

Conceptual Review Agenda

Schedule for 04/20/15 to 04/20/15

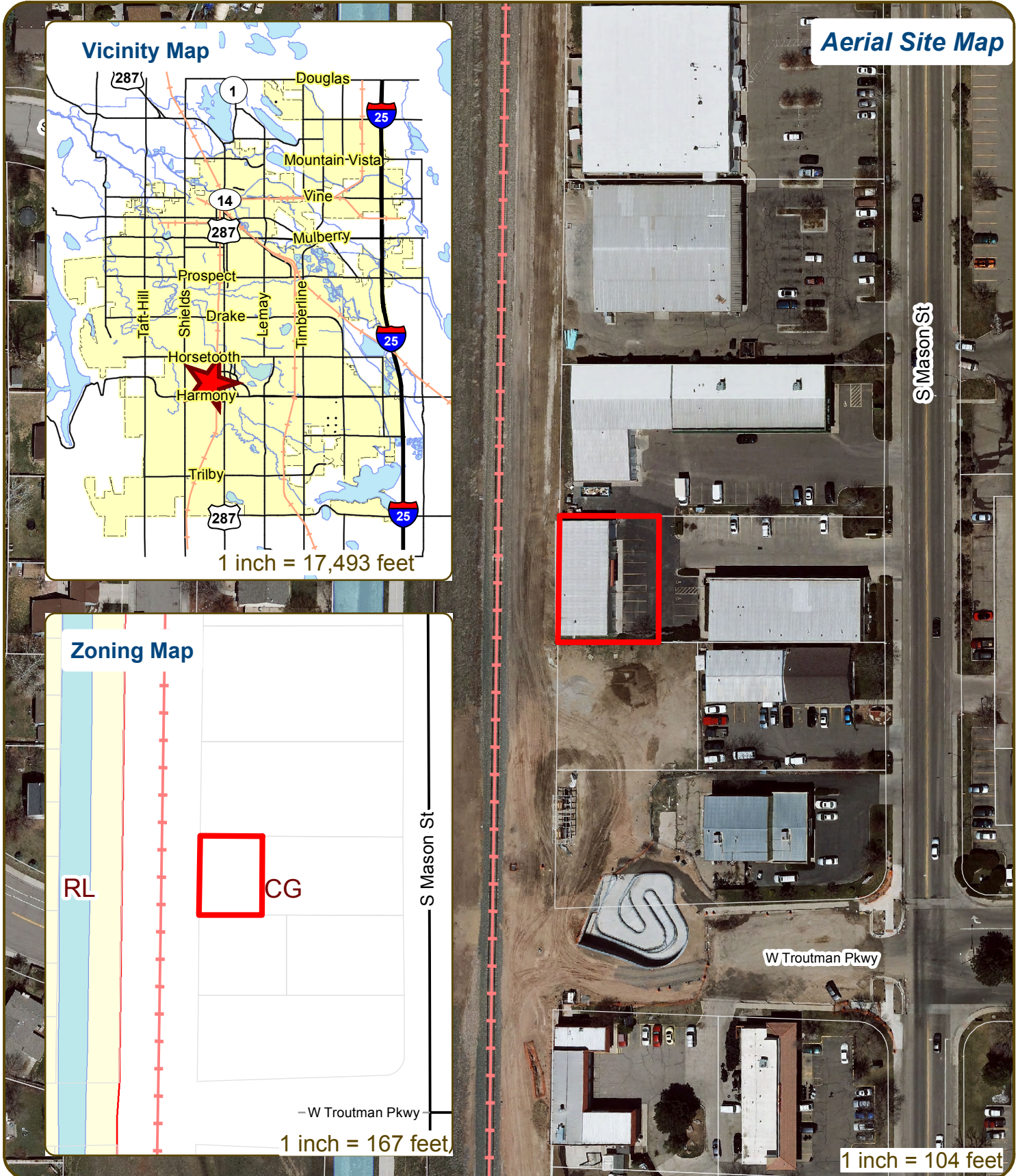
281 Conference Room A

Monday, April 20, 2015

Time	Project Name	Applicant Info	Project Description	Planner
10:15	4221 S Mason - Child Care Center and Dance Studio CDR150023	Jillian Stashak (303) 304-4545 jillian.r.black@gmail.com	This is a request to locate a preschool and dance studio at 4221 S Mason (parcel #9735451001). The school and studio will occupy the building in the rear of the property. The proposal calls for removing 6 parking spaces to accommodate for a fenced outdoor space with landscaping. The parcel is located in the General Commercial (CG) zone district. This project will be subject to Planning & Zoning Board (Type II) review.	Clay Frickey

4221 S Mason

Child Care Center and Dance Studio



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CONCEPTUAL REVIEW:
APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a “first come, first served” basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED **The more info provided, the more detailed your comments from staff will be.**

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Jillian Stashak - Owner, Mallory Henry - Owner

Business Name (if applicable) Henry-Stashak Academy of Dance and Innovation

Your Mailing Address 450 Woodson Dr. Erie, CO 80516

Phone Number 303-304-4545 **Email Address** jillian.r.black@gmail.com

Site Address or Description (parcel # if no address) 4221 S Mason St., Fort Collins, CO 80525

Description of Proposal (attach additional sheets if necessary) _____

Convert 6 existing parking places into a fenced outdoor space with landscaping; Add one additional parking space with handicap access; Convert garage door on north side of building into windows, Add two large windows on either side of south door.

Proposed Use Dance school/ preschool **Existing Use** Empty building - was a printing press

Total Building Square Footage 3600 **S.F. Number of Stories** 1 **Lot Dimensions** _____

Age of any Existing Structures 10 years (built 2005)

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? ☐ Yes ☒ No If yes, then at what risk is it? _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.


Increase in Impervious Area N/A - we would like to remove pavement **S.F.**
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)


Suggested items for the Sketch Plan:

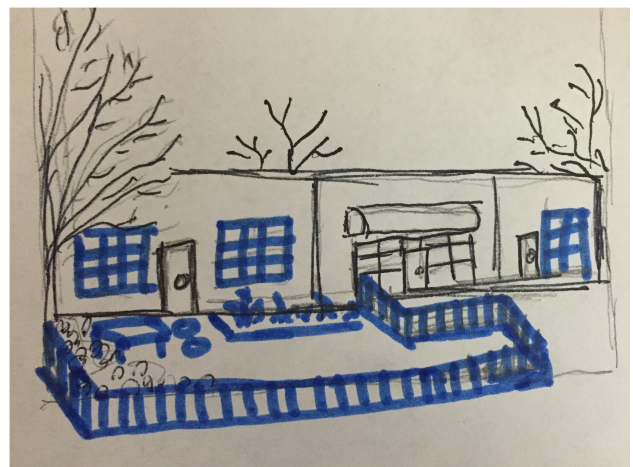
Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

Conceptual Review Sketch 4221 S Mason St. 80525



 Convert to fenced outdoor space with grass

 Create additional parking space



(Current structure left, proposed changes in blue on right): Convert garage door on north side of building to windows. Add window on either side of south door. Close off outdoor space and landscape with grass, garden, and picnic table.



April 28, 2015

Jillian Stashak
Henry-Stashak Academy of Dance and Innovation
450 Woodson Dr
Erie, CO 80516

Re: 4221 S Mason - Child Care Center and Dance Studio

Description of project: This is a request to locate a preschool and dance studio at 4221 S Mason (parcel #9735451001). The school and studio will occupy the building in the rear of the property. The proposal calls for removing 6 parking spaces to accommodate for a fenced outdoor space with landscaping. The parcel is located in the General Commercial (CG) zone district. This project will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or cfrickey@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

1. Depending on whether the parking lot is an easement an actual shade structure is advised in the outdoor play area.
2. Please refer to LUC 3.8.4 regarding Child Care Center Regs. for minimum in and outdoor play area required.
3. Drivers parking to the east of the drive isle will need a minimum of 24' of backup space to pull in and out of their stalls thus the proposed fence may need to be moved back toward the building.
4. One of the overhead photos appears to show an open trash dumpster area at the nw corner. Please refer to LUC 3.2.5 as an enclosure wall and gates would be required for adequate trash/garbage containment.

Department: Water-Wastewater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. It appears there are no modifications to the existing water or sewer services with this proposal. Please contact Water Utilities Engineering if this changes.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. Please provide some additional information on anticipated traffic volumes. How many students? How many staff? How many / size of dance classes? Will the dance classes overlap with the pre-school hours? This will determine whether additional traffic analysis is needed.
2. How will circulation work on site - especially for pick up and drop off? Are there access easements to get to/from the site?
3. The parcel data seems to show that the proposed playground/outdoor play area will utilize the majority of parking available on this parcel. Where will staff and parents park?

Department: Stormwater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. No increase in impervious area is indicated in the application. Please contact Water Utilities Engineering if this changes.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. FIRE LANES

A fire lane is required to be within 150' of all portions of the building. Currently, this code requirement does not appear to have been met unless an Emergency Access has been previously dedicated on the property, if so, please provide details. If the development of the property pre-dates code requirements for access dedication, an easement will be required. If the building is to be equipped with a fire sprinkler system, an access easement may not be required. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

2. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of the building. The nearest hydrant, however, appears to be approximately 470' away from the building and is on the opposite side of an arterial road. This condition represents a code deficiency, but as there is no substantial changes being proposed for the building and no addition of square footage, the pre-existing condition will be accepted. Other changes to the building may prompt the need for an additional hydrant in the future. Code language provided below.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

3. PREMISE IDENTIFICATION

As the building has no street frontage, address numerals are required on the monument signage at Mason Street as well as on the building. Code language provided below.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

4. FIRE ALARM SYSTEMS

Group E Occupancy: A manual fire alarm system shall be installed in Group E Occupancies when the occupant load is 50 or more. IFC 2006 907.2.3

Department: Environmental Planning

Contact: Stephanie Blochowiak, 970-416-2401, sblochowiak@fcgov.com

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:
<http://www.fcgov.com/engineering/dev-review.php>
3. These comments are based on the application being for a lot that does not have any public street frontage. If the application does include the front lot that does have public street frontage then the comments shall be different.
4. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
5. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.

Department: Electric Engineering

Contact: Todd Vedder, 970-224-6152, tvedder@fcgov.com

1. System modification charges may apply to any change in the service. Depending on where the existing electrical is fed from an evening outage may need to be taken in order to modify the existing electrical service.
2. A Commercial Service Information Form (C-1) will need to be filled out and completed. A link to this C-1 form is provided below:

<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations>

3. Please provide a one-line diagram to ensure metering requirements and service information matches with what is given on the C-1 form.

Planning Services

Contact: Clay Frickey, 970-224-6045, cfrickey@fcgov.com

1. You will need to provide 1 bike parking space per 3,000 sq. ft., with a minimum of four bike parking spaces per Land Use Code section 3.2.2(C)(4). These bike parking spaces can all be provided via fixed racks.
2. For the child care center, there shall be 2 parking spaces per three (3) employees, or 1 parking space per 1,000 square feet of floor area, whichever requires the greatest number of parking spaces per Land Use Code section 3.2.2(K)(1)(h). Your current proposal will likely fall short of this minimum and will thus require a modification.
3. The on-site pedestrian and bicycle circulation system must be designed to provide, or allow for, direct connections to major pedestrian and bicycle destinations including, but not limited to, parks, schools, Neighborhood Centers, Neighborhood Commercial Districts and transit stops that are located either within the development or adjacent to the development as required, to the maximum extent feasible, per Land Use Code section 3.2.2(C)(6). This site does not currently tie directly into the pedestrian and bicycle network. How will your plan address this issue?
4. There shall be an outdoor play area for the child care center that is no less than 1,200 sq. ft. per Land Use Code section 3.8.4. How large is the outdoor patio that you are proposing? For your site to be in compliance, this play area will need to be at least 1,200 sq. ft. If you will have more than 15 children, the size of the outdoor play area will increase by 75 sq. ft. per child for 33% of the child capacity of the center.
5. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
6. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
7. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
8. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
9. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
10. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.

- 11.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

20012 International Building Code (IBC)
2012 International Residential Code (IRC)
20012 International Energy Conservation Code (IECC)
2012 International Mechanical Code (IMC)
2012 International Fuel Gas Code (IFGC)
2012 International Plumbing Code (IPC) as amended by the State of Colorado
2014 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
970-416-2341