

Conceptual Review Agenda

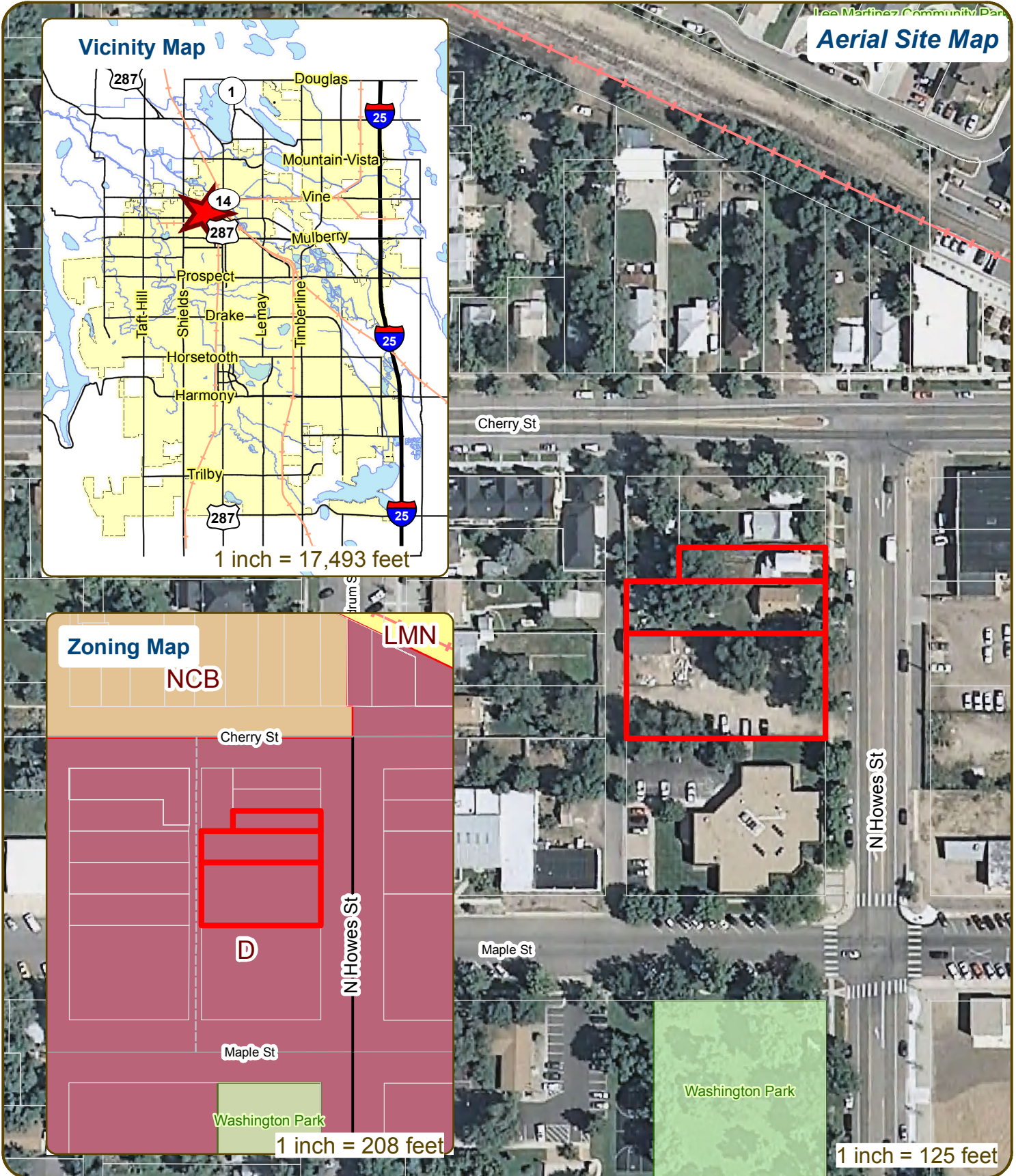
Schedule for 02/11/13 to 02/11/13

281 Conference Room A

Monday, February 11, 2013

Time	Project Name	Applicant Info	Project Description	Planner
9:00	315-325 N Howes - Multifamily	Greg Kushner 303-710-1904 greg.kushner@neenan.com	This is a request to build a multifamily building on 2 or 3 lots located at 315, 323 & 325 North Howes Street (Parcel #s 97111-22-004, 97111-22-006 & 97111-22-017). The intention is to remove the existing structures on the lots and construct 78 units in a 4-story building. The site is located in the Civic Center subdistrict of the Downtown Zone District. Multifamily residential uses are subject to Planning & Zoning Board (Type 2) review in the Civic Center subdistrict of the Downtown Zone District.	Seth Lorson
9:30	2700 S Lemay - SF Lots	Richard Cross 303-268-8347 richardc@centurycommunities.com	This is a request to plat for single family homes located at 2700 South Lemay Avenue (Parcel # 87302-12-901). The site is located in the Low Density Residential Zone District. The minimum lot size would be 6,000 square feet and the square footage of the homes will range between 1,800 and 3,200 square feet. Single family detached dwellings are subject to administrative (Type 1) review in the Low Density Residential Zone District.	Ted Shepard
10:15	811 E Elizabeth - Medical Office Addition	Mike Hull 970-218-5034 hull624@aol.com	This is a request to construct a 650 square foot addition to an existing medical office located at 811 E Elizabeth Street (Parcel # 97134-00-012). The site is located in the Neighborhood Conservation Low-Density (N-C-L) Zone District. The medical office is an existing non-conforming use; an enlargement of a non-conforming use is subject to Planning & Zoning Board (Type 2) review.	Jason Holland
11:00	Fort Collins Recycling Facility	Ethan Cozzens 970-221-6273 ecozzens@fcgov.com	This is a request to construct a recycling facility located on the west side of Timberline Road immediately south of the Timberline Substation (a portion of Parcel# 87191-00-917). The center would serve as centralized location to bring goods for recycling. A few concrete pads may be involved but no buildings are currently anticipated. The site is located in the Industrial (I) Zone District. Recycling facilities in the Industrial Zone District are subject to administrative (Type 1) review.	Sherry Albertson-Clark

315-325 N Howes St Multifamily



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc)

Greg Kushner, Project Manager (Design/Builder)

Business Name (if applicable) The Neenan Company

Your Mailing Address 2607 Midpoint Drive, Fort Collins, CO 80525

Phone Number 303-710-1904 Email Address greg.kushner@neenan.com

Site Address or Description (parcel # if no address) 315, 323, & 325 N. Howes Street, Fort Collins CO

Description of Proposal (attach additional sheets if necessary)

Residential multi-family apartments. 3-4 stories with parking below structure. Built on 2 or 3 lots. Currently investigating residential structure at 325 N. Howes to define landmark requirements vs. existing structure conditions.

Proposed Use Residential Multi-Family Existing Use Residential Single Family

Total Building Square Footage 60,000 S.F. Number of Stories 4 Lot Dimensions 189'x150'

Age of any Existing Structures 50 years +

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [X] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 26,417 SF S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

January 29, 2013

Seth E. Lorson, AICP
City Planner
City of Fort Collins
281 N. College Avenue
Fort Collins, CO 80522

Dear Seth:

Attached within this email are documents for the City of Fort Collins Conceptual Review process. The Neenan Company (TNC) is currently in the beginning stages of this development for a multi-family housing project to be located on the current lots of 315 & 323 Howes St. This site exists in the Downtown (D) district, Civic Center Subdistrict. This proposal is located in the Downtown Strategic Plan Subarea.

It is our intention to remove the existing structures on these lots for this development. At the time of this submittal we are proposing to build three stories of apartments above at grade parking. The current conceptual design includes 78 units in a mixture of studio, one bedroom and two bedroom apartments. The at grade parking lot will maximize the pervious area while attempting a parking ratio of one car per unit or less. Bike parking and storage will be maximized and be no less than the required minimum. The anticipated storm water will be collected in an underground water quality vault on site and released into the City's 48" storm sewer line in Howes St. TNC is proposing to connect to power utilities via the alley and connect at Maple St. No other utilities have been addressed at this time.

Sincerely,



Matt Brooksmith
Design Manager

Enclosures: (2)



LOT 325

LOT 323

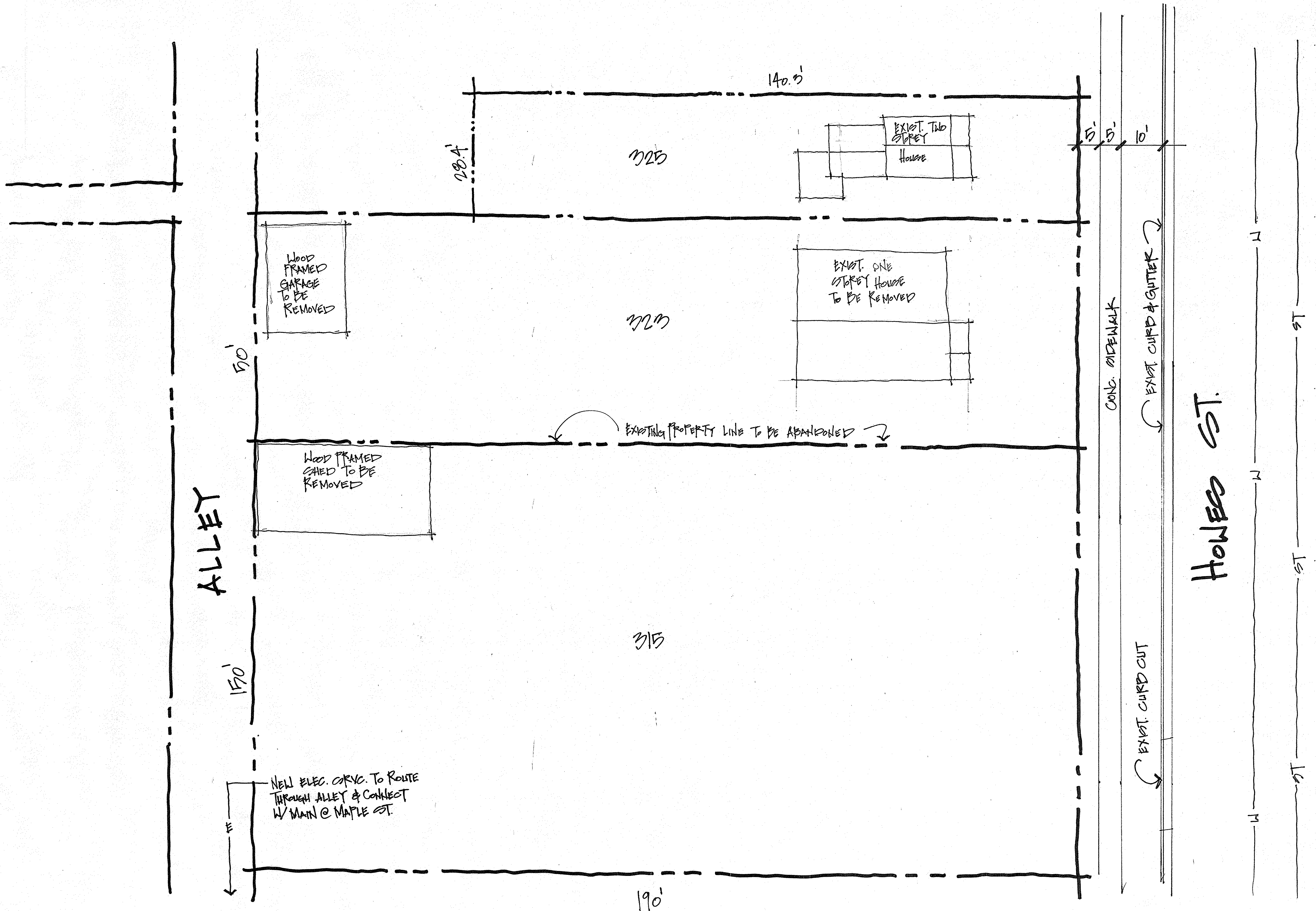
N Howes St

LOT 315

ORANGE = VERTICAL CIRCULATION
 GREEN = HORIZONTAL CIRCULATION
 PRIMARY YELLOW = STOR/ELEC

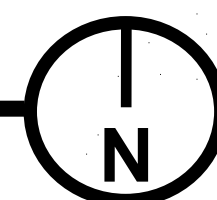
HOWES MULTIFAMILY
 N.T.S. 





HOWES MULTIFAMILY

SCALE - 1" = 10'



315 N. Howes Lot looking West

Existing shed to be removed



Lot at 315 N. Howes looking NW

House & Garage at 323 N. Howes to be removed



Lot at 315 N. Howes Looking NE

House at 323 N. Howes to be removed or renovated.

House at 323 N. Howes to be removed.



Shed on 315 N. Howes lot to be removed



Lot at 315 N. Howes looking SW

Old Terracon building at 301 N. Howes



Lot at 315 N. Howes Looking East

Adjacent house at 325 N. Howes to be removed.





Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

February 19, 2013

Greg Kushner
The Neenan Company
2607 Midpoint Drive
Fort Collins, CO 80525

Re: 315-325 N Howes - Multifamily

Description of project: This is a request to build a multifamily apartment building on 2 or 3 lots located at 315, 323 & 325 North Howes Street (Parcel #s 97111-22-004, 97111-22-006 & 97111-22-017). The intention is to remove the existing structures on the lots and construct 78 units in a 4-story building. The site is located in the Civic Center subdistrict of the Downtown Zone District. Multifamily residential uses are subject to Planning & Zoning Board (Type 2) review in the Civic Center subdistrict of the Downtown Zone District.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Seth Lorson, at 970-224-6189 or slorson@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

1. While the properties are located in the Transit-oriented development (TOD) Overlay Zone and thus no vehicle parking required we appreciate your efforts to remedy parking congestion by provide some off-street parking. The parking lot and drives will need to meet standards set forth in LUC 3.2.2 which includes new requirements for minimum storage for bicycle (parking) which is required within the TOD Overlay Zone (3.2.2[C][4])
2. Enclosed Trash and Recycling areas will need to meet LUC 3.2.5 requirements.
3. Proposed building stories meets the 3-4 story max. for this block. 45' is the max. height permitted.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers in this area include a 4-inch water main and a 6-inch sewer in Howes.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

2. The water main and the sanitary sewer in Howes from Cherry to Maple are both currently scheduled for replacement during 2013.
3. The existing houses at 323 and 325 N Howes are each served by ¾-inch water services.
4. There is a ¾-inch water service that is stubbed into the empty lot.
5. Any existing water or sewer services extending to the properties must be used or abandoned at the main.
6. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
7. Development fees and water rights will be due at building permit. Credit will be given for the two properties where accounts have previously been established.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. In the Old Town drainage basin a drainage and erosion control report and construction plans are required if there is an increase in impervious area greater than 5000 square feet in an existing development. They must be prepared by a Professional Engineer registered in Colorado.
3. Also when a site is completely redeveloped (scraped) the standard requirement is to provide onsite detention with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. A variance to the 2 year historic release rate may be justified if the site has been paying fees for a higher imperviousness. Please contact Jean Pakech at 221- 6375 to determine the present Stormwater fees and runoff coefficient category.
4. Water quality treatment is also required as described in the Fort Collins Stormwater Criteria Manual. Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) The narrative submitted with the application indicates that the runoff will be treated in an underground water quality vault. This will meet treatment requirements for 50% of the site but it does not address water quantity detention requirements or the upcoming LID requirements.
5. The Stormwater Utility anticipates that City Council will be approving new Low Impact Development (LID) requirements that will go into effect March 1, 2013. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information. The present draft requires that 50% of the new impervious area must be treated by an LID method and 25% of new parking lots must be pervious.
6. The drainage outfalls for the site are either the street curb and gutter or the storm drain in Howes St.
7. Recent inquiries suggested draining the site to the Howes outfall undetained by beating the peak flow of

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

the Howes outfall system. That could be considered if the developer was willing to install the 60 inch master planned storm drain in Cherry St. so that the site runoff could actually beat the peak flow in the Howes St. Outfall.

8. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
9. The design of this site must conform to the drainage basin design of the Old Town Master Drainage Plan as well the Fort Collins Stormwater Manual.

Department: Park Planning

Contact: Craig Foreman, 970-221-6618, cforeman@fcgov.com

1. 1. 2/11/2013: No comments

Department: Historical Preservation

Contact: Josh Weinberg, 970-221-6206, jweinberg@fcgov.com

1. Any exterior changes to or demolition of buildings 50 years old or older will need to be reviewed under the City's Demolition/Alteration Review Process, Municipal Code Section 14-72. This process begins with a determination of eligibility, which identifies the appropriate review process(es). The determination of eligibility requires current color photographs, of all sides of each building or structure. Sufficient photos should be taken to show the current condition of the building, especially any previous alterations or additions. Digital photos are encouraged, and may be sent to jweinberg@fcgov.com or kmcwilliams@fcgov.com. Hardcopies may be sent to P.O. Box 580, 80522; or dropped off at CDNS, 1st Floor, 281 N. College Ave.
2. The eligibility of a property for landmark designation does not, in any way, designate the property as a Landmark; it does define which of the various City review processes the development application would be reviewed under. If any of the buildings or structures are found to be individually eligible for Landmark designation, then the project would be reviewed for compliance with LUC Section 3.4.7. Section 3.4.7. is intended to ensure that, to the maximum extent feasible: (1) historic sites, structures or objects are preserved and incorporated into the proposed development and any undertaking that may potentially alter the characteristics of the historic property is done in a way that does not adversely affect the integrity of the historic property; and (2) new construction is designed to respect the historic character of the site and any historic properties in the surrounding neighborhood.
3. The building at 323 North Howes, along with the shed to its southwest, were determined by the CDNS

Department: Historical Preservation

Contact: Josh Weinberg, 970-221-6206, jweinberg@fcgov.com

Director and LPC Chair to be not individually eligible for designation as a Fort Collins Landmark per Municipal Code Section 14-72. There is no further Historic Preservation review for these buildings.

4. The building at 325 North Howes was determined individually eligible for designation as a Fort Collins Landmark and thus the project will need to comply with LUC Section 3.4.7 in relation to this building.
5. Owners of properties that are eligible as landmarks may choose to have the property officially recognized as a landmark, and then qualify for financial incentives. Financial programs include 20% State Tax Credits, \$7,500 yearly no-interest loans, \$15,000 Historic Structure Assessment grants, State Historic Fund grants of \$200,000 and more, and, for income producing properties, an additional 20% Federal Tax Credit. Any work, both interior and exterior, which protects or promotes a building's historic character by meeting the Secretary of the Interior's Standards (<http://www.cr.nps.gov/hps/tps/standguide/index.htm>) can qualify. For more details on financial incentives, please contact Historic Preservation staff.
6. The Design Assistance Program pays for up to \$2,000 each year, for the design of alterations, additions, or new construction located in the Eastside and Westside Neighborhoods (roughly, north of Prospect, and between Taft and Lemay). The owner selects from the Design Assistance Program Consultant's Master List, and the design must meet the requirements of the city's building codes. This assistance is available to anyone, regardless of the building's age or eligibility for designation.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM

New buildings or building additions that cause the building to be greater than 50,000 square feet will require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority.

Poudre Fire Authority Bureau Admin Policy #07-01

2. FIRE LANES

Fire Lanes shall be provided for every facility, building or portion of a building when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, as measured by an approved route around the exterior of the building or facility. The fire code official is authorized to increase the dimension of 150 feet if the building is equipped throughout with an approved, automatic fire-sprinkler system.

2006 International Fire Code 503.1.1

The fire sprinkler upgrade to a full NFPA 13 system will offset this code requirement.

3. ROOF ACCESS

New buildings four or more stories in height shall be provided with a stairway to the roof. Stairway access to the roof shall be in accordance with IFC 1009.12. Such stairways shall be marked at street and floor levels with a sign indicating that the stairway continues to the roof.

2006 International Fire Code 504.3

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

4. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy.

Commercial requirements: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

2006 International Fire Code 508.1 and Appendix B

5. RESIDENTIAL AUTOMATIC FIRE SPRINKLERS

An automatic sprinkler system installed in occupancies in accordance with Section 903.3 shall be provided throughout all buildings with a Group R (Residential) fire area. Exceptions: Detached one and two-family dwellings and multiple single-family dwellings (townhomes) not more than three stories above grade plane in height with a separate means of egress.

2006 International Fire Code 903.2.7

6. BALCONIES AND DECKS

Sprinkler protection shall be provided for exterior balconies, decks, and ground floor patios of dwelling units where the building is of Type V construction.

2006 International Fire Code 903.3.1.2.1

7. PARKING GARAGE

An automatic sprinkler system shall be provided throughout buildings classified as enclosed parking garages (Group S-2 occupancy) in accordance with IBC 406.4 OR where located beneath other groups.

Exception: Enclosed parking garages located beneath Group R3 occupancies.

2006 International Fire Code 903.2.9 & 903.2.9.1

8. FIRE STANDPIPE SYSTEM

Standpipe systems shall be provided in new buildings and structures in accordance with Section 905 or the 2006 International Fire Code. Approved standpipe systems shall be installed throughout buildings where the floor level of the highest story is located more than 30 feet above the lowest level of fire department vehicle access, or where the floor level of the lowest story is located more than 30 feet below the highest level of fire department vehicle access. The standpipe system shall be capable of supplying at minimum of 100 psi to the top habitable floor. An approved fire pump may be required to achieve this minimum pressure.

2006 International Fire Code Sections 905 and 913

9. KEY BOXES REQUIRED

Poudre Fire Authority requires at least one key box ("Knox Box") to be mounted in approved location(s) on every new building equipped with a required fire sprinkler or fire alarm system. The top shall not be higher than 6 feet above finished floor.

2006 International Fire Code 506.1 and Poudre Fire Authority Bureau Policy 88-20

10. PREMISE IDENTIFICATION

New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

2006 International Fire Code 505.1

11. FIRE RISER ROOM

The fire riser room may be shared with the domestic riser as long as adequate space is provided to allow for fire fighting operations. Please contact myself or Fire Suppression System Specialist, Joe

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

Jaramillo (416-2868) at PFA if you need further clarification on this.

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "...(4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221-6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Reveille Bluegrass is one option for having bluegrass lawns and using less water.

Department: Engineering Development Review

Contact: Tyler Siegmund, 970-221-6501, tsiegmund@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting to determine if a traffic study is needed for this project. If needed, and depending on the traffic study results, other public improvements may apply. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
7. If using the existing curb cuts off of Howes St to access the parking lot, updated drive approach(s) will be required per LCUASS specifications. If the proposed design does not use the existing curb cuts then removal and replacement of curb and gutter will be required with the project.
8. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.

Department: Engineering Development Review

Contact: Tyler Siegmund, 970-221-6501, tsiegmund@fcgov.com

9. If a parking garage is proposed as part of this project, LCUASS garage door set-backs from the alley will apply depending on the garage/parking design. Refer to LCUASS figure 7-11F.
10. The alley will need to be improved along the rear of the property and should comply with LCUASS design standards for an alley section. Depending on the existing condition and the existing design of the alley out to Maple St, this project may be responsible to design and improve the alley to Maple St. Contact me for further evaluation of the alley and the improvement requirements associated with this project.
11. Construction/Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
12. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
13. According to the City of Fort Collins Streets Department, there is a road rehabilitation project scheduled for Maple St and Howes St along the frontage of the property, scheduled for 2013. If the roads are improved before the project begins and cutting the road for utility placement is required with the project, 3x impact fees may apply. Contact Kathleen Maddux with the Streets Department (221-6615) for information on the rehab project and schedule as it relates to your development.

Department: Electric Engineering

Contact: Rob Irish, 970-224-6167, rirish@fcgov.com

1. Light & Power has existing electric facilities running adjacent to this site in the alley way. The nearest 3-phase power is at the S.W. corner of the site at the alley ROW. System modifications will be necessary to bring 3-phase into this site.
2. Any relocation or modification to existing electric facilities will be at the owners expense.
3. Coordinate power needs with Light & Power Engineering @ 970-221-6700. Owner will need to provide a transformer location within 10' of an all weather drive over surface. Maintain clearances of 8' in the front and 3' on all sides.
4. Electric Capacity Fee and Building Site charges will apply along with any system modification charges necessary. Credit will be given for the existing dwelling units.
A C-1 form and a One-line diagram will need to be submitted.

Current Planning

Contact: Seth Lorson, 970-224-6189, slorson@fcgov.com

1. The architecture and design of the building is important to its compatibility with the existing single-family neighborhood. Compatibility standards are found in 3.5.1. Multi-family standards are found in 3.8.30 which require a 25' buffer yard from abutting single-family lots. Additional design standards specific to the Downtown Zone District (Civic Center Sub-district) are found in Division 4.16 and general design standards are found in 3.5.2.

Current Planning

Contact: Seth Lorson, 970-224-6189, slorson@fcgov.com

2. The site is in the TOD Overlay Zone but is not subject to the standards in 3.10 but is exempt from the minimum parking requirement.
3. Per Solar Village's neighborhood meeting, neighbors were concerned about the following: parking, tree preservation, 4-sided architecture and massing reduction techniques, visual and solar impacts on adjacent properties, and removing historic properties.
4. Some questions were raised about building height. The building height and overall building design need to compliment the pedestrian experience with a base element, middle element, and top that is stepped back to reduce massing. The following sections of the code address these aspects:

Downtown - 4.16(D)

(c) Measurement of Height Limits for the Canyon Avenue and Civic Center Subdistricts. The maximum height limits are intended to convey a scale of building rather than an exact point or line. In the case of sloped roofs, building height shall be measured to the mean height between the eave and ridge. The maximum height limits are not intended to hinder architectural roof features such as sloped roofs with dormers, penthouses, chimneys, towers, shaped cornices or parapets, or other design features that exceed the numerical limits but do not substantially increase bulk and mass. Lofts or penthouses projecting above the limits shall not exceed one-third (1/3) of the floor area of the floor below, and shall be set back from any roof edge along a street, by a distance equal to or greater than the height of the loft or penthouse structure. See Figure 18.6.

(4) Building Mass Reduction for Taller Buildings (over three [3] stories).

(a) Old City Center: The fourth story of a building shall be set back at a thirty-five-degree angle measured at the intersection of the floor plane of the fourth story and the property line along the public street frontage. See Figure 19.

(b) Canyon Avenue and Civic Center:

1. Base. Taller buildings (over three [3] stories) shall have a base portion consisting of one (1) or two (2) stories, clearly defined by a prominent, projecting cornice or roof, fenestration, different materials and different colors from the remainder of the building. If the base portion is two (2) stories, the ground floor shall be further differentiated by fenestration and other detailing.
2. Upper Floor Setbacks. Upper portions of taller buildings shall be further set back above the base in such a manner as to contribute to a significant aspect of the building design. Upper floor setbacks shall be determined by an emphasis on pedestrian scale in sidewalks and outdoor spaces, compatibility with the scale and massing of nearby buildings, preservation of key sunshine patterns in adjacent spaces, and preservation of views in order to ensure sensitivity to the historic context and scale of downtown and to maintain a degree of open sky as part of the visual character of the City.
5. Based on previous discussions, the neighborhood meeting, and the proposed preliminary design, I think we should have more pre-submittal design meetings. Additionally, please note the Historic Preservation comment regarding the Design Assistance Program that could possibly help with context sensitivity.

Current Planning

Contact: Seth Lorson, 970-224-6189, slorson@fcgov.com

6. Staff thinks that when we get the design a little further vetted that we should have another neighborhood meeting to provide a before and after progression as well as a show of good faith.
7. If the design proposes a parking structure on the pedestrian level it must meet the standards in Sec. 3.10.4 of the TOD Overlay Zone.
8. Neighborhood meeting notes forthcoming.
9. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
10. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
11. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
12. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
13. Please see the Submittal Requirements and Checklist at:
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14. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
15. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

2009 International Building Code (IBC)

2009 International Residential Code (IRC)

2009 International Energy Conservation Code (IECC)

2009 International Mechanical Code (IMC)

2009 International Fuel Gas Code (IFGC)

2009 International Plumbing Code (IPC) as amended by the State of Colorado

2011 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

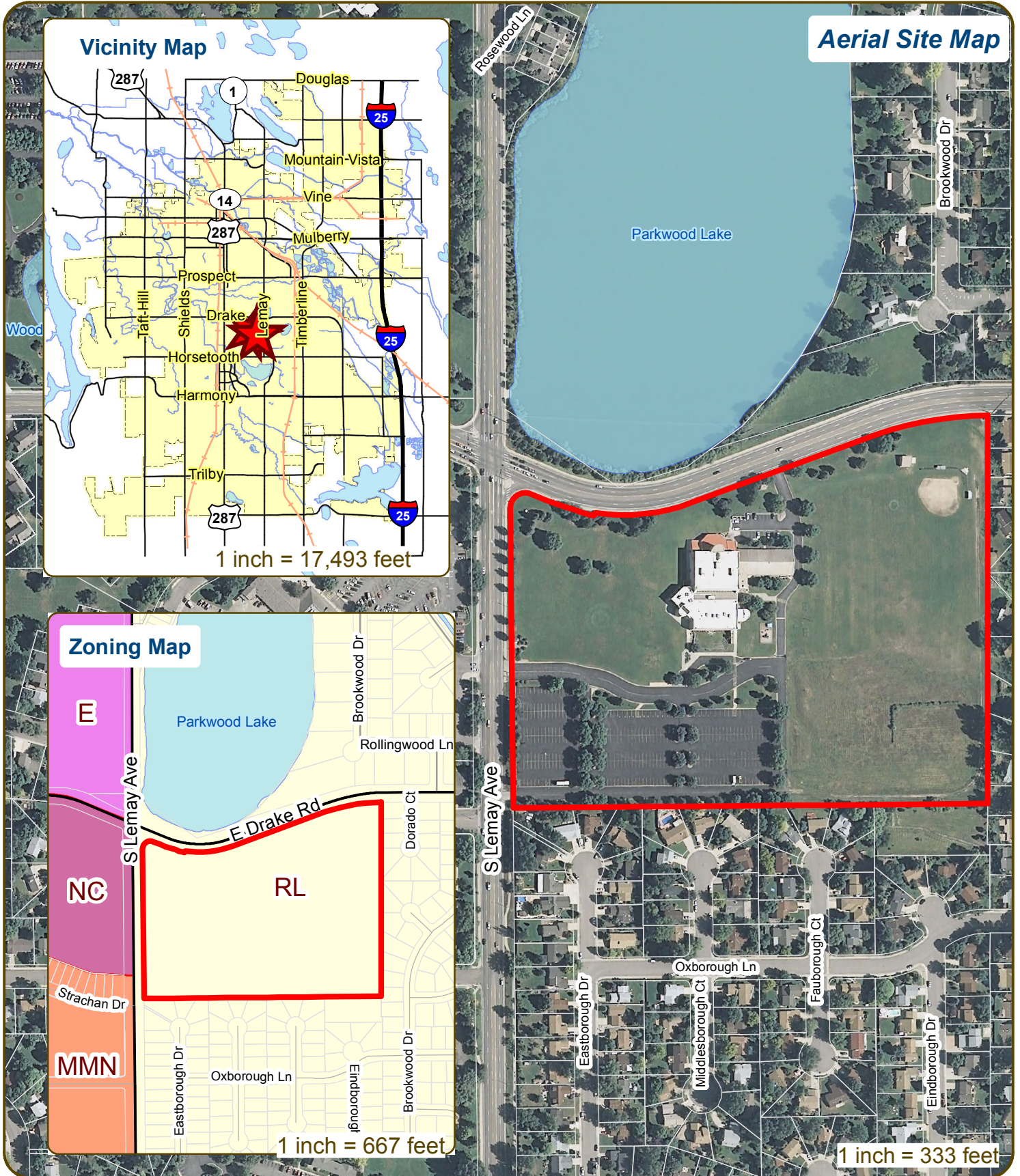
Energy Code Use

1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
416-2341

2700 S Lemay Ave Single Family Lots



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

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At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

RICHARD CROSS - PROJECT LEAD

Business Name (if applicable) CENTURY COMMUNITIES

Your Mailing Address 8390 E. CRESCENT PARKWAY, SUITE 650, GREENWOOD VILLAGE, CO 80111

Phone Number 303.268.8347 Email Address RICHARD.C@CENTURYCOMMUNITIES.COM

Site Address or Description (parcel # if no address) _____

2700 S. LENAY AVE, FORT COLLINS, CO 80525

Description of Proposal (attach additional sheets if necessary) THE PROPOSED PROJECT WILL INCORPORATE

SINGLE FAMILY DETACHED HOMES WITH SQUARE FOOTAGES BETWEEN 1,800-3,200 SQUARE FEET WITH A MINIMUM LOT SIZE OF 6,000 SQUARE FEET ON 11.23 ACRES.

Proposed Use R-L Existing Use R-L

Total Building Square Footage 1,800-3,200 S.F. Number of Stories 1 1/2 Lot Dimensions 60' x 100'

Age of any Existing Structures NONE

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [x] No If yes, then at what risk is it? _____

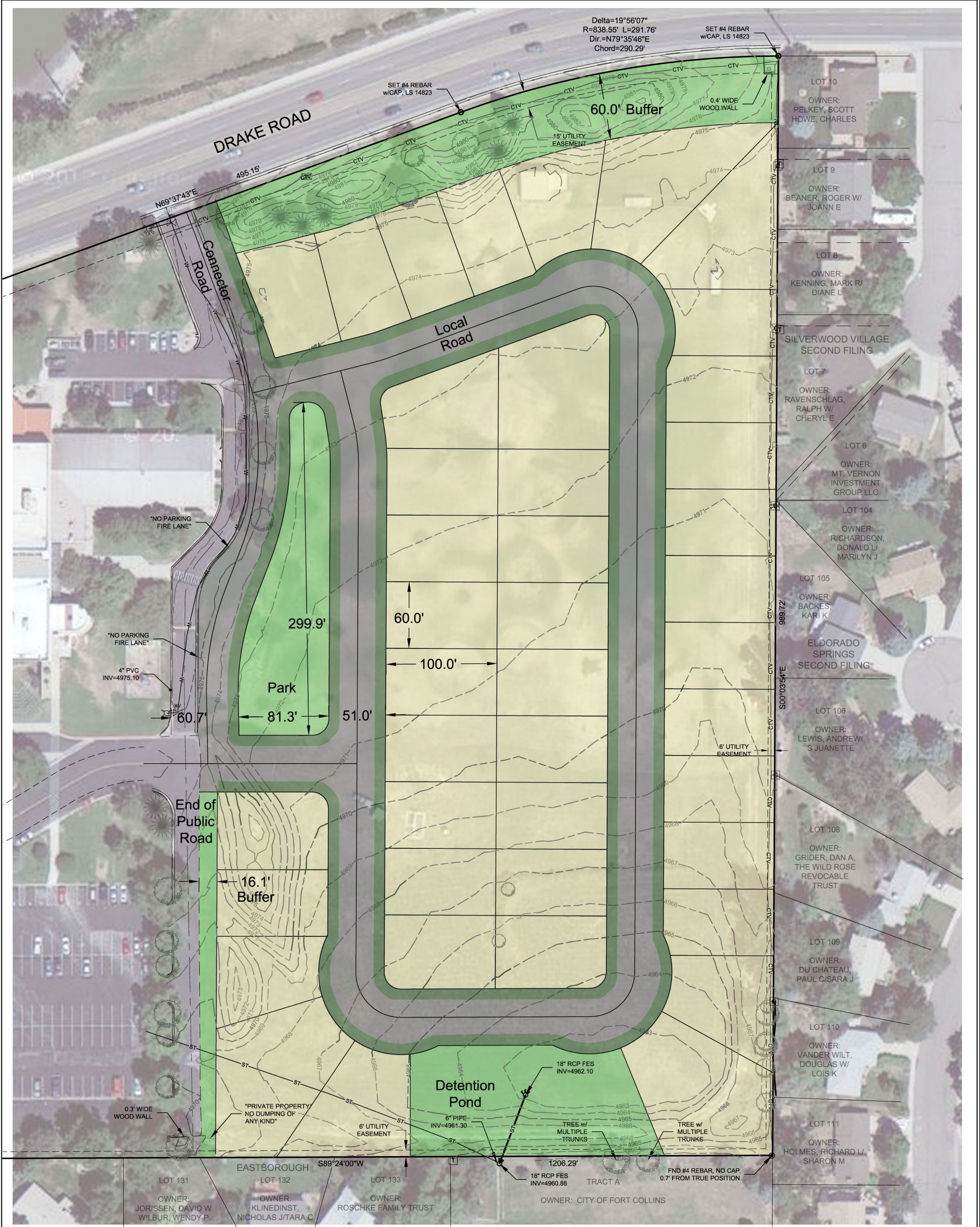
Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area APPROXIMATELY 206,160 S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

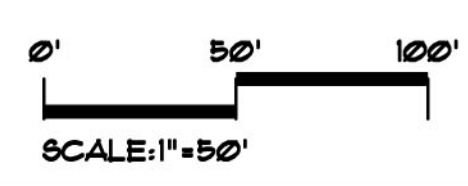
Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



Drake rd. and Lemay ave.

Conceptual Site Plan

Date: December 21, 2012



PREPARED BY:
THE HENRY DESIGN GROUP
 LAND PLANNING • LANDSCAPE ARCHITECTURE & DESIGN
 1501 WAZEE STREET SUITE 1-C DENVER COLORADO 80202
 Phone 303-446-2368 Fax 303-446-0958

PREPARED FOR:

CENTURY COMMUNITIES
 8390 E. Crescent Parkway Suite 650,
 Greenwood Village, Colorado 80111
 P. 303-770-8300



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

February 19, 2013

Richard Cross
Century Communities
8390 E. Crescent Parkway, Suite 650
Greenwood Village, CO 80111

Re: 2700 S Lemay - SF Lots

Description of project: This is a request to plat 42 lots for single family detached homes located at 2700 South Lemay Avenue (Parcel # 87302-12-901). The site is located on the east side of the Christ Center Community Church property and zoned Low Density Residential. The minimum lot size are required to be 6,000 square feet. The estimated size of the homes would range between 1,800 and 3,200 square feet. Single family detached dwellings are subject to administrative (Type 1) review in the Low Density Residential Zone District.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ted Shepard, at 970-221-6343 or tshepard@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

1. Please note minimum setbacks and other Residential Low-Density (R-L) zoning requirements located in LUC 4.4.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers include a 12-inch water main and a 27-inch sewer in Drake, a 16-inch water main and a 12-inch sewer in Lemay and an 8-inch water main in the existing drive extending south from Drake (east of the church).
2. At the present, it appears that water service will come from the dead end water main extending south from Drake. For purposes of reliability, it is important to have the water system well looped for a development of this size. An additional connection to the water main in Lemay is needed.
3. The water conservation standards for landscape and irrigation will apply. Information on these

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

requirements can be found at: <http://www.fcgov.com/standards>

4. Development fees and water rights will be due at building permit.

Department: Transfort

Contact: Emma McArdle, 970-224-6197, emcardle@fcgov.com

1. Currently no transit service is provided on this section of East Drake Road, but the Transfort Strategic Plan designates that service will be provided in phase 1 improvements, which are only partially completed at this time. Section 3.6.5 of the LUC states that any development plans shall accommodate planned transit facilities. The applicant may either choose to provide an accessible 12' x 18' pad adjacent to Drake Road for a future bus stop or provide a 12' x 18' transit easement and escrow funds to pay for a pad at the time service on Drake begins. Please coordinate with me regarding the exact location.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas is required.
2. A drainage and erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer and there is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
3. The design of most of this site must conform to the drainage basin design of the Foothills Drainage Master Drainage Plan, and part of it must conform to the Spring Creek Drainage Master Plan. The design must also comply with the Fort Collins Stormwater Manual.
4. Normally onsite detention is required with a 2 year historic release rate for water quantity. In this case the release rate is probably limited by the pipe size out of the Eastborough pond; so the design engineer will need to analyze the outfall system capacity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot.
5. Water quality treatment is also required as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
6. The portion of the site in the Spring Creek basin has four outfalls that all end up draining into Parkwood Lake. The portion in the Foothills basin appears to surface flow to the southeast corner of the site and

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

into the Eastborough detention pond. There is one pipe shown draining into the pond. There is also sub-drain crossing the site that also drains into the Eastborough detention pond. Due to the amount of increased runoff from this proposal a storm sewer system from the site to the outfall of the Eastborough pond is needed so that all the runoff does not have to drain through the pond.

7. The Stormwater Utility anticipates that City Council will be approving new Low Impact Development (LID) requirements that will go into effect March 1, 2013. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information. The present draft requires that 50% of the new impervious area must be treated by an LID method and 25% of new parking lots must be pervious.
8. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

Department: Park Planning

Contact: Craig Foreman, 970-221-6618, cforeman@fcgov.com

1. 1. 2/11/2013: No comments

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. FIRE ACCESS
The street plan is acceptable and I don't foresee any problem with fire access.
2. WATER SUPPLY
Hydrant spacing and flow must meet minimum requirements based on type of occupancy.
Residential requirements: Within the Urban Growth Area, hydrants to provide 1,000 gpm at 20 psi residual pressure, spaced not further than 400 feet to the building, on 800-foot centers thereafter.
2006 International Fire Code 508.1 and Appendix B
3. PREMISE IDENTIFICATION
New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.
2006 International Fire Code 505.1

Provide a plan for street naming for review and approval.

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "...(4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221-6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Reveille Bluegrass is one option for having bluegrass lawns and using less water.

Department: Engineering Development Review

Contact: Marc Virata, 970-221-6567, mvirata@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. The conceptual site plan appears to wish to create a public street system internal to the project as well as create a public street from the existing drive aisle that intersects with Drake Road. To establish a public street system internal to the site that connects to the existing drive aisle requires that the existing drive aisle be converted to a public street. Converting this drive aisle to a public street would entail ensuring its horizontal and vertical designs and alignments meets City standards, and the structural integrity of the pavement and subgrade meets City standards. Existing drive aisles that intersect with the new public street would need to be reconstructed into a City standard driveway approach. In addition, the existing drive aisle that runs along the south side of the church and connects to Lemay Avenue might be considered as promoting "through traffic" which per 3.6.2(L)(a) of the Land Use Code, might be problematic in making the internal roads public but this drive aisle potentially being utilized as cut-through in a public to private to public scenario. In short there are code related concerns with the implementation of public streets into the development and further discussion should occur if the applicant would wish to pursue the use of public streets for the project.

Department: Engineering Development Review

Contact: Marc Virata, 970-221-6567, mvirata@fcgov.com

7. A potential alternative that could be explored is keeping the new roadways and existing drive aisles as a private drive road network. Private drives would be maintained by the property owner(s) and would not need to be designed and built in accordance with City standards. From a Land Use Code perspective however, the private drives may need to comply with "Street-Like Private Drive" standards specified in Section 3.6.2(L)(c). Signage indicating the private ownership and maintenance responsibilities would be required.
8. A sight distance easement would be needed for the existing driveway out to Drake Road. The amount of sight distance easement needed was reduced with a variance request approved for the previous project on the property.
9. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. A 15' utility easement behind the right-of-way on Drake Road is required.
10. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
11. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.

Department: Electric Engineering

Contact: Rob Irish, 970-224-6167, rirish@fcgov.com

1. Light & Power has existing electric facilities running adjacent to this site along Drake Rd. Any modification or relocation to existing electric facilities will be at the owners expense.
2. Electric Capacity Fees and Building Site charges will apply to this development.

Current Planning

Contact: Ted Shepard, 970-221-6343, tshepard@fcgov.com

1. Section 3.6.2 requires lots that back on to an arterial (Drake Road) to have a minimum lot depth of 150 feet or be buffered by a common area. The 60-foot buffer indicated along Drake would satisfy this standard.
2. The names of the new local streets must not conflict with or sound like any existing street name within the 911 emergency calling area. We can provide a link of existing street names for your convenience.
3. Each lot should feature one two-inch caliper deciduous shade tree located in the parkway between the sidewalk and curb.
4. From Section 4.4(D): The minimum lot size is 6,000 square feet. Minimum lot width is 60 feet. Minimum front yard setback is 20 feet. Minimum rear yard setback is 15 feet. Minimum side yard setback is 5 feet interior and 15 feet along a street. Maximum building height is 28 feet.
5. From 3.5.2(E): Street-facing garage doors must be recessed a minimum of four feet behind either the front façade of the ground floor or a covered porch (measuring at least 6 feet by 8 feet). Garage doors shall not comprise more than 50% of the ground floor street-facing linear building frontage. Corner lots are exempt if the house and garage face different streets.

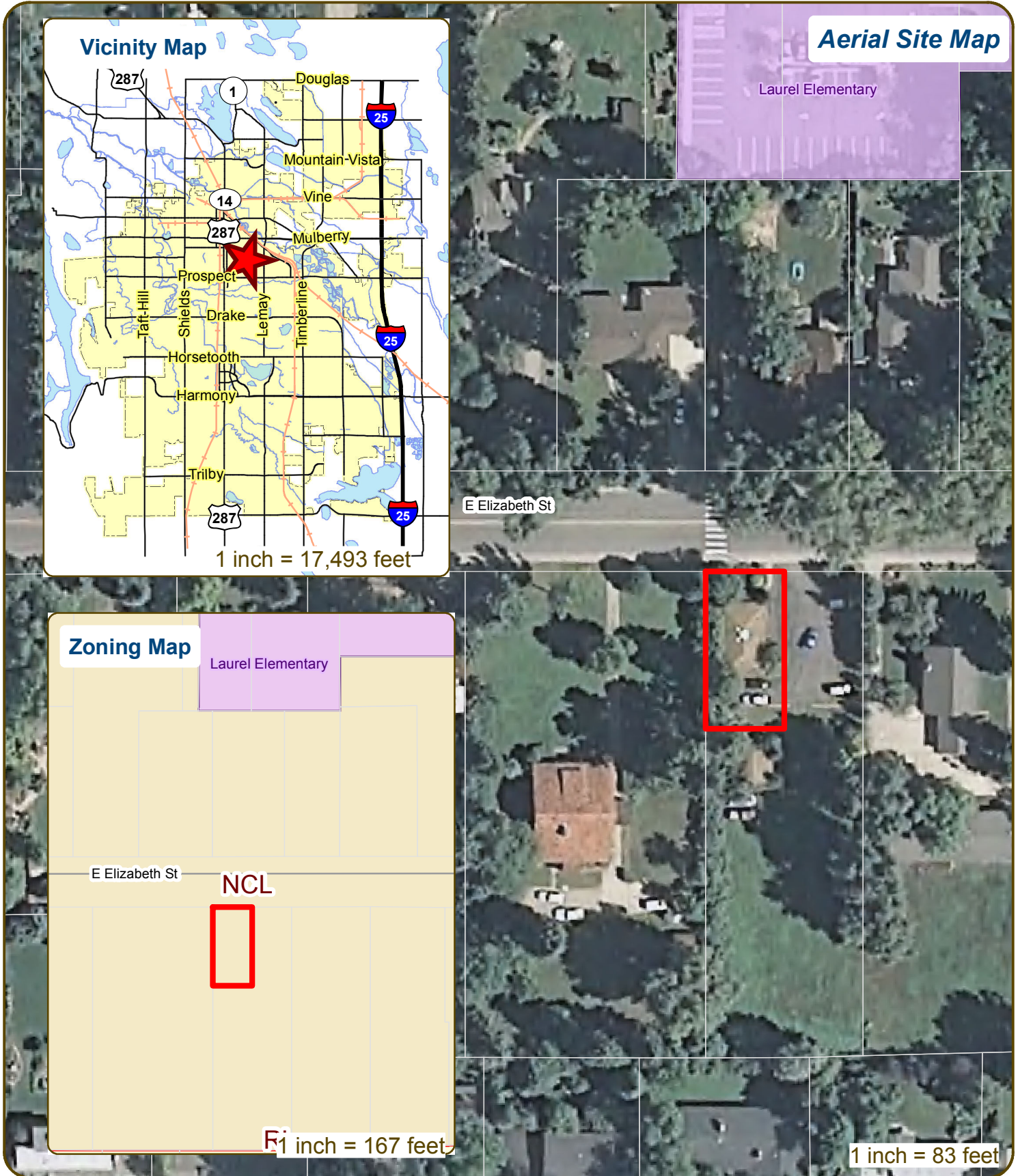
Current Planning

Contact: Ted Shepard, 970-221-6343, tshepard@fcgov.com

6. Streets may be public. If so, then consideration should be given to dedicating and improving public streets across the existing church parking out to both Lemay Avenue and Drake Road. Or, at minimum, traversing the parking lot could be accomplished by Street-Like Private Drives as defined in Section 3.6.2(L). Or, all internal streets could be Street-Like Private Drives.
7. Any private access across the church parking lot would need to be secured with an easement.
8. Section 3.8.11(C)(3) requires that fences be no more than six feet high if located within any required rear yard setback area or within any side yard setback area in a rear yard.
9. Land set aside for telecommunications equipment, cabinets, and the like must be placed within an easement and be located so as to not cause any sight distance problems for vehicles, bicycles and pedestrians.
10. A Landscape Plan will be required for the treatment of the common areas. Note that there are landscaping standards for the stormwater detention pond.
11. If the streets are private, then you have the option to create a customized street lighting program. You may elect, for example, to use fully-shielded, down-directional fixtures versus the typical public street light. Also, you may select a more decorative fixture than the public street fixture. In addition, you may consider alternative illumination levels that may be more sensitive to the dark sky environment.
12. There are four lots in the southwest corner that could be designed to accommodate rear-loaded garages. This would allow larger garages and free up space for a wider building footprint along the street. Also, for corner lots, there are opportunities for garages to be side-loaded. Rear and side-loaded garages do not have to be recessed behind the front building line.
13. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
14. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
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811 E Elizabeth St Medical Office Addition



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Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

MIKE HULL CONSULTANT 970 218 5034

Business Name (if applicable) N/A

Your Mailing Address 1420 N. WASHINGTON AVE LOVELAND CO 80538

Phone Number 970 218 5034 Email Address HULL624@AOL.COM

Site Address or Description (parcel # if no address) 811 E ELIZABETH AVE

FT COLLINS

Description of Proposal (attach additional sheets if necessary) 650' ADDITION TO SOUTH

END OF EXISTING BUILDING

Proposed Use MEDICAL OFFICE Existing Use SAME

Total Building Square Footage 2000 S.F. Number of Stories 1 Lot Dimensions _____

Age of any Existing Structures 60 YEARS

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? Yes No If yes, then at what risk is it? _____

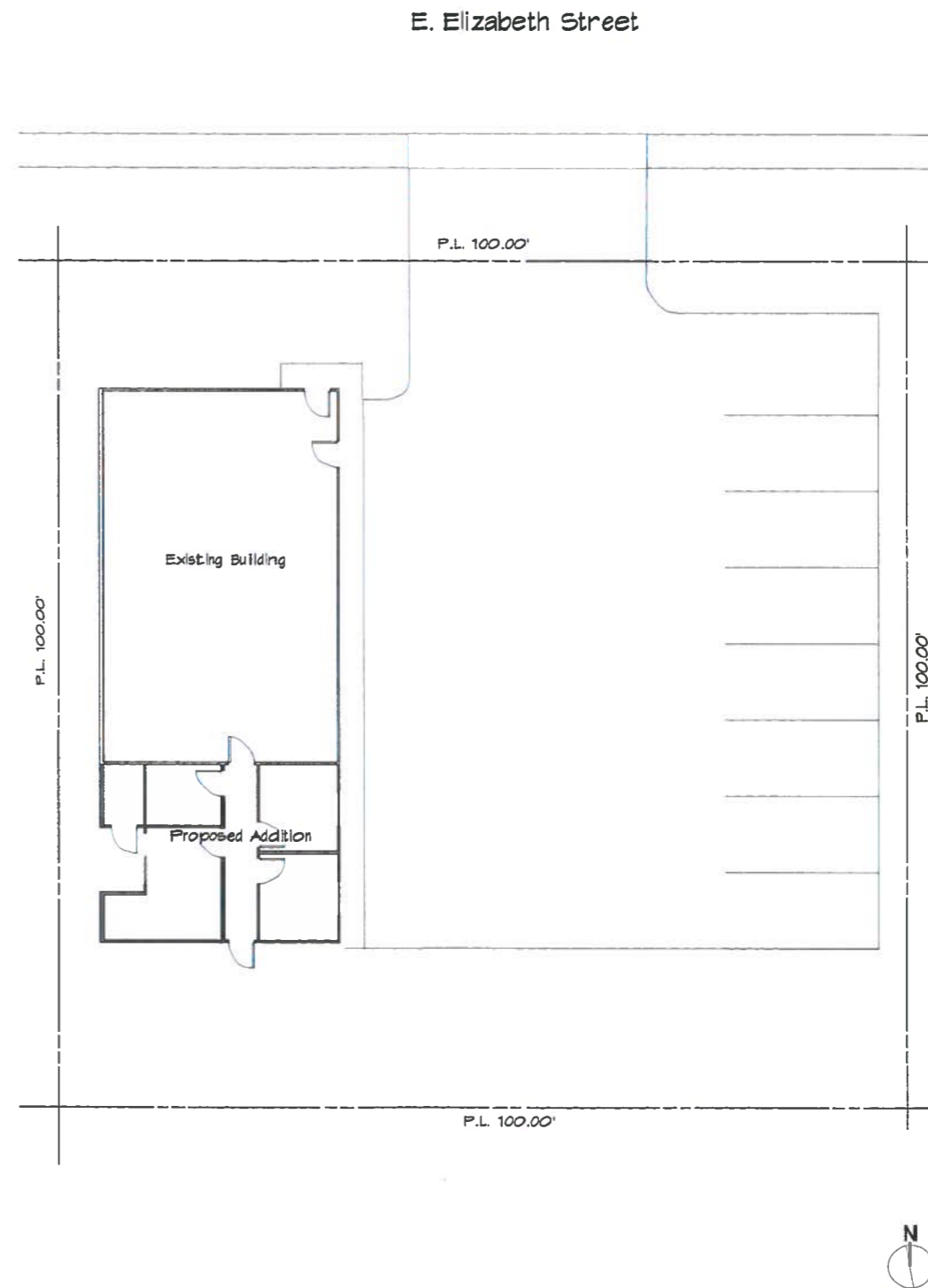
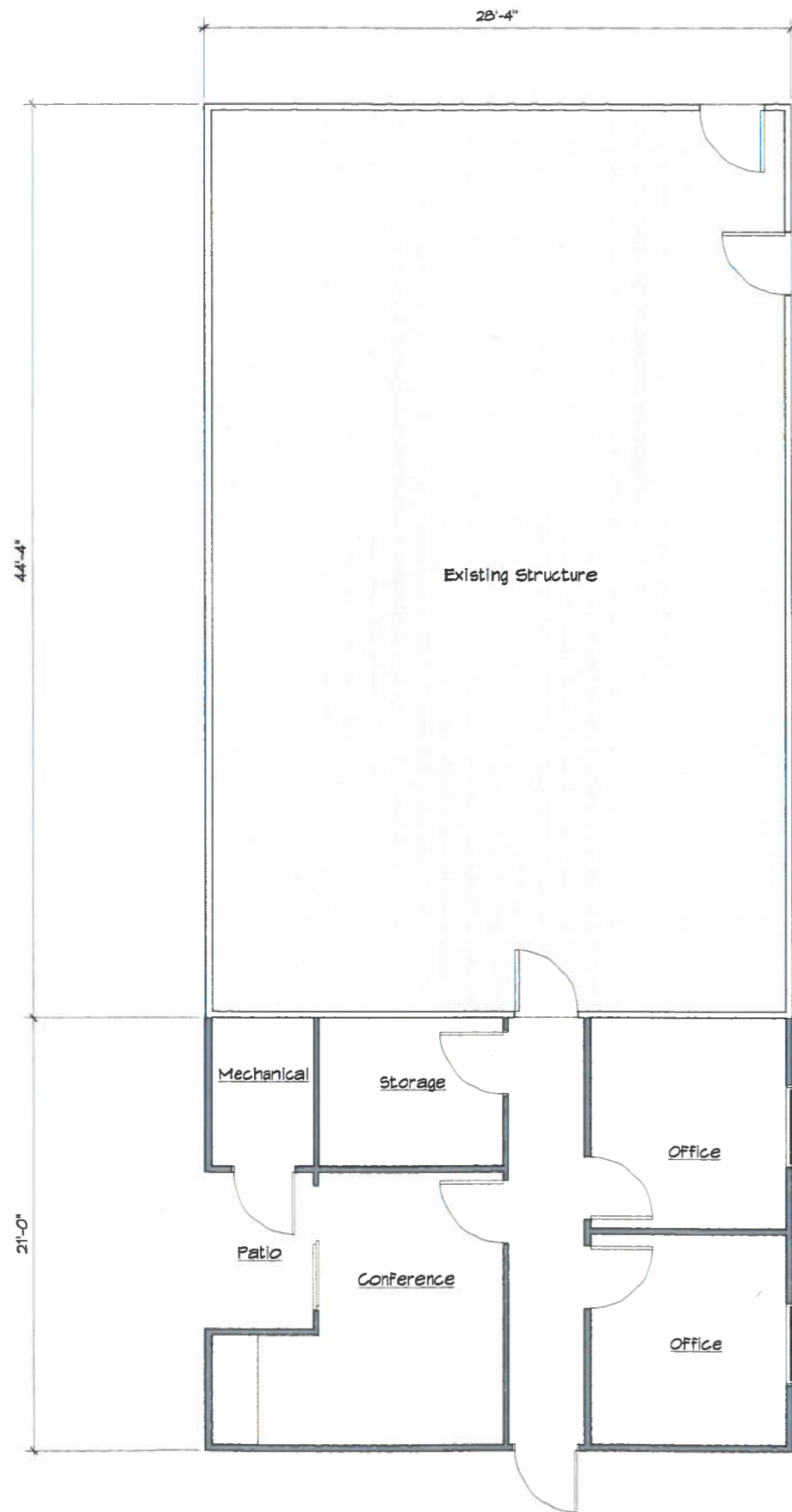
Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area _____ S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



Site Plan

Scale 1" = 20'-0"

Legal Description
 Commencing at point 1452.5 ft E of
 intersection of E LN SMITH ST with N LN
 GARFIELD ST in FTC, N 306.5 FT TPOB,
 E 50 Ft. S 100 Ft., N 50 Ft., N 100 Ft.
 TPOB, being portion of NW SE 13-7-69,
 FTC

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Medical Office
 site Plan

date: 5 Nov 12
 revised:

811 E. Elizabeth
 Ft. Collins, Colorado

Greg L. Thrush
 930 Glenview Drive
 Berthoud, CO 80513
 (970) 532-5989
 architect



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

February 19, 2013

Mike Hull
1420 N Washington Ave
Loveland, CO 80538

Re: 811 E Elizabeth - Medical Office Addition

Description of project: This is a request to construct a 650 square foot addition to an existing medical office located at 811 E Elizabeth Street (Parcel # 97134-00-012). The site is located in the Neighborhood Conservation Low-Density (N-C-L) Zone District. The medical office is an existing non-conforming use; an enlargement of a non-conforming use is subject to Planning & Zoning Board (Type 2) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Jason Holland, at 970-224-6126 or jholland@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

1. As a legal non-conforming use the amount of any expansion cannot exceed more than 25% of the orig. square footage of the bldg. (LUC 1.5.5[A][7]). Based on the site plan presented the existing square footage of the office is 1232 s.f. The max. square footage allowed per code would be 1.25 x 1232 s.f. or 1540 s.f. max. The applicant's proposed square footage after construction is 1820 s.f. which is 280 s.f. too large. There is no remediation thru. modification or variance available per the LUC for the square footage increase desired by the applicant.
2. Assuming a downsizing of the addition to max. the building at 1540 s.f. will require that the entire site..both parcels used in connection with the business (PN 97134-00-006 & 97134-00-012) will need to be upgraded to meet the LUC which will include upgrades to the parking lot, landscaping, and other Zoning related standards.
3. LUC 1.3.4 does allow for an addition of permitted uses to the property such as an office use. The use addition would be site specific as the property would still be NCL zoned. This would permit an expansion exceeding max. square footage the applicant desires. Besides the min. LUC standards being satisfied the property would have to be platted. However, the caveat for such an approval will be the meeting of 5 important standards or findings. These may be difficult to meet for an office use to be approved; the NCL zoning designation allows for only single family detached housing as a residential use and it permits no commercial uses. Also considered are the historical uses of properties in the

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

neighborhood. The historical uses here seem to mirror the limited residential uses allowed in the NCL zoning district.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers in this area include an 8-inch water main and an 8-inch sewer in Elizabeth and 6-inch sewers in easements on the properties to the southeast and southwest of this property.
2. The existing water service to the property is a ¾-inch service.
3. The property is currently not charged for sewer service, and no connection is identified in the sewer televising reports; therefore, the property is assumed to be on a septic system.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. If the property connects to sewer or if a larger water service is needed, development fees and water rights will be due at building permit.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
2. Since this is an addition to an existing building, a drainage letter should be sufficient to document the existing and proposed drainage patterns. It must be prepared by a Professional Engineer registered in Colorado.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.
4. Water quality treatment is also required as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs).
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)
5. The Stormwater Utility anticipates that City Council will be approving new Low Impact Development (LID) requirements that will go into effect March 1, 2013. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information. The present draft requires that 50% of the new impervious area must be treated by an LID method and 25% of new parking lots must be pervious.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

6. The only public drainage outfall for this site is Elizabeth St. If the addition is to drain onto private property offsite easements are required. Therefore it would be best/easiest if the new runoff generated from the addition was directed toward the street.
7. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
8. The design of this site must conform to the drainage basin design of the Spring Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.

Department: Park Planning

Contact: Craig Foreman, 970-221-6618, cforeman@fcgov.com

1. 1. 2/11/2013: No comments

Department: Historical Preservation

Contact: Josh Weinberg, 970-221-6206, jweinberg@fcgov.com

1. Any exterior changes to or demolition of buildings 50 years old or older will need to be reviewed under the City's Demolition/Alteration Review Process, Municipal Code Section 14-72. This process begins with a determination of eligibility, which identifies the appropriate review process(es). The determination of eligibility requires current color photographs, of all sides of each building or structure. Sufficient photos should be taken to show the current condition of the building, especially any previous alterations or additions. Digital photos are encouraged, and may be sent to jweinberg@fcgov.com or kmcwilliams@fcgov.com. Hardcopies may be sent to P.O. Box 580, 80522; or dropped off at CDNS, 1st Floor, 281 N. College Ave.
2. The eligibility of a property for landmark designation does not, in any way, designate the property as a Landmark; it does define which of the various City review processes the development application would be reviewed under. If any of the buildings or structures are found to be individually eligible for Landmark designation, then the project would be reviewed for compliance with LUC Section 3.4.7. Section 3.4.7. is intended to ensure that, to the maximum extent feasible: (1) historic sites, structures or objects are preserved and incorporated into the proposed development and any undertaking that may potentially alter the characteristics of the historic property is done in a way that does not adversely affect the integrity of the historic property; and (2) new construction is designed to respect the historic character of the site and any historic properties in the surrounding neighborhood.

Department: Historical Preservation

Contact: Josh Weinberg, 970-221-6206, jweinberg@fcgov.com

3. Properties that are, or become, designated as Fort Collins Landmarks, and/or on the National or State Registers of Historic Places, qualify for financial incentives, for both interior and exterior work. These include \$15,000 Historic Structure Assessment grants, State Historic Fund grants of \$300,000 and more, both 20% State and 20% Federal Tax Credits, and City no interest loans of up to \$7,500 each year.
- 3.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. FIRE LANES
Fire Lanes shall be provided for every facility, building or portion of a building when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, as measured by an approved route around the exterior of the building or facility. The fire code official is authorized to increase the dimension of 150 feet if the building is equipped throughout with an approved, automatic fire-sprinkler system.
2006 International Fire Code 503.1.1
2. PREMISE IDENTIFICATION
New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.
2006 International Fire Code 505.1

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221-6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Reveille Bluegrass is one option for having bluegrass lawns and using less water.

Department: Engineering Development Review

Contact: Andrew Gingerich, 970-221-6603, agingrich@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.

Department: Engineering Development Review

Contact: Andrew Gingerich, 970-221-6603, agingrich@fcgov.com

2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. It appears from the Larimer County Assessor's website that right of way for this project and future improvements to east Elizabeth is adequate. However, it was not completely clear where the right of way exists in relation to the existing sidewalk. Right of way will need to be verified to ensure in the future an ADA compliant route can be met along the sidewalk and across the driveway.
7. Private parking is not allowed within the Public Right of Way. The site plan provided appears to show that private parking lot parking will be outside of the Right of Way. However, a recent site visit appeared to show a parking stall within the Public Right of Way. This will need to be verified when more detailed plans are submitted.
8. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site

Department: Electric Engineering

Contact: Rob Irish, 970-224-6167, rirish@fcgov.com

1. Any relocation or modification to the existing electric facilities will be at the owners expense. If owner anticipates any increase in load to the existing service contact Light & Power Engineering @ 221-6700. A C-1 form and a One-line diagram will be required for any increase load. Electric Capacity Fees and Building Site charges will apply for any increase.

Current Planning

Contact: , ,

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

2009 International Building Code (IBC)

2009 International Residential Code (IRC)

2009 International Energy Conservation Code (IECC)

2009 International Mechanical Code (IMC)

2009 International Fuel Gas Code (IFGC)

2009 International Plumbing Code (IPC) as amended by the State of Colorado

2011 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2003.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5

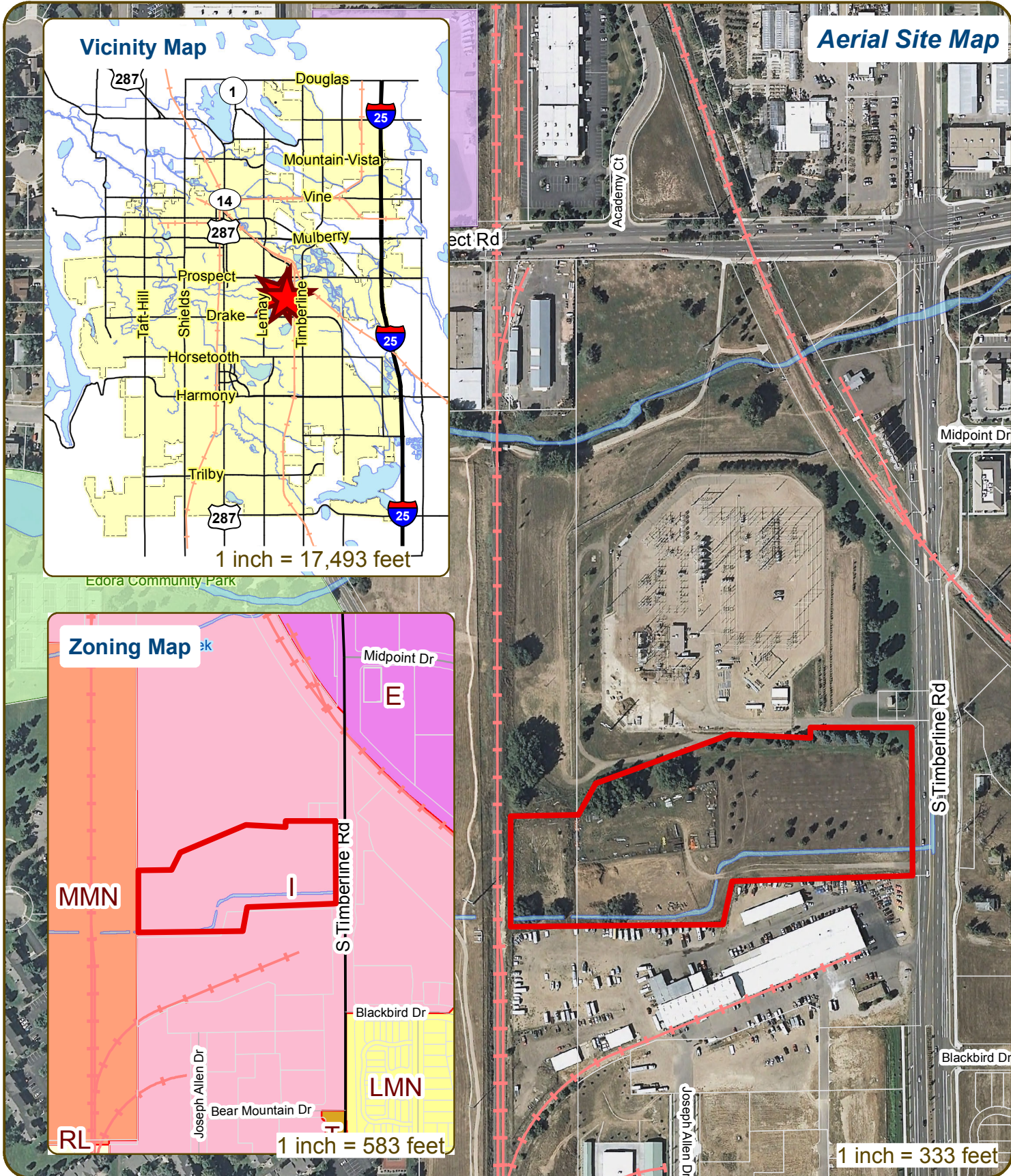
Energy Code Use

1. Single Family; Duplex; Townhomes: *2009 IRC* Chapter 11 or *2009 IECC* Chapter 4
2. Multi-family and Condominiums 3 stories max: *2009 IECC* Chapter 4.
3. Commercial and Multi-family 4 stories and taller: *2009 IECC* Chapter 5.

Fort Collins Green Code Amendments effective starting 1-1-2012. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
416-2341

Fort Collins Integrated Recycling Facility



Vicinity Map

Aerial Site Map

Zoning Map

1 inch = 17,493 feet

1 inch = 583 feet

1 inch = 333 feet

These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.





CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Mike Oberlander (Interwest), 674-3300

Susie Gordon (C.O.F.C.), 221-6265; Ethan Cozzens (C.O.F.C.), 221-6273

Business Name (if applicable) City of Fort Collins

Your Mailing Address 300 Laporte Ave., Bldg. B

Phone Number 970-221-6273 Email Address ecozzens@fcgov.com

Site Address or Description (parcel # if no address) 87191-00-917

Description of Proposal (attach additional sheets if necessary)

Looking to provide a centralized location to bring goods for recycling. May involve a few concrete pads. No buildings are anticipated as of now.

Proposed Use Recycling Facility Existing Use Material Storage

Total Building Square Footage N/A S.F. Number of Stories Lot Dimensions 1,100 L.F. X 300 L.F. approximate

Age of any Existing Structures N/A

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [X] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area Not sure yet. S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

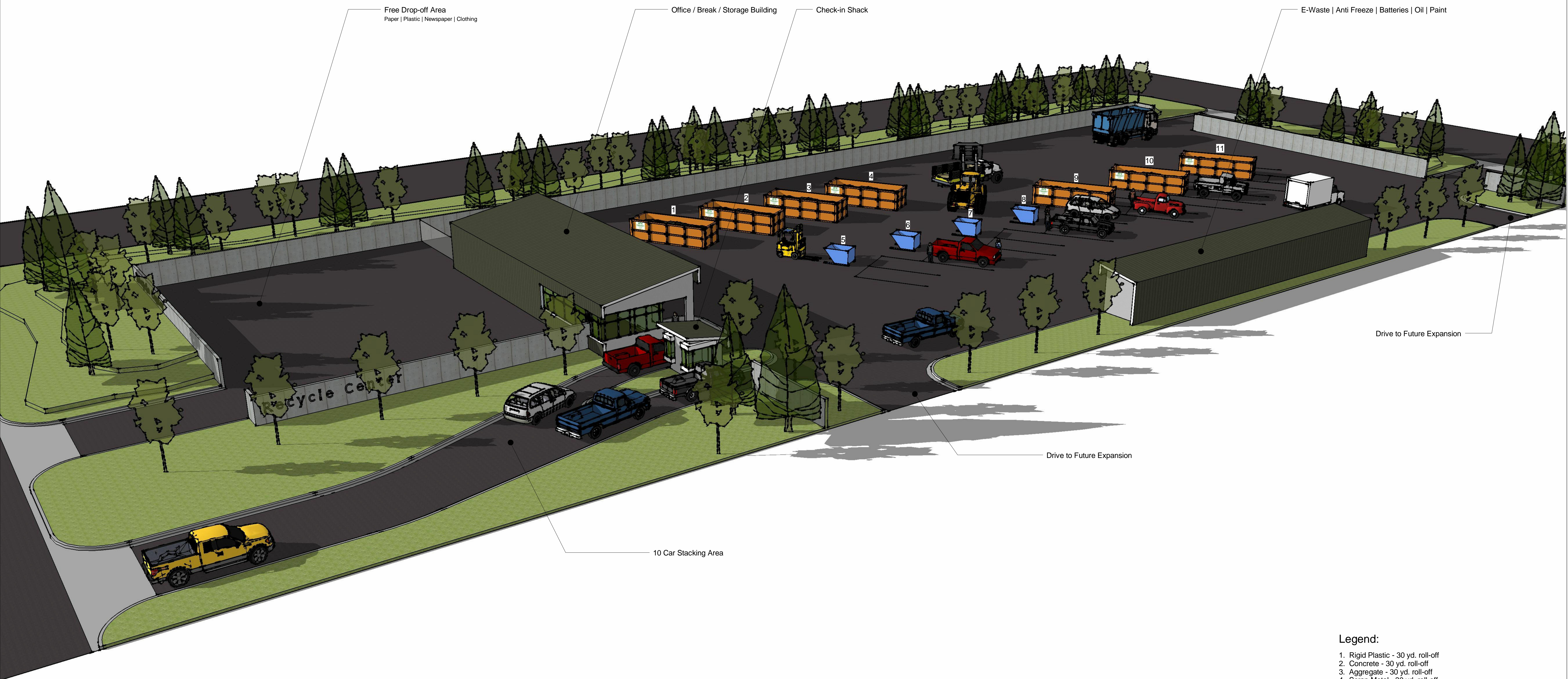
Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



Google earth

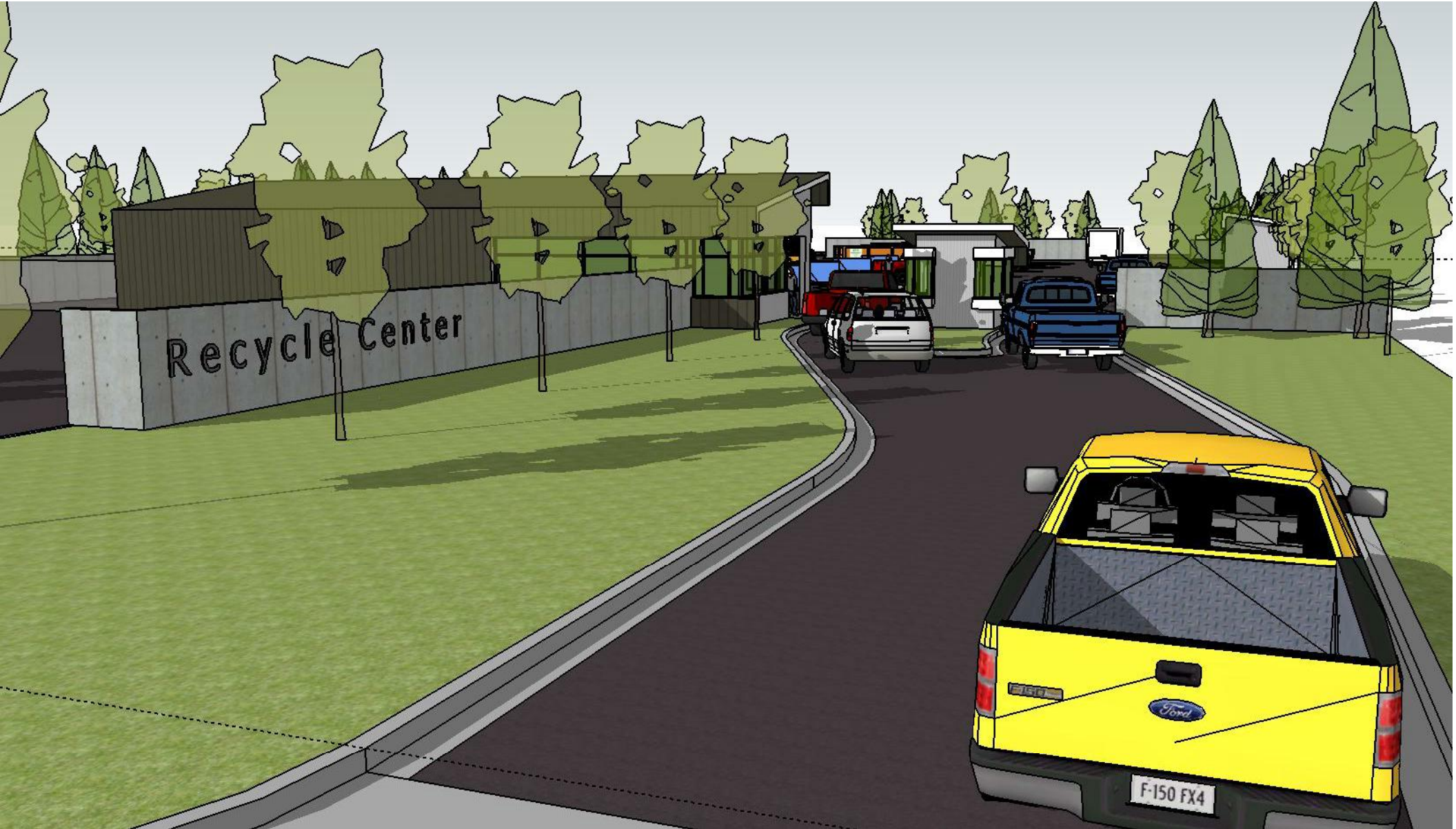




Conceptual Aerial Study

Legend:

- 1. Rigid Plastic - 30 yd. roll-off
- 2. Concrete - 30 yd. roll-off
- 3. Aggregate - 30 yd. roll-off
- 4. Scrap Metal - 30 yd. roll-off
- 5. Rigid Plastic - 3 yd. hopper
- 6. Concrete - 3 yd. hopper
- 7. Aggregate - 3 yd. hopper
- 8. Scrap Metal - 3 yd. hopper
- 9. Yard Waste - 30 yd. roll-off
- 10. Lumber - 30 yd. roll-off
- 11. OCC - 30 yd. roll-off





Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

February 19, 2013

Ethan Cozzens
City of Fort Collins
300 Laporte Avenue, Building B
Fort Collins, CO 80521

Re: Fort Collins Recycling Facility

Description of project: This is a request to construct a recycling facility located on the west side of Timberline Road immediately south of the Timberline Substation (a portion of Parcel# 87191-00-917). The center would serve as centralized location to bring goods for recycling. A few concrete pads may be involved but no buildings are currently anticipated. The site is located in the Industrial (I) Zone District. Recycling facilities in the Industrial Zone District are subject to administrative (Type 1) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Sherry Albertson-Clark, at 970-224-6174 or salbertson-clark@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

1. It is indicated that no buildings are planned yet. Will the facility be staffed and if so how many employees will there be at any given time? This is asked because there is a max. number of vehicle spaces allowed for employees which is no more than .75 parking spaces per employee. (LUC 3.2.2[K] [2])
2. Related to the parking and driveways is a landscaping requirement under LUC 3.2.1(E) which includes landscaping along the perimeter of the parking lot. A min. 5 foot landscaping strip between the parking lot/driveways and the property lines is required as well as 6% of the parking/driveway areas must be landscaped. Due to the potential size of the asphalted areas you may want to show an area for the exterior storage of vehicles and equipment placing it behind another fence though this could be chain link fence. This area could not be accessible to the public and therefore not a parking lot/driveway. The landscape standards would not apply here. In addition this storage yard doesn't require a hard surface thus stormwater imperviousness on the site is decreased.
3. Standard commercial signage is permitted as the site is not within the Residential Neighborhood Sign District.

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

4. The screening wall or fence must surround any part of the site for equipment and similar storage as well as the recycling container and dumpster areas as these will be considered equipment. Thus a screen wall must be located at the north side as well. Walls will need to be of similar texture, material, and color of what the the proposed future buildings might be.

Department: Water-Wastewater Engineering

Contact: Roger Buffington, 970-221-6854, rbuffington@fcgov.com

1. Existing water mains and sanitary sewers in this area include a 24-inch water main in Timberline and a 42-inch sewer in the railroad R.O.W. to the northeast.
2. Any connection to the 42-inch sewer must be made at a manhole.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. Development fees and water rights will be due at building permit.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

1. A drainage and erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. The erosion control requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
2. Onsite detention is required for the runoff volume difference between the 100 year developed inflow rate and the 2 year historic release rate. A few concrete pads are mentioned in the project narrative but the rest of the site is probably going to have some surface treatment whether it is gravel or recycled asphalt. Either of these will increase the runoff and needs to be detained.
3. Water quality treatment is also required as described in the Fort Collins Stormwater Manual, Volume 3 - Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged. The project narrative doesn't address the surface treatment of the site except a few concrete pads so I would suggest the water quality pond have a fore bay in order to capture most of the sediment and other larger pollutants before entering the pond.
4. The Stormwater Utility anticipates that City Council will be approving new Low Impact Development (LID) requirements that will go into effect March 1, 2013. Please contact Basil Hamdan at 224-6035 or bhamdan@fcgov.com for more information. The present draft requires that 50% of the new impervious area must be treated by an LID method and 25% of new parking lots must be pervious.

Department: Stormwater Engineering

Contact: Glen Schlueter, 970-224-6065, gschlueter@fcgov.com

5. The drainage outfall for the site appears to be a pipe in the northeast corner. The Utility inventory system does not note the size or material of the pipe. Also it is unclear if there is a conveyance element for the pipe to drain to. So the design engineer will need to determine if there is a stable outfall which may require an easement from Light and Power since it drains across their site to a pipe on their property. There will be an increase in flow so it will have an impact on their site.
6. There is an abandoned irrigation lateral along the south property line of the site that can be filled in.
7. The city wide Stormwater development fee (PIF) is \$6,390.00/acre (\$0.1467/sq.ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
8. The design of this site must conform to the drainage basin design of the Spring Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.

Department: Park Planning

Contact: Craig Foreman, 970-221-6618, cforeman@fcgov.com

1. 1. 2/11/2013: We have been working with Susie to make the site work for the planned 9-hole disc golf course. The disc golf holes will be located around the substation and should work with this proposed project. We'll continue to coordinate as the recycling facility takes shape.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. FIRE LANES
Fire Lanes shall be provided for every facility, building or portion of a building when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, as measured by an approved route around the exterior of the building or facility. The fire code official is authorized to increase the dimension of 150 feet if the building is equipped throughout with an approved, automatic fire-sprinkler system.
2006 International Fire Code 503.1.1
2. SECURITY GATES
The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times.
2006 International Fire Code 503.6

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

3. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy.

Commercial requirements: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

2006 International Fire Code 508.1 and Appendix B

4. PREMISE IDENTIFICATION

New and existing buildings shall be plainly identified. Address numbers shall be visible from the street fronting the property, plainly visible, and posted with a minimum of six-inch numerals on a contrasting background.

2006 International Fire Code 505.1

5. HAZARDOUS MATERIAL STORAGE

The on-site storage of hazardous materials shall meet the requirements of the IFC. E-waste, anti-freeze, batteries, oil, and paint are included in this category.

> Incompatible materials are to be collected and stored separately.

> No more than four control areas are allowed on site.

> Provide for containment and spill control.

> Quantity limits are outlined in Chapter 27 of the IFC.

> MSDS sheets are to be available.

6. COLLECTION AND STORAGE OF COMBUSTIBLE LIQUIDS

The on-site collection of combustible liquids shall require the installation of above ground storage tank(s) under a separate permit.

Department: Environmental Planning

Contact: Lindsay Ex, 970-224-6143, lex@fcgov.com

1. There is an irrigation ditch running on the south of the property, but it is no longer active and does not serve the function of a wildlife corridor, thus, Section 3.4.1 of the Land Use Code does not apply.
2. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221-6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
3. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Reveille Bluegrass is one option for having bluegrass lawns and using less water.

Department: Engineering Development Review

Contact: Andrew Gingerich, 970-221-6603, agingrich@fcgov.com

Department: Engineering Development Review

Contact: Andrew Gingerich, 970-221-6603, agingrich@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Please contact the City's Traffic Engineer, Joe Olson (224-6062) to schedule a scoping meeting and determine if a traffic study is needed for this project. In addition, please contact Transportation Planning for their requirements as well.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project. The project will be responsible for its portion of the 6-lane arterial right of way which is 141 feet in total. Additional right of way may be required per the capital improvements planned along South Timberline but the design specifics of what is planned and needed are not available at this time.
7. This project will be responsible for paying the local street portion along its property frontage. For 2013 this amount is \$204.00 per lineal foot of frontage.
8. Constructions of S. Timberline Capital Improvements are tentatively planned summer of 2014 or 2015. Design considerations for access, sight distance, etc. will need to be coordinated with the preliminary and final design of the S. Timberline Improvements. If this site is developed prior to these improvements than interim access and frontage improvements may be required until the ultimate Timberline construction is completed.
9. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.

Department: Electric Engineering

Contact: Rob Irish, 970-224-6167, rirish@fcgov.com

1. Light & Power has existing electric facilities running adjacent to this site along Timberline Rd. Any relocation or modification to existing electric facilities will be at the owners expense.
2. Contact Light & Power Engineering @ 970-221-6700 to coordinate power for the site. A C-1 form and One-line diagram will be required.
3. A transformer location will need to be established within 10' of an all weather drive over surface. Clearances of 8' in the front and 3' on all sides will need to be maintained.
4. Electric Capacity Fee and Building Site charges will apply along with any system modification charges necessary.

Current Planning

Contact: Sherry Albertson-Clark, 970-224-6174, salbertson-clark@fcgov.com

1. The proposed recycling center is permitted subject to Type 1 Administrative Hearing approval.
2. A minimum 30' deep landscape yard is required along the site's Timberline Road frontage. An 80' deep landscape yard is required along the west edge of the property, which is adjacent to the MMN zone district - a predominantly residential zone district.
3. The Industrial District requires storage, loading and work operations to be screened from view all all public streets and zone district boundaries. This screening can best be achieved through the use of fencing or walls, along with landscaping to soften the visual appearance of the fence or wall. Section 3.8.11 addresses fences and walls in greater detail, including the use of architectural elements (brick or stone columns); articulation or variations in the alignment or setback of the fence; and
4. PRPA is planning on constructing a 12' high interlocking block wall around the existing substation. Scott Rowley at PRPA is the contact on this proposal - you may want to contact him to see how the wall and any proposed fencing/wall on this site could work together.
5. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
6. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
7. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
8. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
9. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
10. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
11. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.