

# Conceptual Review Agenda

Schedule for 10/06/14 to 10/06/14

281 Conference Room A

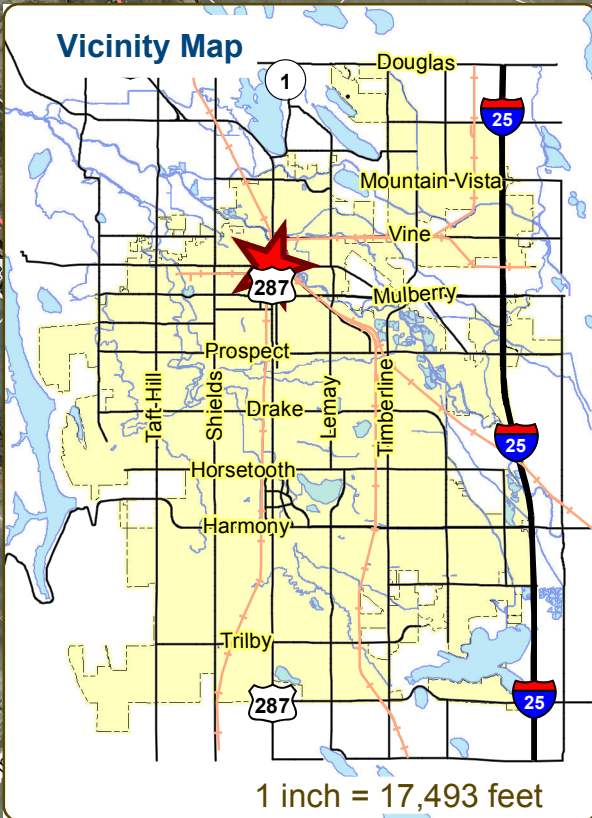
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## Monday, October 6, 2014

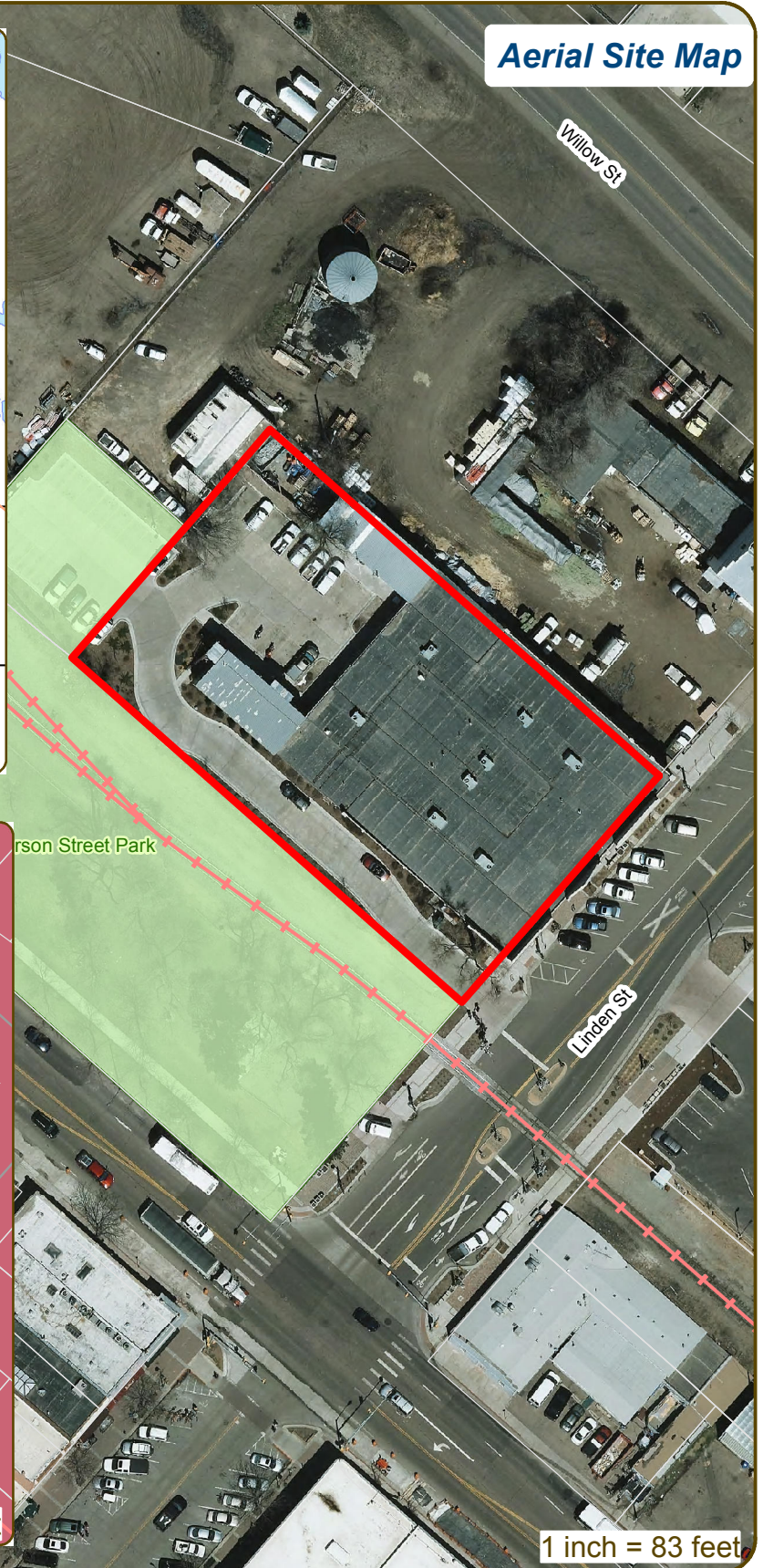
Time	Project Name	Applicant Info	Project Description	Planner
<b>9:30</b>	351 Linden - Multi-family CDR140076	Ralph Will (970) 481-6738 <a href="mailto:dwill@mmi-corp.com">dwill@mmi-corp.com</a>	This is a request to build two apartment structures in phases at 351 Linden Street (parcel #971220007). There are two apartment buildings on-site currently that will be torn down and replaced by the two proposed structures. Each building will be constructed in its own phase. Each building will contain two apartments. The parcel is located in the River Downtown Redevelopment (RDR) zone district. This project will be subject to Administrative (Type I) review.	Ted Shepard
<b>10:15</b>	5608 College - Retail Marijuana Cultivation Facility CDR140077	Linda Pixley (970) 443-8828 <a href="mailto:gbogh3205@gmail.com">gbogh3205@gmail.com</a>	This is a request to locate a marijuana grow facility at 5608 S College (parcel #9612206001). The building will be modified to be brought up to code. The external modifications include parking lot repairs and landscaping and improved drainage. The parcel is located in the Service Commercial (CS) zone district. This project will be subject to Administrative (Type I) review.	Ryan Mounce
<b>11:00</b>	208 Remington - Multi-family CDR140078	Cynthia Reffler (970) 490-2962 <a href="mailto:cynthia@cjrhomes.com">cynthia@cjrhomes.com</a>	This is a request to convert the existing structure into apartments at 208 Remington (parcel #9712339001). The proposal calls for adding apartment units to the second floor of the existing structure. The applicant is also considering retail and office uses on the bottom floor with apartments on the second floor. The parcel is located in the Downtown (D) zone district. This project will be subject to Basic Development Review (BDR).	Seth Lorson

# 351 Linden St. Multi-family

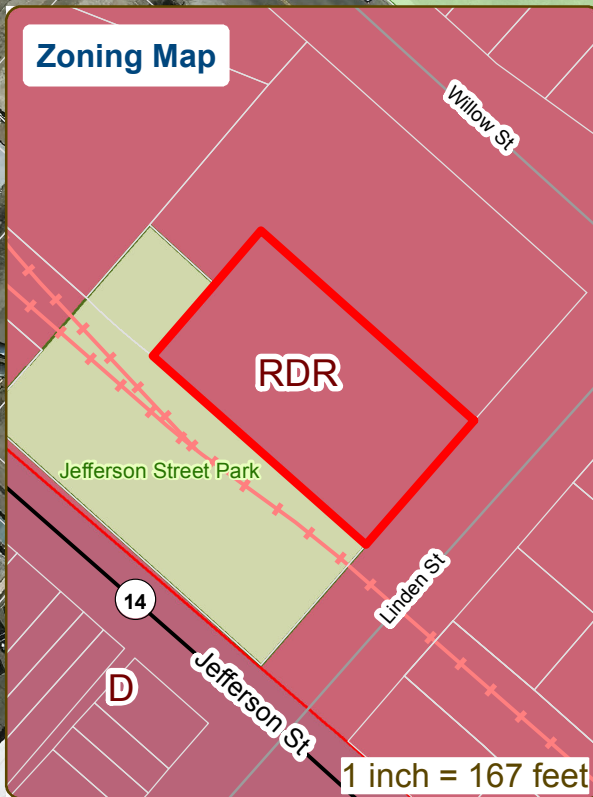
**Vicinity Map**



**Aerial Site Map**



**Zoning Map**



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# **Conceptual Review**

**351 Linden Street**

**Ft. Collins**



Proposal: To demolish the two apartment structures located just west of the main structure at 351 Linden Street and erect two new apartment structures in there place. Each structure would contain two apartments as they do presently with plans to condominiumize each structure. The project will be completed in two phases.



**Phase I**

Proposed Completion in 2015



**Phase II**

Proposed Completion in 2016

- I. Conceptual Review Application
  - A. Application
  - B. Architectural Rendering – Phase I
  - C. Architectural Rendering – Phase II



CONCEPTUAL REVIEW:  
APPLICATION**General Information**

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

**\*BOLDED ITEMS ARE REQUIRED\*** \*The more info provided, the more detailed your comments from staff will be.\*

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Ralph D. Will (owner rep) and Jorge Tarin (architect)

**Business Name** (if applicable) \_\_\_\_\_

**Your Mailing Address** 2057 Vermont Dr., Ft. Collins, CO80525

**Phone Number** 970-481-6738 **Email Address** dwill@mml-corp.com

**Site Address or Description** (parcel # if no address) 351 Linden Street, Ft. Collins

**Description of Proposal** (attach additional sheets if necessary) Proposal to replace existing two apartment structure located in the westerly portion of the lot located at 351 Linden St. (see proposal document)

**Proposed Use** Residential **Existing Use** Residential

**Total Building Square Footage** Phase I 3,400 **S.F. Number of Stories** 3 **Lot Dimensions** \_\_\_\_\_

**Age of any Existing Structures** 30 years

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

**Is your property in a Flood Plain?** ☐ Yes ☒ No **If yes, then at what risk is it?** \_\_\_\_\_

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

**Increase in Impervious Area** 760 **S.F.**

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

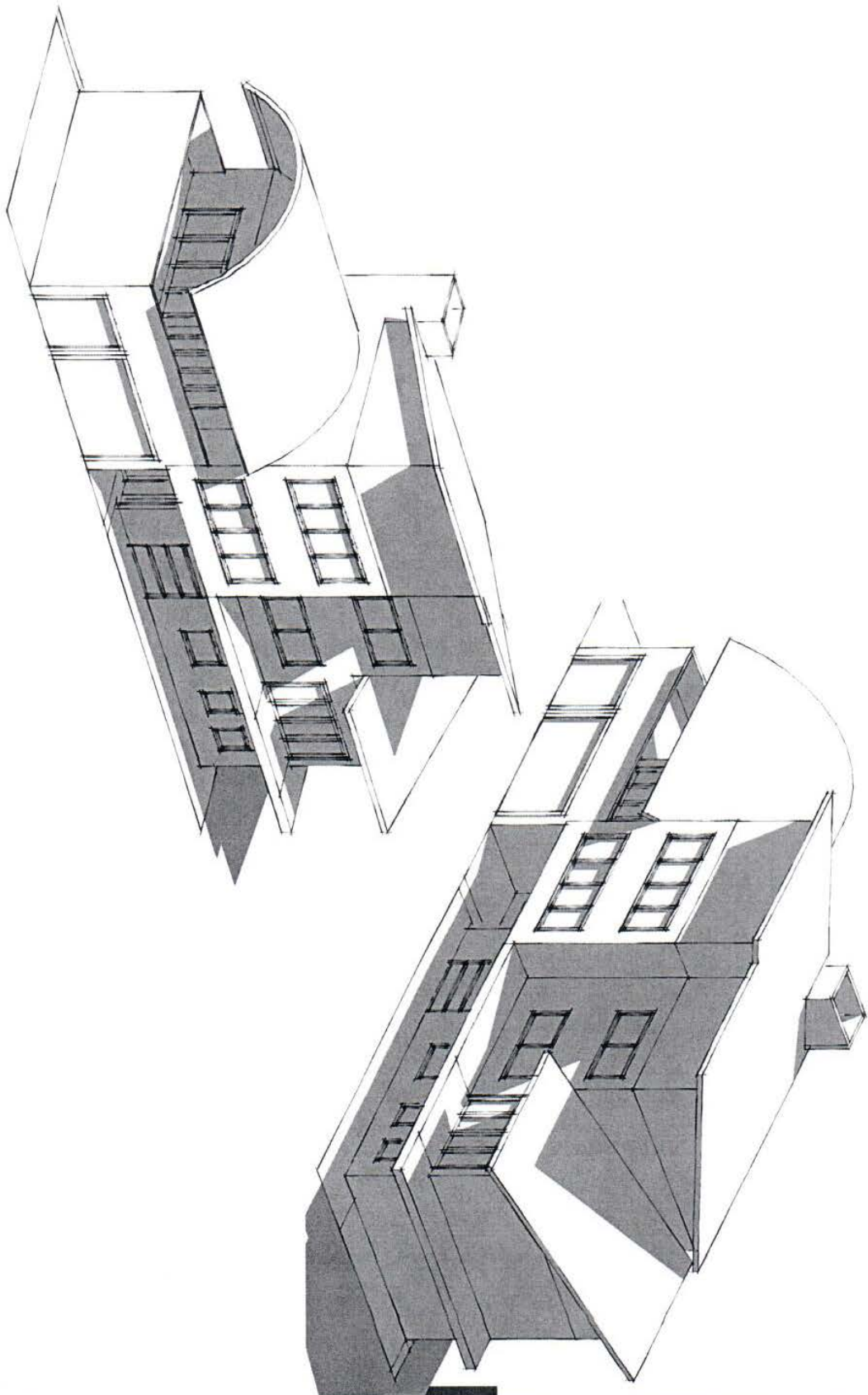
**Suggested items for the Sketch Plan:**

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

# Phase I Rendering

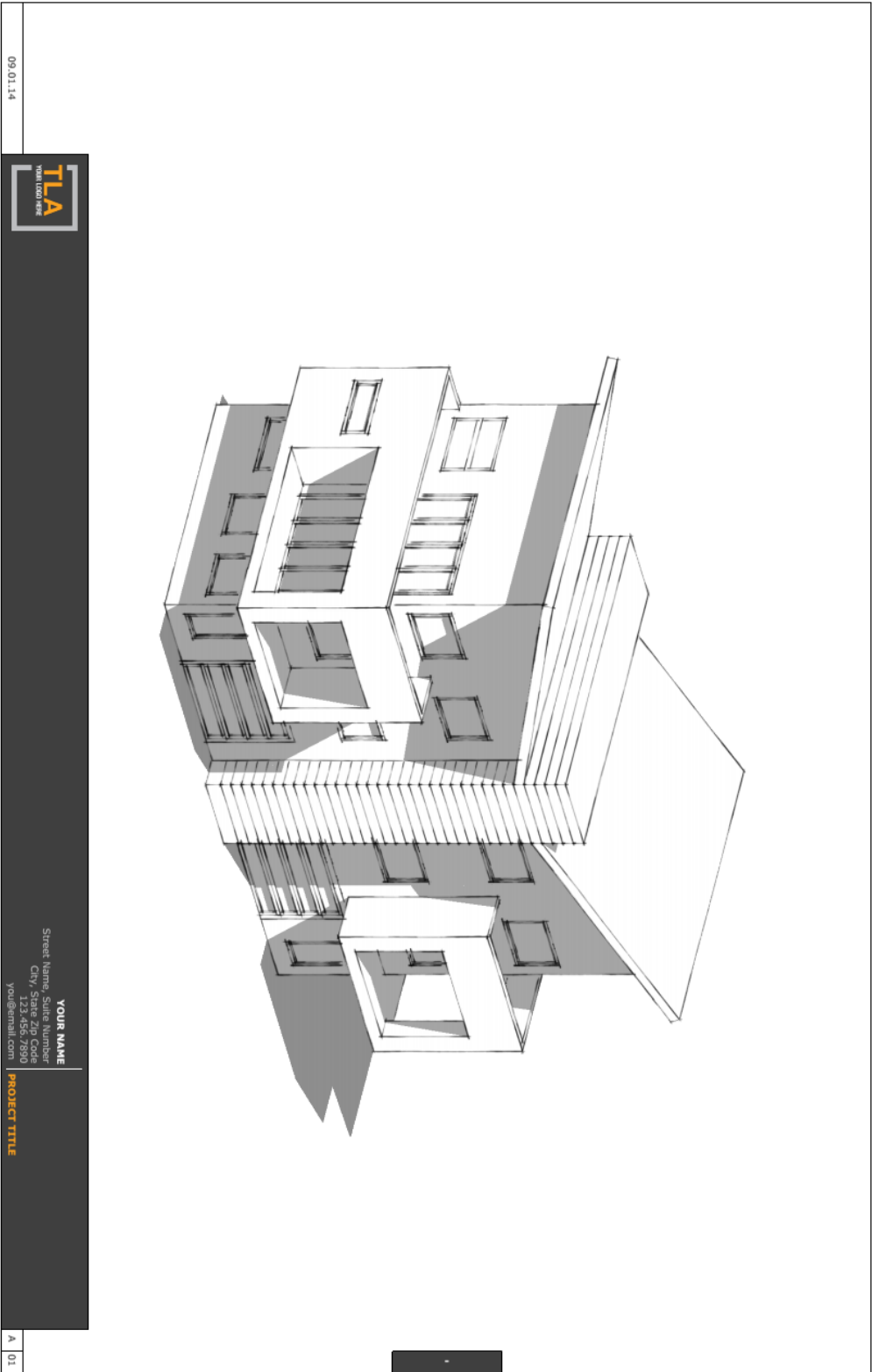
09.01.14

351 Linden Ave. LLC | 351 LINDEN





Phase II Rendering



- II. Project Location
  - A. Area Site – Exhibit A
  - B. Project Site
    - 1. Overview – Exhibit B-1
    - 2. Site Layout – Exhibit B-2
  - C. Existing Project Characteristics
    - 1. Summary – Exhibit C-1
    - 2. Views of Proposed Project – Exhibit C-2



# Exhibit A

(not to scale)



SCALE: 1" = 2000'  
(WHEN PRINTED AT 11x17)

SOURCE: UNITED STATES GEOLOGICAL SURVEY MAP FORT COLLINS  
QUADRANGLE COLORADO-LARIMER COUNTY 7.5 MINUTE SERIES (2013)

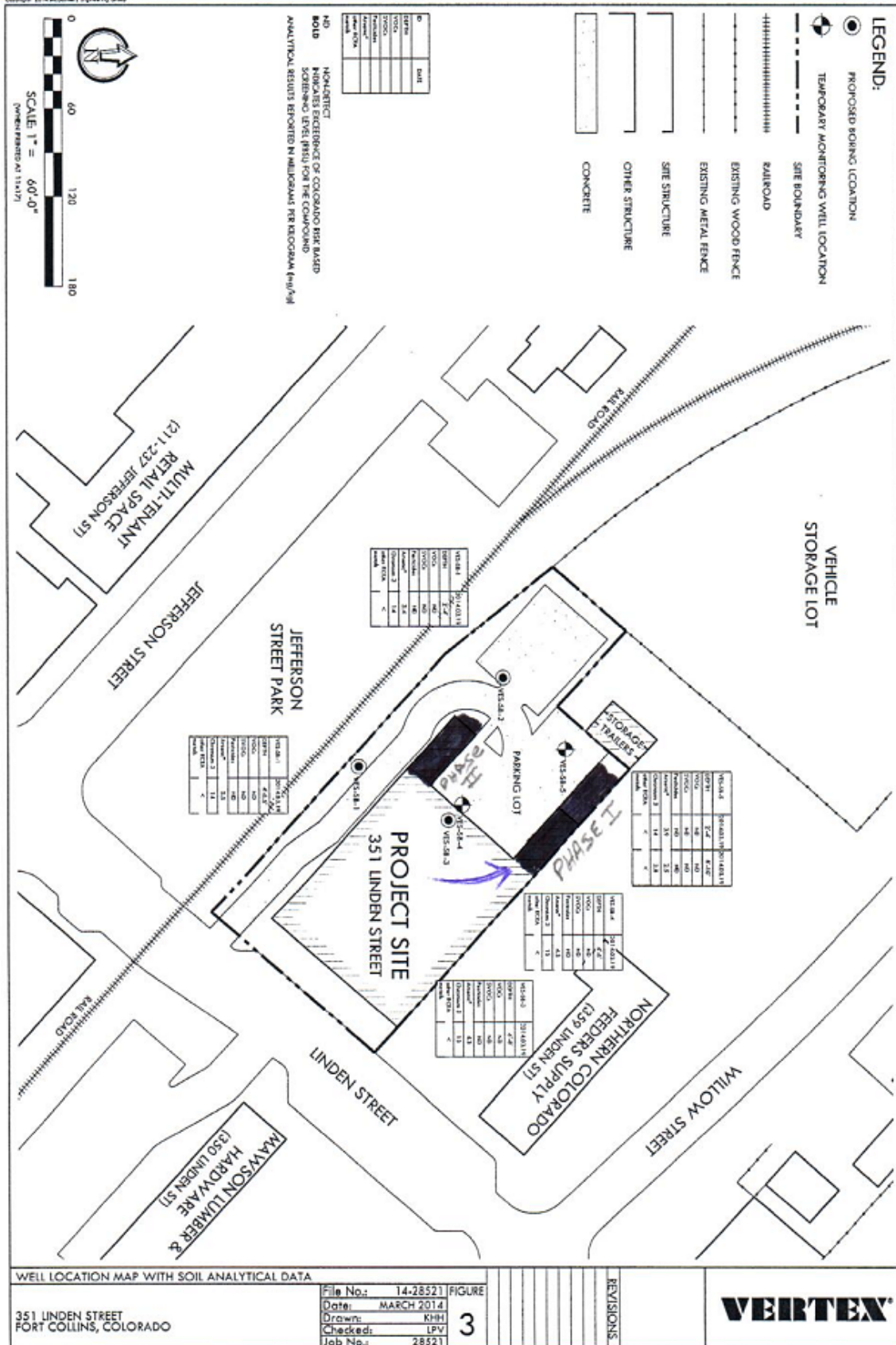
## SITE LOCUS

351 LINDEN STREET  
FORT COLLINS, COLORADO

File No.:	14-28521	FIGURE <b>1</b>
Date:	MARCH 2014	
Drawn:	KHH	
Checked:	LPV	
Job No.:	28521	

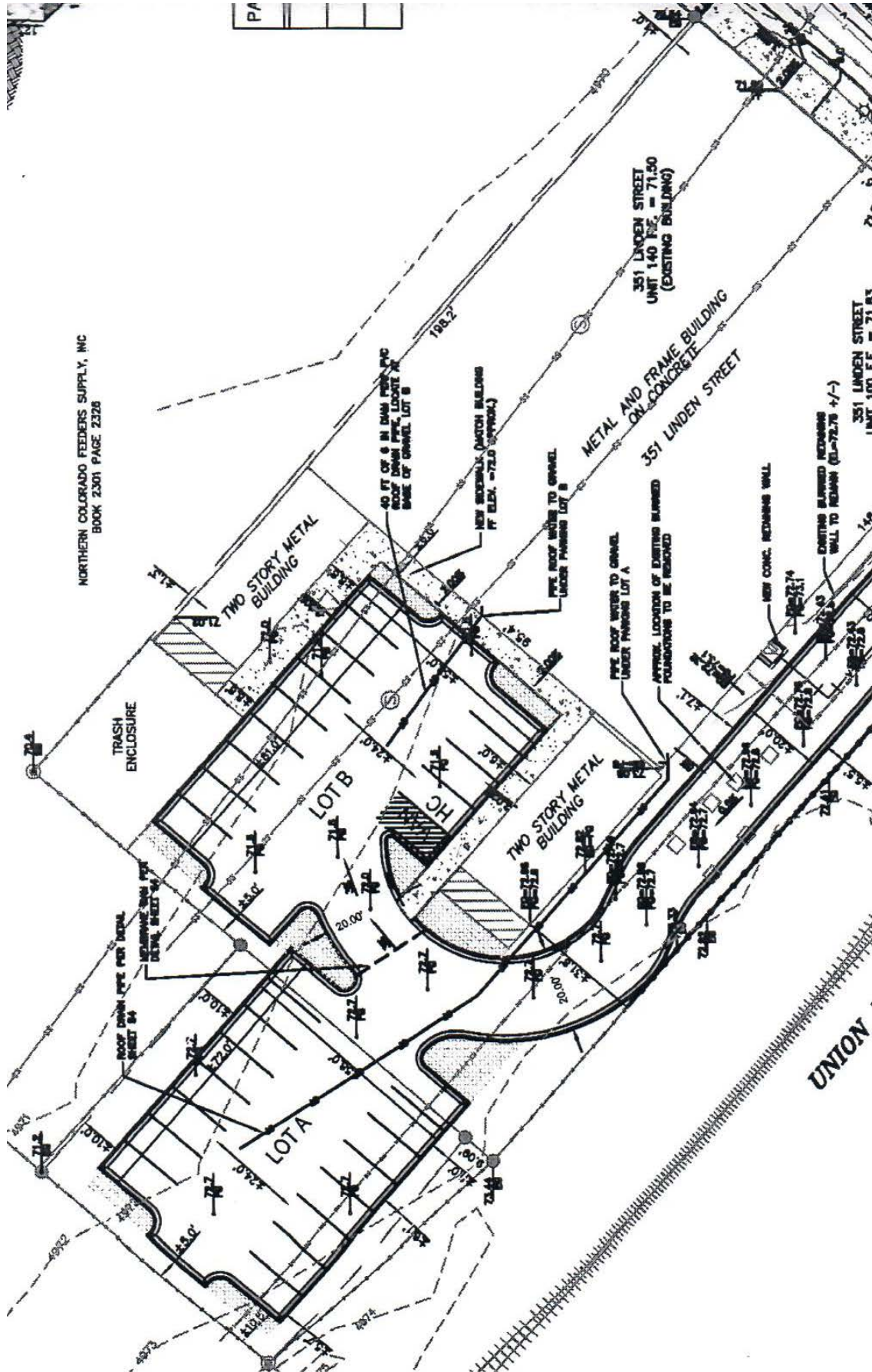
**VERTEX®**

W114\_\_\_\_\_, 100 Chrl Isl Pkway, PEREE prgrm, 2014/14.24521 + 381 Jndr/Chl Engngng/Drngng, 14.24521 + 381 Jndr/Eng  
Therdy, April 05, 2014 3:27:23 PM  
Copyright: 2014 McJannery Engineering Group





# Exhibit B-2





## Exhibit C-1

### Existing Project Characteristics (Summary)

*(Per Larimer County Assessor's records)*

Item	Description
Tenant(s):	CTL THOMPSON, INC., ALPHA OMEGA WELLNESS, LLC (Old Town Health Club, and three rental apartments.
Street Address:	351 Linden Street
City, State, Zip:	Fort Collins, Colorado 80524
Primary Use:	Commercial office, Health Club, and (3) rental dwellings
Year Built/Age:	1931/83 - (remodeled 2006/8)
Reported Occupancy:	Office/Apartment - Office building
Number of Buildings:	One and two detached building (apartments & storage)
Number of Stories:	one story building (main) and one and a half for detached structures.
Total Building Area:	21,640 SF
Site Area:	37,500 SF (0.85 acres)
Parking Spaces:	12 on-street public time-limited parking spaces on Linden Street, (35) private parking spaces on south and in rear parking lot.
Handicap Parking Spaces:	On-street space(s) are available on Linden Street.
Parking Garage/Carports:	N/A
Foundation/Superstructure:	Poured concrete footings and slab-on-grade components. Masonry panel, brick with wood post & beam support and wood structural framing
Exterior Façade:	Masonry brick, natural stone, preformed metal panels.
Roof:	Fully adhered EPDM rubberized membrane (main building) and preformed metal panels (detached structures).
Heating, Ventilation, and Air Conditioning:	(9) Rooftop mounted natural gas fired packaged heating and cooling units for the main building and (2) natural gas forced air furnaces (one with central air conditioning), and electric baseboard heater.
Interior:	100 - (Old Town Athletic Club) entry, service desk, childcare room, office, open exercise equipment room, portioned office, mechanical/laundry room, men's locker room, women's locker room, exercise classroom, open workout room. 140 - (CTL THOMPSON, INC.) entry/lobby, service desk, conference room, office supplies/work room, open cubical office area, thirteen private offices, records room, hallway to restrooms, janitor's closet, women's and men's restrooms, storage room, laboratory offices, storage room,



### Exhibit C-1 (Continued)

	test lab, and rear (detached) storage building. 351A – one bedroom, living room, kitchen dining, storage closet, ¾-bath, storage garage. 351B – two bedroom, full bath, laundry room, living room, and storage closet. 351C – two bedroom, ¾ bath, kitchen, dining room, living room, storage room, and interior stairway to main level.
Elevators:	N/A
Fire Protection:	Fire sprinklers (for commercial spaces), alarm system, fire extinguishers, & smoke detectors.

#### **Brief Property Description:**

The subject property is comprised of two parcels containing a commercial office building with a health club, and three residential rental dwellings and a separate parking lot that are both situated in the “//10007 - FTC BLK 7” subdivision, with legal descriptions of: “TR IN BLK 7 & VAC ALLEY, FTC DESC: BEG AT PT ON SERLY LN BLK 7 WH BEARS N 41 10' 51"E 106.74 FT FROM MOST SRLY COR SD BLK, N 48 49' 51" W 250 FT, N 41 10' 51" E 150 FT, S 48 49' 51" E 250 FT, S 41 10' 51" W 150 FT TPOB (SPLIT FROM 9712210 005)” and the parking lot “POR 12-7-69, BEG AT PT NERLY ROW LN UNION PACIFIC RR N 56 40' 01" E 721.82 FT FR W 1/4 COR SD SEC; TH ALG SD ROW LN 75.22 FT ALG CUR TO R HAV RAD 644.69 FT, C/A 06 41' 01", L/C N 48 54' 31" W 75.18 FT; TH N 41 09' 26" E 73.70 FT; TH S 48 51' 43" E 75.07 FT; TH S 41 04' 55" W 73.64 FT M/L TPOB (CONT 5585 SQ FT M/L)(SPLIT FROM RR PAR 97122-07-822)” located on the west side of Linden Street, approximately mid-block, between Jefferson Street (south) and Willow Street (north) in downtown (Old Town) Fort Collins, Colorado. The one-story pre-cast masonry, masonry brick, wood; frame building structure(s) are built over poured concrete footings and slab-on-grade foundation components.

The building is located in mixed-use neighborhood that includes other retail buildings, restaurants, a public park, and adjacent to a Union Pacific Railroad track, all in close proximity to the subject property. Due to the historic nature of the property along with the surrounding businesses and rail road track, a Phase I Environmental Site Assessment (ESA) is recommended. Please contact our office to arrange for this service.



## Exhibit C-2

### SUBJECT PHOTOGRAPHS



View of the north detached apartment  
and storage/shop/garage building.



View of the south detached apartment  
and storage/shop/garage building.



### III. Surrounding Land Uses - Photos



View of the adjacent Jefferson Street Park,  
Great Western Railroad and Union Pacific Railroad



View of the Union Pacific Railroad  
And shelter-type properties located southeast of the subject



View of a typical commercial property located east of subject



View of the adjacent Northern Colorado Feeders Supply  
(Proposed mixed-use redevelopment site)



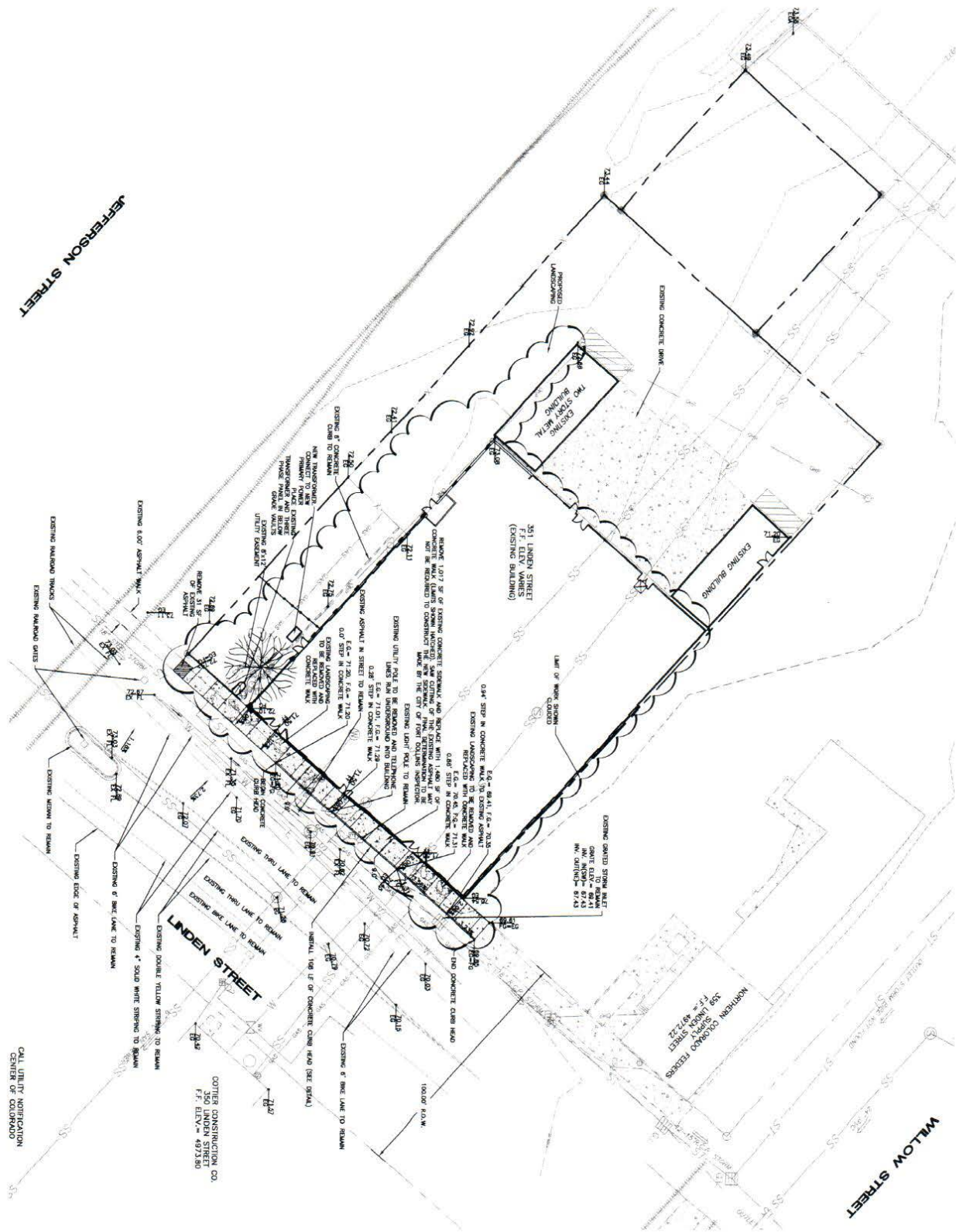
Drawing of apartments now being constructed  
At the rear of the Feeder Supply site



#### IV. Utilities Layout

##### A. Existing Conditions Layout – Exhibit D-1

JEFFERSON STREET



- V. Storm Drainage Characteristics
  - A. Soil Analysis – Vertex Summary
  - B. Drainage Report – CTL Thompson



**Phase II Limited Subsurface Investigation  
CTL Thompson Inc., Old Town Athletic Club and Apartments  
351 Linden Street  
Fort Collins, Colorado  
VERTEX Project No. 28521**

## **1.0 PROJECT SUMMARY**

On March 11, 2014, The VERTEX Companies, Inc. (VERTEX) was contracted by Mr. Ralph Will of MMI Corporation to conduct a Phase II Limited Subsurface Investigation (LSI) at the CTL Thompson Inc., Old Town Athletic Club and Apartments located at 351 Linden Street in the City of Fort Collins, Larimer County, Colorado (the site). The LSI included the installation of five (5) soil borings, in the vicinity of historical lumber storage/potential treatment areas, the former waste storage area and the former compressors and associated oil staining. Soil borings were advanced in select areas of the site for the collection of soil samples for potential laboratory analysis.

A summary of our key findings is provided below:

- Soil analysis did not indicate the detectable presence of volatile organic compounds (VOCs), semi volatile organic compounds (SVOCs) or pesticides in soil samples collected during the LSI at concentrations exceeding laboratory method detection limits.
- The investigation identified concentrations of arsenic in the soil samples collected from each of the soil borings VES-SB-1 (4-5.5 feet bgs), VES-SB-2 (2-4 ft. bgs), VES-SB-3 (6-8 ft. bgs), VES-SB-4 (4-6 ft. bgs) and VES-SB-5 (8-10 ft. bgs) that exceed the most stringent Colorado Department of Public Health and Environment (CDPHE) Residential Soil Evaluation Levels, but were all below the CDPHE Background Levels. Based on these results and according to CDPHE regulatory documentation, arsenic does not appear to be indicative of a toxic release from historical operations at the site or surrounding area, but rather the result of naturally occurring minerals deposited in the site area during glaciations. Therefore, no additional investigation relating to the arsenic warranted or recommended.

- The investigation also identified concentrations of total chromium present in the soil samples collected from soil borings VES-SB-1 (4-5.5 feet bgs), VES-SB-2 (2-4 ft. bgs), VES-SB-3 (6-8 ft. bgs), VES-SB-4 (4-6 ft. bgs) and VES-SB-5 (8-10 ft. bgs) that exceed the respective CDPHE residential soil evaluation standard. VERTEX instructed the laboratory to re-analyze the above listed soil samples that exhibited elevated total chromium levels to determine whether the regulatory exceedance was the result of naturally occurring chromium III (trivalent) or the typically man-made chromium VI (hexavalent). Based on the supplemental analysis of the soil samples collected, chromium VI was not present in any of the soil samples above the laboratory reporting limit. Also, chromium III was present in each of these reanalyzed soil samples at concentrations below the respective CDPHE residential soil standard. Based on these results, chromium does not appear to be indicative of a toxic release from historical operations at the site or surrounding area, but rather the result of naturally occurring minerals deposited in the site area during glaciations.
- The investigation also revealed concentrations of barium, cadmium, lead and silver present in the soil samples collected which exceeded laboratory detection limits, but were below the most restrictive CDPHE residential soil standards.
- VERTEX did not observe a sufficient quantity of groundwater in the temporary groundwater monitoring wells installed at the site upon completion of the on-site drilling activities. Therefore, a representative groundwater sample could not be collected from the site.

Based on the results of this LSI, although various concentrations of arsenic and trivalent chromium were present in the soil samples collected from the site, due to the naturally occurring nature of arsenic and trivalent chromium and the presence of other naturally occurring metals in each soil sample, it is unlikely that the concentrations of these metals identified during the LSI are indicative of industrial operations at the site or in the site area, but rather the result of naturally occurring minerals deposited in the site area during glaciations. No additional areas of

impacted soil were identified at the site and there was not a sufficient quantity of groundwater to collect a representative sample.

Based on the results of this LSI, no areas of impacts were identified at the site. Therefore, additional assessment/investigations do not appear warranted at this time and there are no special recommendations.



## Drainage Report

### **DRAINAGE BASINS AND SUB-BASINS**

#### Historic Drainage

Stormwater from the rear of the site and approximately half of the roof system historically sheet flows onto the neighboring feed mill property to the north. At present, the remaining roof runoff and stormwater on the southwest side of the site appears to collect and pond between the railroad and building in that area. According to the previous building owner, the buried retaining wall along the south side of the site historically conducted ponding water in this area to the buried storm water inlet which leads to the stormwater main in Linden Street.

#### Proposed Drainage

The proposed drainage plan takes advantage of a pervious pavement system with gravel drainage and retention layer. With the exception of the trash enclosure and landscape areas, the site will be paved with porous concrete. Roof runoff from the larger building will be split in half, with each half draining into the gravel layer beneath the two parking areas. Runoff from the south smaller shed building will be conducted into the gravel under the access drive. Runoff from landscape areas and the paved areas will permeate the porous concrete where it will be retained until it infiltrates the ground where it is anticipated to

eventually join groundwater flowing under and along the Poudre River located just two blocks to the north. The small amount of water from the gravel in the trash enclosure and the roof of the north small shed building will continue to sheet flow onto the property to the north. The proposed development will reduce the storm water sheet flowing onto the property to the north from an impervious area of 0.50 acres to 0.04 acres. In addition, the storm water from 0.26 impervious acres currently retained between the building and the railroad will be dispersed to other areas of the site and captured in under-pavement gravel reservoirs.

### Sub-Basin Description

The site has been divided into 7 existing sub basins as indicated in Fig. A. One of the existing basins, E7, is further subdivided into 3 proposed sub basins, P7, P5, and P8, as a result of development as indicated in Fig. B. A detailed description of these basins follows:

Basin E1/P1 is 0.20 acres and consists of the south western portion of the roof of the larger building. This basin is captured by roof gutters and currently drains onto the Basin E3 where it appears to pond between the building and the railroad. This basin will be captured by a buried infiltrator pipe and conducted to the gravel reservoir beneath Basin E7/P7 where it will be stored and eventually infiltrate the ground.

Basin E2/P2 is 0.03 acres and consists of the roof of the south smaller shed building. This basin is captured by roof gutters and drains onto the Basin E3 where it currently ponds between the building and the railroad. This basin will be emptied on the landscaping between the building and the proposed access drive where it will make its way into the gravel reservoir under the access drive and be stored until it infiltrates the ground.

Basin E3/P3 is 0.15 acres and consists of the southern portion of the site between the buildings and the railroad. This basin historically may have drained to a storm water inlet along Linden Street that has since been buried. It now appears to act as permanent storm water retention. The majority of this basin will be paved with a porous concrete access drive and associated gravel reservoir. Storm water will be collected in the gravel reservoir until it infiltrates the ground.

Basin E4/P4 is 0.02 acres and consists of the roof of the north smaller shed building. This basin runs off onto the Feedmill property to the north. After development, this basin will continue to discharge to the north at Design Point 5.

Basin E6/P6 is 0.20 acres and consists of the north eastern portion of the roof of the larger building. This basin is captured by roof gutters and historically flowed as a point source onto the property to the north. As a result of recent site development, the gutters have been re-routed to discharge in the center of the parking lot between the buildings. This basin will be conducted under the sidewalk and to the gravel reservoir under Basin E7/P8 via a perforated drain pipe.



## Runoff Coefficients

The pre-construction land use is an existing building, a concrete slab, a gravel parking lot, an unimproved driveway, and undeveloped landscaping with estimated runoff coefficients varying from 0.10 to 0.30 and a composite coefficient of approximately 0.20. Post-development use will consist of an existing building, a pervious concrete surface parking lot and driveway. Curbs, gutters, sidewalks, and landscaping will generally drain toward the pervious concrete surface. The estimated runoff coefficient will be 0.1 to 0.3 as there should be little runoff from the planned improvements.

## Site Storm Water Runoff and Receiving Waters

Ground surfaces at the site generally slope downward to the north. Storm water discharges from the site currently enter the City of Fort Collins's separate municipal storm sewer system, which flows into the Poudre River approximately 1,000 feet to the north. The Poudre River is classified as Waters of the State and therefore a regulated waterway.

## Pollution Sources

Visual and non-visual contaminants from construction activities have a potential negative impact on the quality of storm water discharged from the site if not controlled. During site development and construction activities, the potential sources of pollutants that can be transported from the site by storm water and proposed pollutant control measures are listed in Table I.



January 21, 2008

351 LINDEN STREET, LLC  
351 Linden Street  
Suite 140  
Fort Collins, Colorado 80524

Attention: Howard A. Perko, Ph.D., P.E.

Subject: Pavement Recommendation Revisions  
351 Linden Street Parking Lot  
Fort Collins, Colorado  
CTL/T Project Number: FC03663-135

This letter includes revisions to our pavement design for the parking lot for the location referenced above. These revisions were made after test results and analyses of the pervious concrete mix were available. The original pavement recommendations were presented in a report under our Project No. FC03663-135, dated November 30, 2007.

Three beams were molded on December 21, 2007 and broken on January 17, 2008. Two beams were lab-cured and one beam was field-cured. The beams were tested for flexural strength using third-point loading (ASTM C78). The two lab-cured beams had strengths of 389 psi and 454 psi and an average strength of 423 psi. The field-cured beam had a strength of 307 psi. For design purposes, we used a modulus of rupture (flexural strength) of 350 psi.

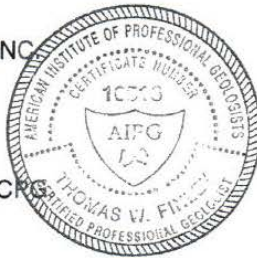
We utilized DARWin software by AASHTO to develop the pavement thickness requirement. Based on our laboratory tests and analysis, the pervious portion of the pavement can consist of 7 inches of pervious concrete underlain by 6 inches of granular base. We analyzed the required thickness of the granular base for strength only and not for storm detention.

We appreciate the opportunity to work with you on this project. If you have any questions regarding the information provided in this letter, please do not hesitate to contact the undersigned.

Sincerely,  
CTL THOMPSON, INC.



Thomas W. Finley, CPG  
Senior Geologist



Reviewed by:



R.B. "Chip" Leadbetter, P.E.  
Geotechnical Department Manager



351 Linden Street | Suite 140 | Fort Collins, Colorado 80524

Telephone: 970-206-9455 Fax: 970-206-9441



October 22, 2014

Ralph Will  
2057 Vermont Dr.  
Fort Collins, CO 80525

**Re:** 351 Linden - Multi-family

**Description of project:** This is a request to build two, 2-family dwellings (two buildings - total of four units) in two phases behind the existing structure at 351 Linden Street (parcel #971220007). There are two existing buildings on-site that will be demolished and replaced by the two proposed structures. Note that 2-family dwellings are not considered multi-family. The parcel is located in the River Downtown Redevelopment (R-D-R) zone district. This project will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ted Shepard, at 970-221-6343 or [tshepard@fcgov.com](mailto:tshepard@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. LUC 3.2.1(E)(5) A minimum of 6% of the interior space of all parking lots is required to be landscaped. Please show the calculations on how this is being met.
2. LUC 3.2.2(C)(b) Multi-Family have a minimum bicycle parking requirement based on the number of bedrooms, with the 60% enclosed and 40% fixed racks. 1 per bedroom is required.
3. LUC 3.2.2(K)(1)(a) Off-Street parking minimums for two-family and multi-family dwellings are based on number of bedrooms.
4. LUC 3.2.2(K)(5) Handicap parking spaces are required in numbers per this section.
5. LUC 3.2.2(L) Table A and B  
Standard 90 degree parking stall is 19'x 9'  
Two-way drive aisle is a minimum of 24' in width
6. LUC 3.2.5 All development, to the extent reasonably feasible, shall provide adequately sized conveniently located, accessible trash and recycling enclosures. Please provide drawings showing compliance.
7. LUC 3.5.1(I) Mechanical/utility equipment (vents, flues, meters, boxes, conduit, transformer, ac/rtu...) locations shall be identified on the plans with notes on how such equipment is screened and painted.

**Department: Water-Wastewater Engineering**

**Contact:** Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)

1. Existing water mains and sanitary sewers in this area include an 8-inch water main in Linden under the railroad that increases to a 12-inch heading northeast, a 6-inch sewer in Linden under the railroad that changes to an 8-inch heading northeast and a 6-inch sewer in an easement behind the building extending to the northwest.
2. The existing water service to the commercial building is a ¾-inch service. Service was extended to the existing metal buildings from the lumber yard building; however, development fees were never paid nor water rights satisfied for these buildings.
3. The sewer service for CTL Thompson and the health club connect to the 8-inch sewer in Linden, and it is understood that the sewer services for the metal buildings connect to the 6-inch sewer(s) to the northwest of the main building. Dye testing needs to be done to confirm this.
4. Separate water and sewer services connecting to City mains will be required for each building on the site.
5. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
6. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact:** Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)

1. If the proposal is to only replace already existing units, then there is no new traffic generation. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.

**Department: Stormwater Engineering**

**Contact:** Shane Boyle, 970.221.6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required.
2. If there is an increase in imperviousness greater than 1000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Water quality mitigation and Low Impact Development criteria would also be required. Parking lot



detention for water quantity is allowed as long as it is not deeper than one foot.

4. There is an existing drainage overflow outfall located on site for drainage northwest of the existing building in the lower parking lot that will need to be preserved.
5. The existing porous concrete drive and parking lot located onsite serve as a detention and water quality pond facility where the drainage from the site is treated and detained. The City contributed funds to the construction of this parking lot as part of our Pilot Projects. There are testing facilities located below the parking lot pavement that serves the site that the City uses for monitoring purposes. Any changes to the parking lot will have to account for the detention and water quality needs of the existing development as well as any planned changes. The LID ordinance will need to be observed which calls for specific water quality requirements for the site.
6. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
7. The design of this site must conform to the drainage basin design of the Cache la Poudre River Master Drainage Plan as well the Fort Collins Stormwater Manual.

**Department: Historical Preservation**

**Contact:** Karen McWilliams, 970-224-6078, [kmcwilliams@fcgov.com](mailto:kmcwilliams@fcgov.com)

1. The historic eligibility of this property will still need to be determined; it will likely not be found to be eligible, as it has been fairly extensively remodeled. However, there are eligible and designated landmark properties adjacent to this site, and for this reason, Land Use Code Section 3.4.7 will apply to the review of any new construction. LUC 3.4.7(A) Purpose, states: This section is intended to ensure that, to the maximum extent feasible... (2) new construction is designed to respect the historic character of the site and any historic properties in the surrounding neighborhood.  
LUC Division 5.1, Definitions, provides the definition of Maximum Extent Feasible: Maximum extent feasible shall mean that no feasible and prudent alternative exists, and all possible efforts to comply with the regulation or minimize potential harm or adverse impacts have been undertaken.
2. Additionally, this site is located in the Old Town National Register District. Therefore, this project will need to be presented to the Landmark Preservation Commission for review and comment to the decision maker, as directed in LUC 3.4.7(F)(6). Please contact Historic Preservation staff to schedule the review before the Landmark Preservation Commission.
- 2.

**Department: Fire Authority**

**Contact:** Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)

**1. GENERAL COMMENT**

As details of the site are still conceptual in nature, a full evaluation of the project cannot be made without a

scaled site plan with elevations. If an existing Emergency Access Easement serves the site, details are needed. If an EAE has not been provided, an easement shall be required. Fire access roads shall meet the following specifications:

#### FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
- > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
- > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
- > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
- > Be visible by painting and/or signage, and maintained unobstructed at all times.

International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

## 2. FIRE ACCESS REQUIREMENTS BASED ON BLDG. HEIGHT

Buildings over 30 feet in height require a 30' wide fire lane located parallel to the longest side of the building and within the parameters outlined below:

#### BUILDINGS EXCEEDING THREE STORIES OR 30 FEET IN HEIGHT

2012 IFC D104.1: Unless sprinklered, buildings or facilities exceeding 30 feet or 3 stories in height shall have at least two means of fire apparatus access for each structure.

#### AERIAL FIRE APPARATUS ACCESS ROADS - WHERE REQUIRED

1012 IFC D105.1: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

#### AERIAL FIRE APPARATUS ACCESS ROADS - WIDTH

2012 IFC D105.2; FCLUC 3.6.2(B)2006; and Local Amendments: Aerial fire apparatus access roads shall have a minimum unobstructed width of 30 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

#### AERIAL FIRE APPARATUS ACCESS ROADS - PROXIMITY TO BUILDING

2012 IFC D105.3: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

## 3. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. Applicant is to confirm hydrant spacing and flow requirements are being met.

IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

#### 4. PREMISE IDENTIFICATION

An addressing plan needs to be submitted for review and approval. Applicable code language is provided below.

2012 IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

**Department: Environmental Planning**

**Contact: Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)**

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (Poudre River). However, as there are several intervening parcels between the river and this property, and the standard buffer would not extend to this project's parcel, the ECS is waived for this site. However, please consider the use of native plants and grasses to compliment the natural feature, in accordance with Article 3.2.1 (E)(2)(3) of the Land Use Code.
2. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

**Department: Engineering Development Review**

**Contact: Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
5. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
6. Utility plans may be required and a new or amended Development Agreement will be recorded once the project is finalized.
7. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.



8. Drainage from the parking lot is not allowed to flow out the driveway across the sidewalk.

**Department: Electric Engineering**

**Contact: Jim Spaulding, 970-416-2772, [jspaulding@fcgov.com](mailto:jspaulding@fcgov.com)**

1. Please coordinate location of meters and transformer location with Light & Power.
2. If you have any questions contact Light & Power Engineering at 221-6700. Alos, review standards and policies at <http://www.fcgov.com/utilities/business/builders-and-developers>

**Planning Services**

**Contact: Ted Shepard, 970-221-6343, [tshepard@fcgov.com](mailto:tshepard@fcgov.com)**

1. Per the definition in the Land Use Code, each building will be considered two-family dwelling, not a multi-family dwelling. The required number of parking stalls is based on the number of bedrooms per unit. Assuming all four units feature two bedrooms, there must be a minimum of 1.75 spaces per unit for a total of seven spaces. The applicant has indicated that for both phases, five spaces will be located within garages. Therefore, a minimum of two spaces will be required in the parking lot. For Phase One, a required minimum of four spaces must be provided.
2. Two-family dwellings are subject to review by the Hearing Officer (Type One).
3. The parcel is located in the River Downtown Redevelopment (R-D-R) zone district. Please note that Section 4.17(D)(3)(b)5 requires that to the extent reasonably feasible, the development must provide an on-site outdoor space such as a courtyard, plaza, patio, or other pedestrian outdoor space.
4. The development standards in the R-D-R have recently been updated. Please note that Section 4.17(D)(3)(c) requires that new buildings be designed to demonstrate compatibility with the historic agricultural/industrial characteristics of the zone district in order to promote visual cohesiveness and emphasize positive historical attributes. Staff is concerned that architectural renderings for both phases indicate contrast versus compatibility with the context of the R-D-R as specified in the standard. For example, in Phase One, the strong emphasis on the barrel vault and cantilever roof forms are a significant departure for the vernacular and context of the surrounding area. While a barrel vault roof or a cantilevered roof may be used in a subordinate fashion as an accent, Staff finds that these two roof forms are dominant and out of character. For Phase Two, the butterfly roof is more reminiscent of mid-century modern architecture and in no way captures the agricultural/industrial theme of the R-D-R district. Staff finds that these two roofs, as proposed, represent unusual roof forms and do not comply with the standard.
5. Staff is similarly concerned about the exterior materials. While details of the exterior materials have not been provided, it appears that the dominant material is metal. If this is the case, then please note that such heavy reliance on metal would not comply with Section 4.17(D)(4). This section requires that building materials contribute to visual continuity within the R-D-R district. The proposed materials, appear to be represent an eclectic contrast to visual continuity. Eclectic building forms and exteriors, by all means, have their place in our community. For example, Old Town North (east of North College Avenue and north of East Vine Drive) represents an area for contemporary and eclectic styles are prevalent. The R-D-R district, however, calls for historic compatibility and does not allow sharply contrasting eclectic architecture.
6. The applicants are encouraged to consult the recently adopted Fort Collins R-D-R River Downtown Redevelopment Zone District Design Guidelines which are intended to assist applicants in preparation of

development plans within the zone district. The Guidelines can be found at the following link:

<http://citydocs.fcgov.com/?>

[cmd=convert&vid=72&docid=2267609&dt=AGENDA+ITEM&doc\\_download\\_date=JUN-03-2014&ITEM\\_NUMBER=18](http://citydocs.fcgov.com/?cmd=convert&vid=72&docid=2267609&dt=AGENDA+ITEM&doc_download_date=JUN-03-2014&ITEM_NUMBER=18)

7. The standards for the R-D-R zone district are found in Section 4.17(D) of the Land Use Code.
8. The demolition of the existing structures will require a Demolition Permit to be issued by the City's Building Inspection Division. The primary purpose of this review is to evaluate the historic significance, if any, of the two structures and to ensure that proper dust suppression is in place. Also, please note that as a component of this permit, the applicant must also obtain a permit from the State of Colorado Department of Public Health and the Environment since there may be a possibility that asbestos abatement may be needed. For further information regarding the Demolition Permit, please contact Sandy Lindell - 416-2744.
9. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
10. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
11. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
12. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
13. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
14. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
15. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.
16. Save the Poudre has requested to be contacted whenever a project is proposed within 800' of the Poudre River. Please add the following address to your APO labels: Save the Poudre, c/o Gary Wockner, PO Box 20, Fort Collins, CO 80522-0020.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*20012 International Building Code (IBC)*

*2012 International Residential Code (IRC)*

*20012 International Energy Conservation Code (IECC)*

*2012 International Mechanical Code (IMC)*

*2012 International Fuel Gas Code (IFGC)*

*2012 International Plumbing Code (IPC) as amended by the State of Colorado*

*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### **Energy Code Use**

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

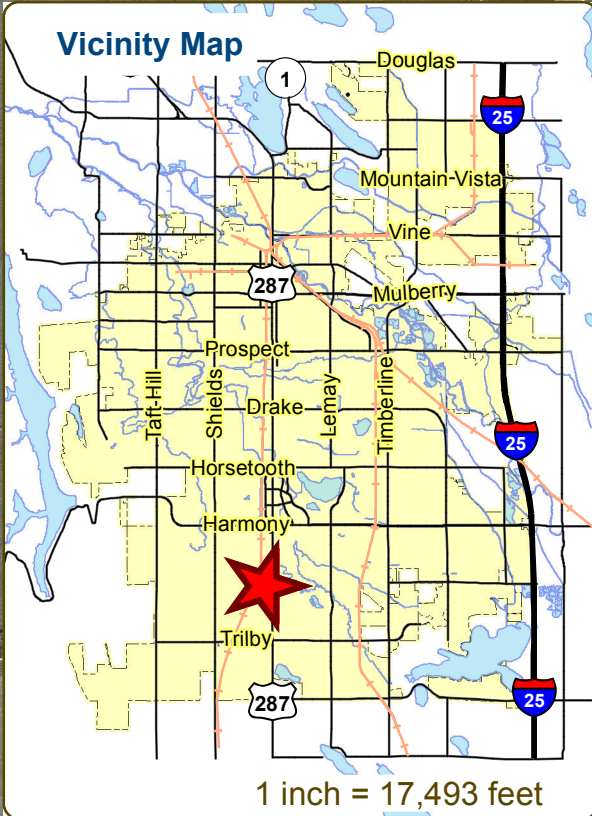
Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341

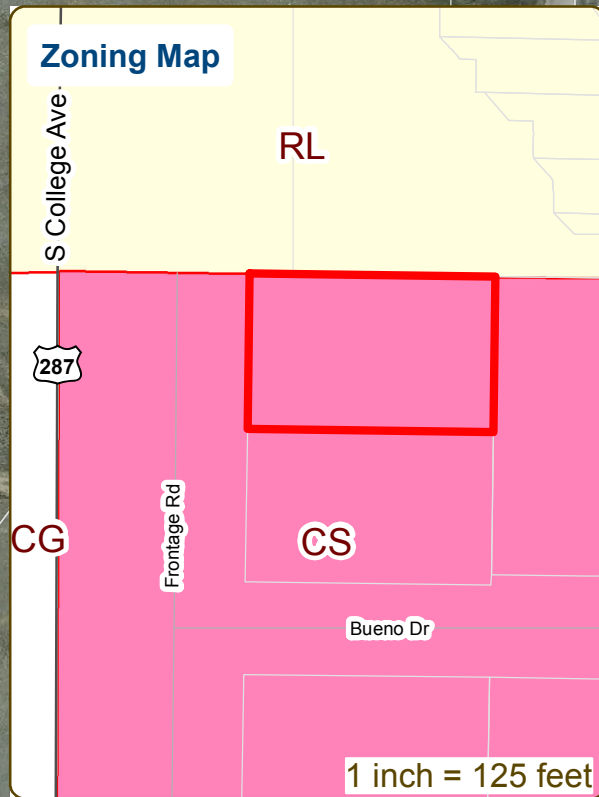


# 5608 College Retail Marijuana Cultivation Facility

Vicinity Map



Zoning Map



Aerial Site Map



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## Development Review Guide – STEP 2 of 8

### CONCEPTUAL REVIEW: APPLICATION

#### General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

**\*BOLDED ITEMS ARE REQUIRED\*** \*The more info provided, the more detailed your comments from staff will be.\*

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Dan Wells - owner      Linda Pixley - agent for Dan Wells

**Business Name** (if applicable) \_\_\_\_\_

**Your Mailing Address** 2433 Falcon Drive      FTC 80526

**Phone Number** (970) 443-8828      **Email Address** gboogh3205@gmail.com

**Site Address or Description** (parcel # if no address) 5608 S. College Ave.

Fort Collins, CO 80525

**Description of Proposal** (attach additional sheets if necessary) to bring building up to  
code and improve external appearance as well as  
internal issues. see attached

**Proposed Use** OPC      **Existing Use** vacant

**Total Building Square Footage** 3600      **S.F. Number of Stories** \_\_\_\_\_      **Lot Dimensions** \_\_\_\_\_

**Age of any Existing Structures** over 25 years      1985

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

**Is your property in a Flood Plain?** ☐ Yes ☒ No      If yes, then at what risk is it? \_\_\_\_\_

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

**Increase in Impervious Area** \_\_\_\_\_ **S.F.**

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

#### Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

### **Description of Proposal for 5608 S. College**

- **Roofing repair and replacement see proposed improvement bid by Delehoy**
- **Mezzanine – see drawing by structural engineer, Gary Weaks**
- **Stairwell, bring into code**
- **Electrical**
- **HVAC**
- **Parking lot improvement with handicap parking space**
- **Fire safety**
- **Concrete improvement to move water drainage away from building, grading**
- **Bathroom improvement; handicap accessible**





Page No.

1 of 1

GENERAL CONTRACTOR

**PROPOSAL**

3109 S. Taft Hill Road • Fort Collins, Colorado 80526  
(970) 226-0836 FAX (970) 226-1802

To: Dan Wells  
In care of Linda Pixley  
2433 Falcon Road  
fort Collins, CO 80526

Phone  
970 443 8828

Date

8/25/2014

JOB NAME / LOCATION  
Roof work 5608 S. college Ave.  
Fort Collins, Co

JOB NUMBER

JOB PHONE

We hereby submit specifications and estimates for:

Proposed work as per requested by: Owners Representative.

## Scope of work:

- 1) Remove existing shingles on lower roof (front of building). Saw cut existing block wall and install roof flashing, new pro panel metal roofing and replace existing roof vent.
- 2) Remove existing wood siding from three sides of 2nd story roof line. Install pro panel style metal siding approximately 24" down from roof line on three sides of 2nd story portion.
- 3) Patch and repair all penetrations on existing upper roof, Tighten loose screws and replace striped out screws.
- 4) Install new gutters and down spouts on two story portion only.(north and south side)

Roof permit included.

Owner to choose color of metal

We Propose hereby to furnish material and labor-complete in accordance with the above specifications, for the sum of: **\$14,172.00**

Payment will be as follows: **Monthly Progress billing due the 15th of the month.**

In the event of any default by customer of the terms of this agreement, Customer agrees that interest will be charged on any delinquent amount owing at the rate of eighteen percent (18%) per annum and that the Customer will reimburse Delehoey Construction, Inc. for all of its expenses incurred as a result of any default, including its reasonable attorney's fees.

All materials guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance.

Our workers are fully covered by Workers Compensation Insurance.

Authorized by:

**Acceptance of Proposal.** The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature

Date of Acceptance:

Signature

Note: this proposal may be withdrawn by us if not accepted within 30 days.



Page No.

1 of 1

# PROPOSAL

3109 S. Taft Hill Road • Fort Collins, Colorado 80526  
(970) 226-0836 FAX (970) 226-1802

To: Dan Wells  
In care of Linda Pixley  
2433 Falcon Road  
fort Collins, CO 80526

Phone  
970 443 8828

Date

8/12/2014

JOB NAME / LOCATION  
Rebuild Mezzanine  
5608 S. college Ave.  
Fort Collins, Co  
JOB NUMBER

JOB PHONE

We hereby submit specifications and estimates for:

Proposed work as per plan and drawing provided by:  
Engineer: Weeks and Associates  
Plan: Mezzanine Framing Plan  
Date: 8-7-2014  
Pages: S1.1

### Scope of work:

- 1) Demolish existing mezzanine over garage bay portion of building. Including existing walls where new bearing points are indicated.
- 2) Saw cut existing floor and demo concrete where new concrete pads will locate, form and pour back new concrete.
- 3) Install new steel beams and columns, frame new floor system, construct new stairway located in east garage bay and entry to mezzanine with new door.
- 4) Hang drywall and fire tape underside of deck and stairs and patch back other areas where new work has taken place.
- 5) Provide clean up and removal of construction generated debris.

We Propose hereby to furnish material and labor-complete in accordance with the above specifications, for the sum of: **\$24,592.00**

Payment will be as follows: **Monthly Progress billing due the 15th of the month.**

In the event of any default by customer of the terms of this agreement, Customer agrees that interest will be charged on any delinquent amount owing at the rate of eighteen percent (18%) per annum and that the Customer will reimburse Delehoy Construction, Inc. for all of its expenses incurred as a result of any default, including its reasonable attorney's fees.

All materials guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance.

Our workers are fully covered by Workers Compensation Insurance.

Authorized by:

Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature

Date of Acceptance:

Signature

Note: this proposal may be withdrawn by us if not accepted within 30 days.



GENERAL CONTRACTOR

3109 S. Taft Hill Road • Fort Collins, Colorado 80526  
(970) 226-0836 FAX (970) 226-1802

Page No.

1 of 1

## PROPOSAL / CO #1

To: <u>Dan Wells</u> <u>In care of Linda Pixley</u> <u>2433 Falcon Road</u> <u>fort Collins, CO 80526</u>	Phone <b>970 443 8828</b>	Date <b>8/14/2014</b>
	JOB NAME / LOCATION <b>5608 S. college Ave. Fort Collins, Co</b>	
	JOB NUMBER	JOB PHONE

We hereby submit specifications and estimates for:

Proposed work as per requested by: Owners Representative.

This Proposal/ CO#1 superedes proposal dated 7-11-2014 for engineering and roof work.

### Scope of work:

1) Contract structural engineer to provide a design plan for reinforcing or rebuilding an existing wood frame mezzanine. Including site visit to obtain dimensions and existing conditions to provide foundation and framing design details and drawings.

We Propose hereby to furnish material and labor-complete in accordance with the above specifications, for the sum of: **\$1,044.00**

Payment will be as follows: **Monthly Progress billing due the 15th of the month.**

In the event of any default by customer of the terms of this agreement, Customer agrees that interest will be charged on any delinquent amount owing at the rate of eighteen percent (18%) per annum and that the Customer will reimburse Delehoy Construction, Inc. for all of its expenses incurred as a result of any default, including its reasonable attorney's fees.

All materials guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance.

Our workers are fully covered by Workers Compensation Insurance.

Authorized by: 

**Acceptance of Proposal.** The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

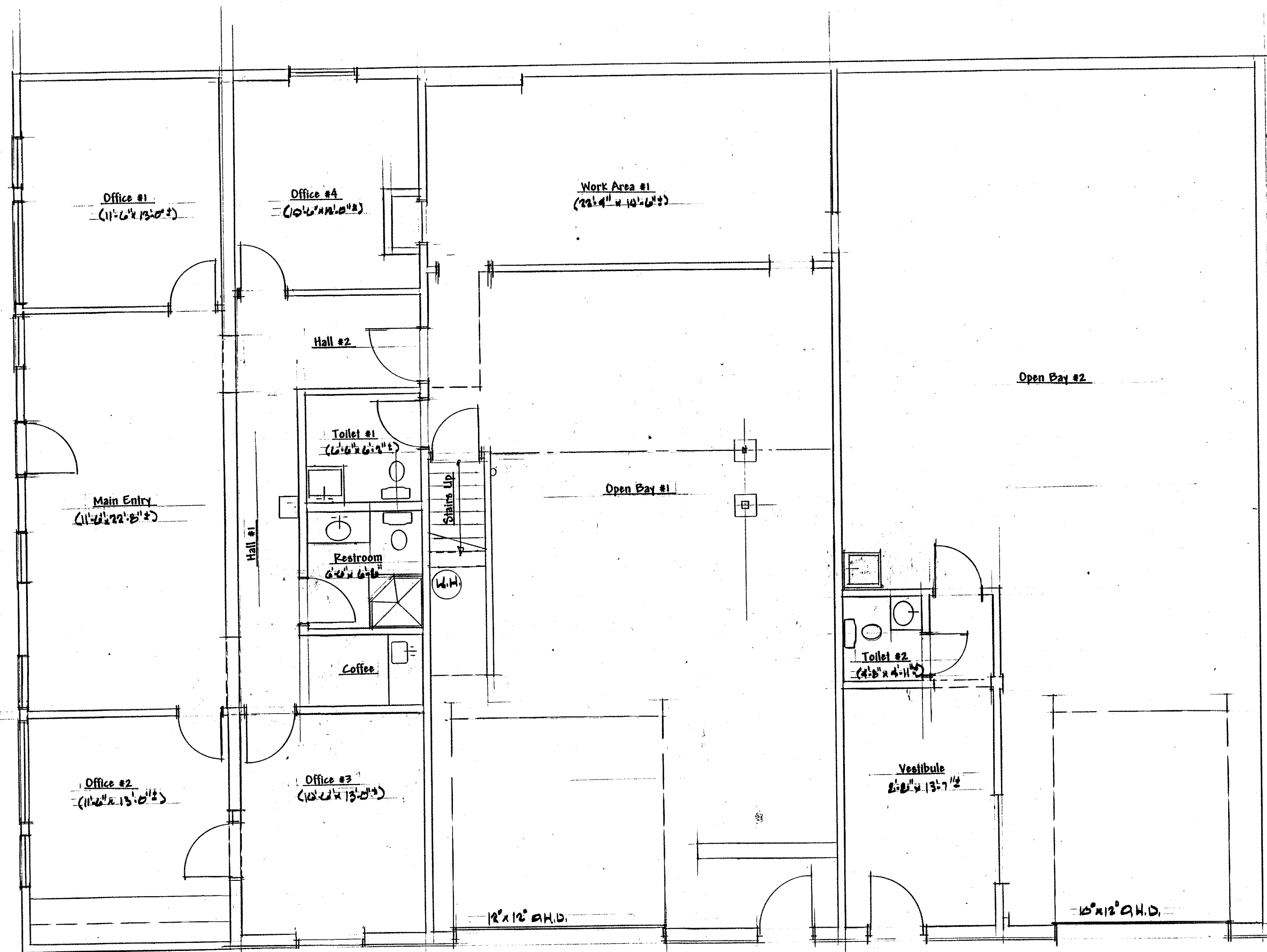
Signature \_\_\_\_\_

Date of Acceptance: \_\_\_\_\_

Signature \_\_\_\_\_

Note: this proposal may be withdrawn by us if not accepted within 30 days.





Ⓐ Main Floor Plan 1/4" = 1'-0" Ⓝ NORTH

**Code Information**

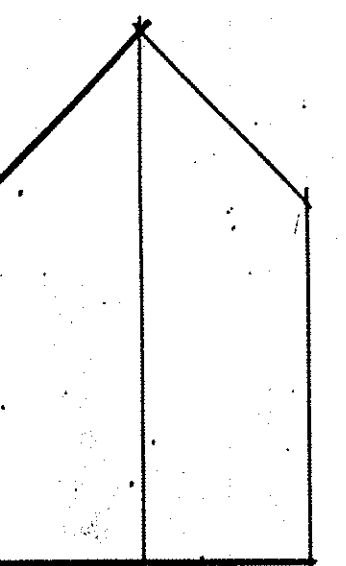
Existing Main Floor Area:	3600 +/- S.F.
Existing Upper Floor Area:	1350 +/- S.F.
Total:	4950 +/- G.S.F.
Type Construction:	V-B
Non-Sprinklered	

**Sheet Index**

A-1 Main Floor Plan

A-2 Upper Floor Plan

8-19-14



**Allen D. Curtis**  
Architect

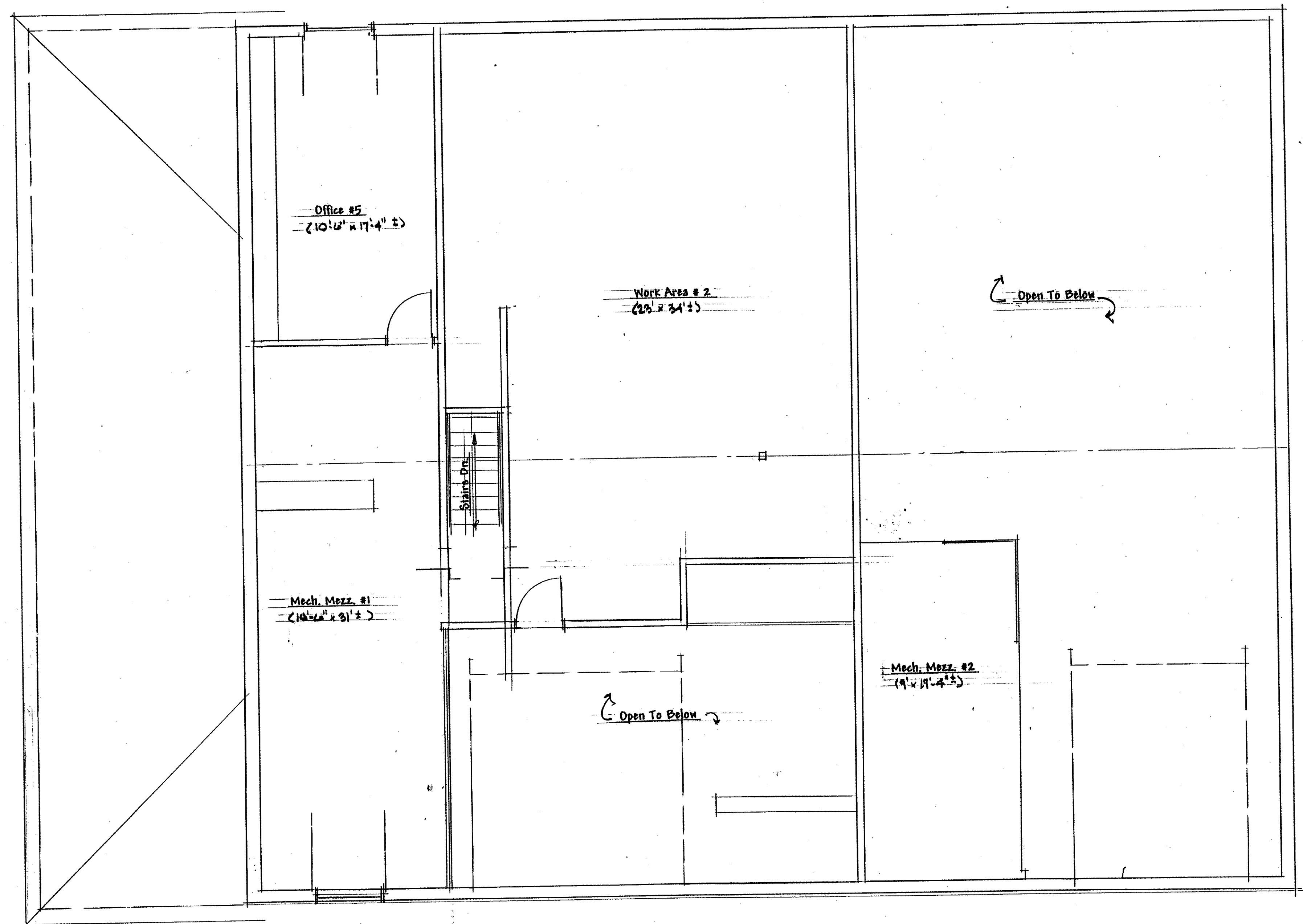
Architecture & Planning  
33 Eagles Nest Ct.  
Livermore, Colorado 80530  
(710) 401 - 7210 Fax (710) 472 - 1211


Existing Layout for:

Warehouse  
3000 So. College Ave.  
Ft. Collins, Colorado 80525

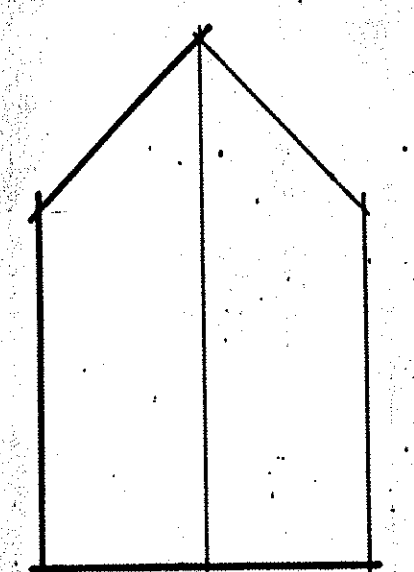
Existing Main Floor Plan

Drawn By:	Sheet:
Checked By:	A-1
Date:	



**Upper Floor Plan** 1/4" = 1'-0"  NORTH

B-19.14



**Allen D. Curtis**  
 Architect  
 Architecture & Planning  
 33 Eagles Nest Ct.  
 Livermore, Colorado 80530  
 (710) 401-7250 Fax (710) 412-9211

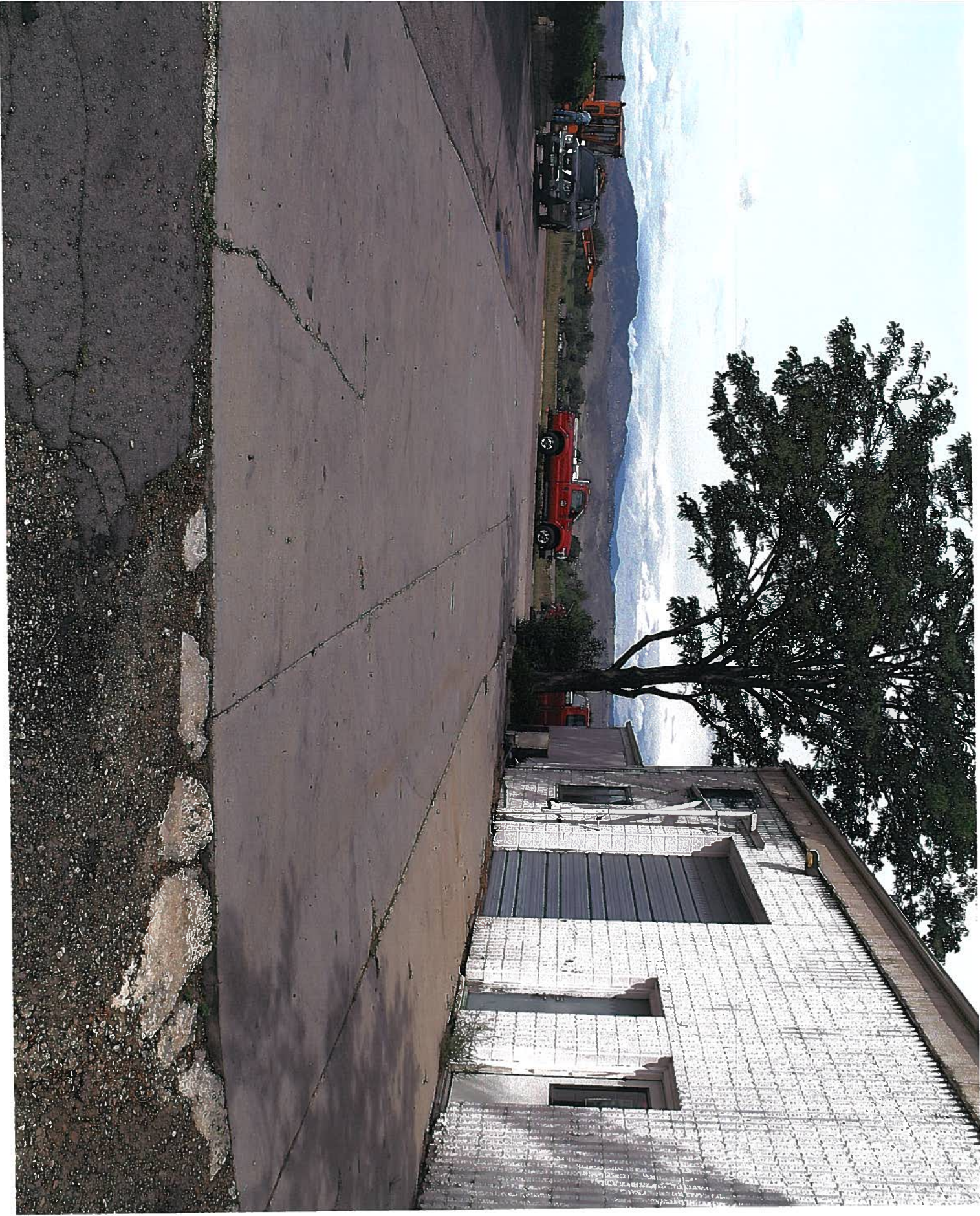
Existing Layout for:  
**Warehouse**  
 3005 So. College Ave.  
 Ft. Collins, Colorado 80525

Existing Upper Floor Plan

Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Date: \_\_\_\_\_ **A-2**































October 22, 2014

Linda Pixley  
2433 Falcon Drive  
Fort Collins, CO 80526

**Re:** 5608 College - Retail Marijuana Cultivation Facility

**Description of project:** This is a request to locate a marijuana grow facility at 5608 S College (parcel #9612206001). The building will be modified to be brought up to code. The external modifications include parking lot repairs and landscaping and improved drainage. The parcel is located in the Service Commercial (CS) zone district. This project will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ryan Mounce, at 970-224-6186 or [rmounce@fcgov.com](mailto:rmounce@fcgov.com).

**Comment Summary:**

**Department:** Zoning

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. LUC 3.2.1(E)(5) A minimum of 6% of the interior space of all parking lots is required to be landscaped. Please show the calculations on how this is being met.

2. LUC 3.2.2(K)(5) Handicap parking spaces are required in numbers per this section.

3. LUC 3.2.2(L) Table A and B  
Standard 90 degree parking stall is 19'x 9'  
Two-way drive aisle is a minimum of 24' in width

Will you be getting an access easement from abutting property?

4. LUC 3.2.2(C)(b) bicycle parking is required per this section which is 4 fixed racks.

5. How many employees will you have? There is a maximum parking limit.

6. LUC 3.2.5 All development, to the extent reasonably feasible, shall provide adequately sized conveniently located, accessible trash and recycling enclosures. Please provide drawings showing compliance.

7. Please add a note to the plan that all exterior lighting will be shielded and down directional

**Department: Water-Wastewater Engineering**

**Contact:** Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)

1. Water and wastewater services for this site are provided by the Fort Collins-Loveland Water District and the South Fort Collins Sanitation District. The Districts can be contacted at (970) 226-3104.

**Department: Traffic Operations**

**Contact:** Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)

1. We'll need some more information to determine the level (if any) of traffic impact study (TIS) that will be required. Is this just a grow facility with a few staff people, or will there be customers? What is the current use (and trip generation) of the building? How many anticipated trips will occur per day with the new use? The difference in existing traffic to proposed traffic will determine whether a TIS is needed. Contact me at 970-221-6887 if the project moves forward to discuss traffic related needs.
2. Please work with the engineering department to determine whether any adjacent street improvements will be needed so as curb, gutter and/or sidewalk.

**Department: Stormwater Engineering**

**Contact:** Shane Boyle, 970.221.6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required.
2. If there is an increase in imperviousness greater than 1000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Water quality mitigation would also be required. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot.
4. Low Impact Development (LID) requirements are now required when the impervious area is increased or a site is required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).  
LID design information can be found on the City's web site at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>.

5. The outfall for the site needs to be investigated. The western half is assumed to drain to the Frontage Road.
6. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
7. The design of this site must conform to the drainage basin design of the Fossil Creek Basin Master Drainage Plan as well the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE ACCESS**

General fire access requirements have been met. No changes or easements are needed.

**WATER SUPPLY**

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. Based upon available data, the closest hydrant to the building exceeds the maximum allowable distance. A fire sprinkler system would be needed to offset the deficiency.

IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

**2. GROW FACILITIES**

Grow facilities for marijuana must meet minimum fire hazard and exit requirements. The applicant is responsible for obtaining and completing a "Marijuana Check Sheet". The check sheet is available from the City of Fort Collins at such time a business permit is obtained. The completed check sheet is to be returned to the Poudre Fire Authority as directed. This document will be reviewed with the applicant at time of final inspection.

**3. PREMISE IDENTIFICATION**

2012 IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background.

**Department: Environmental Planning**

**Contact: Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)**

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the



proposed development.

2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

**Department: Engineering Development Review**

**Contact:** Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. All Development is responsible for the local street frontage improvements adjacent to the site, but until the frontage road goes away the parkway and sidewalk along this property cannot be built. Therefore in lieu of this construction a payment in lieu for the frontage construction will be collected for this property.
4. This site is adjacent to CDOT roadway and all access to the site is governed by an access control plan. The access control plan will need to be followed and implemented with any project. Access off of the frontage road is allowed for the short term. The long term plan, per the access control plan is that the frontage road will go away. Plans will be routed to CDOT for review and approval and the applicant may need to obtain access permits from CDOT. The existing head in parking is also subject to CDOT review. It is very likely CDOT and/ or the City will require this to be removed. Parking such as this is not typically allowed.
5. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
6. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
7. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
8. Utility plans may be required and a Development Agreement will be recorded once the project is finalized.
9. A Development Construction Permit (DCP) will need to be obtained prior to starting any work in the right-of-way.
10. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.

**Department: Electric Engineering**

**Contact:** Jim Spaulding, 970-416-2772, [jspaulding@fcgov.com](mailto:jspaulding@fcgov.com)

1. If there is an increase in capacity then this will most likely require an existing open delta bank to be upgraded to a three phase transformer which will affect the neighbor to the south. Overtime labor charges may apply if work needs to be performed between 4:00 pm - 7 am. An outage of this type is usually 1-2 hours so the overtime may be up to \$1,000.

2. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>

## Planning Services

**Contact:** Ryan Mounce, 970-224-6186, [rmounce@fcgov.com](mailto:rmounce@fcgov.com)

1. Any parking areas located between the front entrance of the building and the frontage road should be relocated to the side or rear of the property. The following parking lot standards will apply:

Industrial uses are limited to a maximum number of parking spaces at a rate of .75 spaces per employee.

If parking is provided, a minimum of one handicap space is required that adjoins an access aisle.

Landscaped islands with raised curbs should be utilized to define the beginning and ends of parking aisles. These landscaped island can be used to satisfy requirements that 6% of the interior space of a parking lot is landscaped.

Standard parking stall dimensions are 9' wide by 19' in length. If the parking spaces are meant for long-term duration, the parking spaces (excluding the handicap space) can be compact spaces with dimensions of 8' wide and 15' in length.

A two-way access aisle serving the parking spaces needs to be 24' wide or a request for modification will be needed. Based on comments from the 2011 minor amendment, it appears this full 24' width cannot be accommodated entirely on this property, and an access easement may be needed from the property to the south.

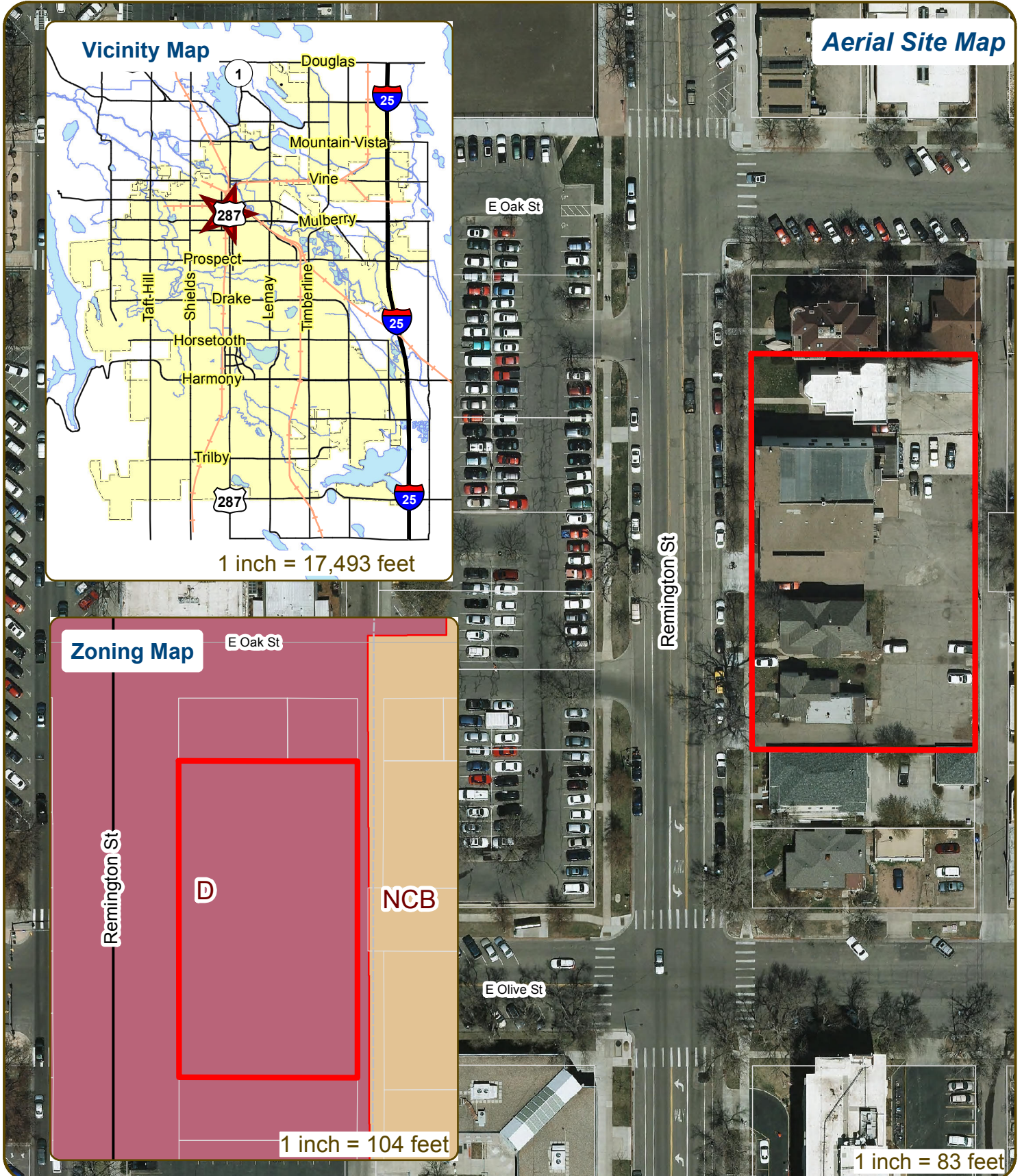
For any new vehicular use areas planned in the rear or north side of the property, they must surfaced with asphalt or concrete and be setback a minimum of 5' with a landscaped strip from the property lines.

2. A minimum of 4 bicycle parking spaces are needed.
3. An enclosure for trash and recyclable materials is required. The enclosure should be built of high-quality materials.
4. During review of the project, we will need to coordinate with Engineering and CDOT to determine future plans for the frontage road and any requirements for street trees and sidewalks.
5. At time of project submittal, a site plan, landscape plan, building elevations and photometric plan will be needed. Depending on the level of on-site changes proposed, it may be beneficial to combine the site/landscape plan details on one sheet.
6. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.



7. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
8. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
9. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
10. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
11. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
12. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

# 208 Remington Multi-family



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.





CONCEPTUAL REVIEW:  
APPLICATION**General Information**

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

**\*BOLDED ITEMS ARE REQUIRED\*** *The more info provided, the more detailed your comments from staff will be.\**

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Cynthia Reffler, potential owner and builder

**Business Name** (if applicable) CJR Homes

**Your Mailing Address** 124 Fishback Avenue, FC, CO 80521

**Phone Number** 970.490.2962 **Email Address** Cynthia@cjrhomes.com

**Site Address or Description** (parcel # if no address) \_\_\_\_\_

208 Remington Street

**Description of Proposal** (attach additional sheets if necessary) Remodel existing structure

in one of 3 options ① 12 apartment units with a significant addition ② 8-9 apartment units within existing building ③ mixed use

**Proposed Use** residential + commercial **Existing Use** residence + commercial use

**Total Building Square Footage** 9988 - 12,643 **S.F. Number of Stories** 2-4 **Lot Dimensions** 146' x 103.76'

**Age of any Existing Structures** 1906 original building, 1969 major remodel

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

**If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.** sent to Karen separately

**Is your property in a Flood Plain?** ☐ Yes ☒ No **If yes, then at what risk is it?** \_\_\_\_\_

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

**Increase in Impervious Area** none expected **S.F.**

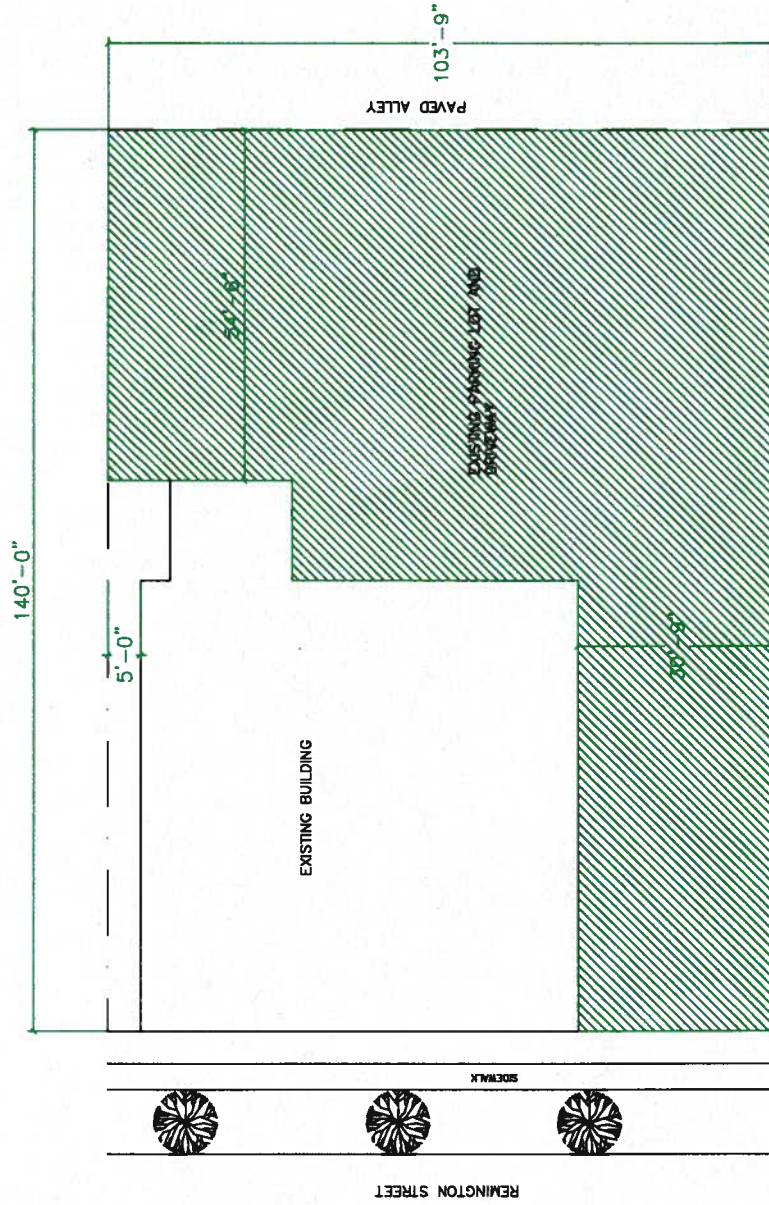
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

**Suggested items for the Sketch Plan:**

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

EXISTING

ZONE: D



LEGAL DESCRIPTION:  
BEG NW COR TR 1 OAKPARK PUD  
12-7-69; TH S 00 00' 00" E 45.27FT  
TPOB; TH N 90 00' 00" E 140.00FT; TH  
S 00 00' 00" E 103.76FT; TH N 90 00'  
00" W 140FT; TN N 00 00' 00" E  
103.76FT TPOB

SITE-PLAN  
SCALE: 1"=30'-0"

General Notes	
Site	Remington/Address
Map	Dr
Site Name and Address Cynthia Reiffer CJR Homes, LLC 124 Fishback Avenue Fort Collins, CO 80521 (970)490-2962 Office (970)215-6118 Mobile	
Project Name and Address 208 Remington Street Fort Collins, CO 80521	
Project	SITE NAME
Date	August 15, 2019
Drawn	On-Drawing
SITE	



# CURSES

## Emergent Notions

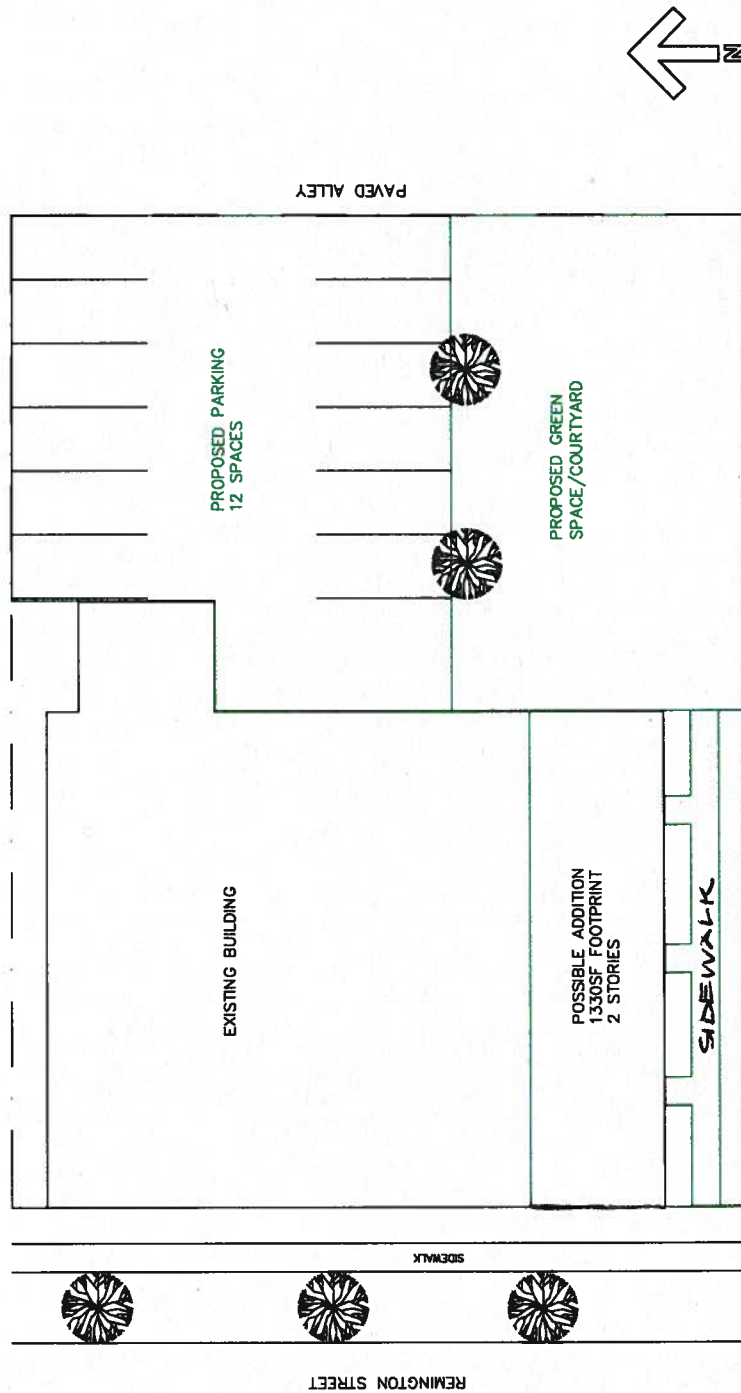
No.	Revision/Issue	Date

**Cynthia Reffler**  
CJR Homes, LLC  
124 Fishback Avenue  
Fort Collins, CO 80521  
(970)490-2962 Office  
(970)215-6118 Mobile

**1**

208 Remington Street  
Fort Collins, CO 80521

Project	SITE PLAN	Sheet	SITE
Date	August 26, 2014		
State	On Drawing		



BEG NW COR TR 1 OAKPARK PUD  
12-7-69; TH S 00' 00" E 45.27FT  
TPOB; TH N 90' 00" E 140.00FT; TH  
S 00' 00" E 103.76FT; TH N 90' 00"  
00" W 140FT; TN N 00' 00" E  
103.76FT TPOB

## SITE-PLAN

SCALE: 1"=30'-0"

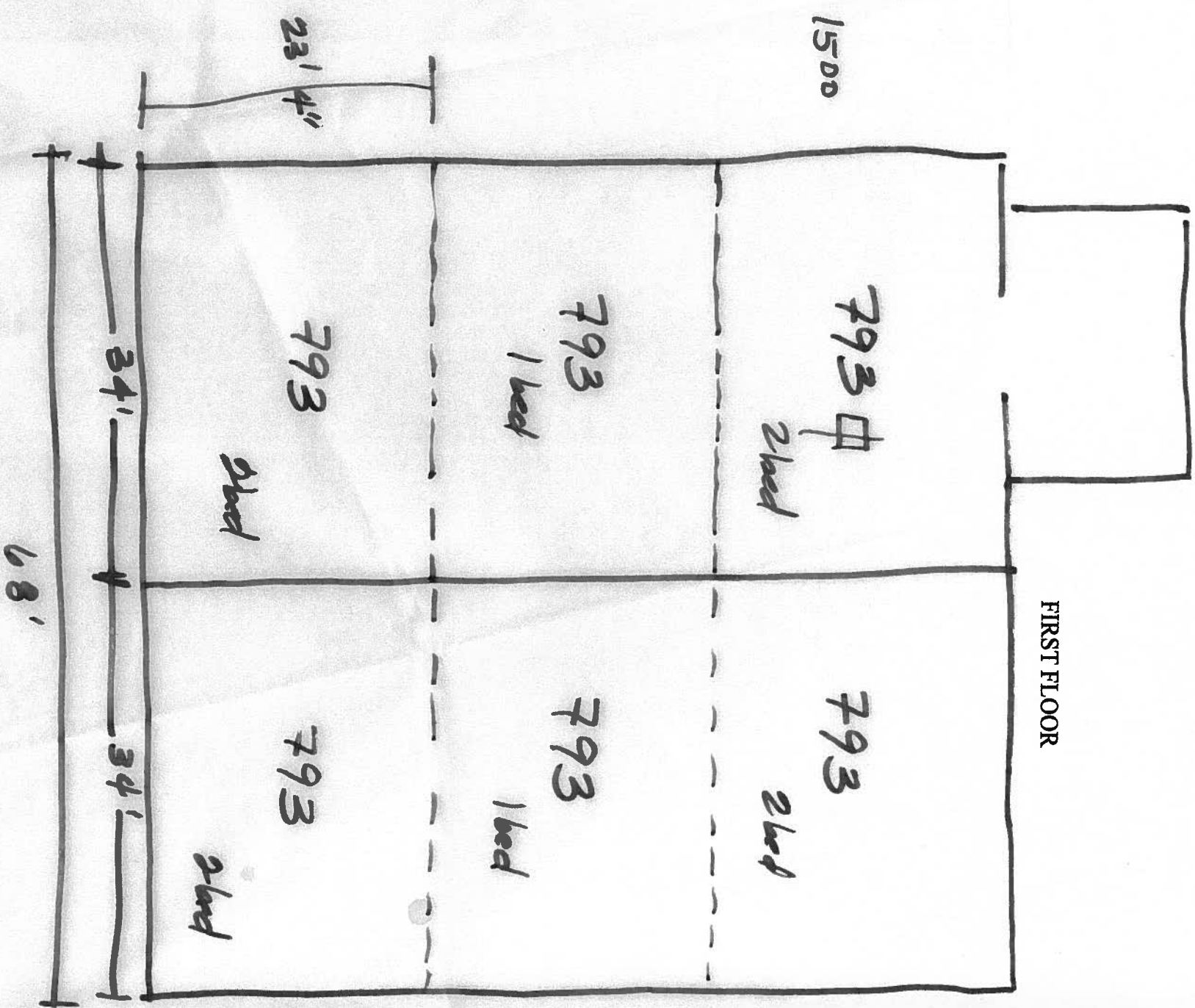




208 REMINGTON STREET

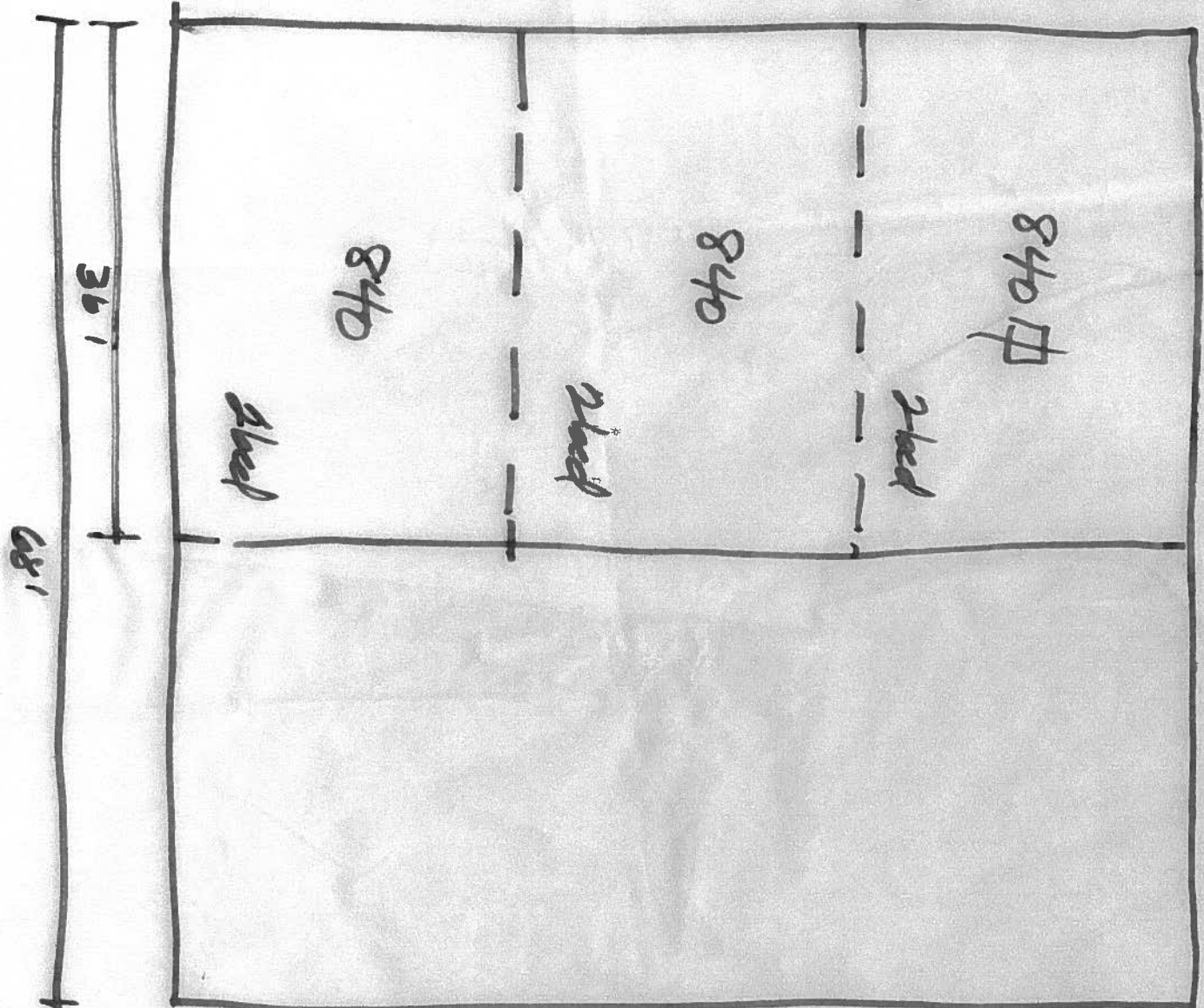
Concept 2  
9 Apartments within existing  
building envelope

FIRST FLOOR



Total SF = 9988  
Stories : 2  
Building Hgt : ~ 26'

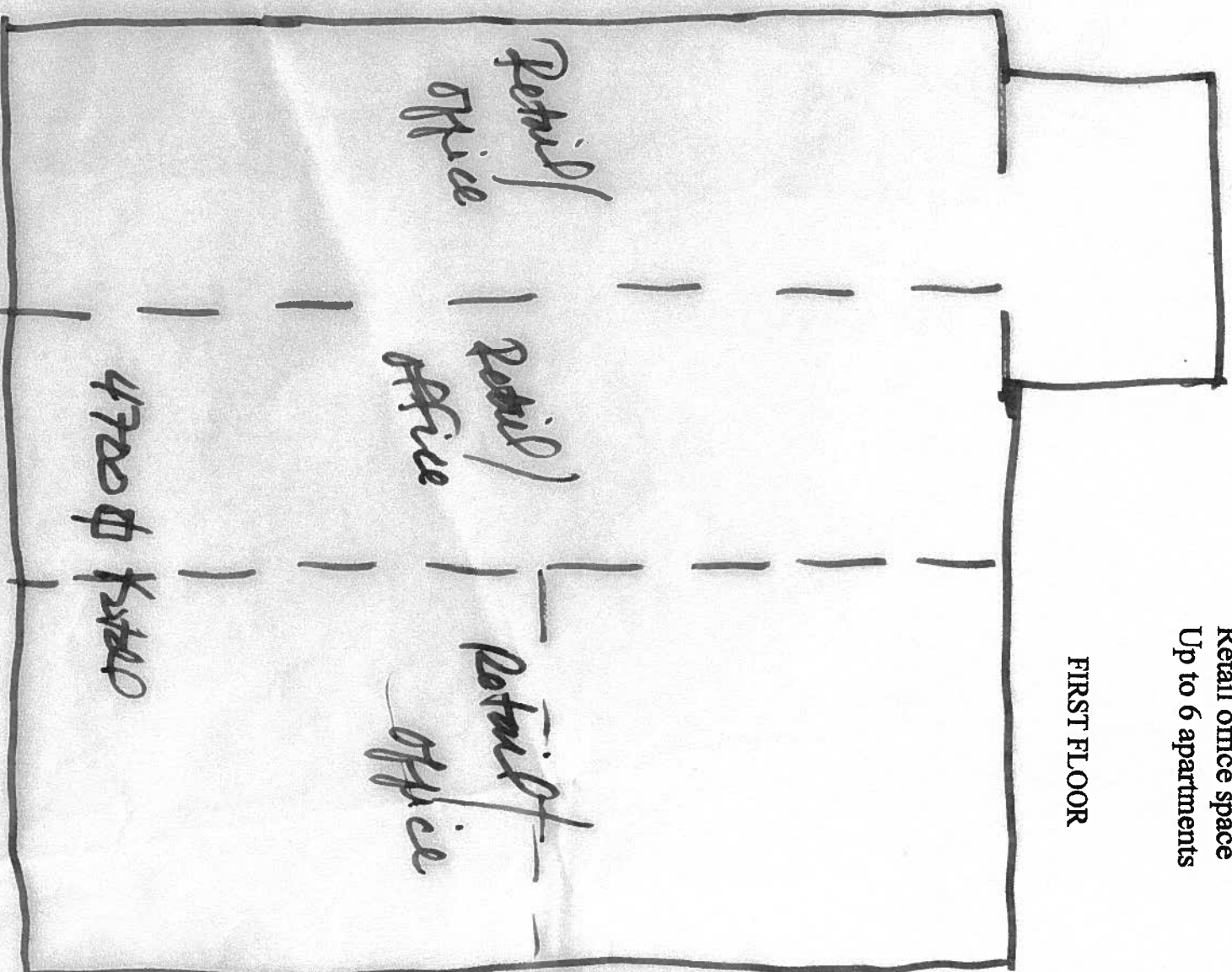
SECOND FLOOR



208 REMINGTON STREET

Concept 3  
Mixed Use within existing  
building envelope  
Retail office space  
Up to 6 apartments

FIRST FLOOR

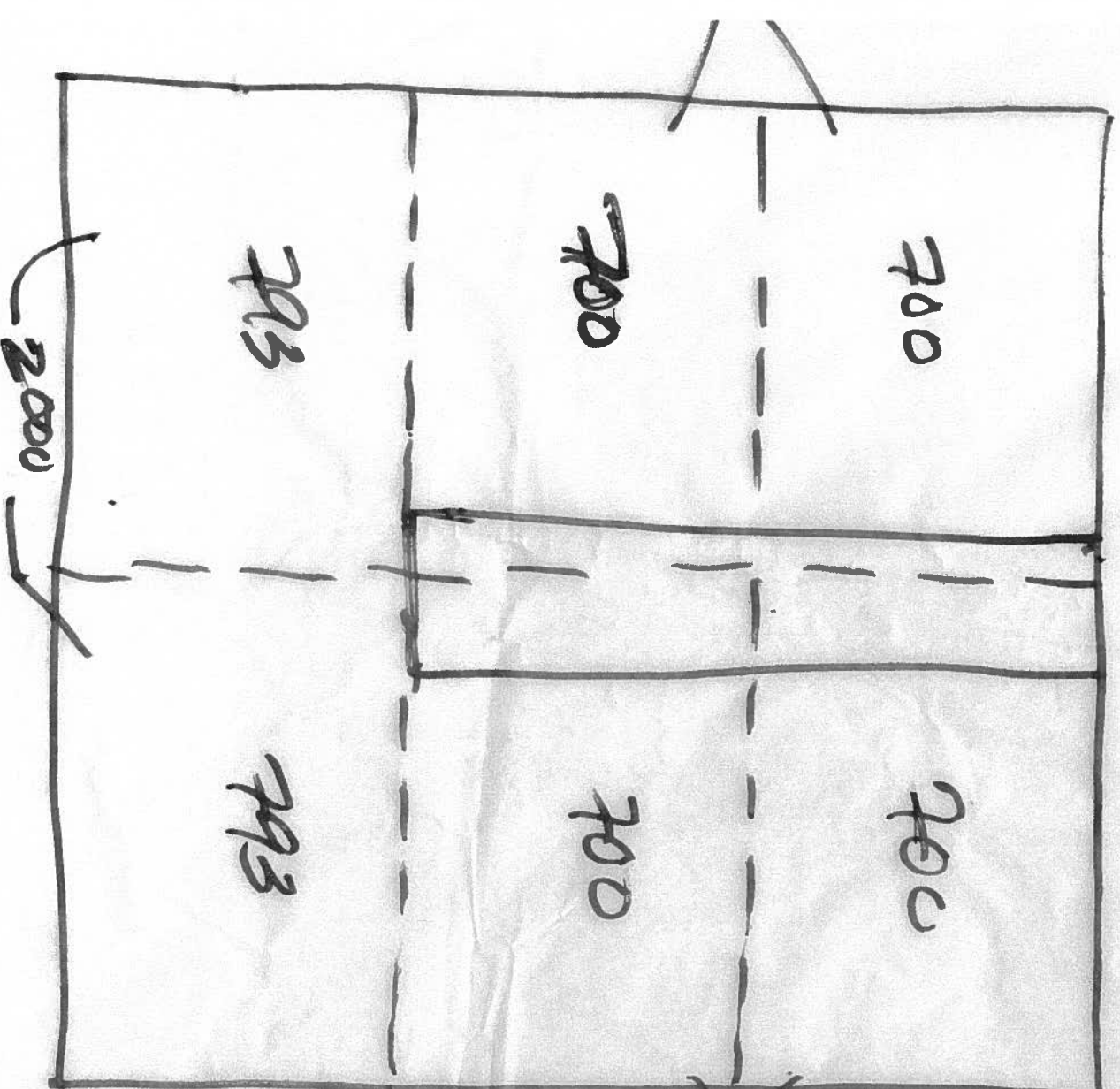


Total GF = 12,188

Stories : 3

Building Hgt : ~ 36'

SECOND FLOOR







October 22, 2014

Cynthia Reffler  
CJR Homes  
124 Fishback Ave.  
Fort Collins, CO 80521

**Re:** 208 Remington - Multi-family

**Description of project:** This is a request to convert the existing structure into apartments at 208 Remington (parcel #9712339001). The proposal calls for adding apartment units to the second floor of the existing structure. The applicant is also considering retail and office uses on the bottom floor with apartments on the second floor. The parcel is located in the Downtown (D) zone district. This project will be subject to Basic Development Review (BDR).

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Seth Lorson, at 970-224-6189 or [slorson@fcgov.com](mailto:slorson@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. LUC 3.2.1(E)(5) A minimum of 6% of the interior space of all parking lots is required to be landscaped.  
Please show the calculations on how this is being met.
2. LUC 3.2.2(C)(b) Multi-Family have a minimum bicycle parking requirement based on the number of bedrooms, with the 60% enclosed and 40% fixed racks.
3. LUC 3.2.2(K)(1)(a)1. Off-Street parking minimums for two-family and multi-family dwellings are based on number of bedrooms.
4. LUC 3.2.2(K)(5) Handicap parking spaces are required in numbers per this section.
5. LUC 3.2.2(L) Table A and B  
Standard 90 degree parking stall is 19'x 9'  
Two-way drive aisle is a minimum of 24' in width  
Please show dimensions on site plan
6. LUC 3.2.5 All development, to the extent reasonably feasible, shall provide adequately sized conveniently located, accessible trash and recycling enclosures.

Please provide drawings showing compliance.

7. LUC 3.5.1(l) Mechanical/utility equipment (vents, flues, meters, boxes, conduit, transformer, ac/rtu...) locations shall be identified on the plans with notes on how such equipment is screened and painted.
8. The proposed addition would need to meet the current residential building setbacks which is 15 feet from a non arterial street.

**Department: Water-Wastewater Engineering**

**Contact: Roger Buffington, 970-221-6854, [rbuffington@fcgov.com](mailto:rbuffington@fcgov.com)**

1. Existing water mains and sanitary sewers in this area include a 6-inch water main in Remington and an 8-inch sewer in the N/S alley to the east.
2. The existing water service to the property is a ¾-inch service.
3. If the mixed use building concept is used, the commercial and residential portions of the building must have separate water and sewer services.
4. If a fire line is needed for the proposed project, it is strongly suggested that a fire flow test is done to see if the existing water mains have adequate capacity for the fire suppression system.
5. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
6. Development fees and water rights will be due at building permit. Credit will be given for the existing commercial water and sewer services.

**Department: Traffic Operations**

**Contact: Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)**

1. We'll need some more information to determine the level (if any) of traffic impact study (TIS) that will be required. What is the current use (and trip generation) of the building? How many apartments and what type/size of retail/office should be assumed? This will determine the proposed number of anticipated trips per day. The difference in existing traffic to proposed traffic will determine whether a TIS is needed. Contact me at 970-221-6887 if the project moves forward to discuss traffic related needs.
2. The existing use of a four-bedroom house based on national standards, creates 9.52 trips per day with a peak hour number of 1. A proposed use of up to 12 apartments generates as many as 80 trips per day with a peak hour number of 7 vehicles. The difference between these two uses is 70 daily trips and a peak hour difference of 6. This anticipated change in traffic volume is not expected to rise to the threshold of needing a Traffic Impact Study (TIS). Based on section 4.2.3.D of Larimer County Urban Area Street Standards (LCUASS), the TIS requirement can be waived.

**Department: Stormwater Engineering**

**Contact: Shane Boyle, 970.221.6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)**

1. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required.
2. If there is an increase in imperviousness greater than 5000 square feet a drainage report, erosion control



report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. Standard operating procedures (SOPs) for all onsite drainage facilities need to be prepared by the drainage engineer. If there is less than 5,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns.

3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 5000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Water quality mitigation would also be required. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot.
4. Low Impact Development (LID) requirements are now required when the impervious area is increased or a site is required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Please contact Basil Hamdan at 224-6035 or [bhamdan@fcgov.com](mailto:bhamdan@fcgov.com) for more information. There is also more information on the EPA web site at: [http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde\\_4605732\\_member\\_219392996](http://water.epa.gov/polwaste/green/bbfs.cfm?goback=.gde_4605732_member_219392996).  
LID design information can be found on the City's web site at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>.
5. The outfall for the site is the curb & gutter in Remington Street and the alley to the east.
6. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found on the City's web site at  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221- 6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
7. The design of this site must conform to the drainage basin design of the Old Town Master Drainage Plan as well the Fort Collins Stormwater Manual.

**Department: Historical Preservation**

**Contact: Karen McWilliams, 970-224-6078, [kmcwilliams@fcgov.com](mailto:kmcwilliams@fcgov.com)**

1. The historic eligibility of this property has not been determined, as we have not received a signed owner consent form. Proof of the 1969 date for the remodel will need to be submitted to Historic Preservation staff prior to a determination of eligibility.
2. If the property were determined eligible for Landmark designation, then any proposed alterations to the building and site would need to meet the applicable standards provided in the Chapter 14 of the Municipal Code and LUC 3.4.7, for the protection of historic resources.
3. If the building is found to not be individually eligible for Landmark designation, then the project will be reviewed under LUC 3.4.7 for its compatibility with the numerous historic resources immediately next to, and adjacent to, this site.

4. LUC 3.4.7(A) Purpose, states: This section is intended to ensure that, to the maximum extent feasible: (1) historic sites, structures or objects are preserved and incorporated into the proposed development and any undertaking that may potentially alter the characteristics of the historic property is done in a way that does not adversely affect the integrity of the historic property; and (2) new construction is designed to respect the historic character of the site and any historic properties in the surrounding neighborhood.  
LUC Division 5.1, Definitions, provides the definition of Maximum Extent Feasible: Maximum extent feasible shall mean that no feasible and prudent alternative exists, and all possible efforts to comply with the regulation or minimize potential harm or adverse impacts have been undertaken.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

1. 2012 IFC CODE ADOPTION

The Poudre Fire Authority and the City of Fort Collins have adopted the 2012 International Fire Code. Building plan reviews shall be subject to the adopted version of the fire code in place at the time of plan review submittal and permit application.

2. FIRE CONTAINMENT OR FIRE SPRINKLER

Buildings exceeding 5000 square feet shall be sprinklered or fire contained. If containment is used, the containment construction shall be reviewed and approved by the Poudre Fire Authority prior to installation. Other requirements may further prompt the need for a fire sprinkler system. An automatic sprinkler system installed in occupancies in accordance with Section 903.3 shall be provided throughout all buildings with a Group R (Residential) fire area.

3. BUILDING HEIGHT

Should the building height exceed 30 feet. Additional fire access requirements kick in. See below:

**BUILDINGS EXCEEDING THREE STORIES OR 30 FEET IN HEIGHT**

2012 IFC D104.1: Unless sprinklered, buildings or facilities exceeding 30 feet or 3 stories in height shall have at least TWO means of fire apparatus access for each structure.

**AERIAL FIRE APPARATUS ACCESS ROADS - WHERE REQUIRED**

1012 IFC D105.1: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

**AERIAL FIRE APPARATUS ACCESS ROADS - WIDTH**

2012 IFC D105.2; FCLUC 3.6.2(B)2006; and Local Amendments: Aerial fire apparatus access roads shall have a minimum unobstructed width of 30 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

**AERIAL FIRE APPARATUS ACCESS ROADS - PROXIMITY TO BUILDING**

2012 IFC D105.3: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

4. PREMISE IDENTIFICATION

2012 IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

**5. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM**

Buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority. Poudre Fire Authority Bureau Admin Policy #07-01

**6. WATER SUPPLY**

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. Hydrant spacing in the area appears to be adequate however the applicant shall verify that flow requirements area being met. Code reference provided:

IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

**Department: Environmental Planning**

**Contact: Lindsay Ex, 970-224-6143, [lex@fcgov.com](mailto:lex@fcgov.com)**

1. The applicant should make note of Article 3.2.1(C) that requires developments to submit plans that "... (4) protects significant trees, natural systems, and habitat". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. As several of the trees within this site may have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (221 6361) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(2)(3), requires that you use native plants and grasses in your landscaping or re landscaping and reduce bluegrass lawns as much as possible.

**Department: Engineering Development Review**

**Contact: Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA



standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.

5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:  
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary for this project.
7. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
8. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
9. The existing driveway off of Remington will need to be removed or narrowed so that it only serves the property to the south once the carport is removed and vehicular access no longer occurs off of Remington.
10. The alley appears to be paved. Improvements to the alley will be needed if utility cuts into the alley are needed and or if drainage improvements are needed.

**Department: Electric Engineering**

**Contact: Jim Spaulding, 970-416-2772, [jspaulding@fcgov.com](mailto:jspaulding@fcgov.com)**

1. An increase in capacity will most likely involve an open delta transformer bank to be upgraded to a three phase transformer which will affect other businesses and residential customers sharing same source of power. An outage to upgrade service between 4:00 pm -7:00 am will be considered overtime labor and add an extra cost. Typically this type of upgrade takes 1-2 hours but is subject to change depending on field conditions.
2. Please contact Light & Power Engineering to coordinate location of services if building is redeveloped or if you have any questions at 221-6700.

**Planning Services**

**Contact: Seth Lorson, 970-224-6189, [slorson@fcgov.com](mailto:slorson@fcgov.com)**

1. This property is located in the Downtown (D) District, Old City Center Subdistrict. Mixed-use residential or strictly multi-family residential with less than 50 dwelling units and less than 75 bedrooms is subject to Basic Development Review (BDR - administrative) approval.
2. Sec. 4.16(D-G) - All concepts are required to comply with the zone district design standards.
3. Four stories is the maximum height permitted in the Old City Center subdistrict with a fourth story setback as measured in Sec. 4.16(D)(4)(a).
4. The site lacks green space and landscaping. It will need to be improved to the standards in Sec. 3.2.1. Including parking lot interior and perimeter landscaping.
5. Sec. 3.2.2(J) - When the access is improved off of Remington Street, the drive aisle and parking lot will need a 5 foot landscape setback from the property to the south and the alley.
6. The site is also located in the Transit-Oriented Development (TOD) Overlay Zone and is required to provide parking per Sec. 3.2.2(K)(1)(a)(1):

Number of Bedrooms/Dwelling Unit -- Parking Spaces Per Dwelling Unit

One or less -- 1.1  
Two -- 1.2  
Three -- 1.4  
Four and above -- 2.1

New parking standards are currently proposed and may be in effect when you submit for this project:

Number of Bedrooms per Unit	Proposed Requirements
One or less	0.75
Two	1
Three	1.25
Four and above	1.5
Rent-by-the-bedroom	
All bedrooms	0.75

\* Maximum of 115% of minimum requirement unless provided in a structure.

7. Please contact me when you have decided on a design and we can discuss submittal requirements and process.  
Seth Lorson, City Planner  
970-275-1054  
slorson@fcgov.com
8. The proposed development is subject to a Basic Development Review, please contact the Zoning Department regarding your formal submittal.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*20012 International Building Code (IBC)*

*2012 International Residential Code (IRC)*

*20012 International Energy Conservation Code (IECC)*

*2012 International Mechanical Code (IMC)*

*2012 International Fuel Gas Code (IFGC)*

*2012 International Plumbing Code (IPC) as amended by the State of Colorado*

*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### **Energy Code Use**

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341