

# Conceptual Review Agenda

Schedule for 03/17/14 to 03/17/14

281 Conference Room A

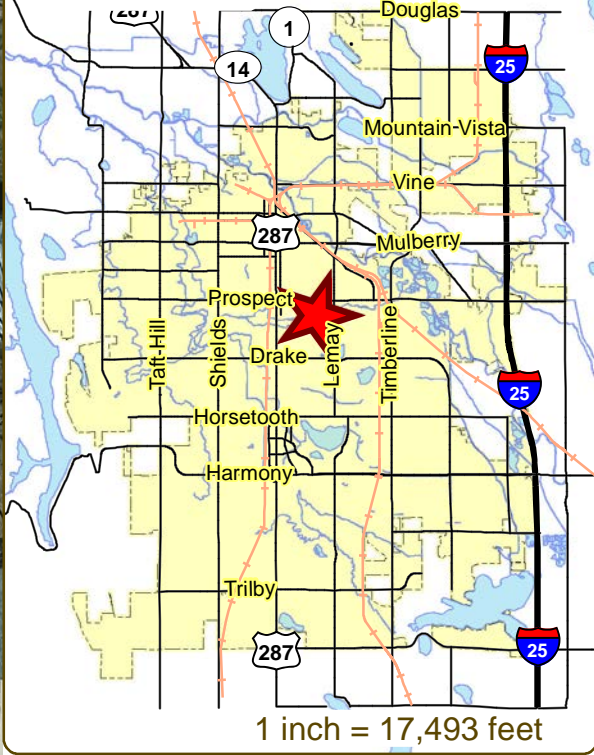
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## Monday, March 17, 2014

Time	Project Name	Applicant Info	Project Description	Planner
9:30	906 E Stuart St - Child Care  CDR140012	Susan Castellon 970-310-0163 <a href="mailto:riversongfc@gmail.com">riversongfc@gmail.com</a>	This is a request to expand an existing childcare center located at 906 E Stuart Street (Parcel # 97241-06-924). Several expansion options are presented, including an expansion greater than 25% of the existing floor area, triggering the need to plat, subject to Administrative (Type 1) review. The site is located in the Low Density Mixed-Use Neighborhood (L-M-N) Zone District.	Rebecca Everette
10:15	832 E Lincoln Ave - Light Manufacturing  CDR140013	John Comeau 970-217-5754 <a href="mailto:horsetoothhotsauce@gmail.com">horsetoothhotsauce@gmail.com</a>	This is a request to utilize an existing structure for light industrial, and potential retail/restaurant uses located at 832 East Lincoln Avenue (Parcel # 97121-09-002). The manufacturing and preparation of hot sauces and drink mixes are planned, along with a small tasting room and space for product/merchandise retail sales. The site is located in the Industrial (I) Zone District.	Ryan Mounce
11:00	314 E Stuart St - Duplex  CDR140014	Elizabeth Ruedig 970-	This is a request to convert an existing single family home to a duplex located at 314 East Stuart Street (Parcel # 97242-19-014). No building additions are planned to the existing structure. The site is located in the Low Density, Mixed-Use Neighborhood (L-M-N) Zone District. Two family dwellings are subject to Administrative (Type 1) review.	Ryan Mounce

# 906 E Stuart St Child Care

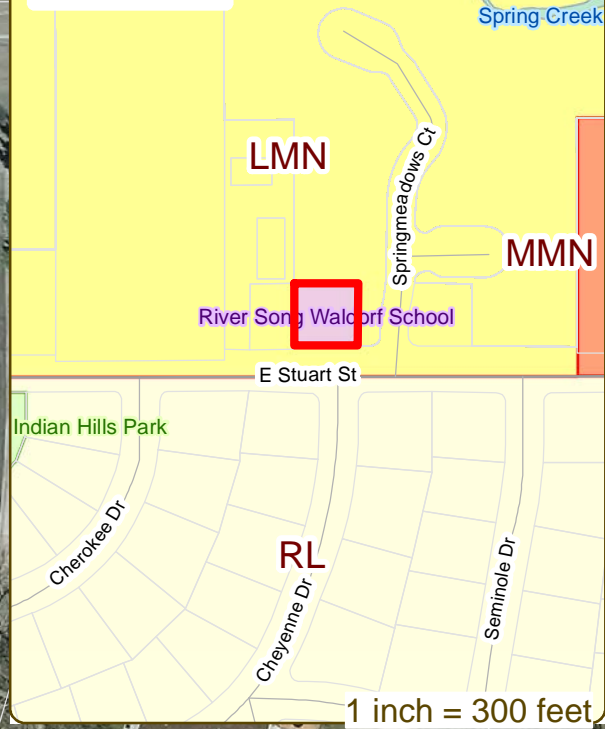
Vicinity Map



Aerial Site Map



Zoning Map



1 inch = 50 feet

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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Susan Castellon

Business Name (if applicable) River Song Early Childhood Program

Your Mailing Address 906 E. Stuart St. Fort Collins CO 80525

Phone Number 970 409-9185 970-310-0163 to be reached Email Address riversongfc@gmail.com

Site Address or Description (parcel # if no address) \_\_\_\_\_

906 E. Stuart St.

Description of Proposal (attach additional sheets if necessary) See attached

We would like to expand our capacity by 12 and would be adding additional square footage to existing bldg.

Proposed Use Childcare Existing Use Childcare

Total Building Square Footage 2071 S.F. Number of Stories \_\_\_\_\_ Lot Dimensions \_\_\_\_\_

Age of any Existing Structures 1946 / ~~1946~~ 1952 ; 1963 additions

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain?  Yes  No If yes, then at what risk is it? \_\_\_\_\_

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area > 500 sq ft S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

## Conceptual Review

Description of Proposal, River Song Early Childhood, 906. E. Stuart St.

River Song is considering expanding our current capacity for serving children ages 2.5-5. We are licensed for 28 children at one time and we would like to add one additional classroom to add 12 more seats for a total capacity of 40.

We would like to better understand the opportunities and options in two different scenarios for additional space

Scenario One is to expand by only 25% of our current total building sq footage which would be 480 sq ft. It is our understanding that going this route would not require a replatting of the property. In this submittal there are two options that would meet that requirement.

A second scenario would be to increase the building size to greater than 25% and then undergo the replatting process. We are hopeful that this Conceptual Review application will give us a better sense of what the options and constraints are for either scenario.

Attached are three very rough sketches demonstrating possible changes to the exterior and interior. All classroom sizes are based on the requirement for 40sq ft per child. NOTE: The interior changes are very roughly drawn.

We anticipate that we would have six full time teaching staff and 4 part time administrative and assistant staff. Maximum staff present at any one time would be 9.

We would also be adding one toilet and one hand washing station for a total of 4 toilets and 4 sinks. The additional plumbing is identified near current plumbing fixtures.

We have had a professional Lead-Based Paint Inspection Report prepared for us by Walsh Environmental Service and an Asbestos Abatement Report prepared in 1991 for the previous tenant. We are aware of the locations and materials in the building.

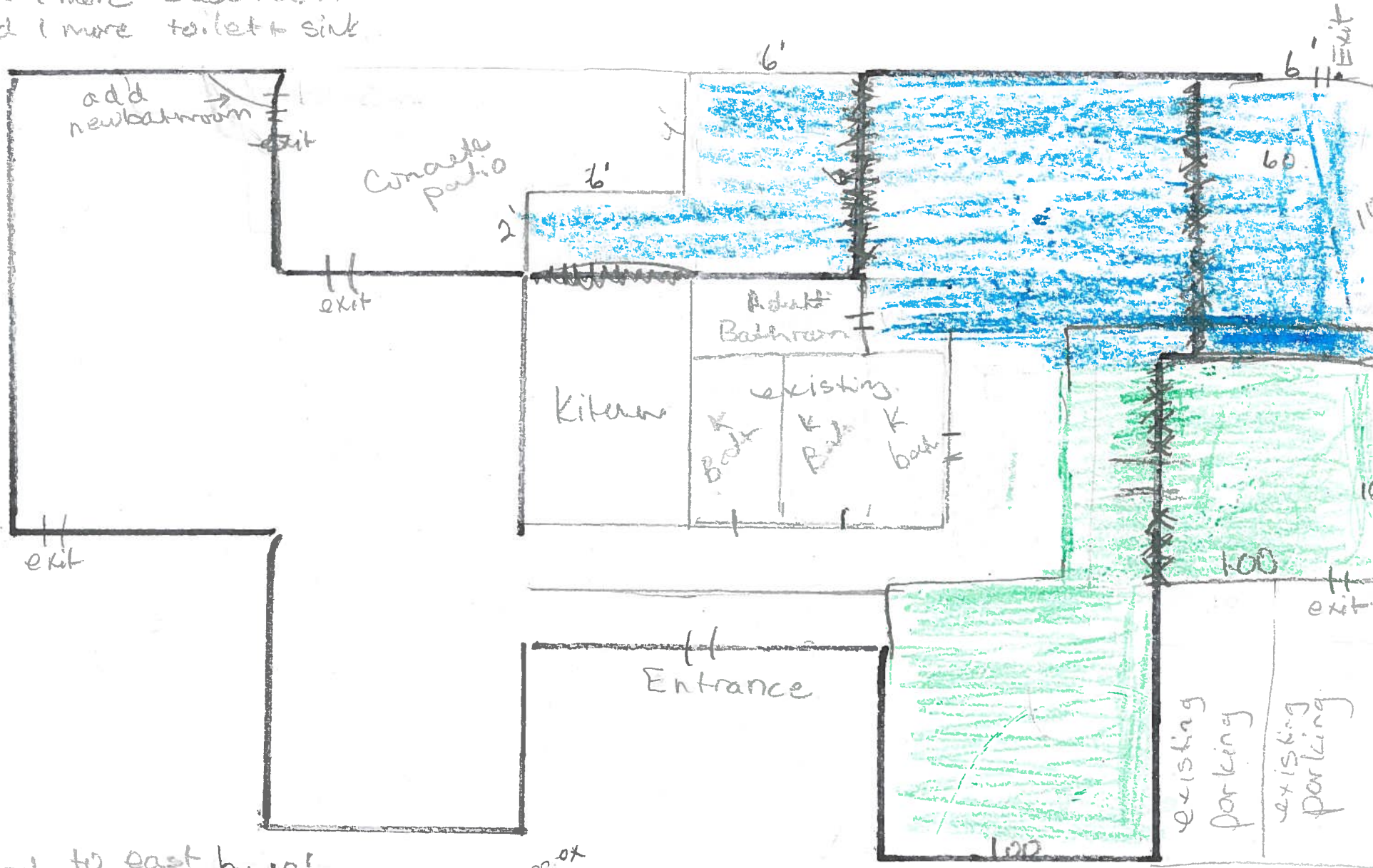


# Scenario I

Expand by less than 25% - 480 sqft.

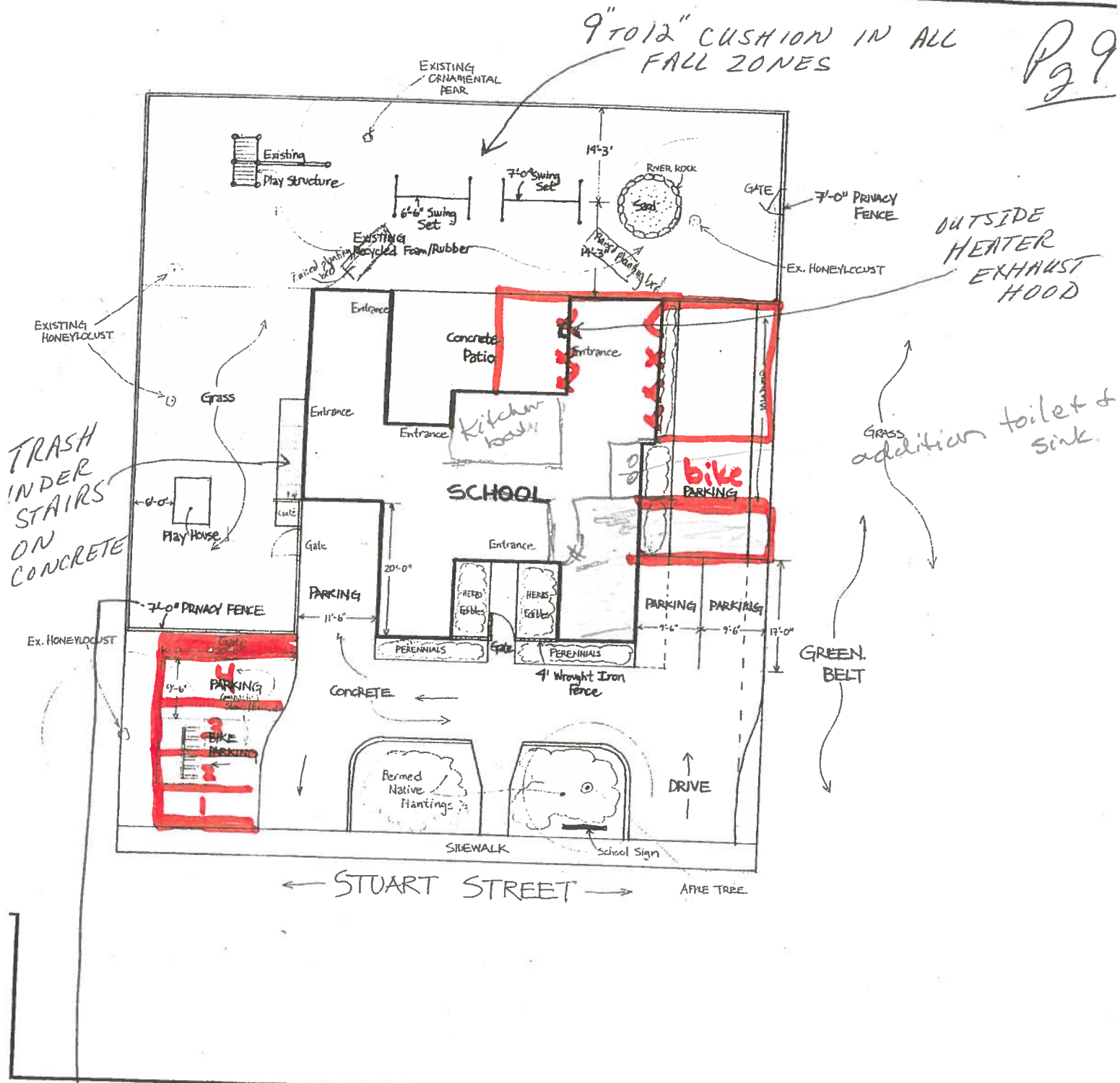
Add 1 more class room

Add 1 more toilet + sink



expand to east by 10'  
expand to west over concrete patio by <sup>app. ox</sup> 12'  
open kitchen to northside access.

9" to 12" CUSHION IN ALL FALL ZONES



- second option

Scenario I - 480 sqft expansion leaving room between northeast and south east classroom for bike parking

additional parking could be added here but would require moving fence.

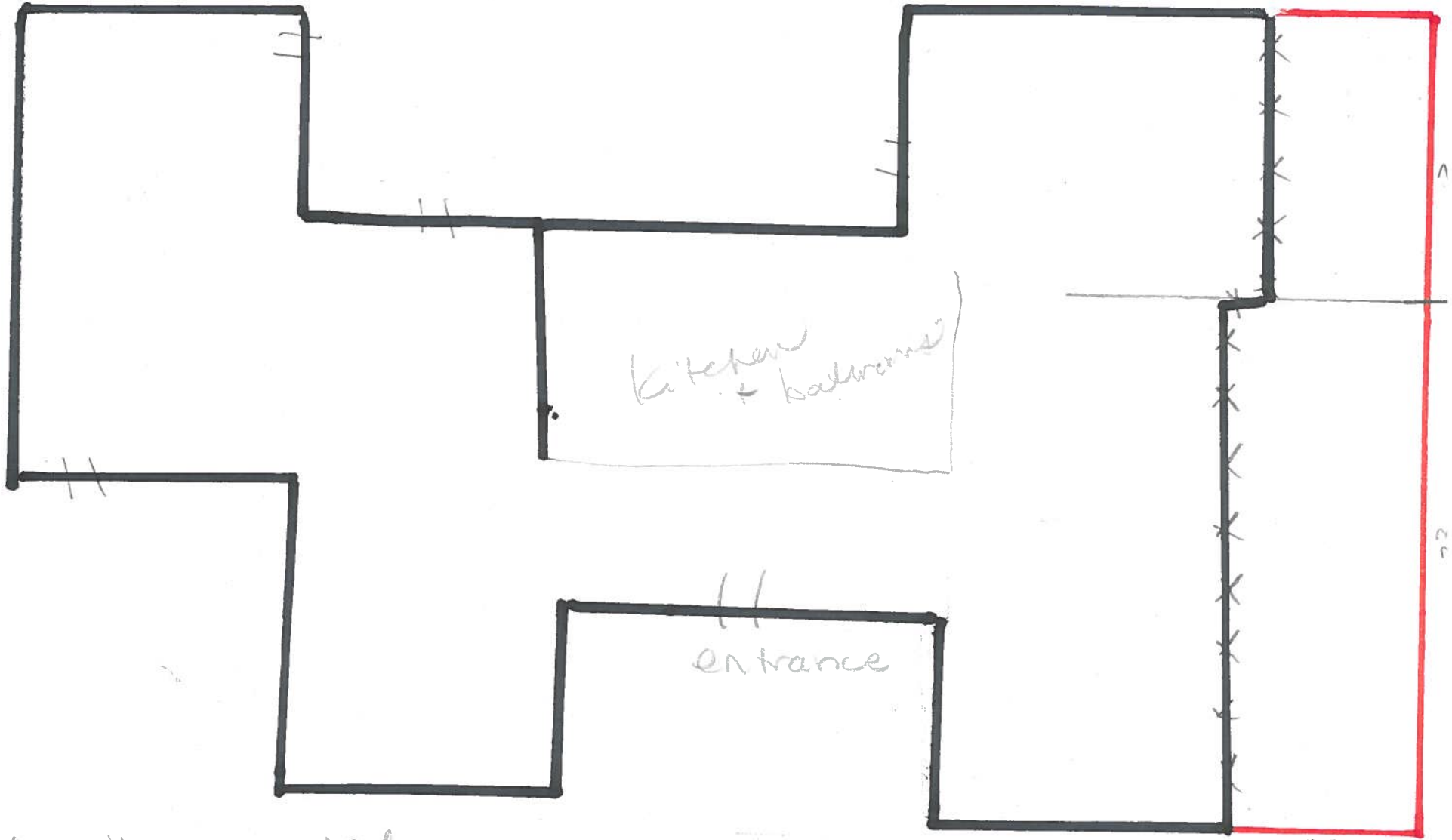
# Scenario II

Expand by more than 25%.

- Add 1 more classroom with 12 seats.
- Add 1 more toilet + sink.

N ↑

To property li  
20'



add exits as needed.

$$20 \times 53 = 660 \text{ sqft.}$$



**Table 2: XRF Results – Lead-containing Materials**

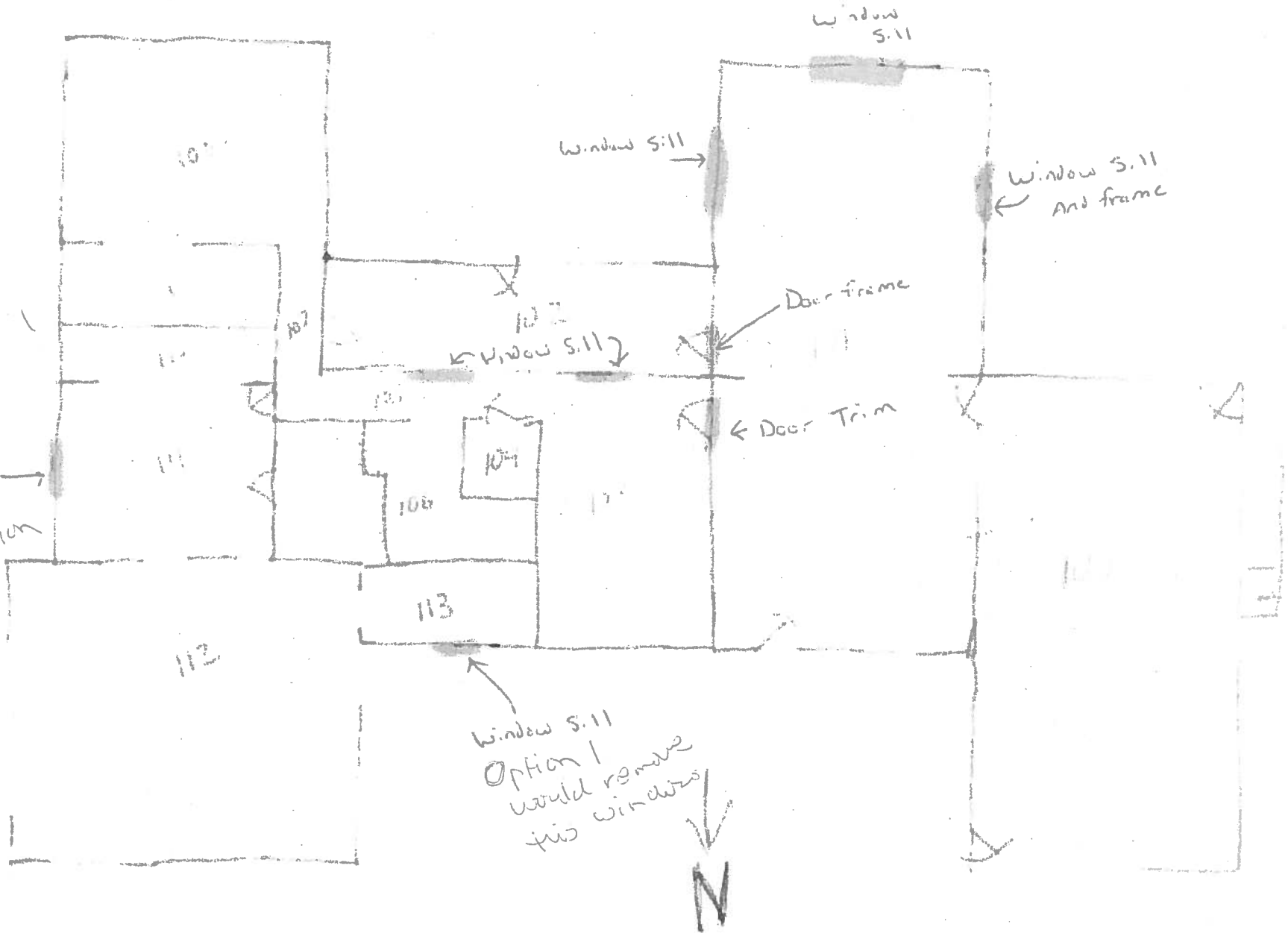
Location	Component Description	Visible Color	Paint Condition	XRF Result (mg/cm <sup>2</sup> )
North Restroom (Room 113)	Glazing on Ceramic Floor Tile	White	Good	18.9
Classroom West of Kitchen (Room 101)	East Door Frame at Entrance to entrance Porch	White	Good	2.02
Classroom West of Kitchen (Room 101)	East Door Trim at Entrance to Kitchen	White	Good	1.72
Classroom West of Kitchen (Room 101)	West Window Frame and Sill	White	Good	1.85
Classroom West of Kitchen (Room 101)	West Window Frame and Sill	White	Good	1.41
Classroom West of Kitchen (Room 101)	East Window Frame and Sill	White	Good	3.15
Classroom West of Kitchen (Room 101)	South Window Frame and Sill	White	Good	1.79
Classroom Directly East of Restroom (Room 111)	East Window Frame and Sill	White	Good	3.07
Hallway South of Kitchen (Room 105)	Window Frame and Sill Directly South of Kitchen	White	Good	1.94
Hallway South of Kitchen (Room 105)	Window Frame and Sill Directly South of Restroom	White	Good	1.46
North Restroom (Room 113)	North Window Frame and Sill	White	Good	1.34

Note: mg/cm<sup>2</sup> = Milligrams per square centimeter

As indicated in Table 2 above, at the time of the inspection, the paint on all of these components and the surface of the ceramic floor tile was in good condition with no visible signs of deterioration, flaking, peeling, or abrasion. Lead-containing materials that are intact do not pose a health risk provided it is maintained intact and not disturbed. General policies and procedures to prevent human exposure to lead hazards are described in a Lead Management Plan which is presented in Appendix D. Photographs of all LBP and lead-containing components identified during this inspection are presented below.

906 east Stuart street

Areas of LBP



Window S.I.I  
 one expansion  
 option.  
 would this  
 remove  
 window

Window S.I.I  
 Option 1  
 would remove  
 this windows

Window S.I.I  
 and frame

Door frame

Door Trim

Window S.I.I

Window S.I.I

Window S.I.I

101

102

103

104

105

112

113



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March 21, 2014

Susan Castellon  
River Song Early Childhood Program  
906 E. Stuart Street  
Fort Collins, CO 80525

**Re:** 906 E Stuart St - Child Care

**Description of project:** This is a request to expand an existing childcare center located at 906 E Stuart Street (Parcel # 97241-06-924). Several expansion options are presented, including an expansion greater than 25% of the existing floor area, triggering the need to plat, subject to Administrative (Type 1) review. The site is located in the Low Density Mixed-Use Neighborhood (L-M-N) Zone District.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Rebecca Everette, at 970-416-2625 or [reverette@fcgov.com](mailto:reverette@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. Scenario 1 could be done with a minor amendment, the addition would need to remain under 518 SF.

Scenario 2 would require the property to be platted.

Under either scenario, changes to the site can't result in any greater deviation from the standards of the Land Use Code than might currently exist.

2. Land Use Code (LUC) section 3.2.2(K)(1)(h) Child Care Centers have a minimum parking requirement based on the number of employees or square feet of floor area. For 9 staff members you would need 6 spaces. How many employees do you have currently?
3. LUC 3.2.2(K)(5) Handicap parking spaces are required in numbers per this section. If you have 1-25 parking spaces you will need one van accessible handicap space.
4. LUC 3.2.2(L) Table A and B  
Standard 90 degree parking stall is 19'x 9'
5. LUC 3.2.2(C)(b) Child care centers have a minimum bicycle parking requirement based on the square footage of 1/3,000 SQFT, minimum of 4 spaces, all of these spaces could be fixed bicycle rack.

6. LUC 3.2.1 A landscape plan is required.
7. LUC 3.2.2(J) A minimum 10' landscaped setback area between the front property line and the first parking space is required.
8. It appears that the trash collection area will remain in its current location? If it's relocated, then LUC 3.2.5 will apply, which means that it shall provide adequately sized conveniently located, accessible trash and recycling enclosures.
9. Section 3.8.4(A) sets forth the formula for determining the maximum allowed capacity for the center based on indoor floor space. The submitted plan must show the square footage of the indoor floor space and the calculations and dimensions of the outdoor play area. Sec. 3.8.4 states:

"A minimum of two thousand five hundred (2,500) square feet of outdoor play area shall be provided for fifteen (15) children or fewer, with seventy-five (75) additional square feet being required for each additional child, except that the size of the total play area need only accommodate at least fifty (50) percent of the capacity of the center, and that such outdoor play area shall not be required for drop-in child care centers. For the purposes of this subsection, the capacity of the center is calculated based upon indoor floor space reserved for school purposes of forty (40) square feet per child. Any such play area within or abutting any residential district shall be enclosed by a decorative solid wood fence, masonry wall or chain link fence with vegetation screening, densely planted. The height of such fence shall be a minimum of six (6) feet and shall comply with Section 3.8.11. Where access to preschool nurseries is provided by other than local streets, an off-street vehicular bay or driveway shall be provided for the purpose of loading and unloading children."

**Department: Water-Wastewater Engineering**

**Contact: Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)**

1. Existing water mains and sanitary sewers in this area include an 8-inch water main and a 10-inch sewer in Stuart.
2. The existing water services to the property include a ¾-inch domestic service and a 1-inch fire service.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. If a larger domestic water service is needed, development fees and water rights will be due at building permit.

**Department: Stormwater Engineering**

**Contact: Wes Lamarque, 970-416-2418, [wlararque@fcgov.com](mailto:wlararque@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Spring Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.
2. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.

3. Since the existing buildings are to remain, a drainage letter should be sufficient to document the existing drainage patterns and to discuss the water quality measures being provided. The drainage letter needs to address the four-step process for selecting structural BMPs. Also standard operating procedures (SOPs) must be prepared for each of the BMPs being used on the site.
4. If the site is required to meet present Land Use Code requirements, onsite water quality treatment of the runoff is required. Water quality treatment methods are described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). A method that could be used on an existing site is to direct the downspouts to a landscape area. Another is if perimeter landscape buffers or parking lot medians are required, they could be used to treat the runoff in bio-retention areas or rain gardens.  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)
5. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
6. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).  
LID design information can be found on the City's web site at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>.
7. The drainage outfalls for this site are the streets. It appears the northeast corner of the site is the lowest point on the property so to discharge to the east would require a drainage easement from the owners of the parcel to the east. The design engineer might check the plat for that development and see if it is already dedicated as a drainage easement or it might be street ROW.

**Department: Park Planning**

**Contact: Craig Foreman, 970-221-6618, [cforeman@fcgov.com](mailto:cforeman@fcgov.com)**

1. 1. 3/10/2014: No comments

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

1. AUTOMATIC FIRE SPRINKLER SYSTEM  
The existing sprinkler system shall be expanded to serve the new addition. A separate permit is required.

**Department: Environmental Planning**

**Contact: Kate Rentschlar, 970-224-6086, [krentschlar@fcgov.com](mailto:krentschlar@fcgov.com)**

1. Since your project is in the vicinity of Spring Creek, landscaping for the project should consist of native vegetation to complement the context of the natural habitat as per Section 3.4.1(I)(1) of the Land Use Code. A guide to planting native plants can be found on our website.
2. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "...(4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site may have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development
3. Looking down the road, please include a note on the tree mitigation plan or landscape plan, as appropriate, that requires a tree removal to occur outside of the migratory songbird nesting season (February 1-July 31), or that a survey be conducted prior to removal to ensure no active nests in the area.
4. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (Spring Creek). However, as there is an intervening parcel between the canal and this property, and the standard buffer (100 feet from the top of bank) would not extend to this project's parcel, the ECS is waived for this site.

**Department: Engineering Development Review**

**Contact: Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
7. The sidewalk along the front of the property as it crosses the driveways probably doesn't meet ADA standards and will need to be upgraded so the crossing and the sidewalk along the frontage of the property meets ADA standards.
8. A Development Construction Permit (DCP) or an excavation permit will need to be obtained prior to starting

any work on the sidewalks or driveways.

9. The applicant needs to be aware of where the property line along the front of the property is. The approximate location can be seen on the map prepared for this item. Any on-site parking for bicycles or for vehicles cannot extend into the right-of-way.
- 9.

**Department: Electric Engineering**

**Contact: Justin Fields, 970-224-6150, [jfields@fcgov.com](mailto:jfields@fcgov.com)**

1. Contact Light and Power Engineering, 970-221-6700, if the electric service needs to be upgraded or modified. If changes need to be made to the electric service, modification and electric development charges may apply.

**Current Planning**

**Contact: Rebecca Everette, 970-416-2625, [reverette@fcgov.com](mailto:reverette@fcgov.com)**

1. An expansion of the existing building by more than 25 percent of the existing floor area would require platting of the lot (See LUC 3.3.1). If this occurs, the development would be subject to a Type 1 administrative review in the Low Density Mixed Use (LMN) District (See LUC 4.5(B)(2)(c)).
2. If the privacy fence is relocated or altered (as described in Scenario 1 to expand the existing parking area), it will need to comply with LUC 3.8.11.
3. Reference the landscaping requirements in LUC 3.2.1, particularly if any alterations to existing landscaping are proposed.
4. TRAFFIC OP's: A traffic impact study will not be required for 12 additional children.
5. TRAFFIC Op's: Pickup and drop off traffic and parking will increase. Traffic Op's will want information regarding any past complaints on the issue.
6. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
7. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
8. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
9. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.



10. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
11. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
12. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

### **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2009 International Building Code (IBC)*

*2009 International Residential Code (IRC)*

*2009 International Energy Conservation Code (IECC)*

*2009 International Mechanical Code (IMC)*

*2009 International Fuel Gas Code (IFGC)*

*2009 International Plumbing Code (IPC) as amended by the State of Colorado*

*2011 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

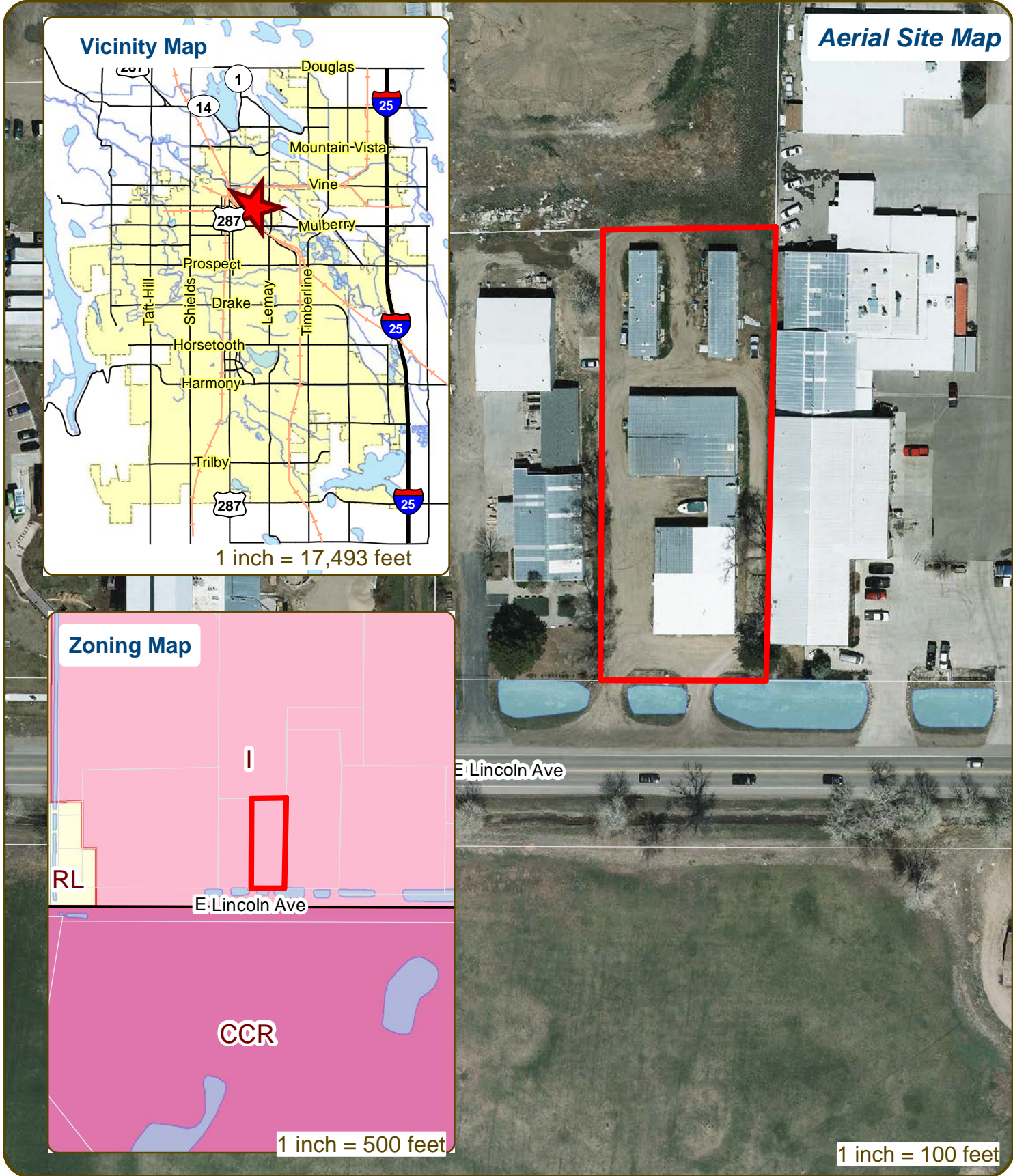
Energy Code Use

1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
416-2341

# 832 E Lincoln Ave Light Industrial / Retail



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

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At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) John Comeau,

Michael Ann. - Owners Michael McGreey - Listing agent

Business Name (if applicable) Horsetooth Hot Sauce

Your Mailing Address PO Box 271636 Ft. Collins, CO 80527

Phone Number 970-217-5754 Email Address horsetoothhotsauce@gmail.com

Site Address or Description (parcel # if no address) 832 E. Lincoln

Description of Proposal (attach additional sheets if necessary) See attachments.

Proposed Use Manufacturing/Retail/Food Existing Use Light Manufacturing

Total Building Square Footage 2400 S.F. Number of Stories 1 Lot Dimensions unsure

Age of any Existing Structures 36 years young.

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area Add approx 2000-4000 sqft paved parking. Native Landscaping S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

## Horsetooth Hot Sauce

### Conceptual Review 832 E. Lincoln.

832 E. Lincoln is situated between Odell Brewing Co and Fort Collins Brewery. We plan to convert the existing structure into a multi-use building for food manufacture, retail, and food service. The primary function of the converted space will be a manufacturing facility for our product line, which includes hot sauces, BBQ sauces, and bloody mary mixes. We also plan to devote a small area of the building to retail sales of our products and branded merchandise (hats, shirts, etc), and another small area of the space will be converted into a tasting room where we will serve food that pairs well with our hot sauces, hold company events, and celebrate sauce releases.

We will work closely with the health department to ensure the space is properly converted into a facility fit for food manufacture. The interior of the building will be improved upon in accordance with health department recommendations, and will comply with all applicable codes.

The exterior of the property could be greatly improved with attractive signage, paint and appropriate landscaping. We would like to landscape the front of the property using native plants, and hope to improve the appearance of the building façade using recycled and/or sustainable materials. In keeping with the cyclist spirit of Fort Collins, we will provide convenient, attractive bike racks in order to encourage our patrons to commute to-and-from the location via bicycle. We will also have the lot paved to add extra parking for staff and patrons.

Enclosed are pictures of our plans to help illustrate the proposed space conversion.





Wittrewood  
Kiss, Swirl









March 21, 2014

John Comeau  
Horsetooth Hot Sauce  
PO Box 271636  
Fort Collins, CO 80527

**Re:** 832 E Lincoln Ave - Light Industrial

**Description of project:** This is a request to utilize an existing structure for light industrial, and potential retail/restaurant uses located at 832 East Lincoln Avenue (Parcel # 97121-09-002). The manufacturing and preparation of hot sauces and drink mixes are planned, along with a small tasting room and space for product/merchandise retail sales. The site is located in the Industrial (I) Zone District.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ryan Mounce, at 970-224-6186 or [rmounce@fcgov.com](mailto:rmounce@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. LUC 3.2.1 A landscape plan is required showing compliance with the landscape standards of 3.2.1.
2. LUC (Land Use Code) 3.2.2(C)(4)(b) Minimum bicycle parking required per this section.
3. LUC 3.2.2(D) Pavement. All open off-street parking and vehicular use areas shall be surfaced with asphalt, concrete or other material in conformance with city specifications, and the parking lot and drives need to be designed in compliance with the parking lot standards.
4. Maximum parking allowed can be found in table 3.2.2(K)(2)(a) of the LUC.
5. Handicap parking spaces will be required per section LUC 3.2.2(K)(5)
6. LUC 3.2.2(M) 6% interior parking lot landscaping will be required if there are 6 or more parking spaces AND at least 1800 SQFT of parking including the loading zone.
7. LUC 3.2.5 All development, to the extent reasonably feasible, shall provide adequately sized conveniently located, accessible trash and recycling enclosures.

8. LUC 3.8.7 (D) The painted mural on the façade would be considered a sign and would be required to comply with our sign code. As designed, it probably doesn't comply. Also, the circular wall sign can't project above the top of the wall of the building
9. LUC 4.28(B) Of the 3 uses you list, the food product manufacturing is permissible in the I zone as a type I review. A restaurant is a type 2 review. And the retail portion will have to be an Addition of Permitted Use (type 2) if it's determined to be a 3rd principal use.
10. The proposed use(s) is a change of use of the property, which requires that the entire property be brought into compliance with all applicable standards of the code, many of which are referenced above.

**Department: Water-Wastewater Engineering**

**Contact: Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)**

1. Existing water mains and sanitary sewers in this area include 16-inch water main in Lincoln and an 8-inch sewer that extends across Lincoln to a manhole near the southwest corner of this site.
2. This site currently gets water service from the ELCO Water District and sewer service from the City.
3. If there are changes proposed to the existing water or sewer services, contact City Water Utilities to determine if any development fees will be due.

**Department: Stormwater Engineering**

**Contact: Glen Schlueter, 970-224-6065, [gschlueter@fcgov.com](mailto:gschlueter@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Dry Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.
3. Since the existing buildings are to remain, a drainage letter should be sufficient to document the existing drainage patterns and to discuss the water quality measures being provided. The drainage letter needs to address the four-step process for selecting structural BMPs. Also standard operating procedures (SOPs) must be prepared for each of the BMPs being used on the site.
4. If the site is required to meet present Land Use Code requirements, onsite water quality treatment of the runoff is required. Water quality treatment methods are described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). A method that could be used on an existing site is to direct the downspouts to a landscape area. Another is if perimeter landscape buffers or parking lot medians are required, they could be used to treat the runoff in bio-retention areas or rain gardens.  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)
5. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).

LID design information can be found on the City's web site at:

<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>.

6. The drainage outfall for this site is the channel along Lincoln Ave. If there is an increase in discharge the applicant will need to get Larimer County approval because this channel carries water into the county. The channel has no extra capacity and in fact it does not have capacity for the existing 100 year flows.
7. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
8. Floodplain Comments:  
This property is located in the FEMA-regulatory Poudre River 500-year Floodplain, Protected by Levee (shaded Zone X), and must satisfy the safety standards of Chapter 10 of City Code. A FEMA Flood Risk Map is attached.
9. At-Risk Population and Essential Service Critical Facilities are not allowed within the Poudre River 500-year floodplain. As long as this building is not classified as a critical facility, there will be no floodplain permitting requirements for the development of this property.
10. FEMA has begun to remap the Poudre River. They are calling this RiskMAP, and it will be a multi-year project. Any future development will be subject to the floodplain map and regulations effective at that future time.
11. The Floodplain Administrator for the Poudre River Floodplain is Marsha Hilmes-Robinson; 970.224.6036, [mhilmesrobinson@fcgov.com](mailto:mhilmesrobinson@fcgov.com). Feel free to contact Marsha if you have any questions.

**Department: Park Planning**

**Contact: Craig Foreman, 970-221-6618, [cforeman@fcgov.com](mailto:cforeman@fcgov.com)**

1. 1. 3/10/2014: No comments

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. EXTENT OF PROJECT**

There are numerous building included on the property and from submitted materials, it is unclear to what extent they will or will not be included in the project. Without detailed information available, subsequent comments should be considered general in nature. Feel free to contact me should you need further information.

**2. FIRE LANES**

06IFC 503.1.1: Fire Lanes shall be provided to within 150' of all portions of the building, as measured by an approved route around the exterior of the building. Buildings on the property are not within fire access and

an Emergency Access Easement would be required if one is not already dedicated. Fire lane specifications provided here:

#### FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be dedicated as an Emergency Access Easement.
- > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
- > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
- > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
- > Be visible by painting and/or signage, and maintained unobstructed at all times.

2006 International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

#### 3. OCCUPANCY CLASSIFICATION AND MANUFACTURING HAZARD ANALYSIS

Fire code requirements will be driven by the occupancy classification, occupant load, on-site manufacturing process, etc. As such, more information is needed in order to provide specific details. Please contact me as needed to discuss this further.

#### 4. COMMERCIAL KITCHEN HOODS

06IFC 609.2: A Type I hood shall be installed at or above all commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease vapors.

#### 5. PREMISE IDENTIFICATION

06IFC 505.1: New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

**Department: Environmental Planning**

**Contact: Kate Rentschlar, 970-224-6086, [krentschlar@fcgov.com](mailto:krentschlar@fcgov.com)**

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site may have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
2. Since your project is in the vicinity of the Poudre River, landscaping for the project should consist of native vegetation to complement the context of the natural habitat as per Section 3.4.1(I)(1) of the Land Use Code. Odell Brewing is great example of the use of native vegetation in their stormwater detention pond and landscaping. Also, a guide to planting native plants can be found on our website.
3. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (Coy Ditch). However, since it is accross the street and will be pipped during the construction of Woodward, the ECS is waived for this site.

**Department: Engineering Development Review**

**Contact: Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
4. At the time of development or redevelopment of a property the property is responsible for improving the street frontage adjacent to the site (local street portion of the improvements). Because there is a currently a planning process going on that will establish a unique cross section for this roadway it does not make sense for the project to design and construct the frontage improvements at this time and in lieu a payment in lieu will be collected. The payment in lieu amount for 2014 is 207 per linear foot of frontage. So at 126 feet of frontage the payment if made prior to Dec 31, 2014 would be: \$26,082.
5. Currently this property has two driveways into the site. The driveway spacing doesn't meet standards and one of the driveways will need to be closed. Per the preliminary plans for this corridor the western most access point is the access point to be closed. This provides for better spacing between the access points along the corridor.
6. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
7. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. No right-of-way for Lincoln should be needed.
8. Utility plans may be required.
9. A Development Agreement will need to be entered into and be recorded once the project is finalized. The Development Agreement will address the payment in lieu of construction of frontage improvements.
10. If there are to be any public infrastructure improvements to be installed (example: increase water service) A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
- 10.
- 10.

**Department: Electric Engineering**

**Contact: Justin Fields, 970-224-6150, [jfields@fcgov.com](mailto:jfields@fcgov.com)**

1. Contact Light and Power Engineering, 970-221-6700, if the electric service needs to be upgraded or modified. If changes need to be made to the electric service, modification and electric development charges may apply.

## Current Planning

Contact: Ryan Mounce, 970-224-6186, [rmounce@fcgov.com](mailto:rmounce@fcgov.com)

1. More information is needed regarding the scale of the retail component to determine if it is accessory to the industrial use. General retail uses are only allowed within convenience shopping centers in the Industrial Zone. Retail outside a convenience shopping center, or not connected with vehicle servicing requires an addition of a permitted use, subject to Planning & Zoning Board (Type 2) review.
2. The site will need to accommodate a sidewalk and street trees consistent with the City's streetscape standards and LUC 3.2.1(D)(2) or provide fee in lieu.

The Lincoln Corridor Plan will be considered by City Council for adoption on April 15th. Although the ultimate configuration of streetscape improvements has not been finalized, future coordination of these improvements may be necessary.

3. A separate walkway will be needed to connect from the main entrance out to the public sidewalk.
4. LUC 3.5.3(C)(2) Parking will need to be accommodated to the side or rear of the building to the extent reasonably feasible.
5. Bicycle parking will need to be provided, with requirements based on the exact uses proposed per LUC 3.2.2(C)(4).
6. LUC 3.2.2(K)(2) Vehicle parking is limited to a maximum number of spaces based on the proposed uses and their associated gross leasable area (Standard Restaurants: 10/10,000 SF and industrial employee parking at .75/employee).
7. The parking area will need to meet the requirements found in LUC 3.2.2 D through M. A minimum 5 foot landscaped setback is required alongside lot lines.
8. LUC 3.5.1(I) Areas of outdoor storage need to be screened with walls/fencing.
9. TRAFFIC OP's: Please contact Ward Stanford at 970-221-6630 once the square footage of each use (manufacturing, tasting, retail sales) is determined, to see if a Traffic study is needed.
10. TRAFFIC OP's: There's possibility the City will reduce access drives to one.
11. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
12. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
13. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.

14. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
15. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
16. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
17. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

### **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2009 International Building Code (IBC)*

*2009 International Residential Code (IRC)*

*2009 International Energy Conservation Code (IECC)*

*2009 International Mechanical Code (IMC)*

*2009 International Fuel Gas Code (IFGC)*

*2009 International Plumbing Code (IPC)* as amended by the State of Colorado

*2011 National Electrical Code (NEC)* as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

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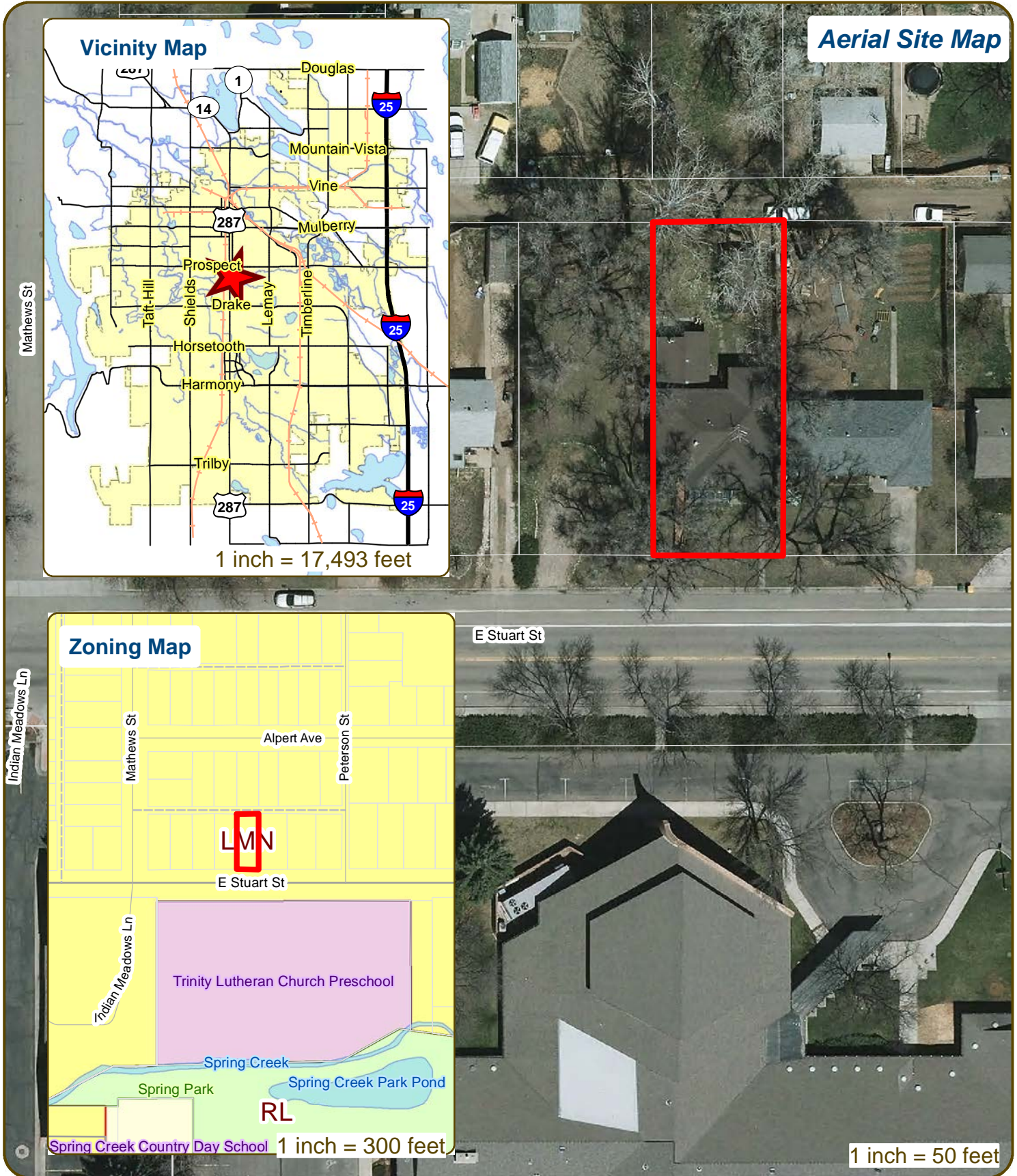
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Plan Review  
416-2341



# 314 E Stuart St Duplex



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**\*BOLDDED ITEMS ARE REQUIRED\*** *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

**ELIZABETH & NICHOLAS RUEDIG (OWNERS)**

Business Name (if applicable) \_\_\_\_\_

Your Mailing Address **2902 W. OLIVE ST. FT COLLINS 80521**

Phone Number **541-250-0519** Email Address **LIZ\_HOUSER@GMAIL.COM**

Site Address or Description (parcel # if no address) **314 E. STUART ST FT COLLINS 80525**  
**(PARCELS # 97242-19-013 & 97242-19-014)**

Description of Proposal (attach additional sheets if necessary) **SEE ATTACHED**

Proposed Use **DUPLEX** Existing Use **SINGLE FAMILY RESIDENTIAL**

Total Building Square Footage **3216** S.F. Number of Stories **2** Lot Dimensions \_\_\_\_\_

Age of any Existing Structures **1954 (60 YEARS)**

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain?  Yes  No If yes, then at what risk is it? \_\_\_\_\_

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>

Increase in Impervious Area \_\_\_\_\_ S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

**Suggested Items for the Sketch Plan:**

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

**314 E. Stuart St.**

Conceptual Design for the City of Fort Collins  
February 2014

Elizabeth & Nicholas Ruedig, owners  
(541) 250-0519 & (847) 802-9278  
liz.houser@gmail.com & nruedig@gmail.com  
2902 W. Olive St.  
Ft Collins, CO 80521

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## Overview

We would like to develop this property as an owner-occupied duplex: an upstairs unit (unit 1, 3bed/2bath), and a downstairs (unit 2, 3 bed,1.75 bath), garden-level unit. No additions will be made to the existing structures. A single wall is necessary to separate the units, although as you see from our plan we have proposed to modify additional walls (none of them structural) to improve the livability of both units. A separate entry is provided for each unit (see conceptual drawings, appendix A).

## 1 Whole Structure

### 1.1 Utilities

We understand that the City prefers utilities for each unit in a duplex to be separate. We are prepared to do this. However, we would like the City to consider a variance as we plan to install a geothermal heating and cooling unit. This is a very environmentally friendly and green method of providing HVAC and hot water and we would be happy if both units could share one system (as it is not feasible to install separate geothermal systems for each unit). As the geothermal unit would require electricity to function, we would need to share this service as well. Under this plan, it would be feasible to provide separate gas and cable/data, but electricity, HVAC, and water would be shared. Regardless of the separation of utilities, we plan to upgrade existing household systems to code (especially electric).

If it is not permissible to share utilities provided by a geothermal unit (electrical, HVAC, and water), all utilities will be separated and services will be provided as described in the tables below.

Table 1: Utility services for each unit

	Gas	Electric	Water/sewer	Cable/data
Unit 1	X	X	X	X
Unit 2		X	X	X

Table 2: HVAC and water service for each unit

	Geothermal heat	Geothermal cool	Baseboard heat	Geothermal hot water	Electric hot water*
Unit 1	X	X		X	
Unit 2			X		X

\*Tankless

### 1.2 Grading

The lot will also be regraded. Drainage at the site is currently sub-optimal (toward the house). We are working with a contractor to improve the flow of water (away from the house). During the regrading project, we intend to install a geothermal heating system, which will be used to heat and cool unit 1 (we are open to using it for both units, but understand per the City that utilities must be provided separately).

### **1.3 Parking**

An additional parking spot will be provided. Currently the property features a one (1) car garage, accessed via alleyway, and a gravel lot which can accommodate two (2) cars, accessed via Stuart St., for a total of three (3) off street parking spaces. We understand that the city requires a duplex to provide four (4) off street parking spaces and plan to expand the existing gravel lot to provide one (1) additional parking space, for a total of four (4) off street parking spaces.

### **1.4 Landscaping**

Certain trees will be removed, and other landscaping undertaken to improve lot drainage by directing water away from the house.

### **1.5 Roof**

A standing-seam metal roof will be installed, along with new gutters and downspouts to improve lot drainage by directing water away from the house.

### **1.6 Radon remediation**

Radon remediation of garden-level areas will be completed.

### **1.7 Windows**

Certain windows will be replaced, especially those in the worst condition, to improve the insulation of the structure. If required, we will install egress windows in unit 2 (current windows are 48" above the floor).

## **2 Unit 1 (Upstairs) Renovation**

Unit 1 will encompass the upstairs floor, artist's studio, greenhouse, and all exterior buildings. Per the Larimer County assessor, the upstairs, artist's studio, and greenhouse areas (which constitute the liveable portions of unit 1) total 1704 sq ft. The garage is 308 sq ft, and the area of the shed is unknown.

In the unit interior, closet space and recovered space from the existing staircase will be used to provide a second full bath. Insulated HVAC ductwork will be run through the attic; the attic itself will be insulated to at least R50. Finish work will also be completed, including:

- Refinishing of hardwood floors;
- New flooring and hardware finishes in kitchen, existing bathroom, and utility room;
- Refinishing existing kitchen cabinetry;
- Stripping and resealing of painted concrete floors in greenhouse;
- Construction new entry stairs - at both the front and back entrance - to ensure compliance with current City codes;
- Installation of certain bathroom finishes (e.g., venting) to ensure compliance with City codes;

- Other miscellaneous improvements.

### **3 Unit 2 (Garden level) Renovation**

Unit 2 will encompass the lower (garden) level of the main house. Per the Larimer County assessor, this area totals 1512 sq ft.

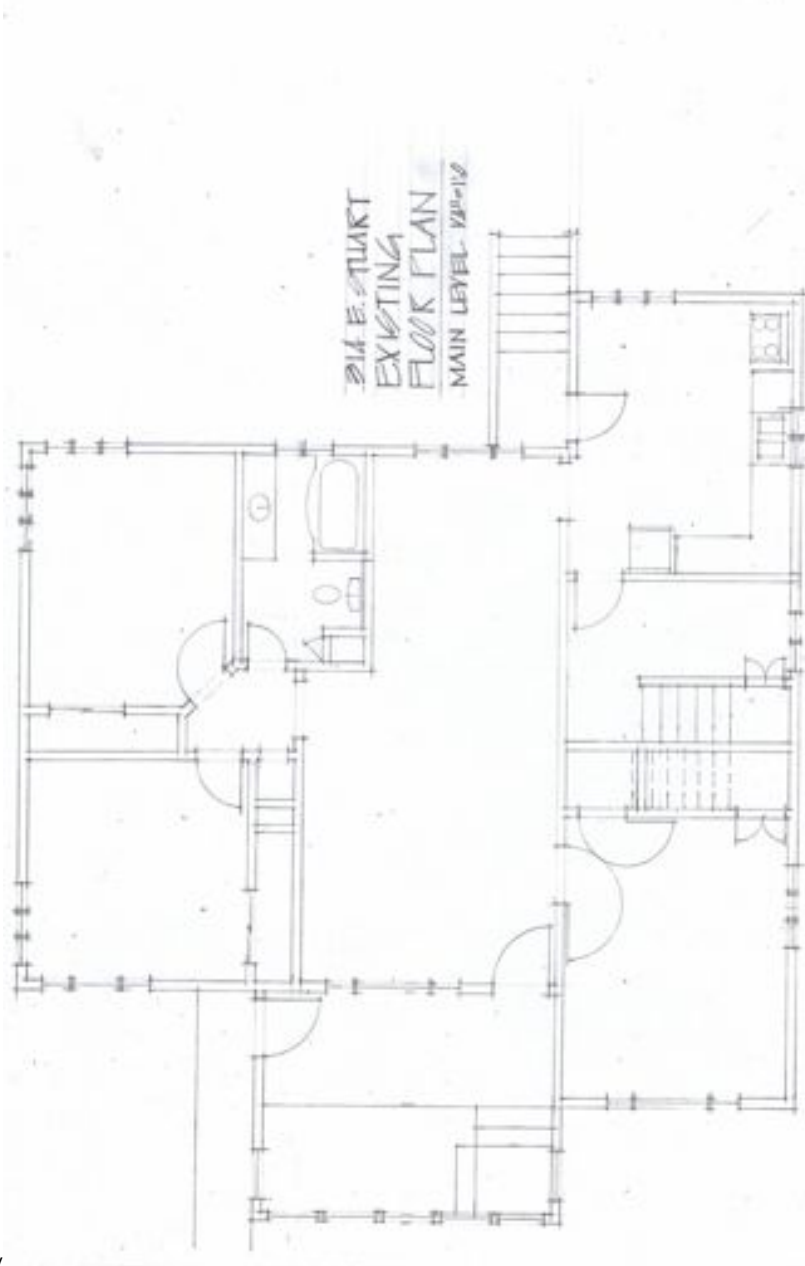
In the unit interior, Closet space and recovered space from an existing hallway will be used to provide a 0.75 master bath (from the existing 0.5 bath). A kitchenette will be installed, as well as baseboard heat. The existing bathroom will be renovated and brought up to compliance with all applicable city codes. Other work will be completed, including:

- Installation of carpeting throughout the unit, except in kitchen and bathrooms;
- Installation of tile flooring in bathrooms;
- Installation of new light fixtures throughout;
- Installation of an extra layer of gypboard in the ceiling to provide 1-hour fire separation;
- Other miscellaneous improvements.

## A Conceptual Architectural Drawings

### A.1 Existing floorplan

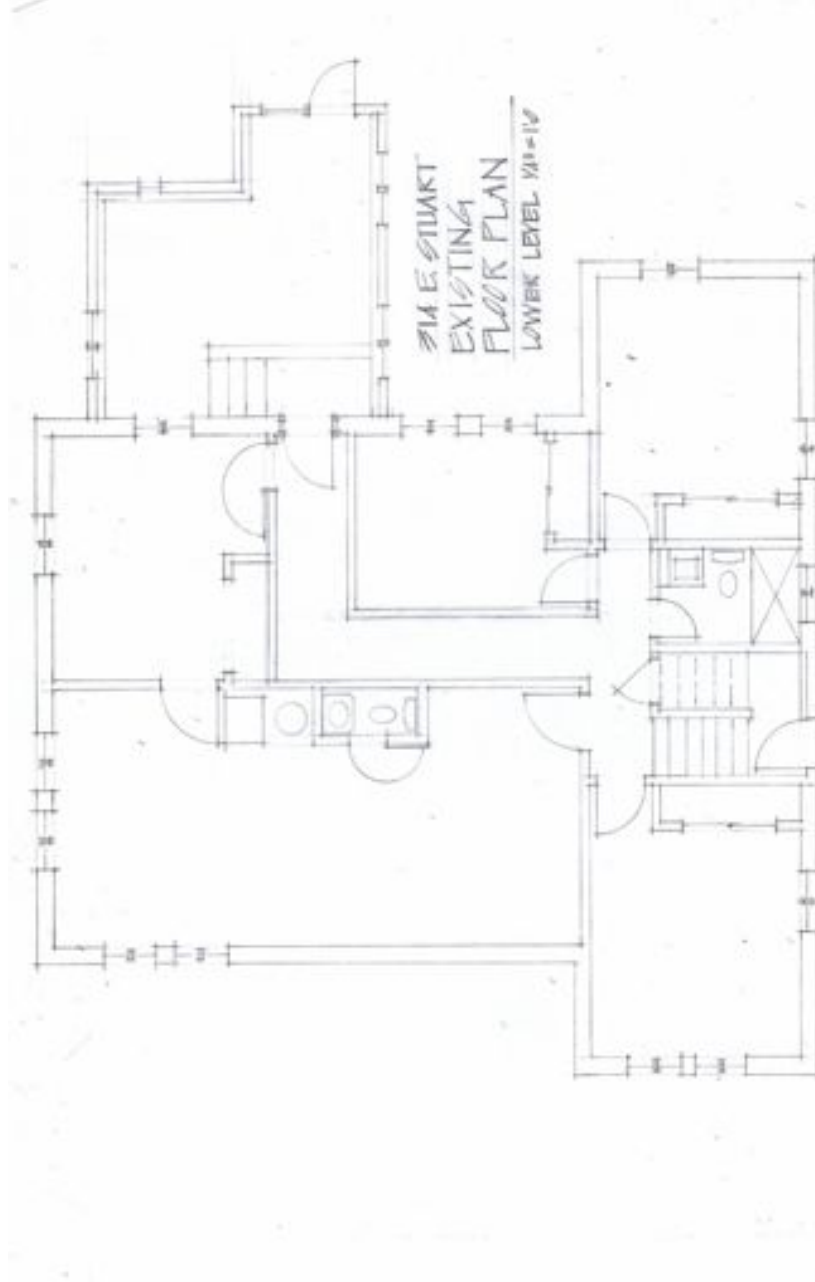
(Only to scale when printed on appropriately sized paper. These drawings NOT TO SCALE).



y

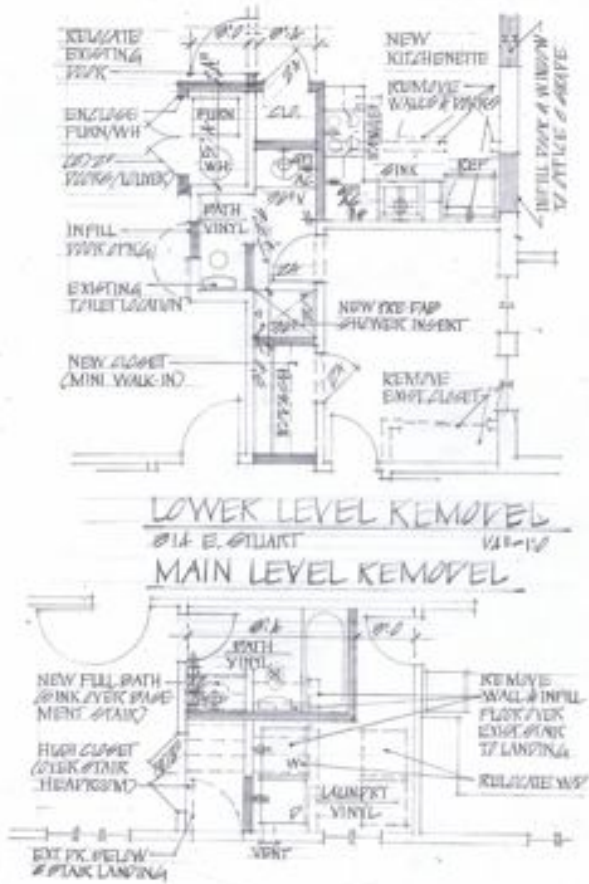


(Only to scale when printed on appropriately sized paper. These drawings NOT TO SCALE).



### A.2 Proposed floorplan

(Only to scale when printed on appropriately sized paper. These drawings NOT TO SCALE).



## **B Photos of Structure**

The house itself was constructed in 1954. There are six subsequent permits on file with the City; two of these are additions (1987 and 1963). Unfortunately, it is difficult to know what was added when, but our best guess is that the south-facing greenhouse was built in 1987, and the north-facing artist's studio was built in 1963. There are no permits for any outbuildings, making it difficult to know when the garage and shed were built. The garage may be original; the shed's exterior walls are constructed of chipboard and appear to be of a more modern vintage than the house and/or garage. Neither of the outbuildings has power.

### **B.1 Photos of main structure: house (ca. 1954)**

House southern wall (faces Stuart St.), photo faces north



House western wall, photo faces east



House northern wall (faces alleyway), photo faces south  
Artists studio in foreground is a later addition of unknown year.



Hose eastern wall, photo faces west  
Neighbor's house (visible to right of photo) makes it difficult to capture this wall.



**B.2 Photos of outbuilding #1: one-car garage (ca. unknown)**

Garage southern wall, photo faces north



Garage western wall, photo faces east





Garage northern wall (taken from alleyway), photo faces south



Garage eastern wall, photo faces west  
Neighbor's fence at property line makes this direction difficult to capture.



**B.3 Photos of outbuilding #2: shed (ca. unknown)**

Shed southern wall, photo faces north.



Shed western wall, photo faces east

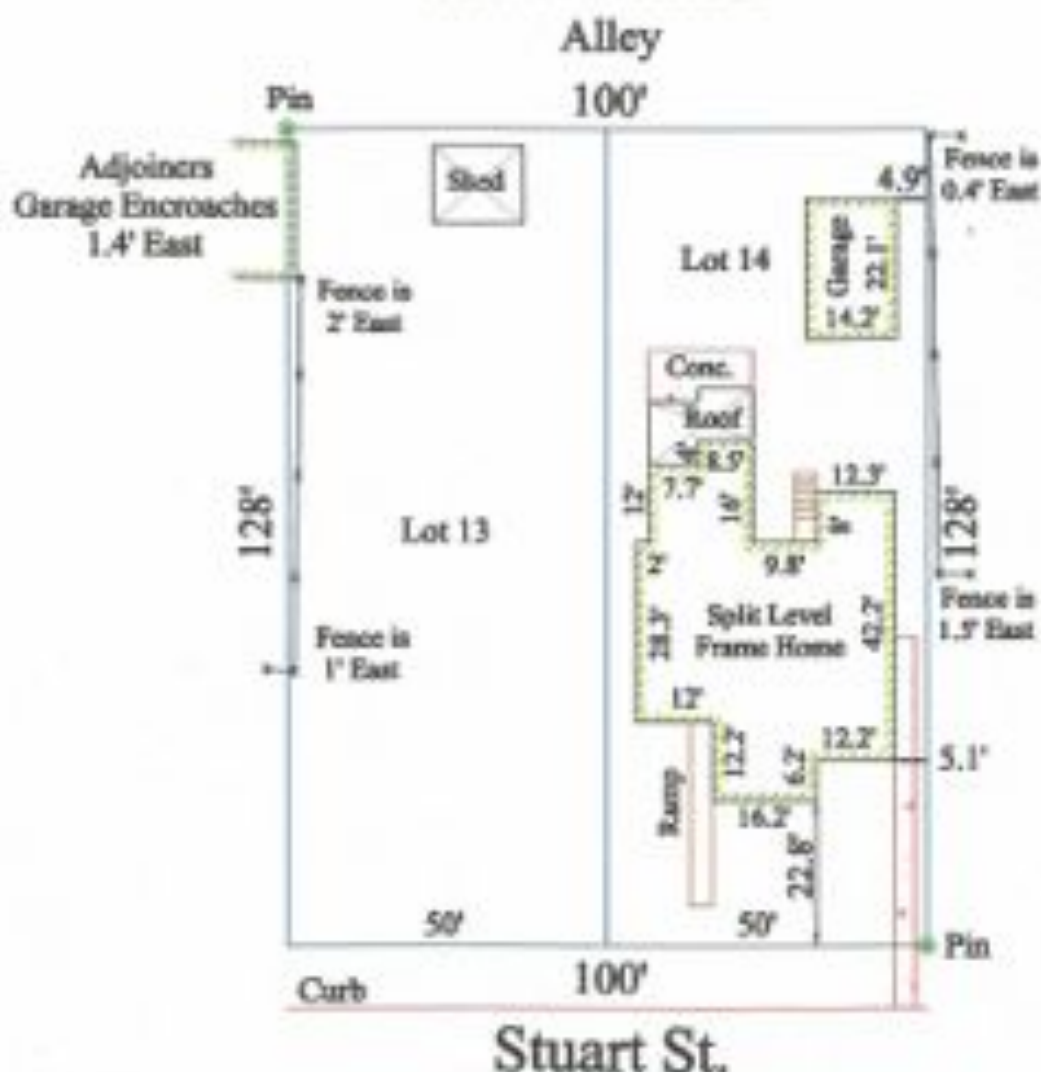


Shed northern wall (taken from alleyway), photo faces south



Shed eastern wall, photo faces west





I hereby certify that this Improvement location certificate was prepared for:

**Ru/Max (Road)**

THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines. I further certify that the improvements on the above shown parcel on this date, 3/28/2014 except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

**LEGAL DESCRIPTION:**

Lots 13 and 14, Block 2,  
Alpert Subdivision, County  
of Larimer, State of Colorado.

Address: 314 E. Stuart St., Ft. Collins

Job No. : 14-2-47-1620

Scale : 1"=30'

Easement Source: Recorded Subdivision Plat





March 21, 2014

Elizabeth Ruedig  
2902 W. Olive Street  
Fort Collins, CO 80521

**Re:** 314 E Stuart St - Duplex

**Description of project:** This is a request to convert an existing single family home to a duplex located at 314 East Stuart Street (Parcel # 97242-19-014). No building additions are planned to the existing structure. The site is located in the Low Density, Mixed-Use Neighborhood (L-M-N) Zone District. Two family dwellings are subject to Administrative (Type 1) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ryan Mounce, at 970-224-6186 or [rmounce@fcgov.com](mailto:rmounce@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. LUC 3.2.2(K)(1)(A) Off-Street parking minimums for two-family dwellings are based on number of bedrooms. Two 3 bedroom dwelling units would require 4 parking spaces total.
2. LUC 3.2.2(D)(3)(c) (c) Pavement. All open off-street parking and vehicular use areas shall be surfaced with asphalt, concrete or other material in conformance with city specifications. See Current Planning's comments regarding location.
3. The LMN density requirement is met as long as the development application includes both Lot 13 and Lot 14. If the application is just for Lot 14, then a modification to the maximum density standard for the LMN zone would be needed.

**Department: Water-Wastewater Engineering**

**Contact:** Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)

1. Existing water mains and sanitary sewers in this area include an 8-inch water main and an 8-inch sewer in Stuart and 4-inch water main and an 8-inch sewer in the alley to the north.
2. The existing water service to the property is a ¾-inch service connecting to the water main in the alley.



3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. Development fees and water rights for the additional dwelling unit will be due at building permit.

**Department: Stormwater Engineering**

**Contact: Wes Lamarque, 970-416-2418, [wlararque@fcgov.com](mailto:wlararque@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Spring Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.
2. No improvements or increases in impervious area are indicated in the application, so please contact the Stormwater Utility if this changes. If there is an increase in imperviousness greater than 1000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns. If there is less than 1,000 but more than 350 square feet of new impervious area; a site grading and erosion control plan is required instead of a complete construction plan set.
3. If the site is required to meet present Land Use Code requirements, onsite water quality treatment of the runoff is required. Water quality treatment methods are described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). A method that could be used on an existing site is to direct the downspouts to a landscape area. Another is if perimeter landscape buffers or parking lot medians are required, they could be used to treat the runoff in bio-retention areas or rain gardens.  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)
4. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
5. Low Impact Development (LID) requirements went into effect March 11, 2013. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).  
LID design information can be found on the City's web site at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>.
6. The drainage outfall for the site appears to be the alley and Stuart St. The northeast corner of the site is showing as the lowest point on the property so it would follow that most of the drainage will leave the site at

that corner. If there is an increase in runoff leaving the site the design engineer will need to verify the water's course to the street. If the site drains into the alley and then water leaves the alley and drains onto other private property improvements to the alley drainage would be required to contain the flows in alley.

**Department: Park Planning**

**Contact: Craig Foreman, 970-221-6618, [cforeman@fcgov.com](mailto:cforeman@fcgov.com)**

1. 1.3/10/2014: No comments

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

1. From the information provided for conceptual review, it appears the building envelope is not changing. With no exterior changes, additions to the building, etc., there is no change to fire access. As such, there are no significant PFA comments at this time.
2. PREMISE IDENTIFICATION  
06IFC 505.1: New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background. The duplex units shall be addressed separately.

**Department: Environmental Planning**

**Contact: Kate Rentschlar, 970-224-6086, [krentschlar@fcgov.com](mailto:krentschlar@fcgov.com)**

1. Since your project is in the vicinity of Spring Creek, landscaping for the project should consist of native vegetation to complement the context of the natural habitat as per Section 3.4.1(I)(1) of the Land Use Code. A guide to planting native plants can be found on our website.
2.  
The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site may have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
3. Looking down the road, please include a note on the tree mitigation plan or landscape plan, as appropriate, that requires a tree removal to occur outside of the migratory songbird nesting season (February 1-July 31), or that a survey be conducted prior to removal to ensure no active nests in the area.
4. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (Spring Creek). However, as there is an intervening parcel between the canal and this property, and the standard buffer (100' from the top of bank) would not extend to this project's parcel, the ECS is waived for this site.

**Department: Engineering Development Review**

**Contact: Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
4. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
5. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
6. Per code requirements the property is responsible for improving the frontages of this property at the time of development or redevelopment. The alley is considered a street, so per the standards would also need to be improved.
7. Detached sidewalk along the frontage of these lots will need to be installed with this development. A 4.5 foot sidewalk placed at the right-of-way line. Any driveways into the site are to be concrete to the property line and constructed per standard details.
8. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
9. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
10. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.

**Department: Electric Engineering**

**Contact: Justin Fields, 970-224-6150, [jfields@fcgov.com](mailto:jfields@fcgov.com)**

1. City code requires that each dwelling unit needs to be individually metered. A written request for an exemption to the policy may be submitted the Executive Director of Fort Collins Utilities. Contact Light and Power Engineering, 970-221-6700, to discuss this process and to review the electric needs of the duplex. Electric development and system modification will likely apply. If the second unit is built with an on demand water heater and resistance electric heat these charges may be substantial. Kim Devoe, an Energy Services Engineer with Fort Collins Utilities, may be able to provide assistance with the design of a geothermal system for a duplex. His phone number is 970-214-1839. It may be the case that a geothermal system can be used in conjunction with separate electric services.

**Current Planning**

**Contact: Ryan Mounce, 970-224-6186, [rmounce@fcgov.com](mailto:rmounce@fcgov.com)**

1. The Stuart Street frontage requires a sidewalk and street trees. The configuration of sidewalk (detached or attached) and any right of way improvements will help determine if any existing trees satisfy the Street Tree standards in LUC 3.2.1(D)(2).

2. Parking requirements are based on the number of bedrooms per unit. Each 3-bedroom unit requires 2 parking spaces, for a total of 4 required off-street parking spaces.
3. Is the parking area located on the same lot as the duplex? If not, the parking will need to be relocated to the same lot, the two lots platted together, or the lots consolidated by assigning one parcel number with Larimer County.  
or we need to investigate other options to preserve parking for the duplex such as replatting the two lots, an easement or affidavit.
4. LUC 3.2.1(C) Significant trees, those having a diameter at breast height of six inches or more, should be protected. A review of on-site trees should be conducted with the City Forester, Tim Buchanan (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com) ) to determine the status of existing trees and/or potential mitigation requirements.
5. TRAFFIC OP's: A traffic study will not be required for this proposal.
6. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
7. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
8. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
9. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
10. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
11. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
12. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.