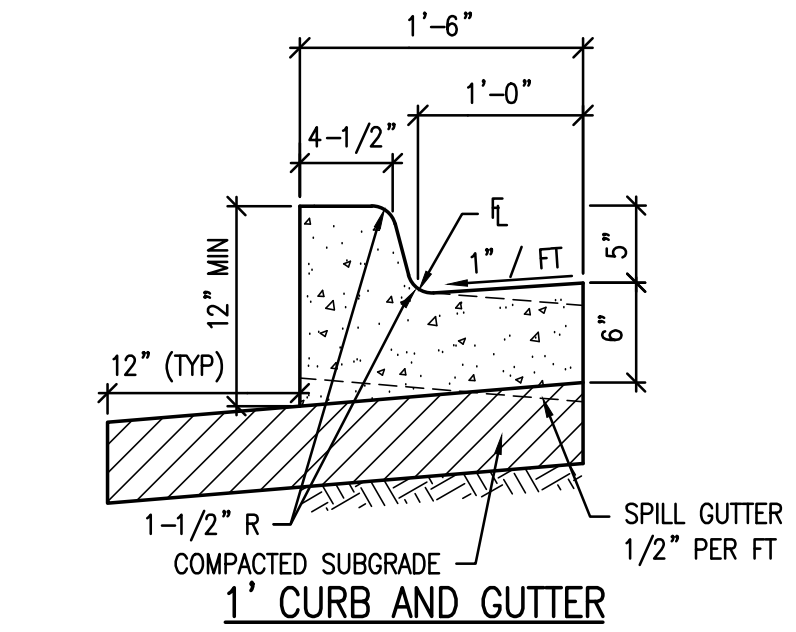
- NOTES:**  
 1. CONCRETE THICKNESSES: "ENGINEER TO VERIFY"  
 4" FOR WALKS  
 6" FOR DRIVES  
 8" FOR TRASH PADS  
 2. COMPACT SUBGRADE PER SPECIFICATIONS.  
 3. SEE CONTRACTION JOINT AND EXPANSION JOINT DETAILS.

**CONCRETE PAVING SECTION DETAIL** (NTS)

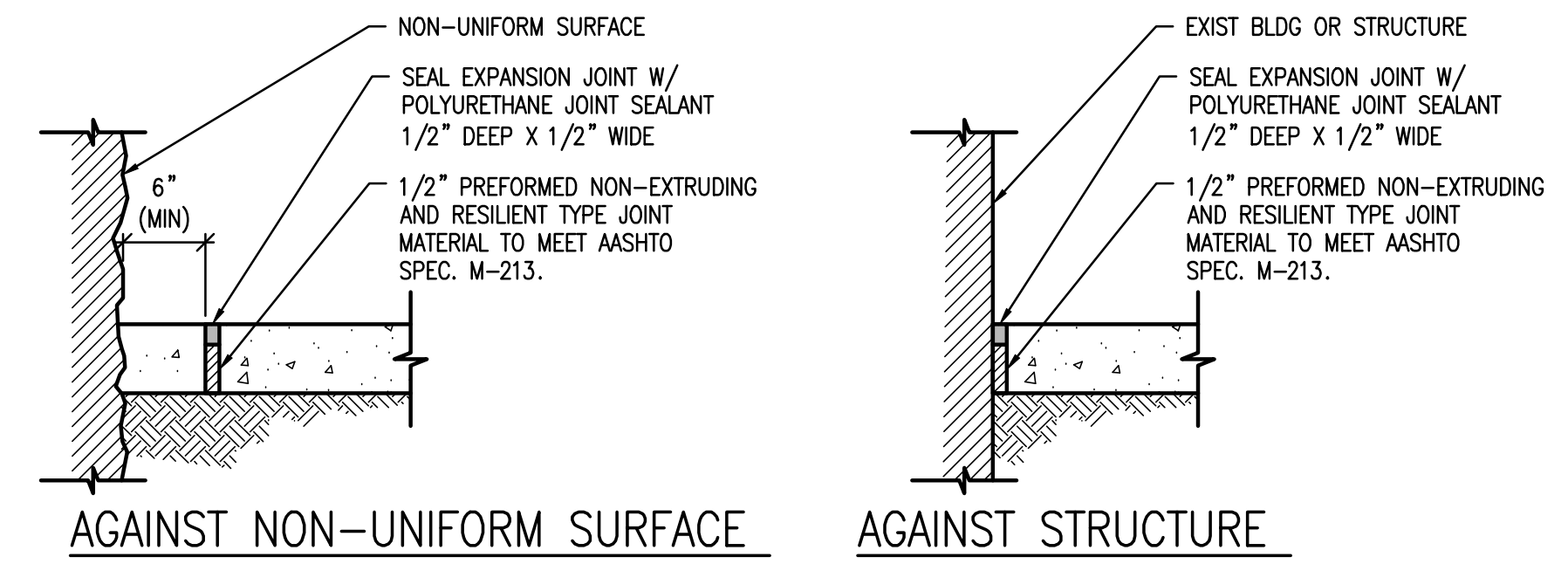
**CONTRACTION JOINT DETAIL** (NTS)



**"ROLLED" CURB & GUTTER DETAIL** (NTS)

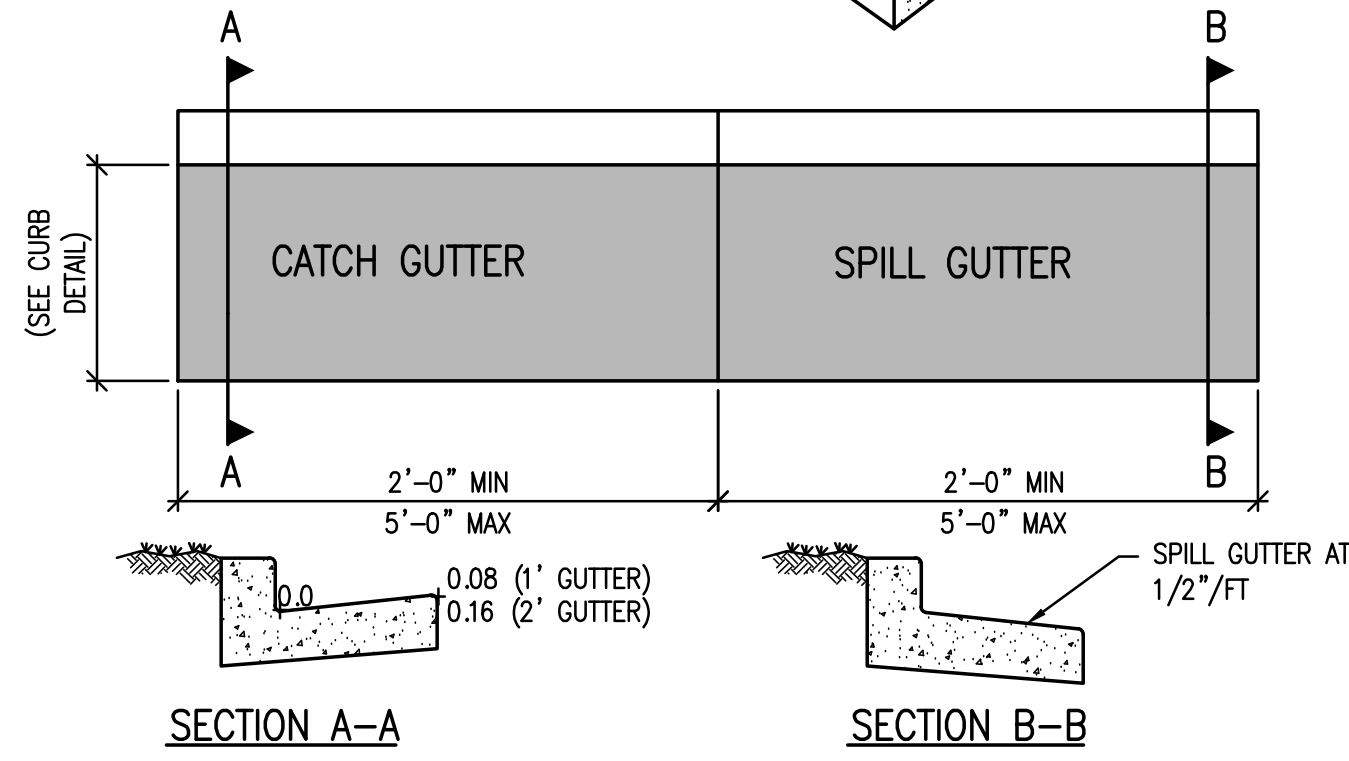
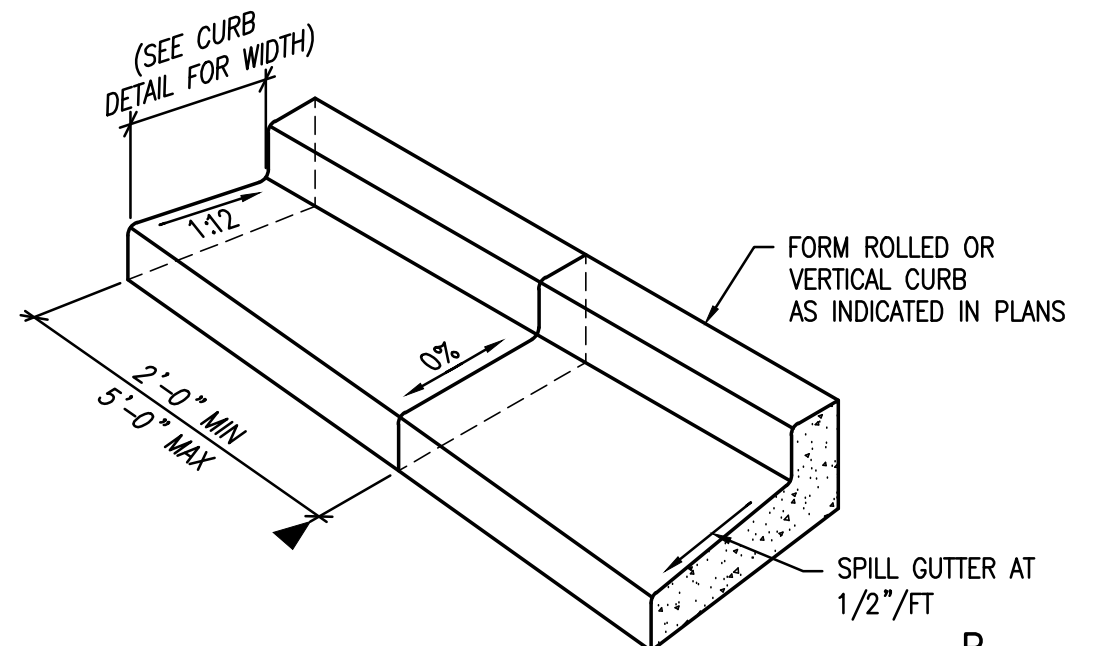


**CURB AND GUTTER DETAIL** (NTS)



- NOTES:**  
 1. EXPANSION JOINTS EVERY 100' MAX AND WHEREVER SIDEWALK ABUTS EXISTING & PROPOSED CONCRETE STRUCTURES (TYP) - SEE PLAN  
 2. REMOVE PLASTIC FORMING MATERIAL ("ZIP STRIPS") FROM PREFORMED JOINT MATERIAL PRIOR TO PLACING SEALANT

**EXPANSION JOINT DETAIL** (NTS)

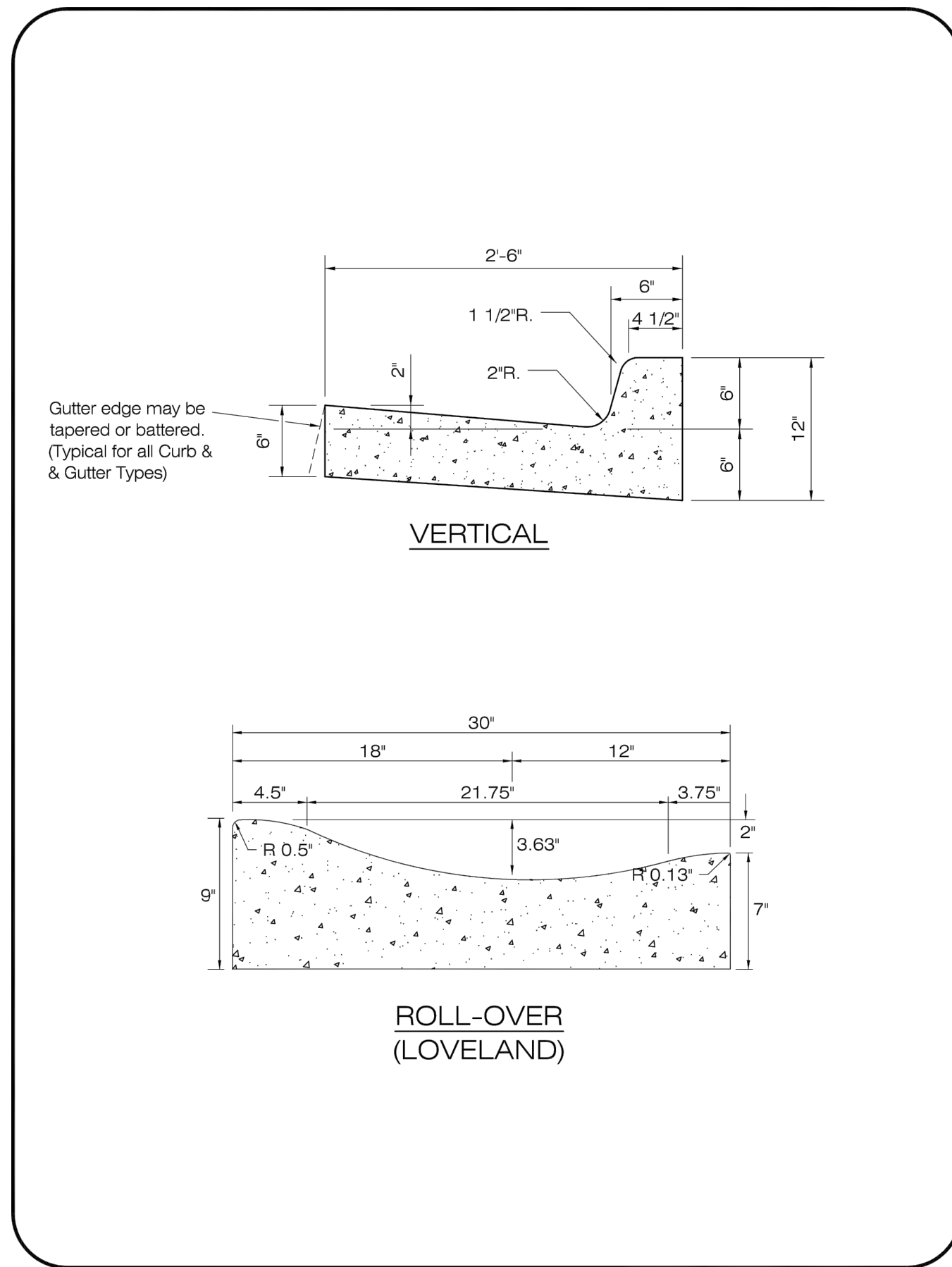


**GUTTER CATCH SPILL TRANSITION DETAIL** (NTS)

City of Fort Collins, Colorado  
 UTILITY PLAN APPROVAL

APPROVED:	_____	_____	Date
CHECKED BY:	City Engineer	_____	Date
CHECKED BY:	Water & Wastewater Utility	_____	Date
CHECKED BY:	Stormwater Utility	_____	Date
CHECKED BY:	Traffic Engineer	_____	Date
CHECKED BY:	Parks and Recreation	_____	Date
CHECKED BY:	Environmental Planner	_____	Date
CHECKED BY:	_____	_____	Date

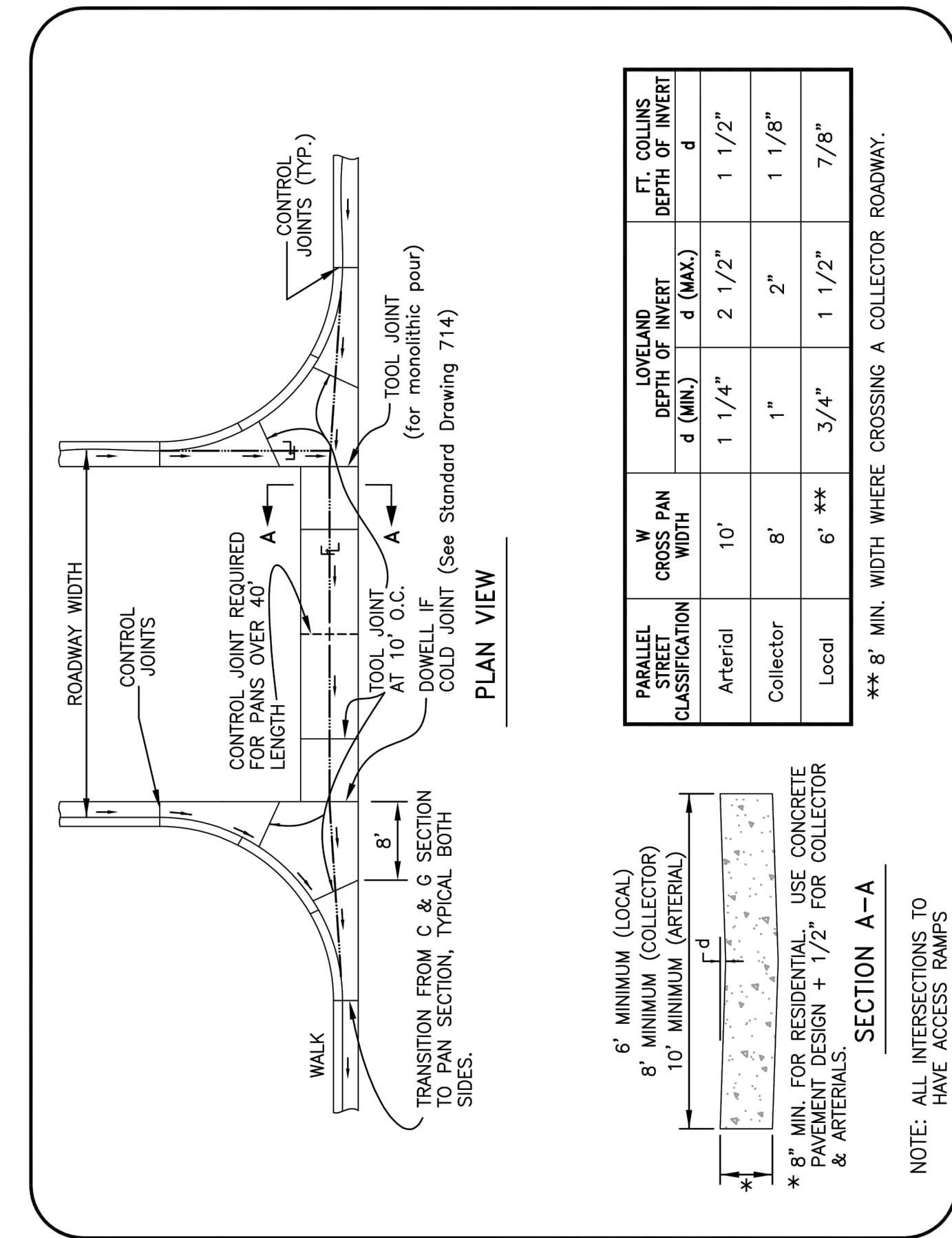




**CURB AND GUTTER**

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1	DRAWING 701
		DATE: 03/01/02	

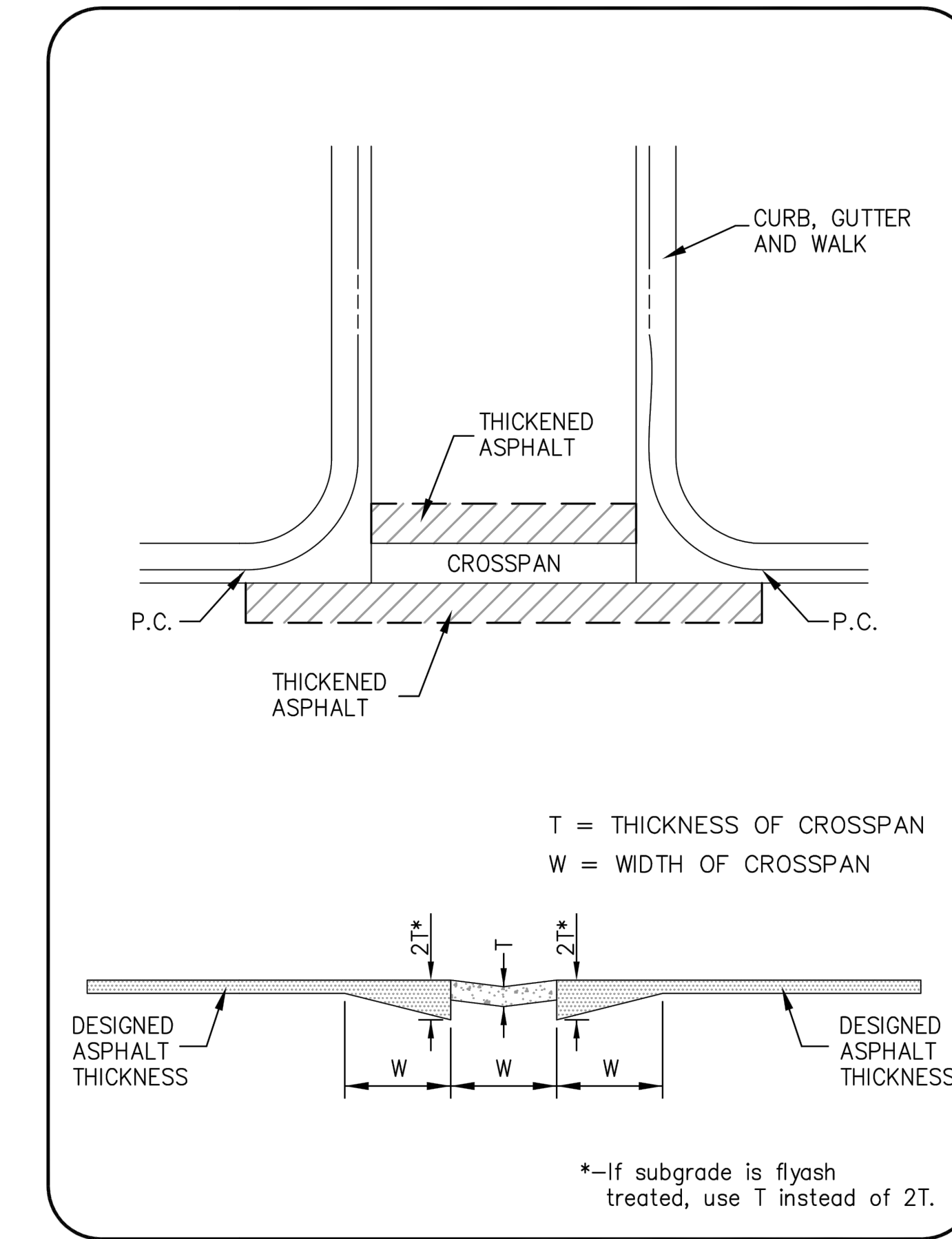
1  
C3.0



**STREET INTERSECTION CROSSPAN**

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2	DRAWING 708
		DATE: 04/01/07	

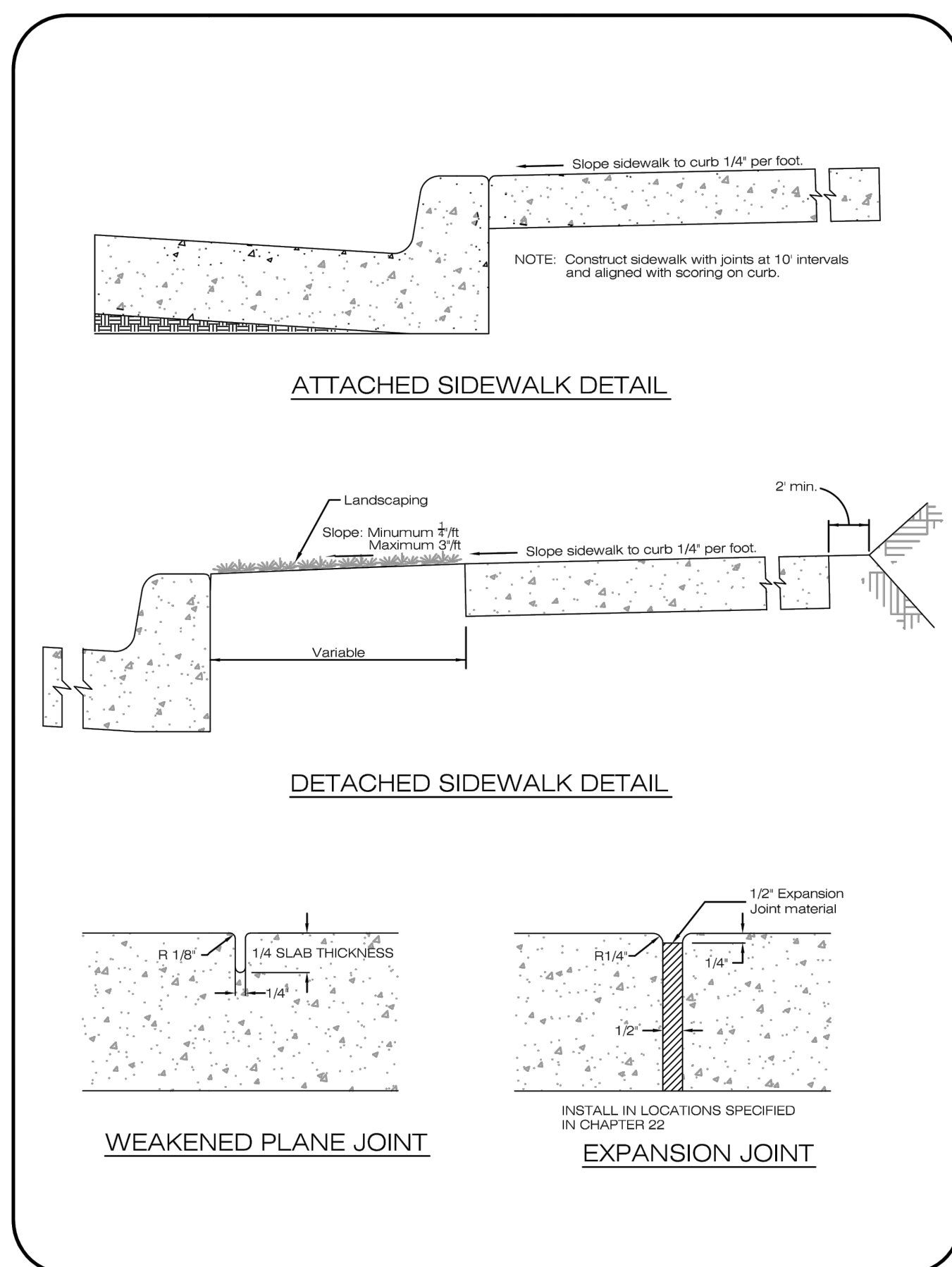
2  
C3.0



**ASPHALT PAVING DETAIL (CROSSPAN)**

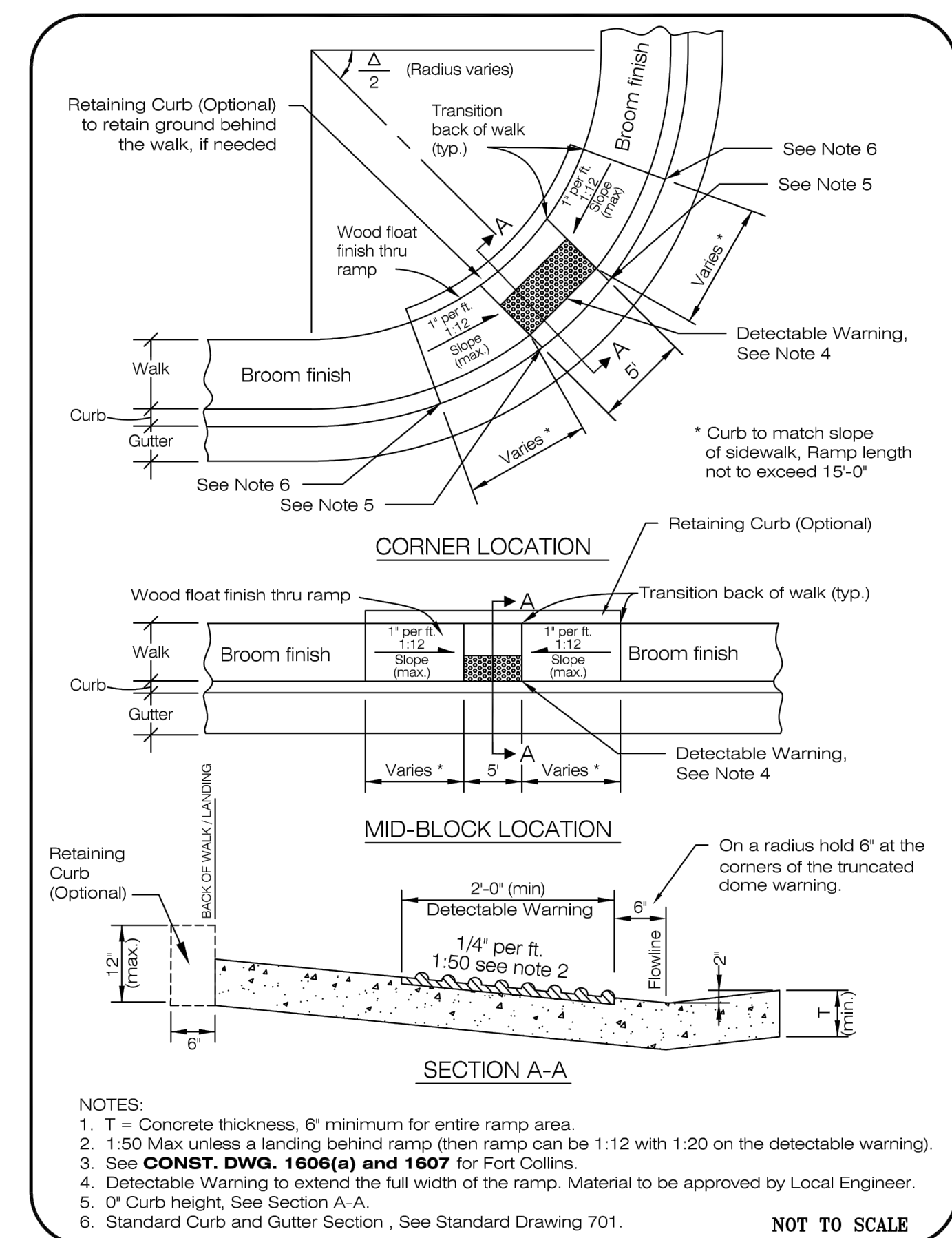
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1	DRAWING 710
		DATE: 04/01/07	

3  
C3.0



LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2	DRAWING 1602
		DATE: 04/01/07	

4  
C3.0



LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2	DRAWING 1603
		DATE: 02/17/15	

5  
C3.0

NO.	DATE	DRAWN	DESIGNED	REVISION / ISSUE DESCRIPTION

DESIGNED BY:	EJK
DRAWN BY:	EJK
CHECKED BY:	ETN
JOB NUMBER:	2025.3c
DATE:	04/01/2016

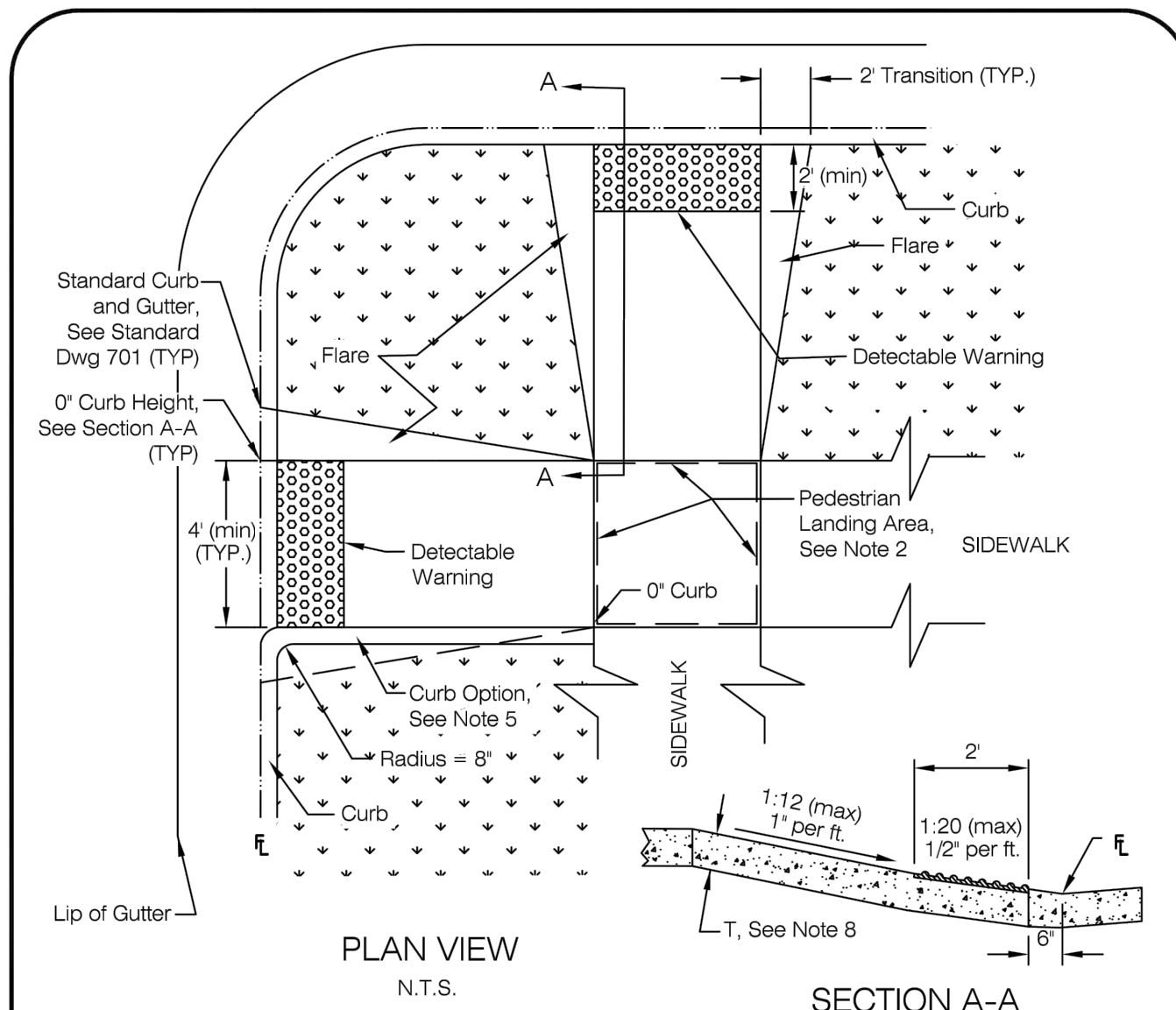
JVA, INC

WHITCOMB STREET IMPROVEMENTS

RIGHT-OF-WAY DETAILS

**City of Fort Collins, Colorado  
UTILITY PLAN APPROVAL**

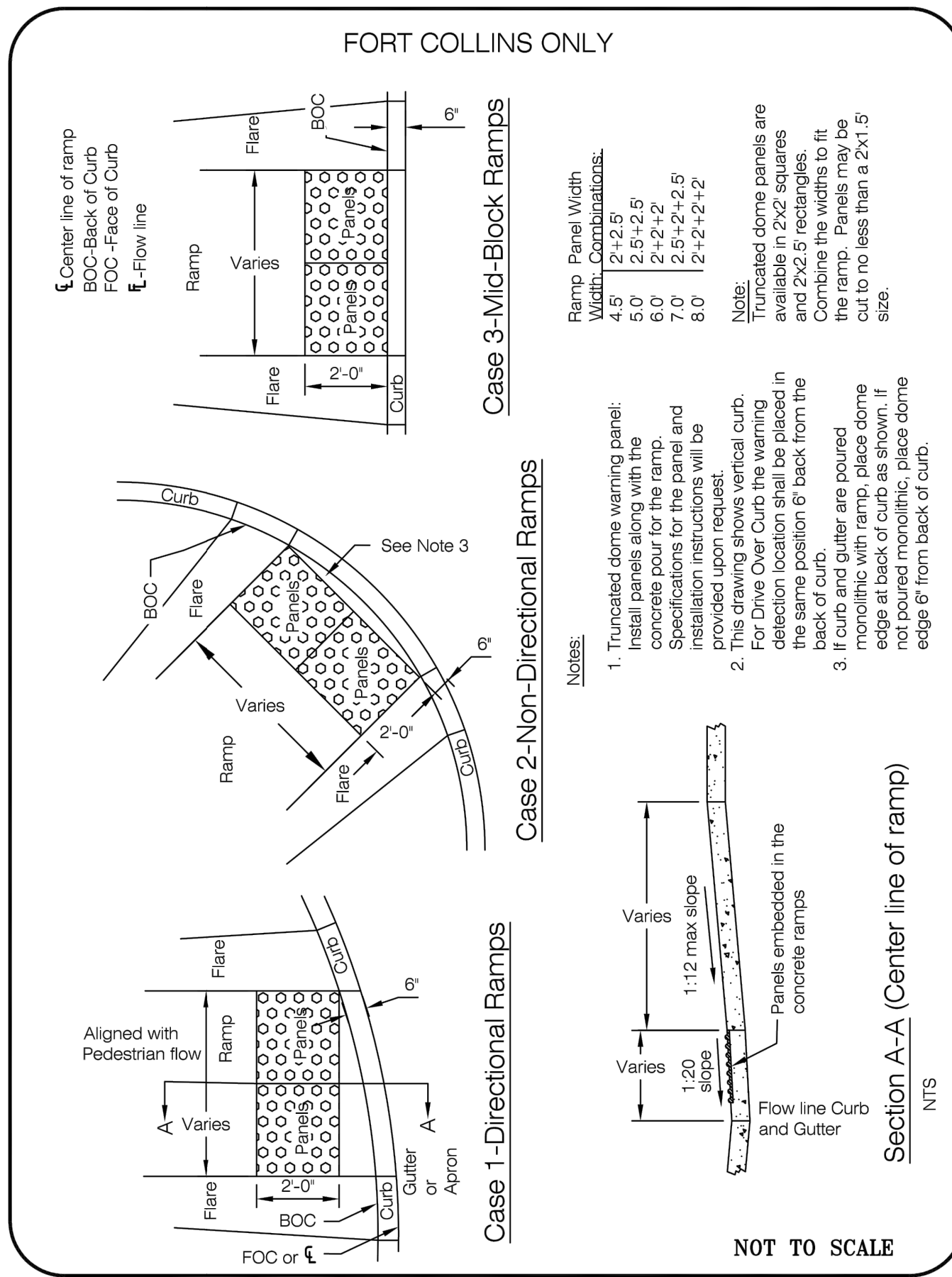
APPROVED:	_____	City Engineer	_____	Date
CHECKED BY:	_____	Water & Wastewater Utility	_____	Date
CHECKED BY:	_____	Stormwater Utility	_____	Date
CHECKED BY:	_____	Traffic Engineer	_____	Date
CHECKED BY:	_____	Parks and Recreation	_____	Date
CHECKED BY:	_____	Environmental Planner	_____	Date
CHECKED BY:	_____		_____	Date



- NOTES:**
- No joints are allowed in the flowline. Six inch wide curb or 'dummy joint' may be tooled no closer than 6 inches from flow line as shown.
  - Pedestrian landing area required 4 ft length x 4 ft width, max slope in any direction is 1:50 or 1/4" per foot.
  - Joint pattern to be according to intersection gutter detail or as determined by the local entity.
  - Wood float finish is required over the sloped surface of ramp and flares.
  - A 6" wide curb option may be poured along side of the ramp as shown if required. If curb is used it shall match style of adjacent curb and gutter.
  - Minimum ramp width shall be four feet, or the same as the widest adjacent sidewalk, whichever is greater, up to a maximum width of 8 feet.
  - Detectable warning is to extend full width of the ramp and be a minimum of 2.0' in the direction of travel. Material to be approved by local engineer.
  - T = Concrete thickness, 6" minimum for entire ramp area.
- NOT TO SCALE**

DIRECTIONAL ACCESS RAMP DETAIL & DETACHED SIDEWALK			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 02/17/15	DRAWING 1606

6  
C3.0



TRUNCATED DOME WARNING FOR ACCESS RAMP			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 3 DATE: 02/17/15	DRAWING 1607

7  
C3.0

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED: _____	City Engineer	_____ Date
CHECKED BY: _____	Water & Wastewater Utility	_____ Date
CHECKED BY: _____	Stormwater Utility	_____ Date
CHECKED BY: _____	Traffic Engineer	_____ Date
CHECKED BY: _____	Parks and Recreation	_____ Date
CHECKED BY: _____	Environmental Planner	_____ Date
CHECKED BY: _____		_____ Date

NO.	DATE	DRAWN	DESIGNED	REVISION / ISSUE DESCRIPTION

DESIGNED BY:	EJK
DRAWN BY:	EJK
CHECKED BY:	ETN
JOB NUMBER:	2025.3c
DATE:	04/01/2016

JVA, INC

WHITCOMB STREET IMPROVEMENTS  
RIGHT-OF-WAY DETAILS

SHEET NUMBER  
**CD3.2**

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May 31, 2016

Fred Haberecht  
Colorado State University  
6030 Campus Delivery  
Fort Collins, CO 80523

**Re:** Whitcomb Streetscape Improvements

**Description of project:** This is a request to expand the parking lot and build streetscape improvements on Whitcomb Street just north of Prospect Road (parcel #'s 9714310915, 9714310916, 9714310017, 9714310018, 9714310019, 9714310020, 9714310021, and 9714310022). 8 existing homes will be removed to add parking for Aggie Village North. CSU will also build detached sidewalks along Lake St and Whitcomb St with enhanced landscaping as part of this project. The site is located in the High Density Mixed-Use Neighborhood (HMN) zone district. This proposal will be subject to Site Plan Advisory Review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Jason Holland, at 970-224-6126 or [jholland@fcgov.com](mailto:jholland@fcgov.com).

**Comment Summary:**

**Department: Water-Wastewater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. There is an existing 6-inch water main in Whitcomb Street with services to each existing residence on the east side of Whitcomb. Abandonment of those services will need to occur at the main and the project applicant needs to coordinate with the City's Water Field Operations and meter shop for removal of the existing water meter pits. The applicant will need to submit a plan showing their plans for abandonment of the water services along Whitcomb.
2. There is an existing 8-inch sewer main in Whitcomb Street that is planned for abandonment and replacement in the coming months (construction timeframe for this stretch of Whitcomb July 2016). The existing main is located within or directly adjacent to the existing sidewalk along the east side of Whitcomb and serves residences west of Whitcomb around Blevins Court. Therefore the timing of the sewer abandonment procedures and the installation of new curb/gutter/sidewalk along the east side of Whitcomb needs to be discussed. The applicant will need to submit drawings showing their plans for abandonment of the sewer services along Whitcomb as the abandonment of these services is not shown in the Whitcomb Sewer Plans nor is it in that contractors scope of work.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>

4. Development fees and water rights (if there are any) will be due at the time of final approval of the plans.

**Department: Traffic Operations**

**Contact: Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)**

1. The diagonal parking spaces are odd in that they require a southbound vehicle to cross over NB traffic to access, and then vehicles backing out will be facing the wrong direction. In addition, the far southeast end-of-row landscape island doesn't appear to leave enough room for 2-way traffic. Is this eastern drive aisle one-way?
2. The first few diagonal spots are very close to the Lake Street access. More 'throat' length is needed.
3. The detached walk is great! Thank you. Check on the requirement for ramps - directional?

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. This site is located in the Old Town Master Drainage Basin but drains into the Spring Creek Master Drainage Basin and therefore must conform to the drainage basin design of the Spring Creek Master Drainage Plan, as well the Fort Collins Stormwater Criteria Manual.
2. Since this site is an extension of the Aggie Village North Redevelopment (AVNR) project, it must align with the drainage analysis and assumptions made in the drainage design for that project. If this new project affects the design of the existing AVNR project, then any revisions to those plans will need to be submitted for review.
3. A drainage report and construction plans are required to be submitted and they must be prepared by a Professional Engineer registered in the State of Colorado. In this case, an addendum to the existing AVNR report may be appropriate.
4. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
5. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate.
6. All site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
7. Low Impact Development (LID) is not a requirement of the stormwater management system on this site because this site is subject to a SPAR review. However, the City encourages the use of LID systems on all new or redeveloping property.
8. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage.
9. The Stormwater development fee (PIF) for parking lots that do not require a building permit is the same as for any increase in impervious area. The PIF of \$7,817/ac (\$0.1795/ sq. ft.) for new impervious area over 350 sq. ft. and there is also a \$1,045/acre of site (\$0.024/ sq. ft.) review fee. These fees are due prior to Water Utilities Engineering approval of any Major or



Minor Amendments for parking lots. Please submit payment directly to Water Utilities at 700 Wood St., PO Box 580, Fort Collins, CO 80522-0580; Attention Jill White. Information on fees can be found at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 or Jill White at 416-2139 for questions on fees.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE ACCESS**

- > The proposed fire access connection to Whitcomb is allowed to have rollover curbs, not vertical.
- > The fire lane shall be dedicated as an Emergency Access Easement and labeled on the plans.
- > It shall be designed to support 40 tons across the entire width of the fire lane.
- > Gate design shall be approved by the fire marshal.
- > Signage to be posted on both sides of gate with "Emergency Access Only."
- > Gate to be provided with Knox Padlock.

**Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.
3. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
4. If tree mitigation is necessary, please include a note on the tree mitigation plan or landscape plan, as appropriate, that requires a tree removal to occur outside of the migratory songbird nesting season (February 1-July 31), or that a survey be conducted prior to removal to ensure no active nests in the area.

**Department: Engineering Development Review**

**Contact: Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)**

1. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
2. Utility plans will be required.
3. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the street curb, gutter and sidewalk.

4. When the Aggie Village North plans were approved we had concerns about how close the interior parking stalls are to the access point. To exit these spaces a vehicle will have to back into the crosswalk. At that time we were told that the first few diagonal parking spots would be identified as motorcycle parking with bollards. The backing over the crosswalk is still a concern; please show the bollards and the solution to this on these plans.
5. Directional Ramps at both corners: Prospect/Whitcomb and Lake/ Whitcomb will need to be designed and installed. That is our standard and is what is being installed on the other corners along Lake and Prospect.
6. The plans show that ROW is to be dedicated along all 3 street frontages to behind the sidewalk. That is great, is that really what is planned?
7. Plans will need to be reviewed and approved by Traffic Operations (striping and signal relocation), Utilities, and Engineering.

**Department: Electric Engineering**

**Contact: Tyler Siegmund, 970-416-2772, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)**

1. Electric capacity fees, development fees, building site charges and any system modification charges necessary to feed the site will apply to this development. Please visit the following website for an estimate of charges and fees:

<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>

2. Please contact Tyler Siegmund at Light & Power Engineering if you have any questions at 970.416.2772. Please reference our policies, construction practices, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>

**Planning Services**

**Contact: Jason Holland, 970-224-6126, [jholland@fcgov.com](mailto:jholland@fcgov.com)**

1. Is it possible to add winter more winter interest/variety and screening at the 2' - 4' site line, either by replacing some of the material with evergreen species such as compact mugo pine varieties, or incorporating a low masonry wall. A low wall, or portions of low walls placed between clusters of the chanticleer pears shown, would add a strong architectural presence to the street-scape and be a transitional architectural element as visitors near the stadium.
2. Street trees will need to be adjusted to meet 15'/40' street light clearances.
3. Street tree selections will need approval by the City Forester.
4. Consider adding bermed areas east of the sidewalk in areas where the parking is at the same grade as the street.