

# Conceptual Review Agenda

Schedule for 03/25/13 to 03/25/13

281 Conference Room A

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## Monday, March 25, 2013

Time	Project Name	Applicant Info	Project Description	Planner
9:00		Canceled		
9:30	706 Stuart - Therapeutic/Transitional Housing	Marina Asbury 970-231-4286 <a href="mailto:info@asburyhouse.org">info@asburyhouse.org</a>	This is a request to add therapeutic and transitional residential units (group home and apartments) at 706 East Stuart Street (Parcel# 97241-43-001). The therapeutic units and 4 transitional housing units are to be located in the main building on the property. There are a total of 12 bedrooms, and the plan is to serve 12 clients in the main building and up to 12 in the transitional units, for a total of up to 24 residents. Additional uses will be office and counseling. Staffing will consist of 5 counselors, 1 full time house manager, 1 part time house manager, 2 full time CNA's, 1 full time receptionist and 1 full time accountant. The site is located in the Low Density Mixed-Use Neighborhood (L-M-N) Zone District. The site is the previously approved Springwood Institute PUD, and a Type 2 major amendment or a brand new Type 2 PDP will be required for the change of use.	Ted Shepard
10:15	1319 Plum - Platting & Duplex	Steve Jones 970-567-1072 <a href="mailto:jonesconstruction12@hotmail.com">jonesconstruction12@hotmail.com</a>	This is a request to plat a lot to allow for the reconstruction of a duplex located at 1319 West Plum Street (Parcel# 97151-04-024). The site recently contained a duplex that was condemned and demolished. The new duplex would have the same building footprint and look of the recently demolished structure. The site is located in the Community Commercial (C-C) Zone District; the platting and duplex are subject to administrative (Type 1) review.	Sherry Albertson-Clark

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281 Conference Room A

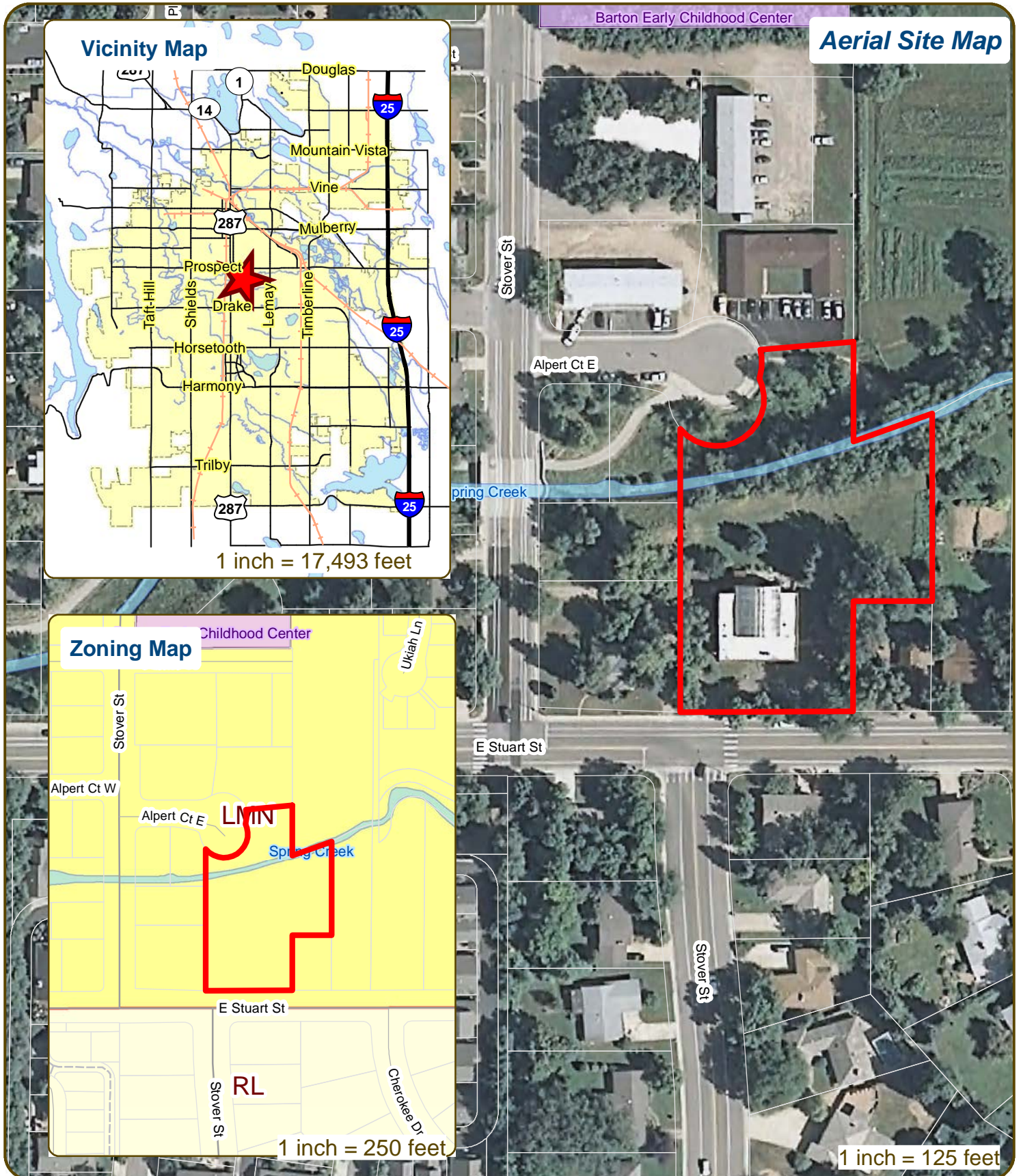
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## Monday, March 25, 2013

Time	Project Name	Applicant Info	Project Description	Planner
11:00	609 Shields - Multifamily	Craig Russell 970-484-8855 <a href="mailto:crussell@russellmillsstudios.com">crussell@russellmillsstudios.com</a>	This is a request to construct 92 multifamily units and retail/cafe space located at 609 South Shields Street (Parcel# 97151-29-001). The main portion of the building would be 4 stories, stepping down 3 stories on the north sides to reduce shading. The main portion of the site is zoned Medium Density Mixed-Use (M-M-N) and a smaller northern portion is zoned Neighborhood Conservation Buffer (N-C-B) Zone District. The site is also located in the Transit Oriented Development (TOD) Overlay Zone. A total of 1,300 square feet of the retail/cafe and 5 residential units are situated in the area of the site zoned N-C-B. As the project contains more than 50 units/75 bedrooms, it is subject to Planning & Zoning Board (Type 2) review.	Jason Holland

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# 706 E Stuart Therapeutic/Transitional Housing



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## Development Review Guide – STEP 2 of 8

### CONCEPTUAL REVIEW: APPLICATION

#### General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

**\*BOLDED ITEMS ARE REQUIRED\*** \*The more info provided, the more detailed your comments from staff will be.\*

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) Marina Asbury,

Founding Director

**Business Name** (if applicable) Asbury House

**Your Mailing Address** 1020 Country Club Rd, Fort Collins, CO. 80524

**Phone Number** 970-231-4286 **Email Address** info@asburyhouse.org

**Site Address or Description** (parcel # if no address) 97241-43-001  
706 East Stuart St, Fort Collins, CO. 80525

**Description of Proposal** (attach additional sheets if necessary) Main building as  
therapeutic residential with 4 transitional housing units

Residential

**Proposed Use** Therapeutic Treatment **Existing Use** Therapeutic Spa & Bed & Breakfast

**Total Building Square Footage** 4208 **S.F. Number of Stories** 2 **Lot Dimensions** 62,992

**Age of any Existing Structures** 1979 & 1985

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

**Is your property in a Flood Plain?** ☐ Yes ☒ No If yes, then at what risk is it? \_\_\_\_\_

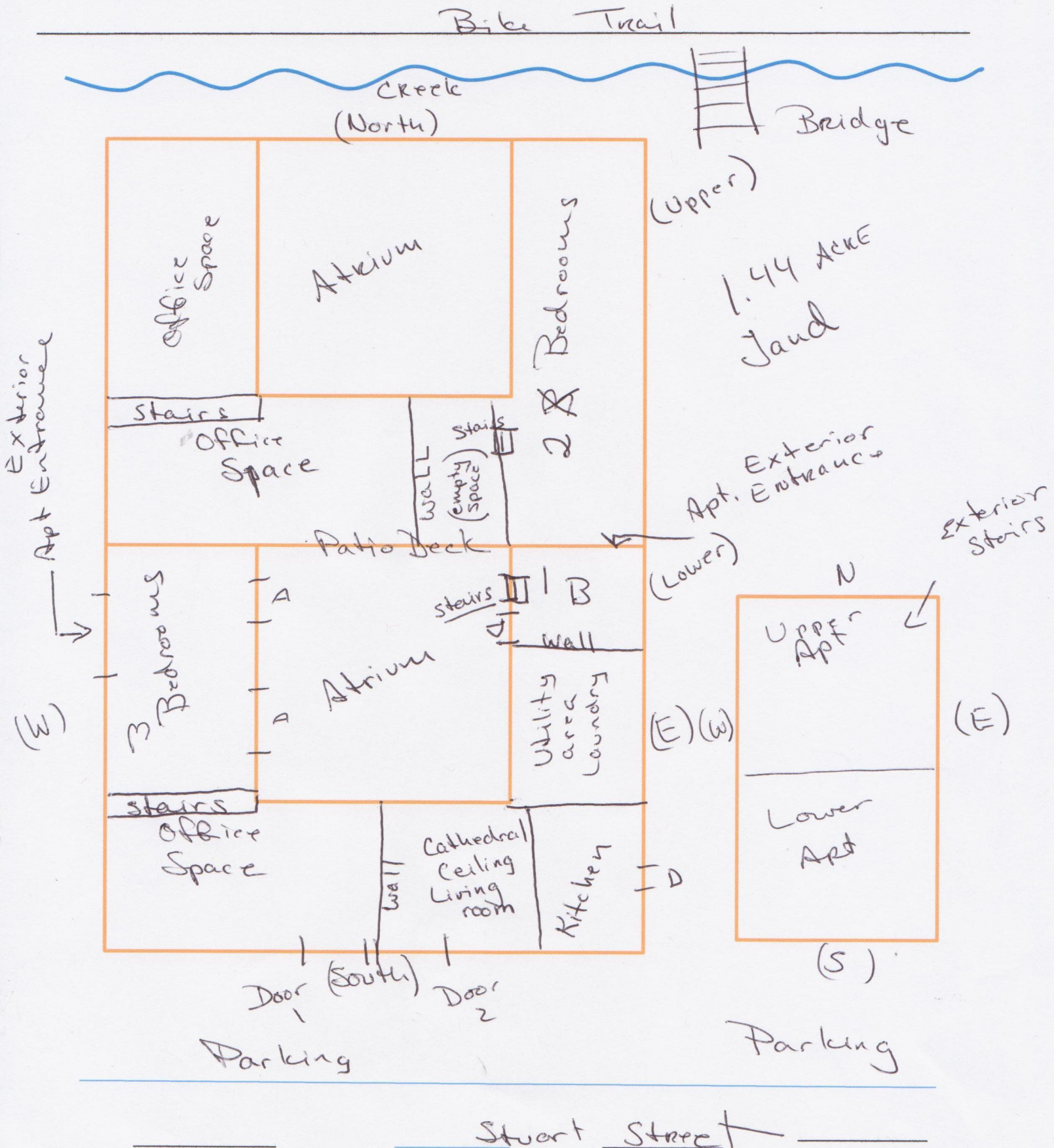
Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

**Increase in Impervious Area** n/a **S.F.**  
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

#### Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?











































Community Development and  
Neighborhood Services  
281 North College Avenue  
PO Box 580  
Fort Collins, CO 80522

970.221.6750  
970.224.6134 - fax  
[fcgov.com](http://fcgov.com)

April 01, 2013

Marina Asbury  
Asbury House  
706 E Stuart St  
Fort Collins, CO 80525

**Re: 706 Stuart - Therapeutic/Transitional Housing**

**Description of project:** Referred to as Asbury House, this is a request to convert an existing salon and bed and breakfast (Springwood Institute P.U.D.) into a therapeutic, residential, voluntary treatment program, for women only, as a group home at 706 East Stuart Street. (Parcel# 97241-43-001). The program would consist of counseling and treatment in a residential setting. There would be two apartments in the main house and two apartments in the carriage house. In addition, in the main house, there would be six bedrooms with central dining as part of the group living arrangement. There are a total of 12 bedrooms, and the plan is to serve 12 clients in the main building and up to 12 in the transitional units, for a total of up to 24 residents at full capacity. Additional uses will be office and counseling. Staffing will consist of 5 counselors, 1 full time house manager, 1 part time house manager, 2 full time CNA's, 1 full time receptionist and 1 full time accountant. The site is located in Low Density Mixed-Use Neighborhood (L-M-N) Zone District. The site is the previously approved Springwood Institute PUD, and a Type 2 major amendment or a brand new Type 2 PDP will be required for the change of use.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ted Shepard, at 970-221-6343 or [tshepard@fcgov.com](mailto:tshepard@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Peter Barnes, 970-416-2355, [pbarnes@fcgov.com](mailto:pbarnes@fcgov.com)**

1. Based on previous information provided by the applicant, and per a site visit conducted by Peter Barnes and Ted Shepard, the proposed principal uses of the property consist of:
  1. a group home with bedrooms and apartments for up to 24 women with substance use disorders.
  2. an office and counseling use.
2. The property is in the LMN zone, and is the location of the approved Springwood Institute PUD. A Type 2 major amendment or a brand new Type 2 PDP will be necessary to allow the new uses. An office/counseling use and a group home other than for developmentally disabled or elderly are Type 2 uses. Therefore, the amendment or new PDP needs to be approved by the P&Z Board.



**Department: Zoning**

**Contact: Peter Barnes, 970-416-2355, [pbarnes@fcgov.com](mailto:pbarnes@fcgov.com)**

3. A bike rack and a handicap parking space need to be provided. If a trash dumpster is going to be used, then a 6' tall trash enclosure needs to be constructed. Indicate the location of the enclosure on the site plan.
4. Need to clarify the number of apartments and where they are. Are there 4 apartments? and are they all located in the detached carriage house building? Or are some in the main building. If there are apartments in the detached carriage house building, a building permit will be required to convert the building. The building department records show the building to include 8 bedrooms and 2 bathrooms, but no apartments.

**Department: Water-Wastewater Engineering**

**Contact: Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)**

1. Existing water mains and sanitary sewers in this area include an 8-inch water main and a 10-inch sewer in Stuart.
2. The existing water service to the property is a ¾-inch service.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. If a larger water service is needed for the proposed use, additional development fees and water rights will be due at building permit.

**Department: Stormwater Engineering**

**Contact: Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)**

1. Floodplain comments:  
The northern portion of this lot lies within the FEMA-regulatory 100-year Spring Creek Floodway and Flood Fringe, and must conform to the standards of Chapter 10 of City Code. A FEMA Flood Risk Map is attached.
2. The existing building is not within the floodplain, and as long as the footprint of the building is not extended into the floodplain, there will be no floodplain requirements associated with this proposed remodel.
3. If any work in the floodplain is planned, including but not limited to dredging, filling, grading, paving, excavation, or storage of equipment or materials, a Floodplain Use Permit, \$25 fee, and approved plans will be required. The permit form can be obtained at <http://www.fcgov.com/utilities/what-we-do/stormwater/flooding/forms-documents>.
4. If any work is proposed in the floodway, including landscaping, fencing and other activities, a No-Rise Certification, must be prepared and signed by a Professional Engineer licensed in the State of Colorado (in addition to the Floodplain Use Permit).
5. If the applicant contacts Shane Boyle of Stormwater Master Planning at [sboyle@fcgov.com](mailto:sboyle@fcgov.com), he will provide floodplain CAD line work to locate the floodplain boundaries.

**Department: Stormwater Engineering**

**Contact: Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)**

6. The Floodplain Administrator for the Spring Creek Basin is Brian Varrella; 970.416.2217, [bvarrella@fcgov.com](mailto:bvarrella@fcgov.com). Please contact Brian or Mark Taylor; 970.416.2494, [mtaylor@fcgov.com](mailto:mtaylor@fcgov.com), with any questions or comments.
7. Stormwater Development Review comments:  
It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
8. Since the existing buildings are to remain, a drainage letter should be sufficient to document the existing drainage patterns and to discuss the water quality measures being provided. The drainage letter needs to address the four-step process for selecting structural BMPs. Also standard operating procedures (SOPs) must be prepared for each of the BMPs being used on the site. They must be prepared by a Professional Engineer registered in Colorado.
9. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Depending on the amount of new impervious area, onsite detention may not be necessary with Spring Creek on the site. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.
10. If the site is required to meet present Land Use Code requirements, onsite water quality treatment of the runoff is required. Water quality treatment methods are described in the Urban Storm Drainage Criteria Manual, Volume 3 - Best Management Practices (BMPs). A method that could be used on an existing site is to direct the downspouts to a landscape area. Another is if perimeter landscape buffers or parking lot medians are required, they could be used to treat the runoff in bio-retention areas or rain gardens. (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)
11. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new parking lots must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).
12. The drainage outfall for this site is Spring Creek. The slope of the site indicates that no runoff drains onto Stuart St.
13. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
14. The design of this site must conform to the drainage basin design of the Spring Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.

**Department: Park Planning**

**Contact:** Craig Foreman, 970-221-6618, [cforeman@fcgov.com](mailto:cforeman@fcgov.com)

1. 1. 3/18/2013: No comments

**Department: Fire Authority**

**Contact:** Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)

1. OCCUPANCY CLASSIFICATION

The occupancy group shall drive specific code requirements. Assisted living, Congregate care, and Convalescent facilities serving more than 16 persons, fall under the category of a Group I-1 Occupancy. The following comments are based on a Group I-1 Occupancy.

2. AUTOMATIC SPRINKLER SYSTEM

An automatic sprinkler system shall be provided throughout buildings with a Group I fire area.

3. FDC

Fire Department Connections shall be installed in accordance with NFPA standards. Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access. The location of the FDC shall be approved by the fire department.

2006 International Fire Code 912.2

4. KEY BOXES REQUIRED

Poudre Fire Authority requires at least one key box ("Knox Box") to be mounted in approved location(s) on every new building equipped with a required fire sprinkler or fire alarm system. The top shall not be higher than 6 feet above finished floor.

2006 International Fire Code 506.1 and Poudre Fire Authority Bureau Policy 88-20

5. FIRE ALARM AND DETECTION SYSTEMS (Group I)

A manual fire alarm system shall be installed in Group I occupancies. An electrically supervised, automatic smoke detection system shall be provided in accordance with Section 907.2.6.1, with exceptions.

2006 International Fire Code 907.2.6; International Building Code 407.2

6. COMMERCIAL KITCHEN HOODS

A Type I hood shall be installed at or above all commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease vapors.

2006 International Fire Code 609.2

7. PREMISE IDENTIFICATION

New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

2006 International Fire Code 505.1

**Department: Environmental Planning**

**Contact:** Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)

**Department: Environmental Planning**

**Contact:** Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (Spring Creek). Please note the buffer zone standard of 100' for Spring Creek, as identified in Section 3.4.1(E) of the Land Use Code, as you proceed with your site design process. Please note that the Ecological Characterization Study is due a minimum of 10 days prior to the PDP submittal.
2. Within the buffer zone, according to Article 3.4.1(E)(1)(g), the City has the ability to determine if the existing landscaping within the buffer zone is incompatible with the purposes of the buffer zone. Please ensure that your ECS discusses the existing vegetation and identifies potential restoration options. If it is determined to be insufficient, then restoration and mitigation measures will be required.
3. With respect to lighting, the City of Fort Collins Land Use Code, in Article 3.2.4(D)(6) requires that "natural areas and natural features shall be protected from light spillage from off site sources." Thus, lighting from the parking areas or other site amenities shall not spill over to the buffer areas.
4. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.
5. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
6. Projects in the Vicinity of Spring Creek must also comply with Section 3.4.1(I)(1) of the Land Use Code, which states the following: "Projects in the vicinity of large natural habitats and/or natural habitat corridors, including, but not limited to, the Poudre River Corridor and the Spring Creek Corridor, shall be designed to complement the visual context of the natural habitat. Techniques such as architectural design, site design, the use of native landscaping and choice of colors and building materials shall be utilized in such manner that scenic views across or through the site are protected, and manmade facilities are screened from off-site observers and blend with the natural visual character of the area. These requirements shall apply to all elements of a project, including any aboveground utility installations."

**Department: Engineering Development Review**

**Contact:** Marc Virata, 970-221-6567, [mvirata@fcgov.com](mailto:mvirata@fcgov.com)

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.



**Department: Engineering Development Review**

**Contact:** Marc Virata, 970-221-6567, [mvirata@fcgov.com](mailto:mvirata@fcgov.com)

4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:  
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. No additional right-of-way is anticipated with the submittal, however a 9 foot utility easement is required behind the existing right-of-way in accordance with Stuart Street's classification as a collector roadway. If the utility providers do not require the 9 foot utility easement, this requirement would be waived.
7. The existing driveway approaches would likely need to be modified in order for the sidewalk crossing the driveway to meet LCUASS and ADA compliance for sidewalk grade.
8. Should any changes be required or desired with the parking lot, additional comments may result from Engineering's review.
9. There appears to be landscaping that may be encroaching onto the sidewalk. The sidewalk would need to be free of any obstruction in conjunction with the submittal.
10. Depending on whether public improvements are required construction plans, a Development Agreement and Development Construction Permit may be required. If a Development Agreement is required recordation costs to record the document at Larimer County would be required of the applicant. If required, a Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.

**Department: Electric Engineering**

**Contact:** Rob Irish, 970-224-6167, [rirish@fcgov.com](mailto:rirish@fcgov.com)

1. Light & Power currently has existing electric facilities running adjacent to this site along Stuart St. This site is currently fed by a 4/0T aluminum cable. Any modification or relocation to the existing electric facilities would be at the owners expense.
2. If the applicant anticipates any change or increase to the existing electric load contact Light & Power Engineering @ 970-221-6700.

**Current Planning**

**Contact:** Ted Shepard, 970-221-6343, [tshepard@fcgov.com](mailto:tshepard@fcgov.com)

1. A neighborhood information meeting will be required prior to submittal. Please notify Staff as to scheduling this meeting.
2. The property is located in the L-M-N, Low Density Mixed-Use Neighborhood zone district. The maximum permissible number of residents is 15. If you would like to be able to provide services for up to 24, then you must submit a request for a Modification of Standard which would be evaluated by the Planning and

## Current Planning

Contact: Ted Shepard, 970-221-6343, [tshepard@fcgov.com](mailto:tshepard@fcgov.com)

Zoning Board. Staff can provide background on the criteria that is used in evaluating such a Modification.

3. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
4. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
5. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
6. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
7. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
8. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
9. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

### **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2009 International Building Code (IBC)*

*2009 International Residential Code (IRC)*

*2009 International Energy Conservation Code (IECC)*

*2009 International Mechanical Code (IMC)*

*2009 International Fuel Gas Code (IFGC)*

*2009 International Plumbing Code (IPC)* as amended by the State of Colorado

*2011 National Electrical Code (NEC)* as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

Energy Code Use

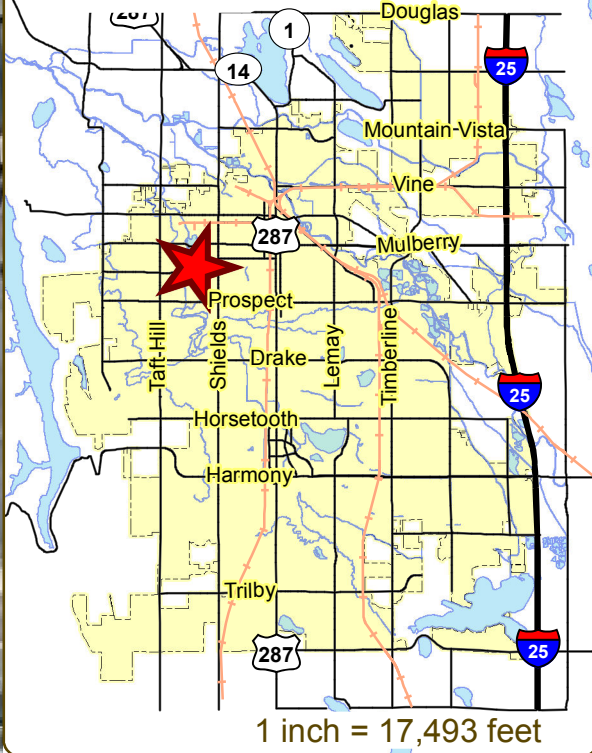
1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
416-2341

# 1319 West Plum Platting & Duplex

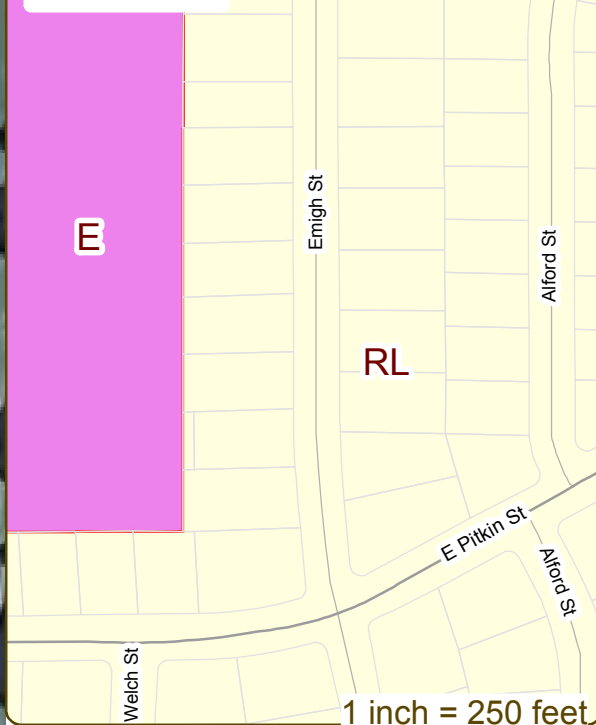
**Vicinity Map**



**Aerial Site Map**



**Zoning Map**



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**CONCEPTUAL REVIEW:  
APPLICATION****General Information**

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

**\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\***

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Steve Jones - Contractor

**Business Name** (if applicable) Jones Construction

**Your Mailing Address** 2526 Cedarwood Dr Ft Collins Co 80526

**Phone Number** 970-567-1072 **Email Address** jonesconstruction12@hotmail.com

**Site Address or Description** (parcel # if no address) 1319 West Plum

**Description of Proposal** (attach additional sheets if necessary) Demolition Restoration company

Demolish condemned duplex. I want to rebuild on the same spot on the lot. Building would match the one they removed

**Proposed Use** Duplex **Existing Use** Duplex

**Total Building Square Footage** 704 **S.F. Number of Stories** 1 **Lot Dimensions** \_\_\_\_\_

**Age of any Existing Structures** None

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

**If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.**

**Is your property in a Flood Plain?** ☐ Yes ☒ No **If yes, then at what risk is it?** \_\_\_\_\_

Info available on FC Maps: <http://gis.fcgov.com/fcmapi/fcmap.aspx> Click Floodplains tab and zoom to property.

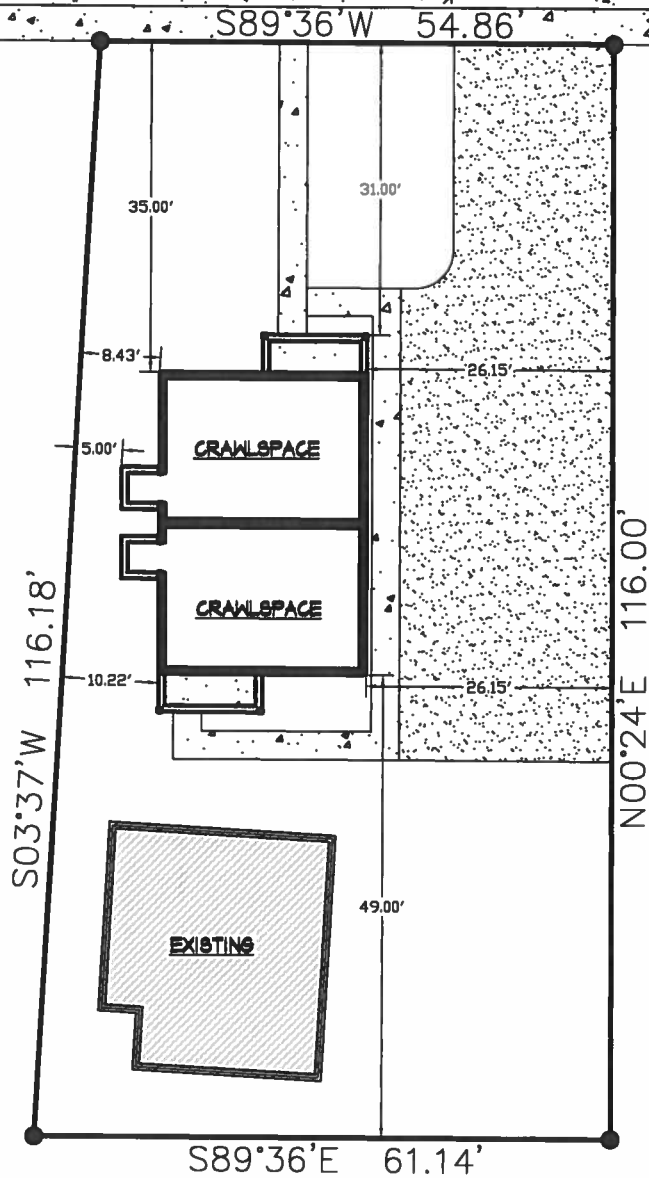
**Increase in Impervious Area** \_\_\_\_\_ **S.F.**  
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

**Suggested items for the Sketch Plan:**

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



# WEST PLUM STREET

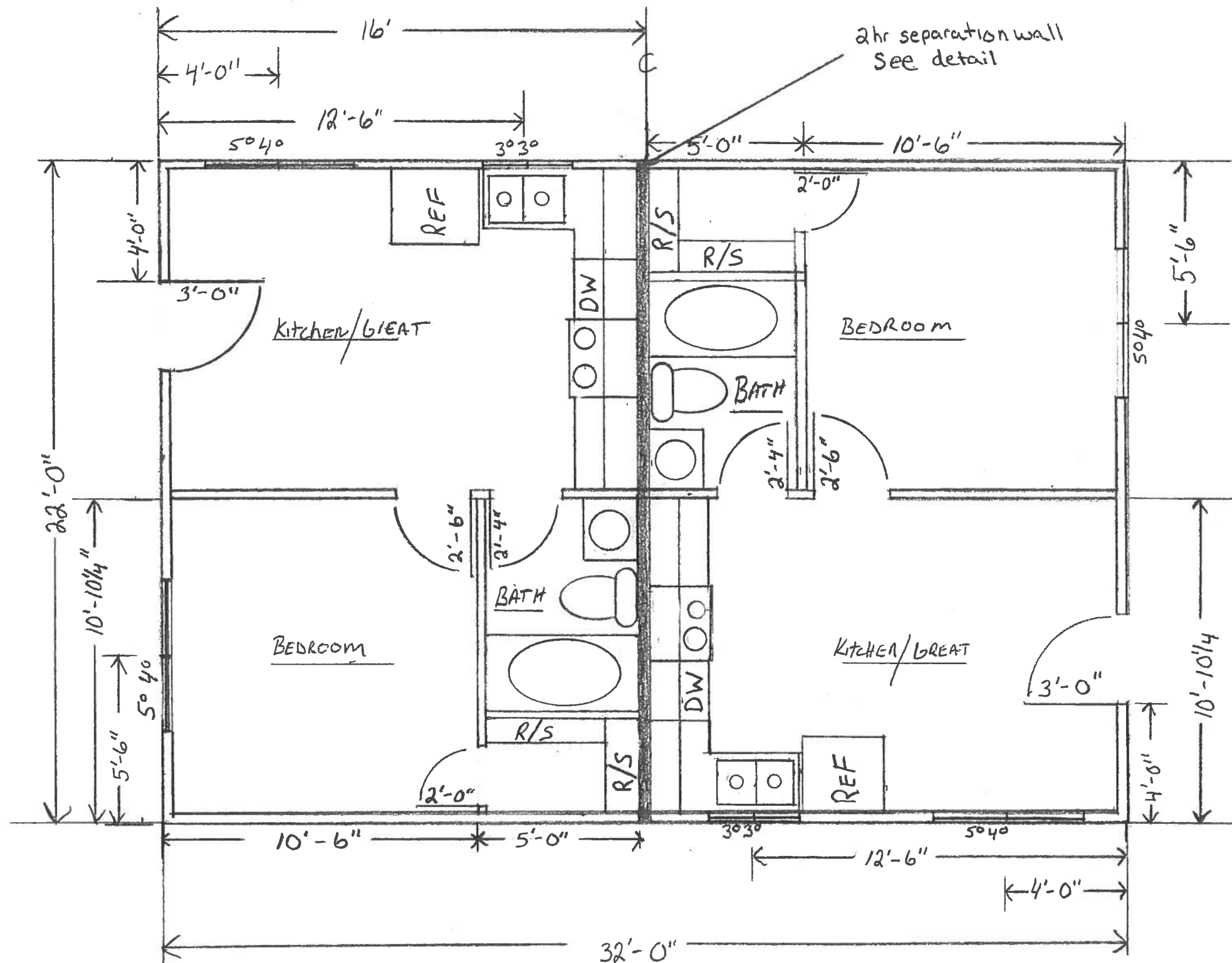


SITE PLAN FOR  
1319 WEST PLUM STREET  
FORT COLLINS, COLORADO

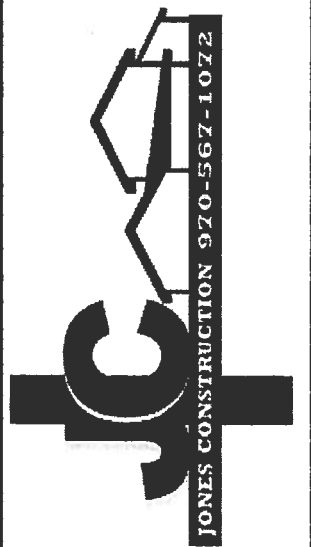
JONES CONSTRUCTION  
MARCH, 2013

SCALE: 1"=20'

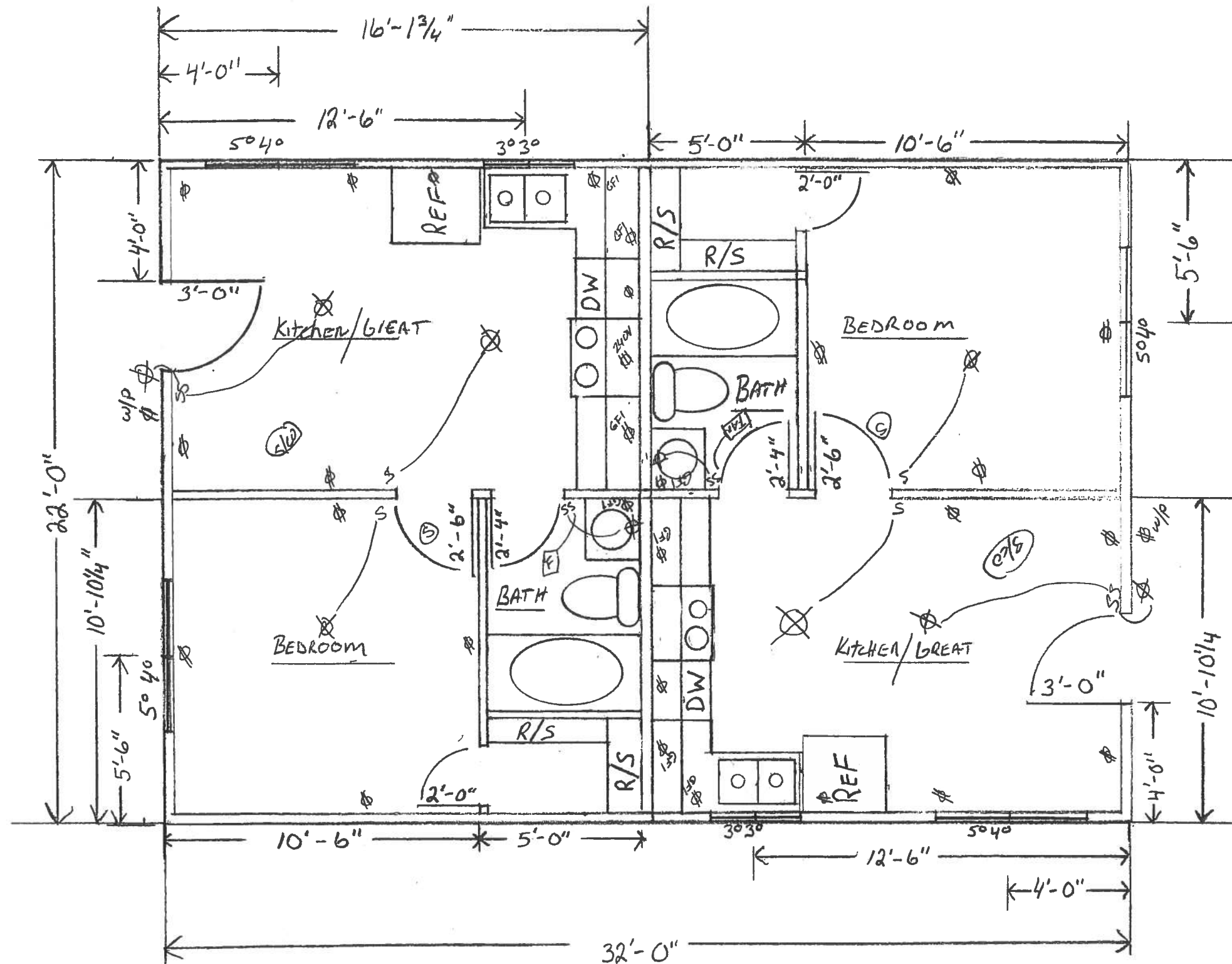




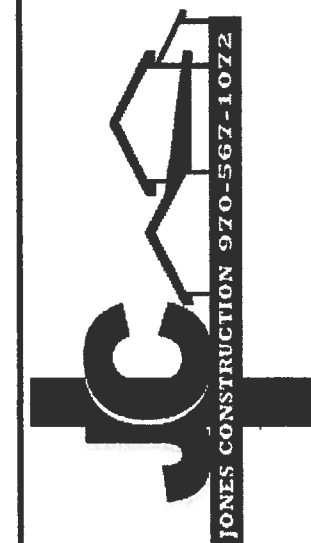
Floor Plan  
Scale: 1/4" = 1'-0"



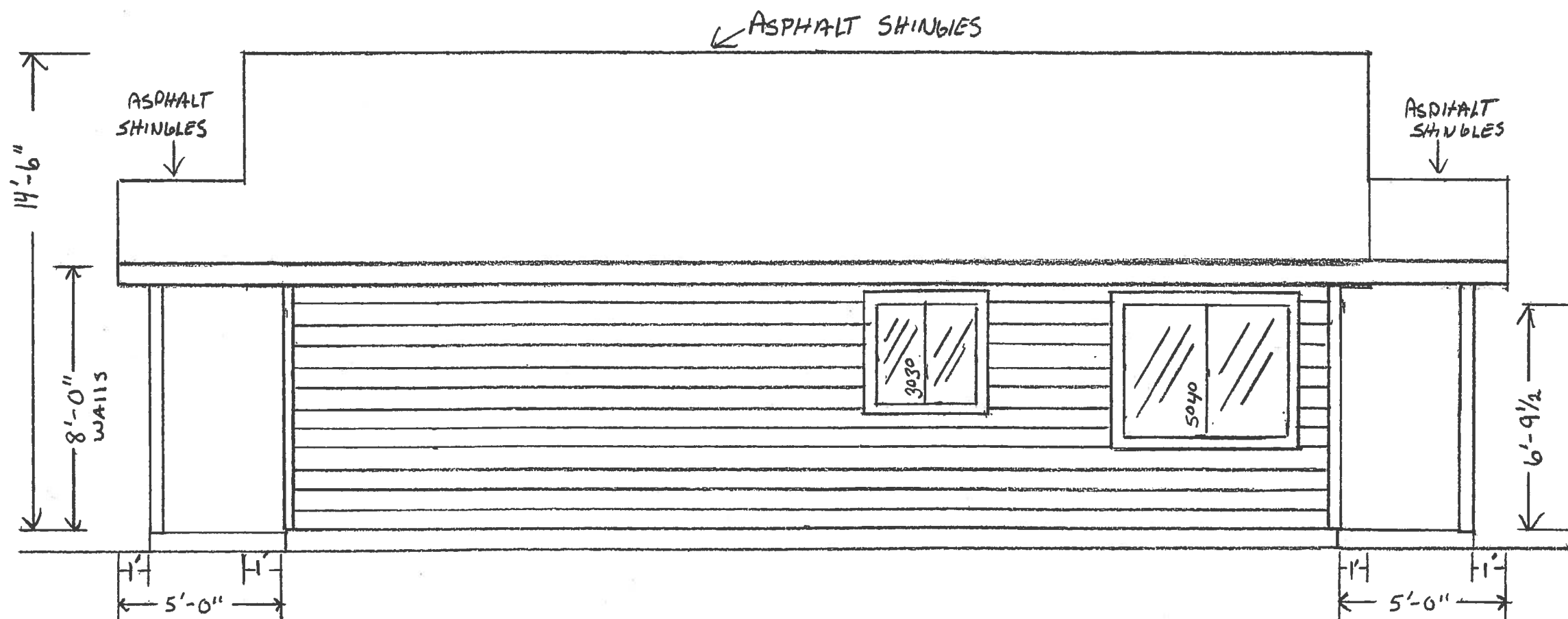
JOB INFO	
Matthew Pando	CONTRACTOR
1319 West Plum St #1 and #2	Jones Construction
Fort Collins, CO 80521-3496	2526 Cedarwood Dr
970-227-7866	Fort Collins, CO 80526
704 sq ft Duplex	970-567-1072
	ionesconstruction12@hotmail.com



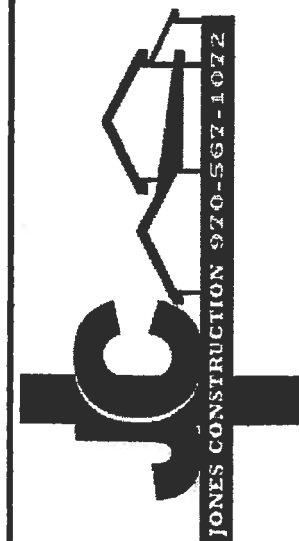
ELECTRICAL LAYOUT  
 Scale: 1/4" = 1'



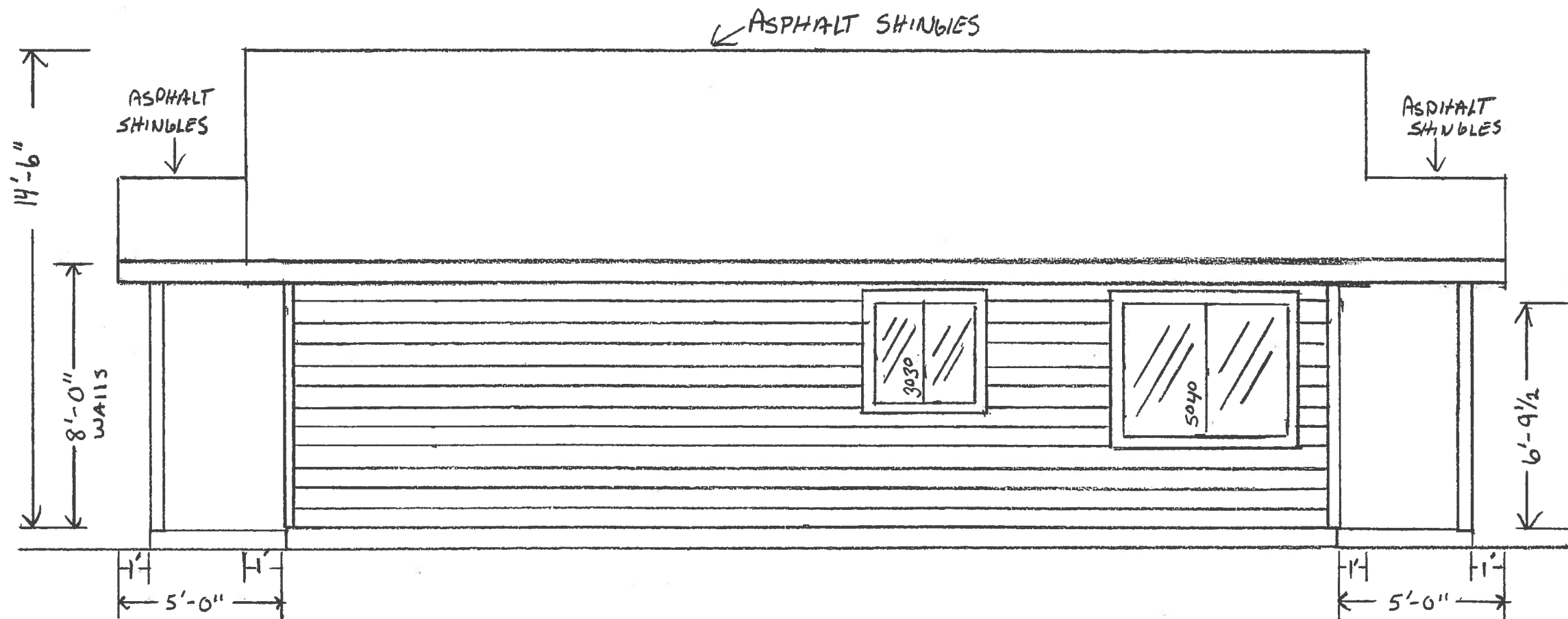
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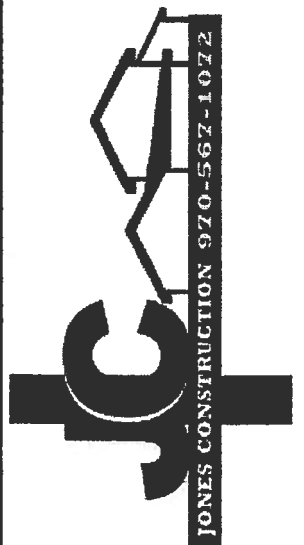
Right Side elevation  
Scale:  $\frac{1}{4}" = 1'-0"$



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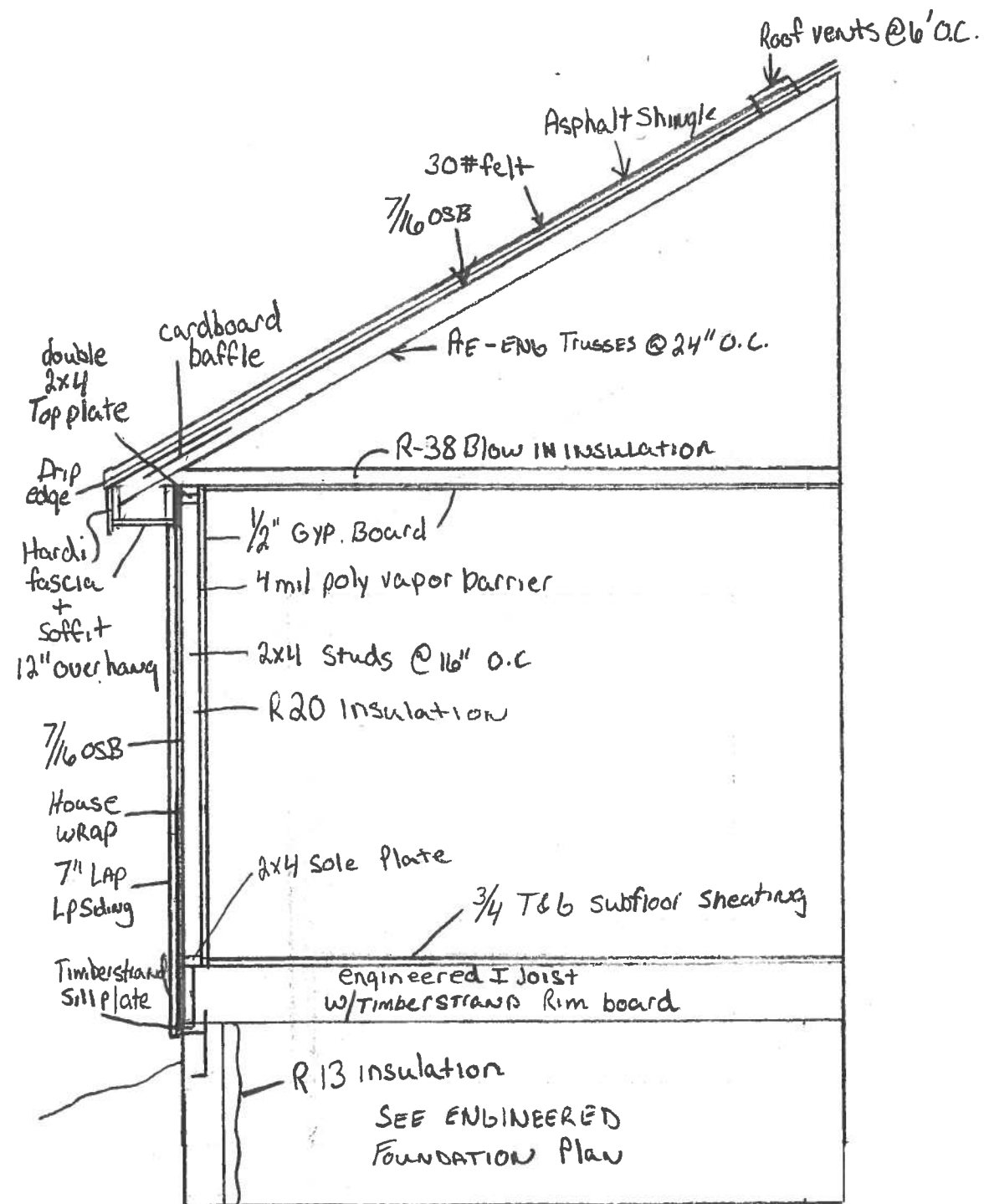


Left Side elevation  
Scale:  $\frac{1}{4}'' = 1'-0''$

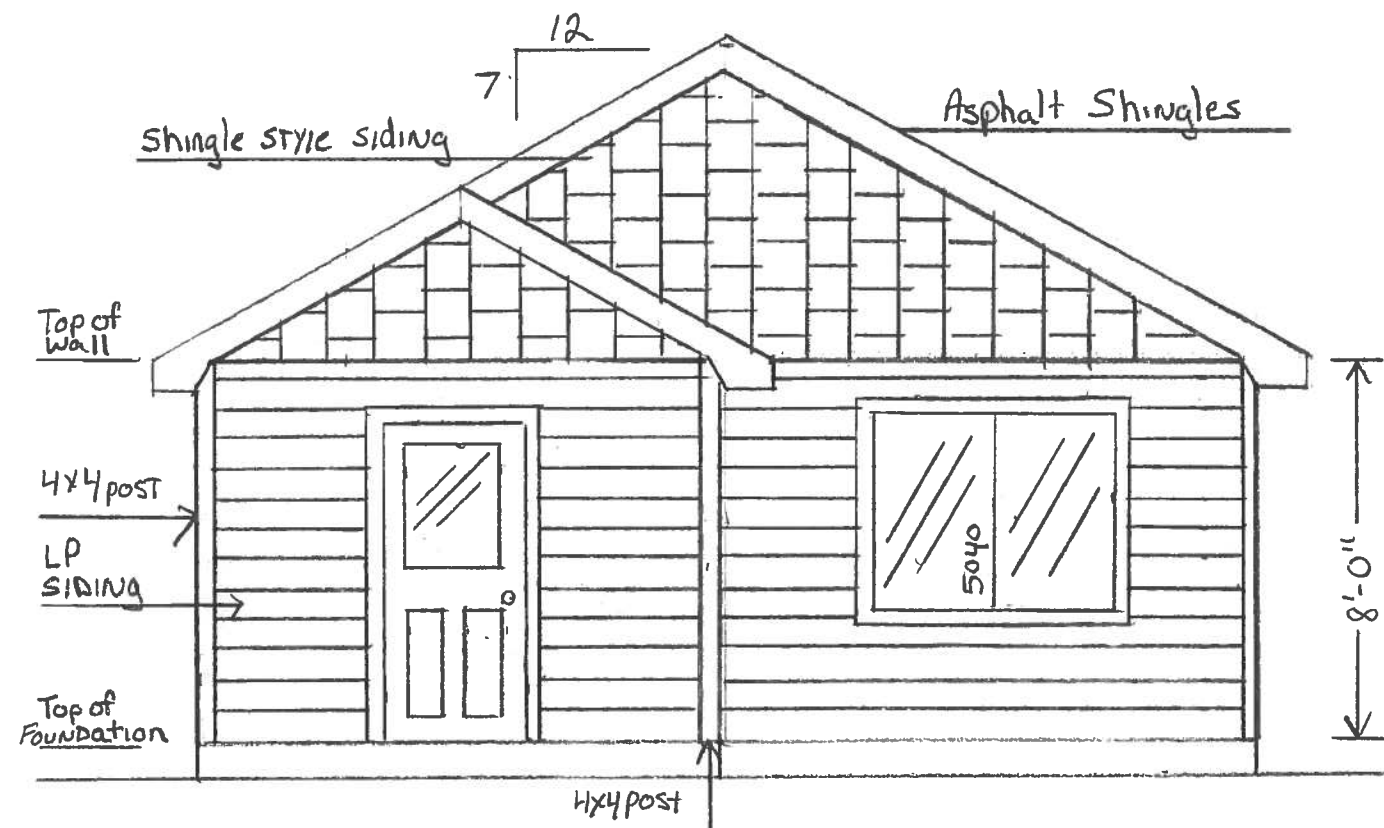


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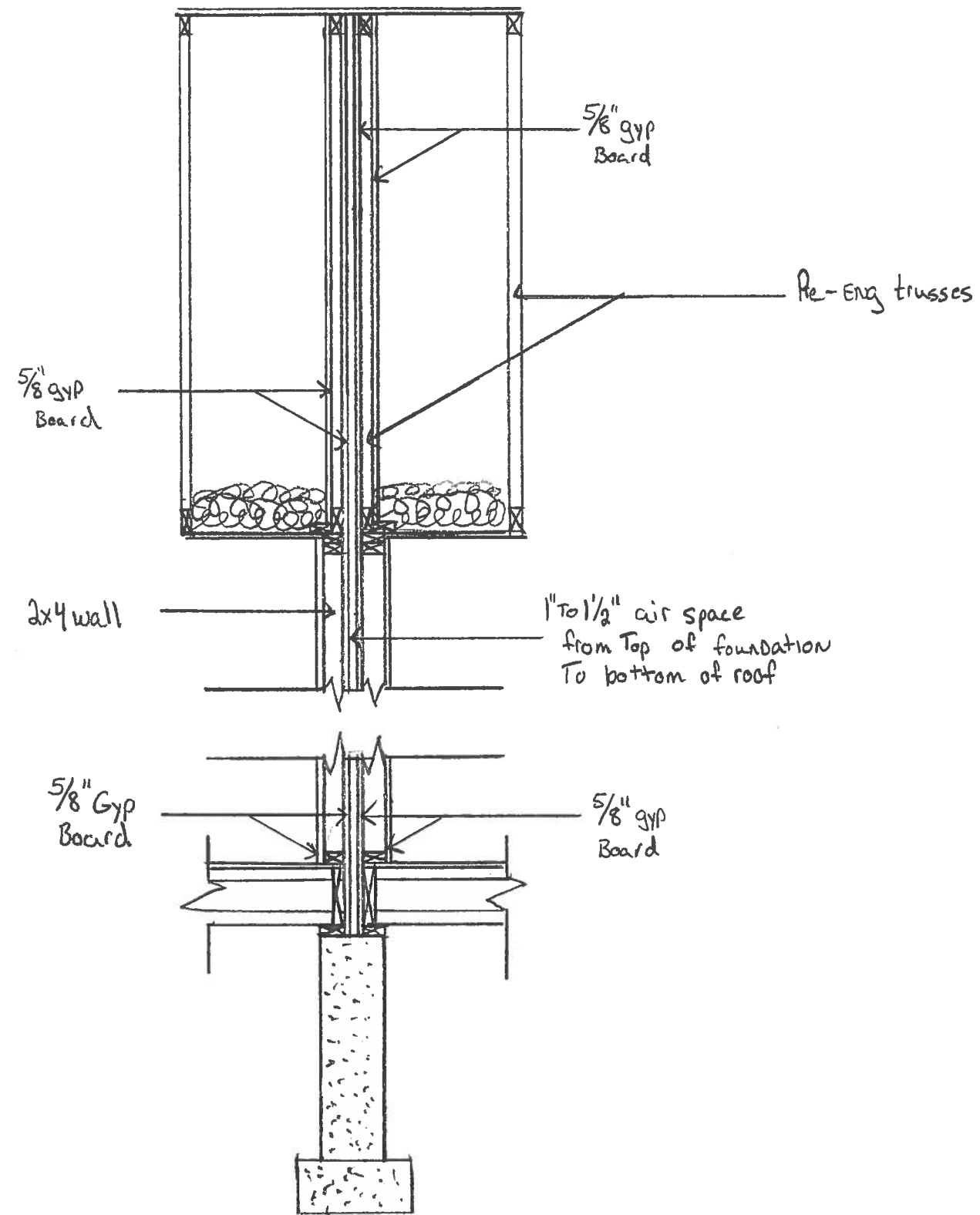


Wall Section  
Scale:  $\frac{3}{8} = 1'-0''$



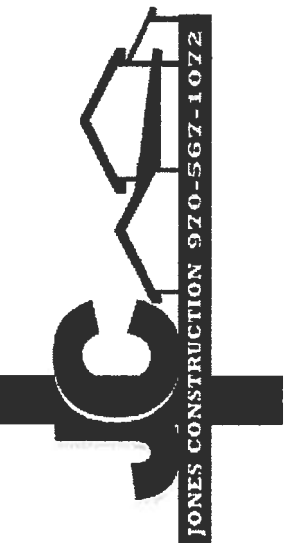
Front/Rear elevation  
Scale:  $\frac{1}{4} = 1'-0''$

	CONTRACTOR		Jones Construction
	2526 Cedarwood Dr		
JOB INFO	Matthew Pando		
	1319 West Plum St #1 and #2		
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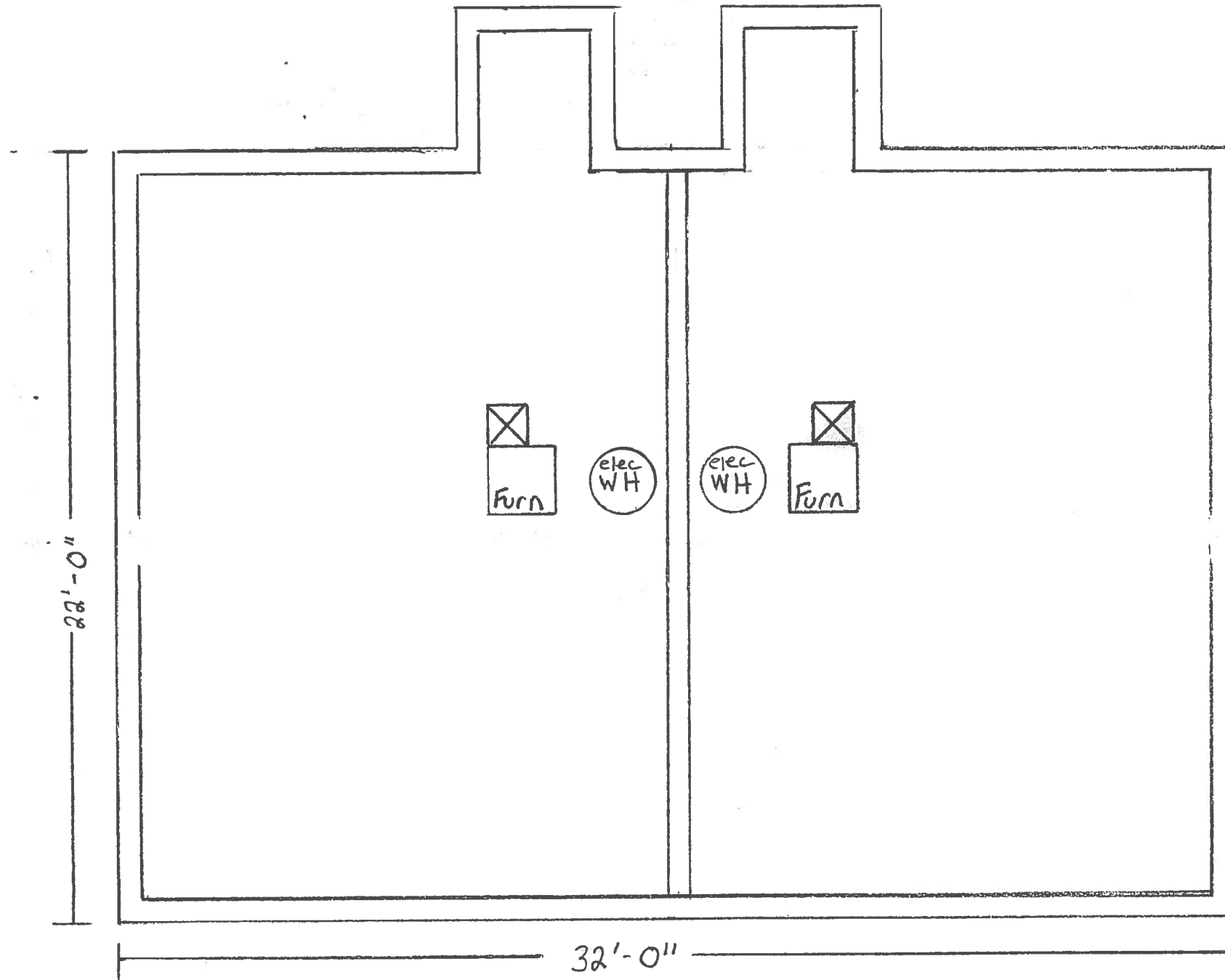


2 hr separation fire wall

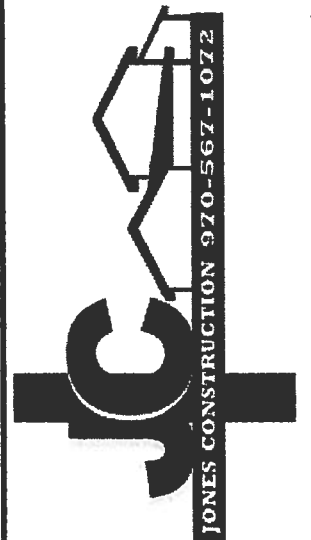
Scale:  $\frac{1}{2}'' = 1'$



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Crawl Space Plan  
Scale:  $\frac{1}{4} = 1'-0''$



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Community Development and  
Neighborhood Services  
281 North College Avenue  
PO Box 580  
Fort Collins, CO 80522

970.221.6750  
970.224.6134 - fax  
[fcgov.com](http://fcgov.com)

April 01, 2013

Steve Jones  
Jones Construction  
2526 Cedarwood Drive  
Fort Collins, CO 80526

**Re:** 1319 Plum - Platting & Duplex

**Description of project:** This is a request to plat a lot to allow for the reconstruction of a duplex located at 1319 West Plum Street (Parcel# 97151-04-024). The site recently contained a duplex that was condemned and demolished. The new duplex would have the same building footprint and appearance as the recently demolished structure. The site is located in the Community Commercial (C-C) Zone District; the platting and duplex are subject to administrative (Type 1) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Sherry Albertson-Clark, at 970-224-6174 or [salbertson-clark@fcgov.com](mailto:salbertson-clark@fcgov.com).

**Comment Summary:**

**Department:** Zoning

**Contact:** Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)

1. Land Use Code (LUC) section 4.18(B)(2)(a)2. In the CC (Community Commercial) Zone district Two-Family dwellings are a permitted use through a Type 1 (Public meeting with Administrative Hearing Officer) review.

Platting is also a Type 1 review.

It is unclear what is being purposed because the application states the demo of the existing duplex and building of a new duplex but the site plan shows half the existing duplex remaining.

If half of the existing duplex remains this would be considered a Single family home which is not a permitted use in this zone district and would require an Addition of Permitted Use which is a Type 2 (Planning and Zoning Board) review.

2. LUC 4.18(D) All residential permitted uses, except mixed use dwellings in multistory mixed use buildings, shall be considered secondary uses in this zone district and projects containing less than ten (10) acres, the development plan must demonstrate how it contributes to the overall mix of land uses

**Department: Zoning**

**Contact: Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)**

within the surrounding area, but shall not be required to provide a mix of land uses within the development.

LUC 4.18(E)(1)(b) At least one (1) prominent or central location within each geographically distinct Community Commercial District shall include a convenient outdoor open space or plaza with amenities such as benches, monuments, kiosks or public art. This feature and its amenities may be placed on blocks with community facilities.

LUC 4.18(E)(2)(c) Forty (40) percent of each block side or fifty (50) percent of the total of all block sides shall consist of either building frontage, plazas or other functional open space.

LUC 4.18(E)(2)(d) All buildings shall have a minimum height of twenty (20) feet, measured to the dominant roof line of a flat-roofed building, or the mean height between the eave and ridge on a sloped-roof building. In the case of a complex roof with different co-dominant portions, the measurement shall apply to the highest portion. All buildings shall be limited to five (5) stories

3. LUC 3.2.2(K)(1)(a) Two-Family dwelling with one bedroom per unit shall provide 1.5 vehicle spaces per unit. This is a total of three required spaces for the project. If the spaces are not lined with a curb and gutter then wheels stop are required.

At least one of the required spaces shall be an Accessibility space (8ft wide with a 8ft wide loading area standard stall is 19ft in length) located as close as possible the primary entrances and designated by a sign.

LUC 3.2.2(J) Vehicle Use areas require a 5ft landscape setback from a property line and 10ft landscape setback from a non arterial street.

LUC 3.2.2(D)(3)(c) Vehicle use areas shall be paved with asphalt or concrete

4. LUC 3.2.1 This section requires a landscaping plan that includes but not limited to Street trees in parkways and foundation plantings (see section for further details).

**Department: Water-Wastewater Engineering**

**Contact: Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)**

1. Existing water mains and sanitary sewers in this area include a 20-inch water main and an 8-inch sewer in Plum.
2. Utility records indicate there three dwelling units on the property.
3. The existing water service to the property is a ¾-inch service.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>



**Department: Stormwater Engineering**

**Contact: Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)**

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. Since this project proposes to replace the building that was on the site, a drainage letter should be sufficient to document the existing drainage patterns and to discuss the water quality measures being provided. The drainage letter needs to address the four-step process for selecting structural BMPs. Also standard operating procedures (SOPs) must be prepared for each of the BMPs being used on the site. They must be prepared by a Professional Engineer registered in Colorado.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation. Care needs to be taken to assure the site will not drain onto the adjacent lots unless there is an issue with doing that. Then the design engineer will need to document that there is not an increase in runoff draining onto another property.
4. If the site is required to meet present Land Use Code requirements, onsite water quality treatment of the runoff is required. Water quality treatment methods are described in the Urban Storm Drainage Criteria Manual, Volume 3 - Best Management Practices (BMPs). A method that could be used on an existing site is to direct the downspouts to a landscape area. Another is if perimeter landscape buffers or parking lot medians are required, they could be used to treat the runoff in bio-retention areas or rain gardens. (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)
5. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new parking lots must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).
6. The drainage outfall for the site is Plum St. since there are not storm drains in the area.
7. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
8. The design of this site must conform to the drainage basin design of the Spring Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact:** Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)

**1. PREMISE IDENTIFICATION**

New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

2006 International Fire Code 505.1

**2. FIRE LANES**

Fire Lanes shall be provided for every facility, building or portion of a building when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, as measured by an approved route around the exterior of the building or facility.

2006 International Fire Code 503.1.1

By definition, the existing residence on the south side of the property appears to be out of fire department access. Construction of the new duplex shall also provide for fire access to the south structure. An Emergency Access Easement would be required.

**3. SPRINKLER SYSTEM**

The Building Code may require a sprinkler system installed in a Tri-plex. Contact Russ Hovland at 970-416-2341 for more information.

**Department: Engineering Development Review**

**Contact:** Tyler Siegmund, 970-221-6501, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. Additional right-of-way dedication along W Plum St will be required as part of this project to meet current road standards. Refer to LCUASS figure 7-4F for the current Collector Street Standard right-of-way width. The new right-of-way line will need be approximately 13ft back from the existing flowline of the road.

**Department: Engineering Development Review**

**Contact:** Tyler Siegmund, 970-221-6501, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)

7. It appears that the existing sidewalk and drive approach to the property does not meet current ADA requirements. It will be required that a new sidewalk and drive approach be installed with this project to meet the minimum Collector street standards.
8. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
9. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
10. A minimum 20ft parking setback will be required for the proposed parking on the property. See LCUASS figure 19-6 for parking setback requirements.

**Department: Electric Engineering**

**Contact:** Rob Irish, 970-224-6167, [rirish@fcgov.com](mailto:rirish@fcgov.com)

1. Light & Power currently has electric facilities running along the rear of the lot. The service for the existing structure does come from the rear of the lot. The new structure will need to have the meters ganged on the South side of the duplex.
2. Any relocation or modification to the existing electric facilities will be at the owners expense. If the applicant anticipates changing or increasing the existing electric service contact Light & Power Engineering @ 970-221-6700.

**Department: Advance Planning**

**Contact:** Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

**Current Planning**

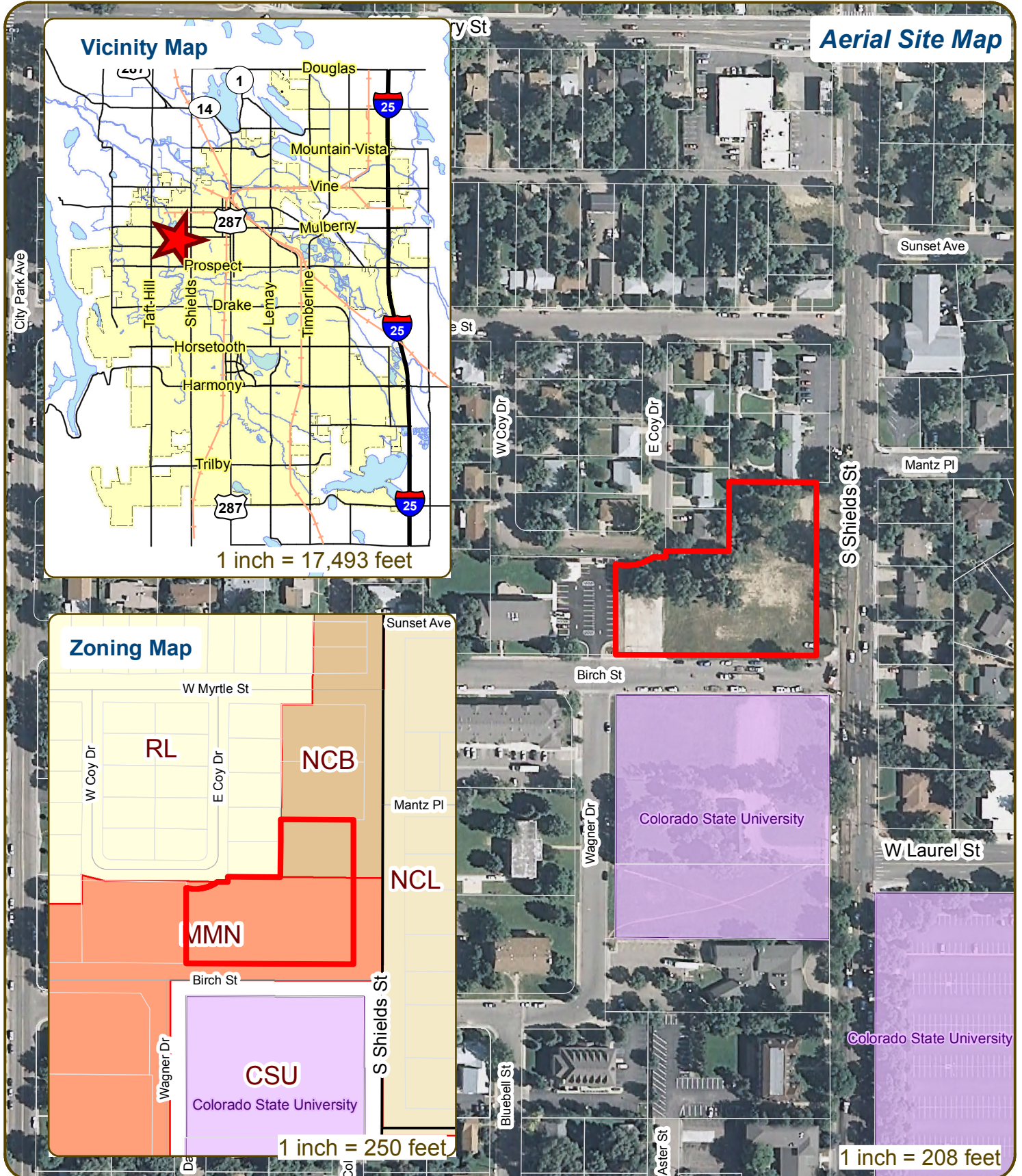
**Contact:** Sherry Albertson-Clark, 970-224-6174, [salbertson-clark@fcgov.com](mailto:salbertson-clark@fcgov.com)

1. The Type 1 review will need to include a subdivision plat and site plan. The plat is needed in order for the property to become a platted lot (needed in order to obtain a building permit). The site plan will show the building footprint, parking areas, etc, similar to what is shown on the site plan. A submittal checklist will be provided at Conceptual Review.
2. The existing residence that remains on the property has been documented in city records as a portion of a duplex and because of that, the existing residence cannot be used as a single-family dwelling without approval of an Addition of a Permitted Use by the Planning and Zoning board.

3. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
4. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
5. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
6. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
7. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
8. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
9. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.



# 609 S Shields Multifamily/Retail



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CONCEPTUAL REVIEW:  
APPLICATION

**General Information**

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a “first come, first served” basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

**\*BOLDED ITEMS ARE REQUIRED\*** *\*The more info provided, the more detailed your comments from staff will be.\**

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Craig Russell, RLA Planner

**Business Name** (if applicable) Russell + Mills Studios

**Your Mailing Address** 141 S. College Ave, Suite 141, Fort Collins, CO 80525

**Phone Number** (970) 484-8855 **Email Address** crussell@russellmillsstudios.com

**Site Address or Description** (parcel # if no address) \_\_\_\_\_

609 S. Shields St., Fort Collins, CO 80525

**Description of Proposal** (attach additional sheets if necessary) See attached sheet

**Proposed Use** Residential - Multi-Family, Retail - Cafe **Existing Use** Res.- Single Family (previous) - no structures

**Total Building Square Footage** 90,180 **S.F. Number of Stories** 4 max. **Lot Dimensions** 1.67 AC total

**Age of any Existing Structures** No Existing Structures on Site

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

**If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.**

**Is your property in a Flood Plain?** ☐ Yes ☒ No **If yes, then at what risk is it?** \_\_\_\_\_

Info available on FC Maps: <http://gis.fcgov.com/fcmaps/fcmap.aspx> Click Floodplains tab and zoom to property.

**Increase in Impervious Area** 103,000 **S.F.**  
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

**Suggested items for the Sketch Plan:**

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

### Description of Proposal:

The property is currently within the MMN/TOD Overlay Zone District to the south and the NCB Zone District to the north at the intersection of S. Shields St. and Birch St.

Redevelopment of the property to include a total of 92 units of Multi-Family Residential and 1600sf of Retail/Cafe in one 3 and 4 story structure fronting S. Shields St. and Birch St. with parking in rear and partially along the western portion of the site. The 4 story structure is confined to the MMN/TOD zones with a partial 3 story structure to the northwest to help avoid shading adjacent single family residential to the northwest. The Retail/Cafe use is proposed to straddle both zone districts - 1300sf NCB and 300sf MMN/TOD. Maximum building height is anticipated at 45'. Residential use includes 5 units in the NCB zone and 87 in the MMN/TOD zone.

The Access to the site is proposed at 675' from the centerline of S. Shields St. to the centerline of a 24' drive with. The total provided parking includes 81 total stalls with 4 accessible and 51 compact stalls. 16 parking spaces are provided in the NCB zone. The project proposes a 21' ROW dedication and allows for future street oversizing to the north at E. Coy Drive.

An existing 15' sewer easement and 9' pedestrian access easement are shown and preserved at the western portion of the site. The building envelope will require a replat.

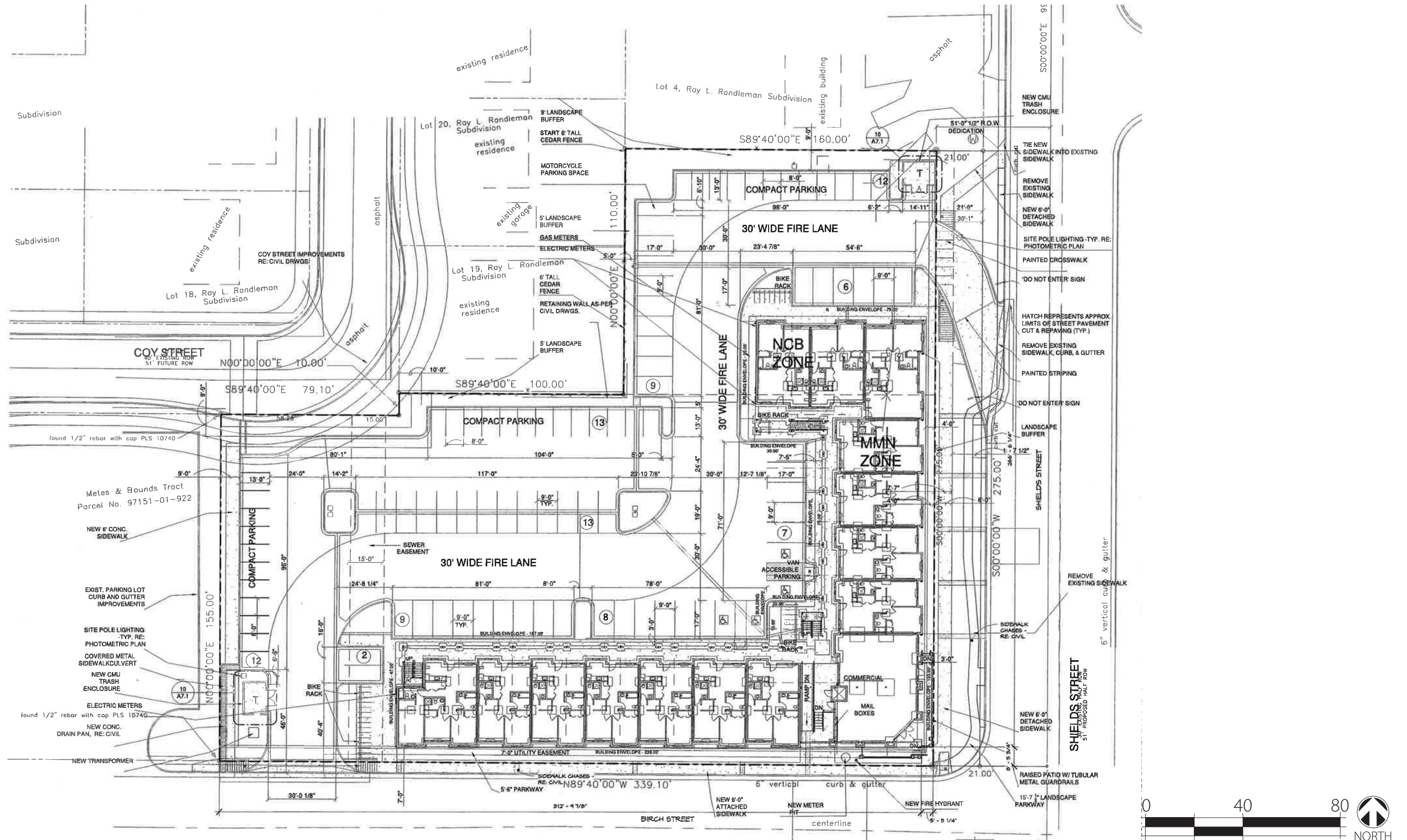
The building will be fully sprinklered (type 13) with 100 psi on the 4th floor.

A stormwater detention basin will be provided within the proposed central parking area, utilizing permeable pavers, and small bioswale water quality pond. This area will account for approx. 80,000sf of detention. The current assumption is that all areas of increased imperviousness will need to be detained on-site down to the historic rate. Additionally, the entire site area will need to be treated for water quality.

Low Impact Development strategies will be explored to decrease the required detention volume, while serving to enhance water quality at the same time.



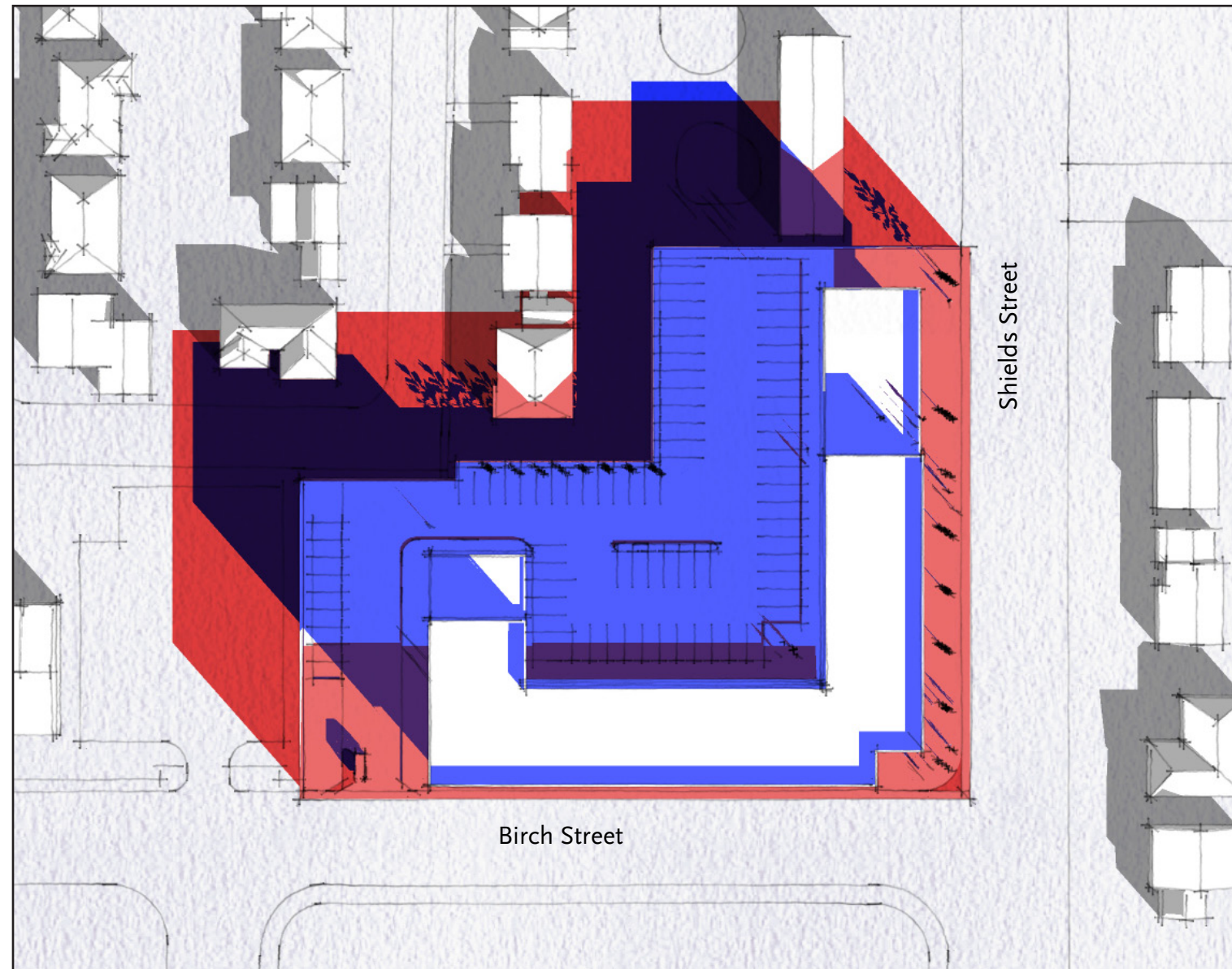




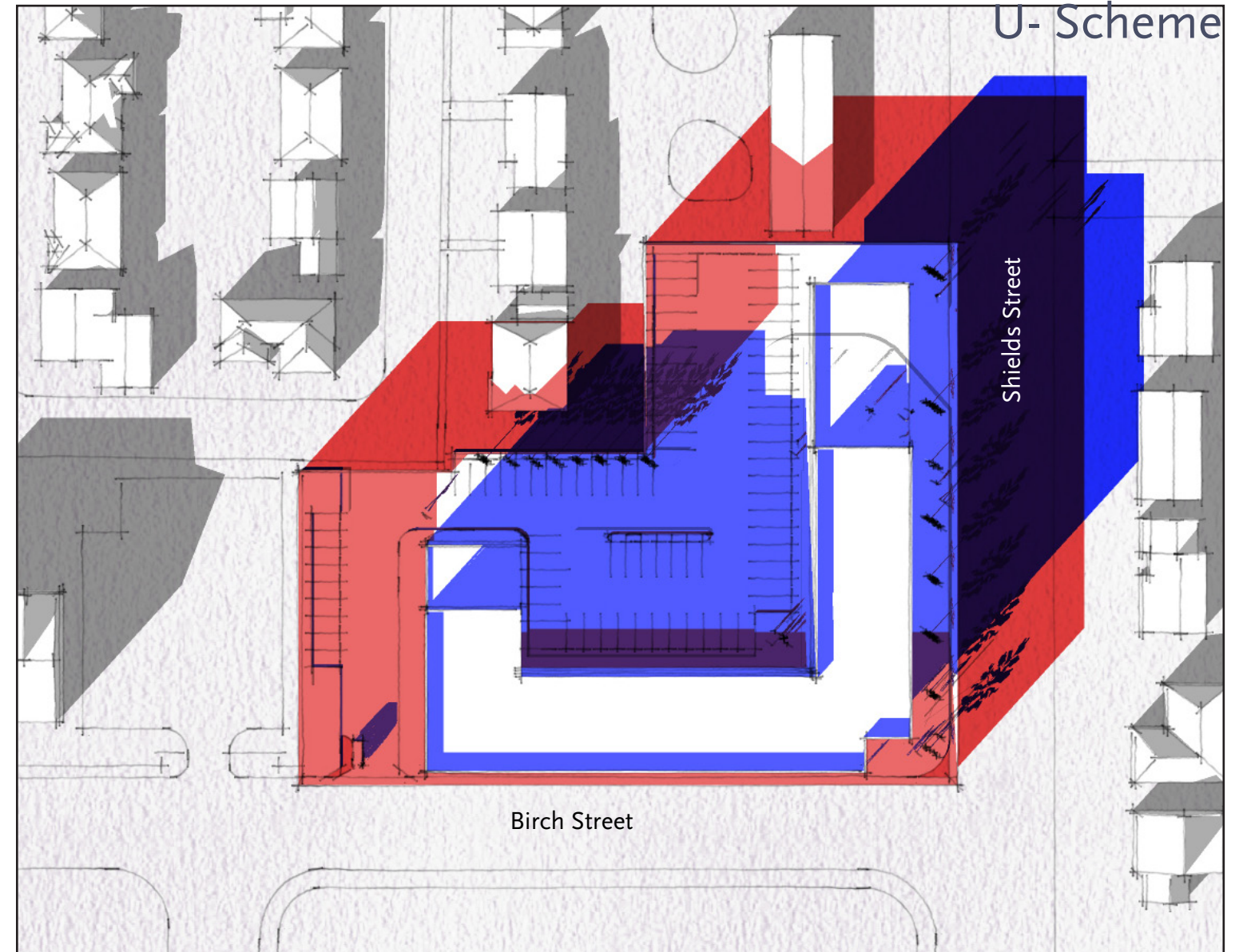








9 am - December 21st



3 pm - December 21st

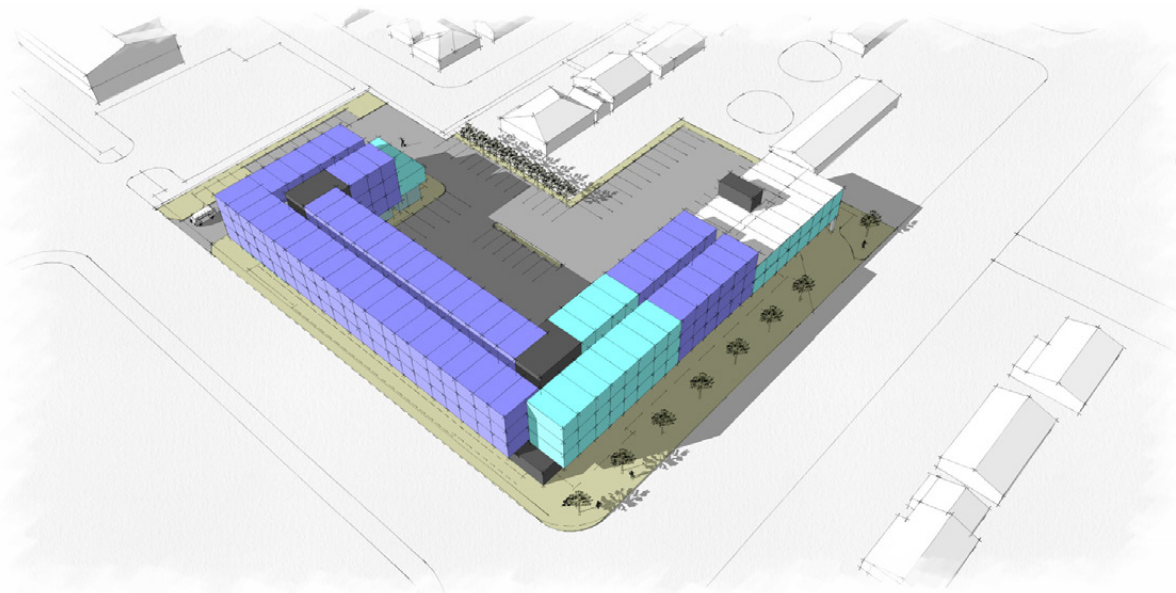
**Fort Collins Land Use Code 3.2.3 (D) Shading:**

(1) The physical elements of the development plan shall be, to the maximum extent feasible, located and designed so as not to cast a shadow onto structures on adjacent property greater than the shadow which would be cast by a twenty-five-foot hypothetical wall located along the property lines of the project between the hours of 9:00 am and 3:00 pm, MST, on December 21. This provision shall not apply to structures within the following high-density zone districts: Downtown, Community Commercial.

(2) The impact of trees shall be evaluated on an individual basis considering the potential impacts of the shading and the potential adverse impacts that the shading could create for the adjacent properties in terms of blocking sunlight in indoor living areas, outdoor activity areas, gardens and similar spaces benefiting from access to sunlight. Shading caused by deciduous trees can be beneficial and is not prohibited.

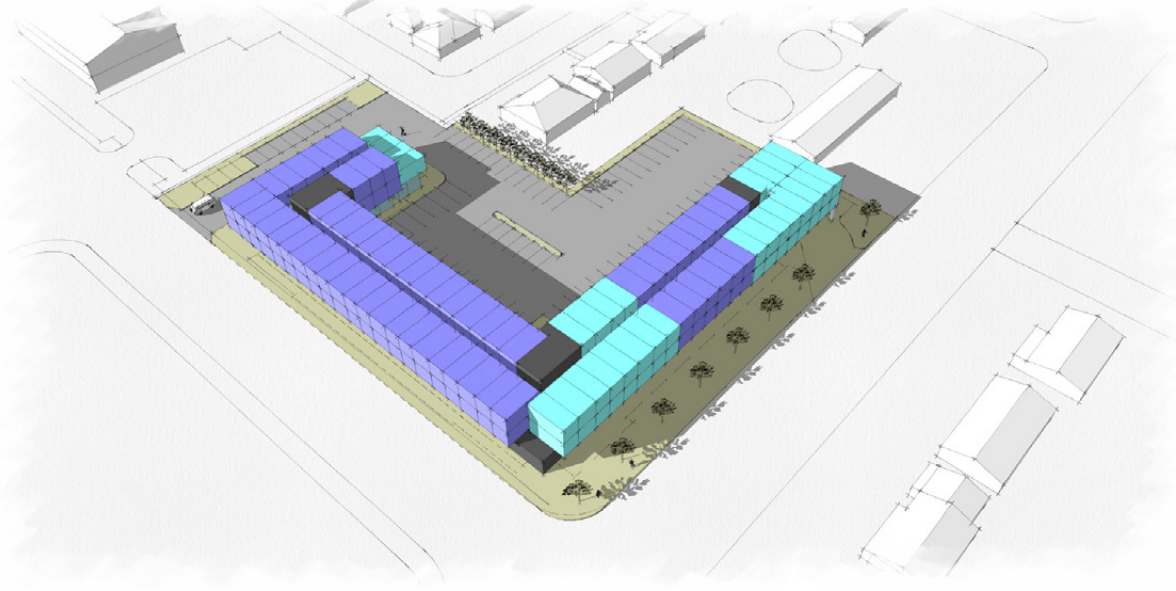
Key	
<span style="color: red;">■</span>	Hypothetical 25' Wall Shadow
<span style="color: blue;">■</span>	Proposed Building Shadow
<span style="color: grey;">■</span>	Context Shadows





Level 4

<span style="display:inline-block; width:15px; height:15px; background-color:purple;"></span>	2 Bedroom Units	19
<span style="display:inline-block; width:15px; height:15px; background-color:cyan;"></span>	3 Bedroom Units	3



Levels 2 & 3

<span style="display:inline-block; width:15px; height:15px; background-color:purple;"></span>	2 Bedroom Units	20
<span style="display:inline-block; width:15px; height:15px; background-color:cyan;"></span>	3 Bedroom Units	7

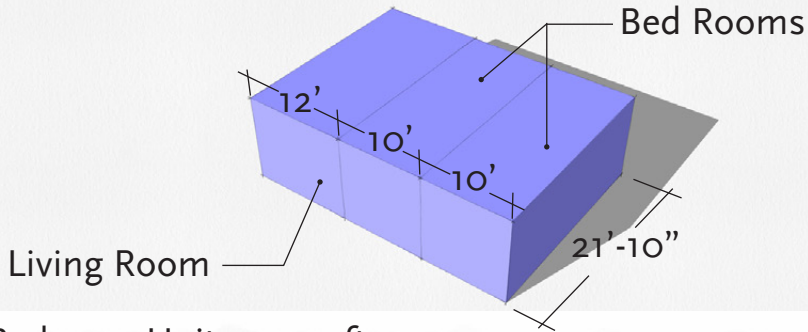
*\* (6) 3 Bedroom Units on Level 3*



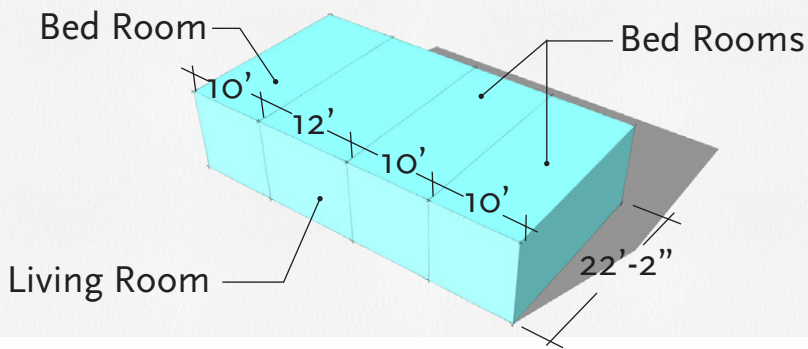
Level 1

<span style="display:inline-block; width:15px; height:15px; background-color:purple;"></span>	2 Bedroom Units	2
<span style="display:inline-block; width:15px; height:15px; background-color:cyan;"></span>	3 Bedroom Units	2
<span style="display:inline-block; width:15px; height:15px; background-color:grey;"></span>	3 Bedroom (Through)	13

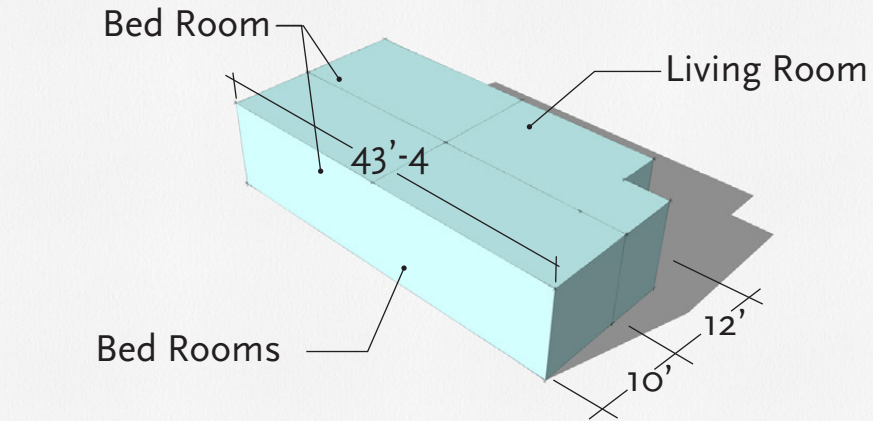
2 Bedroom Unit: 700 sqft



3 Bedroom Unit: 930 sqft



3 Bedroom Unit: 930 sqft



<span style="display:inline-block; width:15px; height:15px; background-color:purple;"></span>	2 Bedroom Units	61
<span style="display:inline-block; width:15px; height:15px; background-color:cyan;"></span>	3 Bedroom Units	31
<b>Total Units</b>		<b>92</b>



Community Development and  
Neighborhood Services  
281 North College Avenue  
PO Box 580  
Fort Collins, CO 80522

970.221.6750  
970.224.6134 - fax  
[fcgov.com](http://fcgov.com)

April 01, 2013

Craig Russell  
Russell + Mills Studio  
141 S. College Ave, Suite 141  
Fort Collins, CO 80525

**Re:** 609 Shields - Multifamily

**Description of project:** This is a request to construct 92 multifamily units and retail/cafe space located at 609 South Shields Street (Parcel# 97151-29-001). The main portion of the building would be 4 stories, stepping down 3 stories on the north sides to reduce shading. The main portion of the site is zoned Medium Density Mixed-Use (M-M-N) and a smaller northern portion is zoned Neighborhood Conservation Buffer (N-C-B) Zone District. The site is also located in the Transit Oriented Development (TOD) Overlay Zone. A total of 1,300 square feet of the retail/cafe and 5 residential units are situated in the area of the site zoned N-C-B. As the project contains more than 50 units/75 bedrooms, it is subject to Planning & Zoning Board (Type 2) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Jason Holland, at 970-224-6126 or [jholland@fcgov.com](mailto:jholland@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)**

1. If this is a Major Amendment it will be a Type 2 review

If this is a new PDP/FP both zone districts would require a Type 2 review for the proposed uses.

2. Land Use Code (LUC) 4.9(D)(1) Density requirement in the NCB zone district is the lots needs to be equal to the total square feet of Floor Area.

LUC 4.9(D)(6)(e) Maximum building height shall be three (3) stories

LUC 4.9(E)(1)(a) The primary entrance to a dwelling shall be located along the front wall of the building

LUC 4.9(E)(1)(d) A second floor shall not overhang the lower front or side exterior walls of a new or existing building.

**Department: Zoning**

**Contact: Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)**

LUC 4.9(E)(1)(g) (g) The minimum pitch of the roof of any building shall be 2:12 and the maximum pitch of the roof of any building shall be 12:12, except that new, detached accessory buildings and additions to existing dwelling units may be constructed with a pitch that matches any roof pitch of the existing dwelling unit. Additionally, the roof pitch of a dormer, turret or similar architectural feature may not exceed 24:12 and the roof pitch of a covered porch may be flat whenever the roof of such a porch is also considered to be the floor of a second-story deck.

LUC 4.9(E)(5) In the N-C-B Neighborhood Conservation Buffer District, permanent open off-street parking areas shall not be located any closer to a public street right-of-way than the distance by which the principal building is set back from the street right-of-way

3. LUC 4.6(D)(1) Minimum density required on the MMN zone district is 12 units per net acre

LUC 4.6(D)(3) Buildings shall be limited to a maximum of three (3) stories.

LUC 3.10.1(A) The Standards in the TOD overlay district apply for development that is within the TOD overlay district and south of Prospect Rd. To use the additional height allowance within this section will require a Modification.

4. LUC 3.8.30 This section does apply.

LUC 3.5.3 This section does apply.

5. LUC 3.2.2(K) In the NCB zone district with four 3-bedroom units and one 2-bedroom unit a minimum of 10 vehicle spaces are required only 40% can be compact. For the 1300 square of standard restaurant maximum of 13 vehicle space non are to be compact. Compact spaces shall be designated with a sign as reserved for employee or resident parking. The proposed plan is over on the allowed compact spaces.

LUC 3.2.2(K) In the MMN and TOD overlay districts the parking for 300 square feet of café maximum is three vehicle spaces non are to be compact. For the residential portion there is no maximum or minimum, however when providing any parking only 40% can be compact. Compact spaces shall be designated with a sign as reserved for employee or resident parking. The proposed plan is over on the allowed compact spaces.

LUC 3.2.2(K)(5) When providing 85 parking spaces four of those are required to be Accessibility spaces and at least one of those are to also be van accessible. All of these spaces shall be designated by a sign.

LUC 3.2.2(J) Vehicle Use areas shall be setback 5ft from an interior lot line and 10ft from a non-arterial street.

LUC 3.2.2(C)(4) With 215 bedrooms there is required at least 215 bicycle parking spaces with 60% of these space enclosed and 40% of those fixed.



**Department: Zoning**

**Contact:** Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)

With 1600 of standard restaurant there is required a minimum of 4 bicycle spaces 100% of them fixed.

6. LUC 3.2.1 This section requires a landscape plan (see section for details).

LUC 3.2.4 This section requires a Lighting plan (see section for details).

LUC 3.2.5 Enclosures are required that are adequately sized for both trash and recycling needs. Such enclosures shall be designed with walk-in access without having to open the main service gate and located on a concrete pad that is at least 20ft from a public sidewalk.

LUC 3.5.1(I) Mechanical/Utility equipment (Vents, flues, hoods, rtu/ac, meters, boxes, conduits, transformer...) locations shall be identified on the plans with notes on how such equipment is screened/painted.

LUC 3.5.1(G) Structures over 40ft in height require both a shadow and visual analysis.

**Department: Water-Wastewater Engineering**

**Contact:** Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)

1. Existing water mains and sanitary sewers in this area include a 6-inch water main in Birch, a 6-inch water main and an 8-inch sewer in Shields and an 8-inch sewer in a north/south alignment through the west portion of the property.
2. There are two water services extending to the site from the water main in Shields. The service to the north listed for 609 Shields is a 3/4", and the service to the south listed as 635 Shields is a 1-1/2". These services must be used or abandoned at the main.
3. Provide additional easement on each side of the existing north/south sewer to include 10 feet each side (20 feet total) of the sewer.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. Development fees and water rights will be due at building permit.
6. Separate water and sewer services will be required for the commercial and residential portions of the mixed-use building.

**Department: Stormwater Engineering**

**Contact:** Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)

1. A drainage and erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer and there is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control requirements are in the Fort Collins Stormwater Manual, Section 1.3.3,



**Department: Stormwater Engineering**

**Contact: Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)**

Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or [jschlam@fcgov.com](mailto:jschlam@fcgov.com).

2. Onsite detention is required for the runoff volume difference between the 100 year developed inflow rate and the 2 year historic release rate. The site is required to detain for one half of the adjacent streets.
3. Water quality treatment is also required as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs).  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
4. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new parking lots must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).
5. The drainage outfalls for this site are Shields and Birch Streets since there are no storm drains in the area.
6. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
7. The design of this site must conform to the drainage basin design of the Old Town Master Drainage Plan as well the Fort Collins Stormwater Manual.

**Department: Park Planning**

**Contact: Craig Foreman, 970-221-6618, [cforeman@fcgov.com](mailto:cforeman@fcgov.com)**

1. 1. 3/18/2013: No comments

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

1. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM  
New buildings greater than 50,000 square feet will require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority.

Poudre Fire Authority Bureau Admin Policy #07-01

## **2. FIRE LANES**

Fire Lanes shall be provided for every building or portion of a building when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, as measured by an approved route around the exterior of the building or facility. The fire code official is authorized to increase the dimension of 150 feet if the building is equipped throughout with an approved, automatic fire-sprinkler system.

2006 International Fire Code 503.1.1

### **FIRE LANE SPECIFICATIONS**

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
- > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance (The 30' fire lane requirement for buildings over 30' in height may be offset by the inclusion of a NFPA13 sprinkler system).
- > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
- > Be visible by painting and signage, and maintained unobstructed at all times.
- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside.
- > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.

2006 International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4, Appendix D; FCLUC 3.6.2(B)2006

## **3. ROOF ACCESS**

New buildings four or more stories in height shall be provided with a stairway to the roof. Stairway access to the roof shall be in accordance with IFC 1009.12. Such stairways shall be marked at street and floor levels with a sign indicating that the stairway continues to the roof.

2006 International Fire Code 504.3

## **4. WATER SUPPLY**

Hydrant spacing and flow must meet minimum requirements based on type of occupancy.

COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

2006 International Fire Code 508.1 and Appendix B

## **5. FIRE STANDPIPE SYSTEM**

Standpipe systems shall be provided in new buildings and structures in accordance with Section 905 or the 2006 International Fire Code. Approved standpipe systems shall be installed throughout buildings where the floor level of the highest story is located more than 30 feet above the lowest level of fire department vehicle access, or where the floor level of the lowest story is located more than 30 feet below the highest level of fire department vehicle access. The standpipe system shall be capable of

**Department: Fire Authority**

**Contact:** Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)

supplying at minimum of 100 psi to the top habitable floor. An approve fire pump may be required to achieve this minimum pressure.

2006 International Fire Code Sections 905 and 913

**6. FDC**

Fire Department Connections shall be installed in accordance with NFPA standards. Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access. The location of the FDC shall be approved by the fire department.

2006 International Fire Code 912.2

**7. BALCONIES AND DECKS**

Sprinkler protection shall be provided for exterior balconies, decks, and ground floor patios of dwelling units where the building is of Type V construction.

2006 International Fire Code 903.3.1.2.1

**8. KEY BOXES REQUIRED**

Poudre Fire Authority requires at least one key box ("Knox Box") to be mounted in approved location(s) on every new building equipped with a required fire sprinkler or fire alarm system. The top shall not be higher than 6 feet above finished floor.

2006 International Fire Code 506.1 and Poudre Fire Authority Bureau Policy 88-20

**9. PREMISE IDENTIFICATION**

New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

2006 International Fire Code 505.1

**Department: Environmental Planning**

**Contact:** Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

**Department: Engineering Development Review**

**Contact:** Andrew Gingerich, 970-221-6603, [agingrich@fcgov.com](mailto:agingrich@fcgov.com)

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.

**Department: Engineering Development Review**

**Contact: Andrew Gingerich, 970-221-6603, [agingrich@fcgov.com](mailto:agingrich@fcgov.com)**

2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:  
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. The right of way along Birch Street should be sufficient unless it is determined that detached sidewalk is needed along this roadway. I will update my comments for Final Draft Letter and get some more information on this section of roadway.
7. A utility easement is required behind the right of way or may already exist. This may need to be considered for the placement of the trees along Birch Street and the proximity of the building to the Right of Way.
8. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
9. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
10. Sidewalk and curb and gutter will need to be removed and replaced to detached sidewalk for most of the Shields Street frontage. Additionally, sidewalk should be brought up to ADA and 4-lane arterial width standards of 6 feet.
11. Right of way for Coy Drive was dedicated with Hellenic Plaza subdivision and appears to be in conflict with the proposed site plan. This right of way also has a 9' utility easement that exists on the back of it.
12. There is a repay that is required per the Hellenic Development Agreement for the future improvements to Coy Drive. This repayment will need to be collected prior to final approval
13. Back of the sidewalk shall exist on the right of way line. If it is intended that the buildings have a zero setback then the building should sit additional 2' from the sidewalk to allow the walk to have its full functional width.

**Department: Electric Engineering**

**Contact: Rob Irish, 970-224-6167, [rirish@fcgov.com](mailto:rirish@fcgov.com)**

1. This site is currently fed with a single-phase service coming from electric facilities running along E. Coy Dr.
2. The nearest 3-phase for this site is located at the S.W. corner of Birch & Shields. This would involve

**Department: Electric Engineering****Contact: Rob Irish, 970-224-6167, [rirish@fcgov.com](mailto:rirish@fcgov.com)**

cutting or boring Birch as there is no conduit stubbed out.

3. A C-1 form and a One-line diagram will need to be submitted to Light & Power Engineering.
4. A transformer location will need to be coordinated within 10' of an all weather drive over surface. Maintain clearances of 8' in the front and 3' on the sides and back.
5. Electric Capacity Fee, Building Site charges and system modification charges will apply to this development. Contact Light & Power Engineering @ 970-221-6700.

**Current Planning****Contact: Jason Holland, 970-224-6126, [jholland@fcgov.com](mailto:jholland@fcgov.com)**

1. On March 19th the LUC was amended (Ordinance No. 041,2013) to require a 25' buffer yard along the property line of abutting property containing single-family and two-family dwellings.
2. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
3. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
4. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
5. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
6. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
7. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
8. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.



### **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2009 International Building Code (IBC)*

*2009 International Residential Code (IRC)*

*2009 International Energy Conservation Code (IECC)*

*2009 International Mechanical Code (IMC)*

*2009 International Fuel Gas Code (IFGC)*

*2009 International Plumbing Code (IPC)* as amended by the State of Colorado

*2011 National Electrical Code (NEC)* as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

Energy Code Use

1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
416-2341