

# Conceptual Review Agenda

Schedule for 10/17/16 to 10/17/16

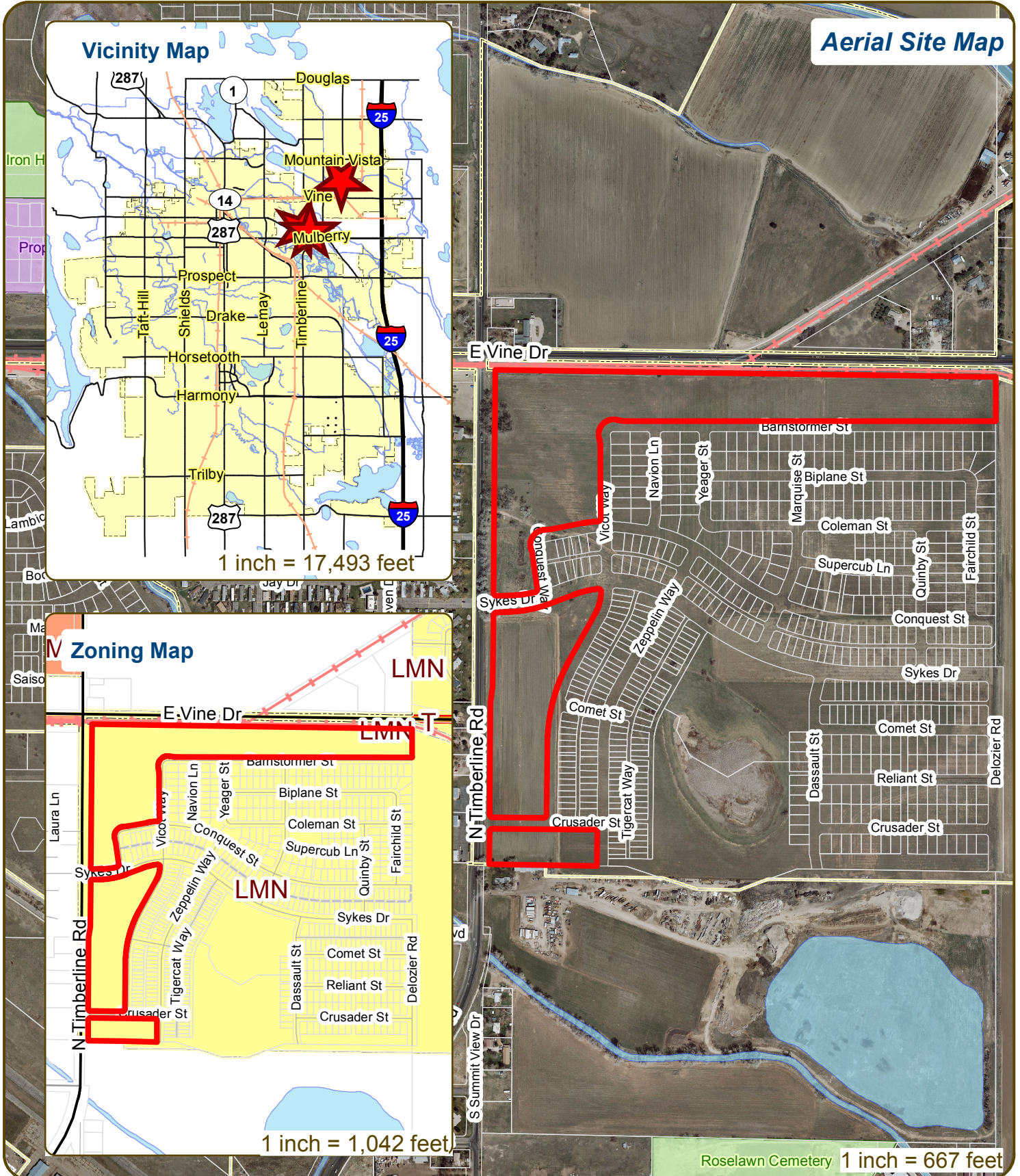
281 Conference Room A

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## Monday, October 17, 2016

Time	Project Name	Applicant Info	Project Description	Planner
9:30	East Ridge - Residential	Craig Russell (970) 484-8855 <a href="mailto:crussell@russellmillsstudios.com">crussell@russellmillsstudios.com</a>	This is a request to develop 306 residential units on Tracts A, B, and C of the East Ridge ODP. Tract A would contain 96 multi-family units and 120 single-family attached units. Tract B would contain 76 single-family attached units. Tract C would contain 14 single-family attached units. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Planning & Zoning Board (Type II) review.	Pete Wray
10:15	3001 Elizabeth St. - Triplex	Russell Romeo (707) 536-6366 <a href="mailto:russell.romeo@gmail.com">russell.romeo@gmail.com</a>	This is a request to add two dwelling units to the existing home at 3001 Elizabeth St. (parcel #9716320028). A new two-story addition would be added on to the back of the existing home. Parking would be accommodated by expanding the existing driveway along the north property line to the back of the lot. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Administrative (Type I) review.	Clay Frickey
11:00	1516 W Vine Dr. - Annexation and Replat	James Newton (970)218-5748 <a href="mailto:newash@comcast.net">newash@comcast.net</a>	This is a request to replat, annex, and build a home on the property at 1516 W Vine Dr. (parcel #9703400010). The existing parcel will be subdivided to create a two acre lot for the development of a new single-family home. The rest of the property would remain as-is. The site will be zoned Urban Estate (UE) upon annexation into the City of Fort Collins. This proposal will be subject to Annexation and Initial Zoning followed by Administrative (Type I) review for the plat and single-family home.	Ted Shepard

# East Ridge Residential



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Craig Russell - Consultant - Planner, RLA

Business Name (if applicable) Russell + Mills Studios

Your Mailing Address 141 S. College Ave. Suite 104 Fort Collins CO. 80524

Phone Number 484-8855 Email Address crussell@russellmillsstudios.com

Site Address or Description (parcel # if no address) \_\_\_\_\_

Located at the Southeast Corner of Vine and Timberline within the East Ridge Development

Description of Proposal (attach additional sheets if necessary) \_\_\_\_\_

Tract A - Combine 96 Multi-family units w/ 120 Single family attached units w/ open space connections. Tract B - 76 Single family attached units w/ open space connections. Tract C - 14 Single family attached units w/ open space connections.

Proposed Use Multi-Family an Single Family Residential Existing Use Agriculture

Total Building Square Footage \_\_\_\_\_ S.F. Number of Stories \_\_\_\_\_ Lot Dimensions Varies

Age of any Existing Structures N/A

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

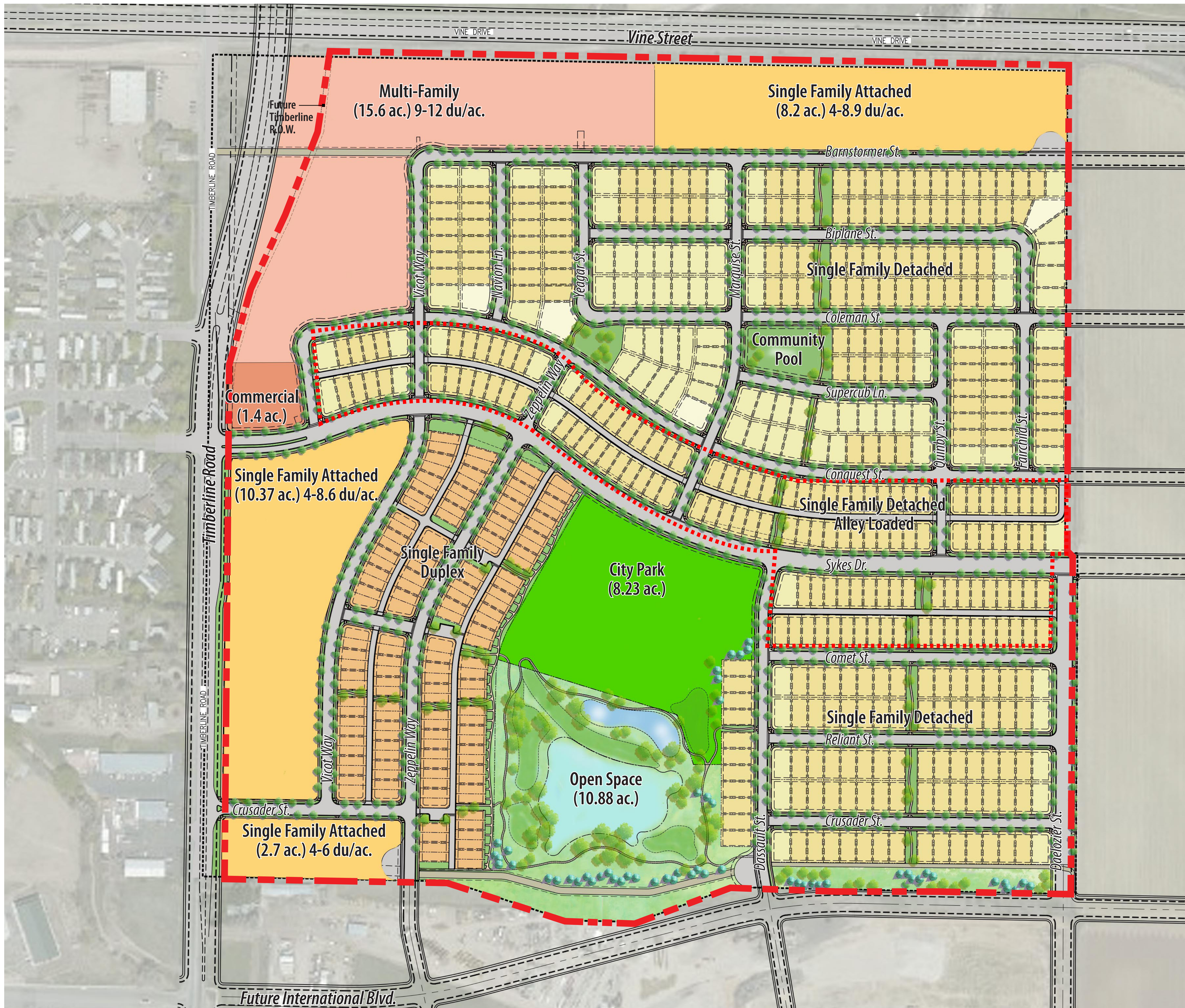
Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it? \_\_\_\_\_

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area \_\_\_\_\_ S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



Legend / Land Use Table

Symbol	Size	Total Units	Acres	Gross Density
<b>Single Family Detached</b>				
[Symbol]	0 - 4,999 sf	322		
[Symbol]	5,000 - 6,999 sf	97		
[Symbol]	7,000+ sf	9		
<b>SFD Totals</b>		<b>428</b>	<b>70.40 ac</b>	<b>6.08 du/ac</b>
<b>Single Family Attached</b>				
[Symbol]			24.27 ac	4-8.9 du/ac
<b>Single Family Duplex</b>				
[Symbol]		136	13.53 ac	10.35 du/ac
<b>Multi-Family</b>				
[Symbol]			15.60 ac	9-12 du/ac
<b>Overall Gross Density</b>				
		564	Total Gross ac = 150.9	3.74 du/ac
<b>Commercial</b>				
[Symbol]			1.4 ac	



**Legend**

- Existing Open Space
- Open Space Connections
- Project Limits

**Building Type Legend**

- 6-Plex Townhome  
 (2) 25'x70' Units  
 (4) 20'x70' Units
- 5-Plex Townhome  
 (2) 30'x70' Units  
 (3) 25'x70' Units
- 4-Plex Townhome  
 (2) 30'x70' Units  
 (2) 25'x70' Units
- 6-Plex Multi-Family  
 Unit sizes TBD.

DENSITY CALCULATIONS		
Area	Density	Unit Type
TRACT A - 23.6 Acres	9.15 DU/AC	96 Multi-Family Units 120 Single Family Attached Units
TRACT B - 8.74 Acres	8.74 DU/AC	76 Single Family Attached Units
TRACT C - 2.28 Acres	6.15 DU/AC	14 Single Family Attached Units



December 05, 2016

Craig Russell  
Russell + Mills Studios  
141 S College Ave.  
Suite 104  
Fort Collins, CO 80524

**Re:** East Ridge - Residential

**Description of project:** This is a request to develop 306 residential units on Tracts A, B, and C of the East Ridge ODP. Tract A would contain 96 multi-family units and 120 single-family attached units. Tract B would contain 76 single-family attached units. Tract C would contain 14 single-family attached units. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Pete Wray, at 970-221-6754 or [pwray@fcgov.com](mailto:pwray@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Marcus Glasgow, 970-416-2338, [mglasgow@fcgov.com](mailto:mglasgow@fcgov.com)**

1. LUC 3.5.2(E) The setbacks for LMN are:

From arterial street 30'  
From non arterial street 15'  
Rear 8'  
Side 5'

2. On initial submittal, indicate typical building setbacks for all building types on site plan.

3. The residential building standards found in 3.5.2 will apply.

4. LUC 3.2.5 All development shall provide adequately sized conveniently located, accessible trash and recycling enclosures. This will need to be provided on initial submittal.

5. LUC 3.8.30(E)(3) The setbacks for Multi-Family are:

From arterial street 15'  
From non arterial street 9'

6. Commercial build-to lines can be found in LUC 3.5.3(C)(2)

7. LUC 3.2.2(C)(4) Commercial, industrial, civic, employment and multi-family residential uses shall provide bicycle facilities to meet the following standards:

	Space Requirements	%Enclosed/ % Fixed Rack
Multi-Family Residential	1 per bedroom	60%/40%

8. Please refer to parking lot requirements under LUC 3.2.2 (K) and LUC 3.2.2(L) to include handicap parking with van-accessible space.

9. LUC 3.2.2(K) Multi-family Parking requirements.

One or less bedrooms per unit requires 1.5 parking spaces per unit  
Two bedrooms per unit requires 1.75 parking spaces per unit  
Three bedrooms per unit requires 2 parking spaces per unit  
Four and above bedrooms per unit requires 3 parking spaces per unit

10. LUC 3.2.1 (D) (2) Planting of street trees shall occur in the adjoining street right-of-way in connection with the development
11. LUC 3.2.4 (C) Lighting plan is required, this should include a photometric site plan with catalog cut-sheets of the fixtures.
12. LUC 3.5.2(C)(2)(a) Single Family Attached buildings containing more than two (2) dwelling units shall comply to the following requirements:  
For any such development containing more than five (5) buildings (excluding clubhouses/leasing offices), there shall be at least three (3) distinctly different building designs. For all developments, there shall be no similar buildings placed next to each other along a street or street-like private drive. Building designs shall be considered similar unless they vary significantly in footprint size and shape.
13. LUC 3.8.30(F) Design standards for Multi-Family Dwellings will apply.

**Department: Water-Wastewater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. This project is located within the ELCO Water District and the Boxelder Sanitation District. Please contact them for development requirements.

**Department: Traffic Operations**

**Contact: Nicole Hahn, 970-221-6820, [nhahn@fcgov.com](mailto:nhahn@fcgov.com)**

1. Please provide information on how this development is within the reserved capacity at Vine and Lemay. If it is not within the reserved capacity a traffic study and APF evaluation will be required.

**Department: Technical Services**

**Contact: Jeff County, 970-221-6588, [jcounty@fcgov.com](mailto:jcounty@fcgov.com)**

1. No comments.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. This site is part of the East Ridge Second Filing Development and must conform to the drainage design of those approved development plans. In addition, the design of this site must conform to the drainage basin design of the Boxelder/Cooper Slough Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.

2. Any detention volume, standard water quality volume or LID requirements for these parcels that aren't already accounted for in the large detention basin in Tract AA of the East Ridge Second Filing will need to be provided within the tracts associated with this development project.
3. A drainage report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs.
4. The erosion control report requirements are in Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Stormwater Criteria Manual. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
5. If standard water quality for these parcels was not already provided for in the large detention basin in Tract AA, the following is required: fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
6. If LID for these parcels was not already provided for in the capacity of the LID systems in Tract AA, the following is required: Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. If for some reason, the building were to be completely demolished and replaced, the LID ordinance would take effect, requiring a higher degree of water quality treatment with one of the two following options:
  - a. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - b. 75% of all newly added or modified impervious area must be treated by LID techniques.
7. There will be a final site inspection of the stormwater facilities when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. Standard operating procedures (SOPs) for on-going maintenance of all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:  
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
8. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage.
9. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Park Planning**

**Contact: suzanne Bassinger, ,**



1. The Fort Collins 2013 Paved Recreational Trail Master Plan (“Trails Master Plan”) includes an exhibit (“Map 1: Parks & Trails Map”) that indicates a proposed off-street regional trail following the approximate route of Timberline Road north of Highway 14 (connecting to the existing Poudre River Trail) and continuing north of Vine Drive. The trail location to the east of Timberline Road will impact the west side of the proposed East Ridge project. Further coordination with Park Planning & Development is needed prior to subsequent planning of the site to discuss easement, design and construction requirements for the future trail. The Trails Master Plan includes design guidelines for recreational trails that can be discussed at this meeting. The Trails Master Plan can be found at [fcgov.com/parkplanning/pdf/2013-paved-recreational-trail-master-plan-3-3-14.pdf](http://fcgov.com/parkplanning/pdf/2013-paved-recreational-trail-master-plan-3-3-14.pdf)

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

1. AUTOMATIC FIRE SPRINKLER SYSTEM

Multi-family and single-family attached residences will require automatic fire sprinkler systems. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related questions at 970-416-2868.

2. FIRE LANES

Fire access is required to within 150' of all exterior portions of any building, or facility as measured by an approved route around the perimeter. For the purposes of this section, fire access cannot be measured from an arterial road (Timberline Rd). Any private alley, private road, or private drive serving as a fire lane shall be dedicated as an Emergency Access Easement (EAE) and be designed to standard fire lane specifications. In addition, aerial apparatus access requirements are triggered for buildings in excess of 30' in height. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

3. DEAD-END FIRE LANES

> IFC 503.2.5, Appendix D, and FCLUC 3.6.2(B)2006: Dead-end fire apparatus access roads cannot exceed 660 feet in length. Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.

4. STRUCTURES EXCEEDING 30' IN HEIGHT

> IFC Appendix D; Poudre Fire Authority Administrative Policy 85-5: In order to accommodate the access requirements for aerial fire apparatus (ladder trucks), required fire lanes shall be 30 foot wide minimum on at least one long side of the building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.

5. FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

> Shall be designated on the plat as an Emergency Access Easement.

> Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.

> Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.

- > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
  - > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
  - > Be visible by painting and/or signage, and maintained unobstructed at all times. Sign locations or red curbing should be labeled and detailed on final plans.
  - > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.
- International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

## 6. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of any Commercial Building (Multi-Family) or 400' of any Residential Building (Single Family) as measured along an approved path of vehicle travel. Code language provided below.

- > IFC 507.5 and PFA Policy: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.
- > IFC 507.5 and PFA Policy: RESIDENTIAL REQUIREMENTS: Within the Urban Growth Area, hydrants to provide 1,000 gpm at 20 psi residual pressure, spaced not further than 400 feet to the building, on 800-foot centers thereafter.

## 7. PREMISE IDENTIFICATION & WAYFINDING

Where possible, the naming of private drives is usually recommended to aid in wayfinding. Addresses shall be posted on each structure and where otherwise needed to aid in wayfinding. Code language provided below.

- > IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

## 8. FIRE LANE SIGNS

The limits of the fire lane shall be fully defined. Fire lane sign locations should be indicated on future plan sets. Code language provided below.

- > IFC D103.6: Where required by the fire code official, fire apparatus access roads shall be marked with permanent NO PARKING - FIRE LANE signs complying with Figure D103.6. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2.

### **Department: Environmental Planning**

**Contact: Rebecca Everette, 970-416-2625, [reverette@fcgov.com](mailto:reverette@fcgov.com)**

1. An Ecological Characterization Study (ECS) was completed for this site in March 2015 and is still relevant. An update to this study is not needed, and the recommendations from that study remain applicable to this phase of the development. In particular:
  1. An unoccupied raptor nest was previously observed on the property. Please conduct a nesting survey between February 15 and July 15, 2017 and submit the results of the survey to the City. Additional protection requirements or construction timing restrictions may apply if the nest is in active use at that time.
  2. A songbird nesting survey should be conducted between February 1 - July 31 prior to construction to ensure that there are no active nests in the project area. If there are active

songbird nests on the property, additional protection requirements or construction timing restrictions may apply.

3. If any prairie dogs inhabit portions of the site to be developed, they must be eradicated or relocated by the developer using City-approved methods prior to construction activities.

4. Night lighting from houses should be shielded and directed away from open space areas.

2. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian (biological) rhythms for both humans and wildlife. Please consider a warmer color temperature (warm white, 3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed. Site light sources shall be fully shielded and down-directional to minimize up-light, light spillage and glare [see LUC 3.2.4(D)(3)]. For further information regarding health effects please see: <http://darksky.org/ama-report-affirms-human-health-impacts-from-leds/>
3. City of Fort Collins Land Use Code [Section 3.2.1 (E)(3)], requires that to the extent reasonably feasible, all plans be designed to incorporate water conservation materials and techniques. This includes use of low-water-use plants and grasses in landscaping or re-landscaping and reducing bluegrass lawns as much as possible. Native plants and wildlife-friendly landscaping and maintenance are also encouraged. Please refer to the Fort Collins Native Plants document available online and published by the City of Fort Collins Natural Areas Department for guidance on native plants is: <http://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf>.

In addition, this property is located within migratory/movement corridors for 4 bird and butterfly species that are considered "key indicator species" by the City's Nature in the City program: Western Kingbird, Red-winged Blackbird, Orange Sulphur butterfly, and Painted Lady butterfly. Please consider incorporating native plants in your landscaping that provide habitat and forage for these species, including trees that offer nesting opportunities, fruiting trees and shrubs, flowering perennials, and tall grass areas that provide cover. Please let me know if you would like more information on landscaping practices that could benefit these bird and butterfly species, or if you would like more information on partnering with the Nature in the City program.

4. Please note LUC Section 3.2.1(C) requiring developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment." Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
5. If tree removal is necessary, please include the following note on the tree mitigation plan and/or landscape plan, as appropriate: "All tree removal shown shall be completed outside of the songbird nesting season (Feb 1 - July 31) or a survey will be conducted of the trees to be removed to ensure that no active nests are present."

If any raptor nests are present on the site, consultation with Colorado Parks & Wildlife and additional protection standards may be necessary.

6. Please be aware, the creation or enforcement of covenants that prohibit or limit xeriscape or drought-tolerant landscapes, or that require primarily turf-grass are prohibited by both the State of Colorado and the City of Fort Collins.
7. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project. Of particular interest may be:

1) Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)

2) Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)

3) Integrated Design Assistance Program: <http://fcgov.com/idap>, contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)

4) Nature in the City Strategic Plan: <http://www.fcgov.com/natureinthecity/>, contact Justin Scharon at 970-221-6213 or [jscharon@fcgov.com](mailto:jscharon@fcgov.com)

5) Urban Agriculture: <http://www.fcgov.com/urbanagriculture>, contact Spencer Branson at 970-224-6086 or [sbranson@fcgov.com](mailto:sbranson@fcgov.com). In addition, the Northern Colorado Food Cluster is sponsored and supported by the City of Fort Collins. The executive Director, Brad Christensen, can be reached at [director@nocofoodcluster.org](mailto:director@nocofoodcluster.org).

Please consider City sustainability goals and ways this development can engage with these efforts. Let me know if I can help connect you to these programs.

8. City Code and the Land Use Code require that any prairie dogs inhabiting a site must be relocated or humanely eradicated prior to development activities (see Section 3.4.1(N)(6) of the Land Use Code). Additionally, should this project gain approval and proceed to construction, a burrowing owl survey, in accordance with the Division of Parks and Wildlife standards, shall be conducted prior to construction by a professional, qualified wildlife biologist.

### **Department: Engineering Development Review**

**Contact: Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)**

1. Marc Ragasa [mragasa@fcgov.com](mailto:mragasa@fcgov.com) or 221-6603 will be the Engineer assigned to this project. Please contact him if you have further questions regarding the engineering comments or requirements.
2. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
3. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
4. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
5. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project.
6. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
7. Any improvements necessary to accommodate and support the project will need to be designed and constructed with this project. The TIS will be instrumental in determine what these would be.
8. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial, 8 foot along an alley, and 9 foot along all other street classifications). Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php>
9. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.

10. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
11. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
12. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
13. The development shown in this proposal is dependent on infrastructure associated with East Ridge approval and will not be able to proceed until the phase(s) adjacent to these sites have been built and initial acceptance obtained. This dependence on the other project will be identified in the Development Agreement and will limit the ability of the project to start construction. This project would also have the ability to incorporate the design for the infrastructure (roads, access, utilities, and drainage) needed to support these proposals into their plans so it could be independent from East Ridge 2nd Filing.
14. The irrigation line design to get the irrigation line to the park will cut through what is shown as Tract B aligning with the pedestrian connection between Comet St and Crusader St. The building placement will need to accommodate this easement and alignment.
15. Driveway spacing and size will need to meet requirements and will be reviewed at the time of submittal.
16. If you are wanting to modify the sidewalk design along Timberline Road. Now is the time to look at that before it is installed. We are generally okay with a meandering sidewalk. The minimum 10 foot parkway will need to be maintained so any meandering will be to the east. We will need to review the design and access easements for the sidewalk location outside of the ROW will need to be dedicated.
17. An off-site sidewalk connection from Tract A across the commercial site along Conquest Way will likely be required in order to meet pedestrian level of service requirements.
18. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
19. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
20. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
21. In regards to construction of this site. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Coy Althoff, , [CAlthoff@fcgov.com](mailto:CAlthoff@fcgov.com)**

1. 3-phase and single phase power will be available to this area as part of the East Ridge Subdivision project which is currently under construction.

2. Development charges, electric Capacity Fee, Building Site charges and any system modification charges necessary will apply to this development.
3. Multi family buildings are treated as commercial services; therefore a(C 1) form must be filled out and submitted to Light & Power Engineering. All secondary electric service work is the responsibility of the developer and their electrical consultant or contractor. C-1 forms can be downloaded at the following link:  
<http://zeus.fcgov.com/utills-procedures/files/EngWiki/WikiPdfs/C/C-1Form.pdf>
4. As your project begins to move forward please contact Light and Power Engineering to coordinate the streetlight, transformer and electric meter locations, please show the locations on the utility plans.
5. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.

## Planning Services

**Contact: Pete Wray, 970-221-6754, [pwray@fcgov.com](mailto:pwray@fcgov.com)**

1. Consistent with the ODP, a 3rd street connection to Timberline in middle of Tract B is needed. A modification should be considered if not providing this connection. Without this connection a lot of the development traffic will be loading onto Timberline primarily at Sykes and also Crusader streets.
2. Tract A contains more than 50 multi-family dwelling units (96) subject to a Type II Planning and Zoning Board review.
3. Multi-family and single-family attached buildings need to front on and face a street or street-like private drive. All buildings need to have a direct sidewalk and pedestrian connection to the street.
4. In looking at off-site pedestrian improvements, the sidewalk along Timberline may need to be extended to the International Blvd. intersection acting as a connection to other destinations to the south.
5. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
6. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
7. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
8. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
9. Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.

- 10.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 11.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*20012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*20012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

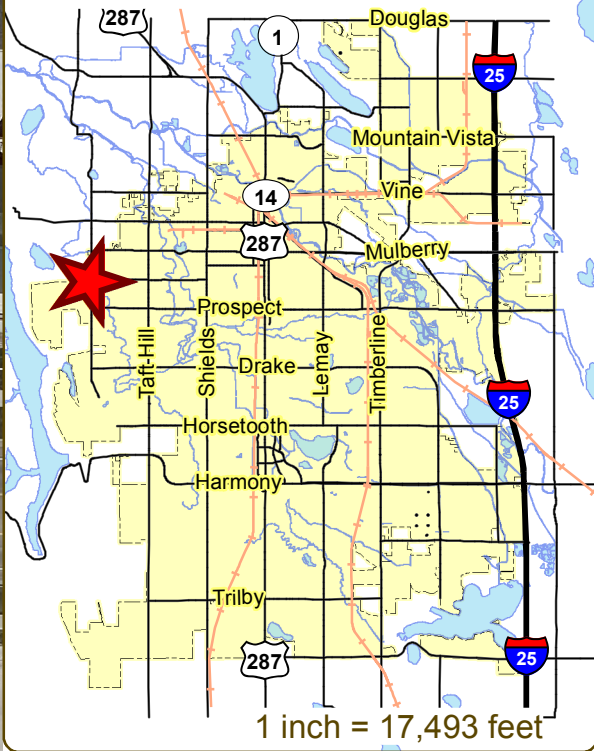
City of Fort Collins  
Building Services  
Plan Review  
970-416-2341



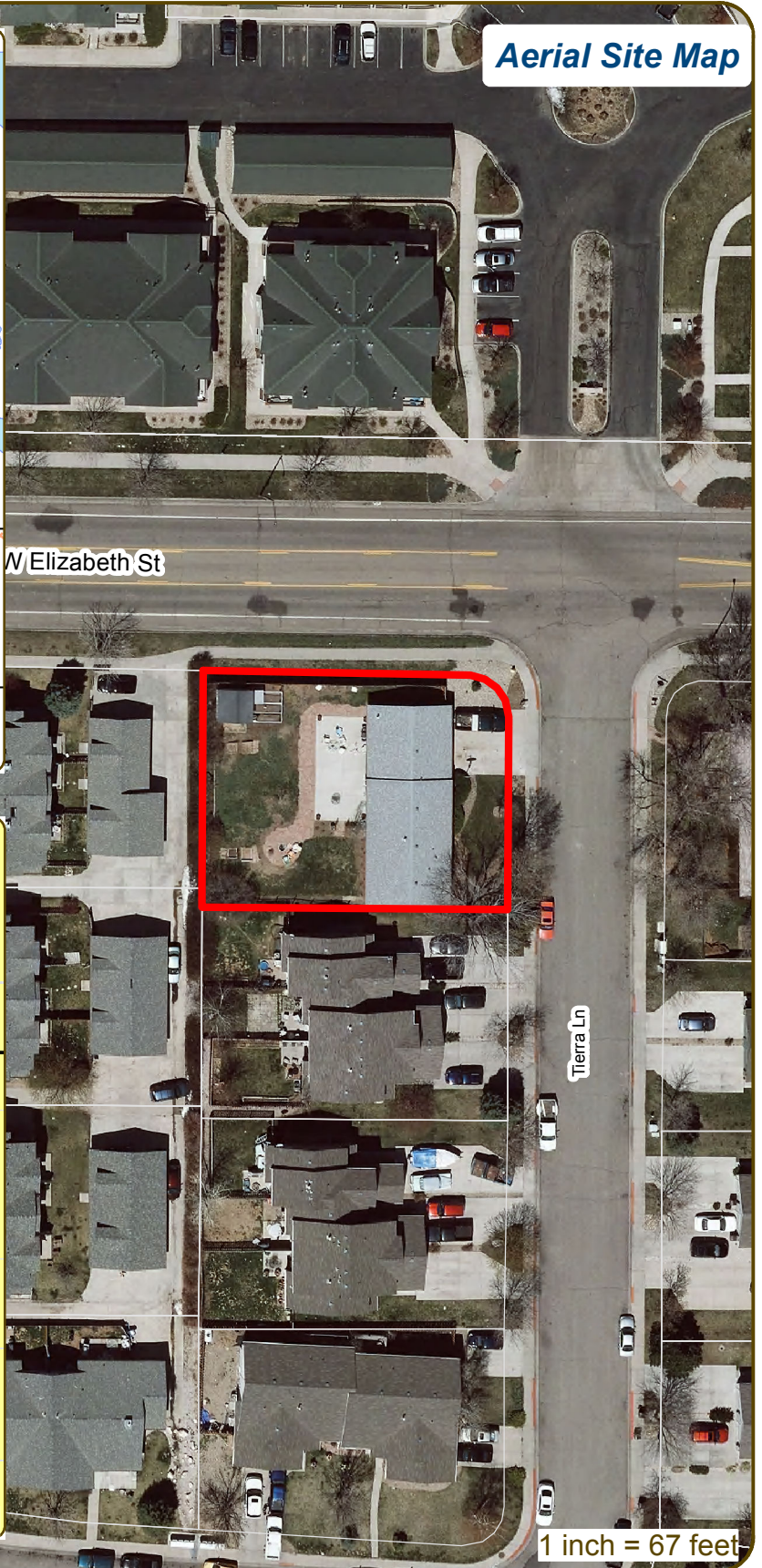
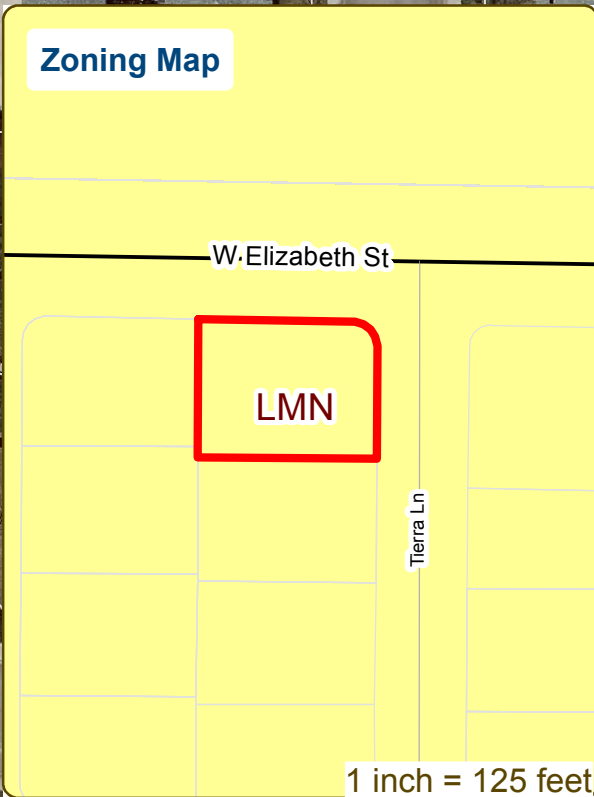
# 3001 Elizabeth St. Triplex

**Aerial Site Map**

**Vicinity Map**



**Zoning Map**



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Russell Romeo and Lexi Provancha (Owners), Bill Ferguson (Consultant)

Business Name (if applicable) \_\_\_\_\_

Your Mailing Address 3001 W. Elizabeth St. Fort Collins, CO 80521

Phone Number 707-536-6366 Email Address russell.romeo@gmail.com

Site Address or Description (parcel # if no address) 3001 W. Elizabeth St. Fort Collins

Description of Proposal (attach additional sheets if necessary) \_\_\_\_\_

Addition of 2 units to property

Proposed Use Multi-Family housing Existing Use Single family home

Total Building Square Footage 5614 S.F. Number of Stories 2 Lot Dimensions 117x90ft

Age of any Existing Structures 45

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [x] No If yes, then at what risk is it? \_\_\_\_\_

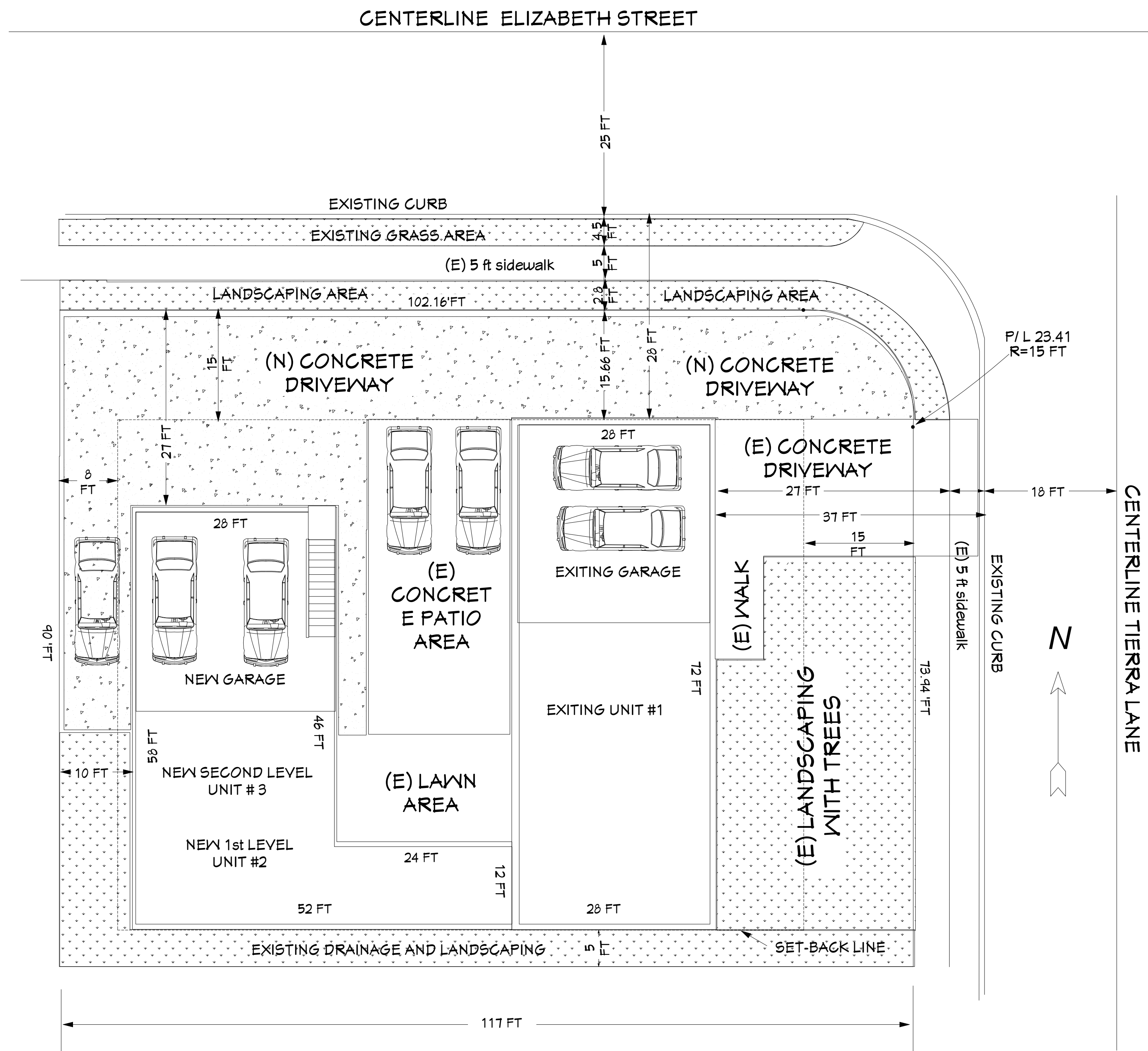
Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 3544 S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



**SITE PLAN** 1"=10'-0"

**PROJECT DATA**  
 EXISTING UNIT #1 AREA=1304 SQ.FT.  
 EXISTING GARAGE AREA=784 SQ.FT.  
 NEW UNIT #2 AREA=1168 SQ.FT.  
 NEW GARAGE =604 SQ.FT.  
 NEW UNIT #3 =1481 SQ.FT.  
 TOTAL LIVING SQ. FOOTAGE=3,953 SQ.FT.  
 TOTAL GARAGE SQ. FOOTAGE=1,388 SQ.FT.

TYPE OF CONSTRUCTION= VB  
 ZONING= LMN

**LOT SIZE= 10,373 SQ. FT.**

NUMBER	DATE	REVISION BY	DESCRIPTION

**RUSSELL ROMEO**  
 3001 WEST ELIZABETH ST  
 FT COLLINS, C, 80521  
 APN R1008030 LOT 28

DRAWINGS PROVIDED BY:  
**HURCO HOME DESIGN**  
 4004 TEXAS STREET  
 SAN DIEGO, CA., 92104

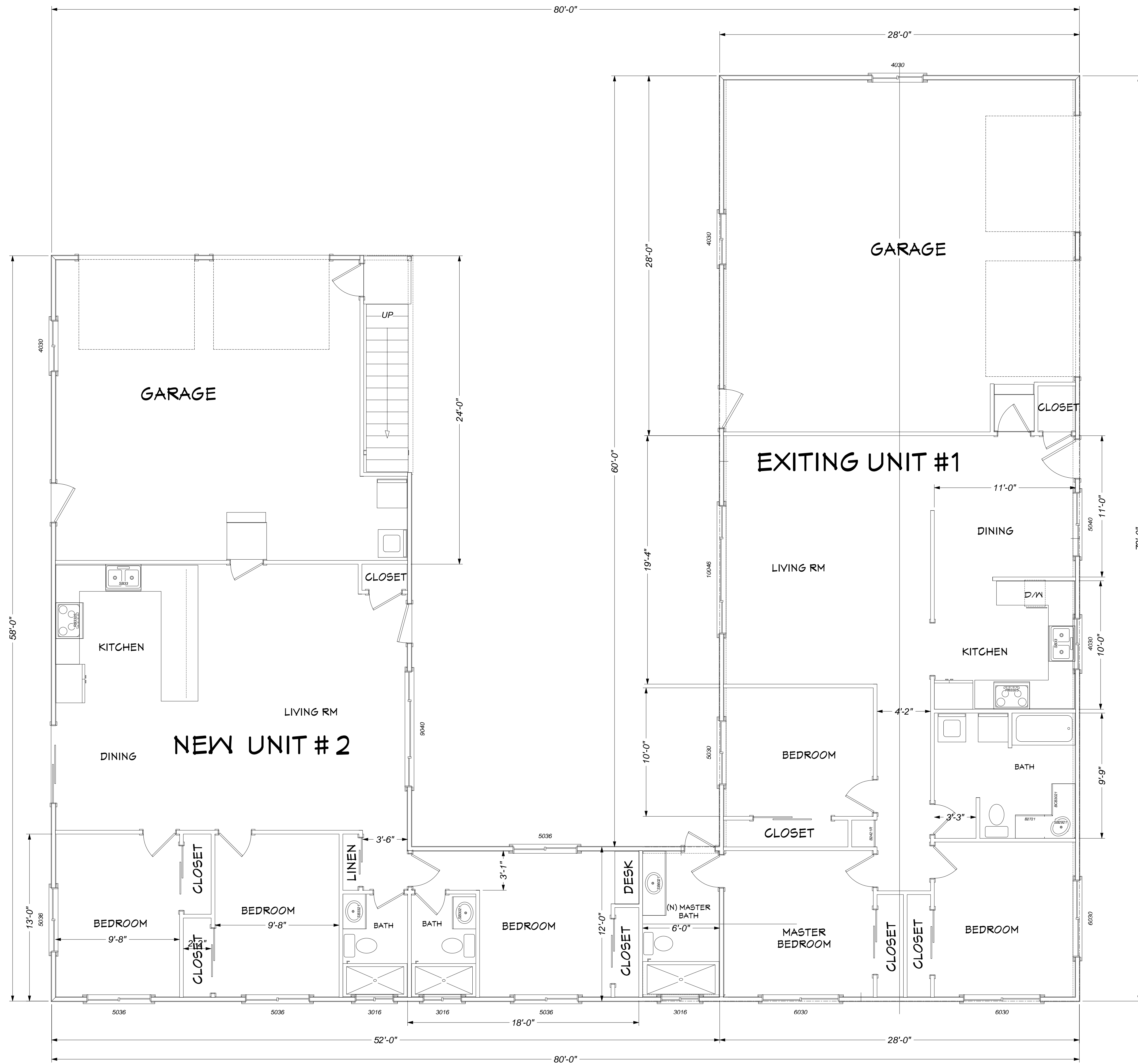
DATE:

9/26/2016

SCALE:

SHEET:

**P-1**



NEW FLOOR PLAN 1/4"=1'-0"

**PROJECT DATA**  
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**LOT SIZE= 10,373 SQ. FT.**

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NUMBER	DATE

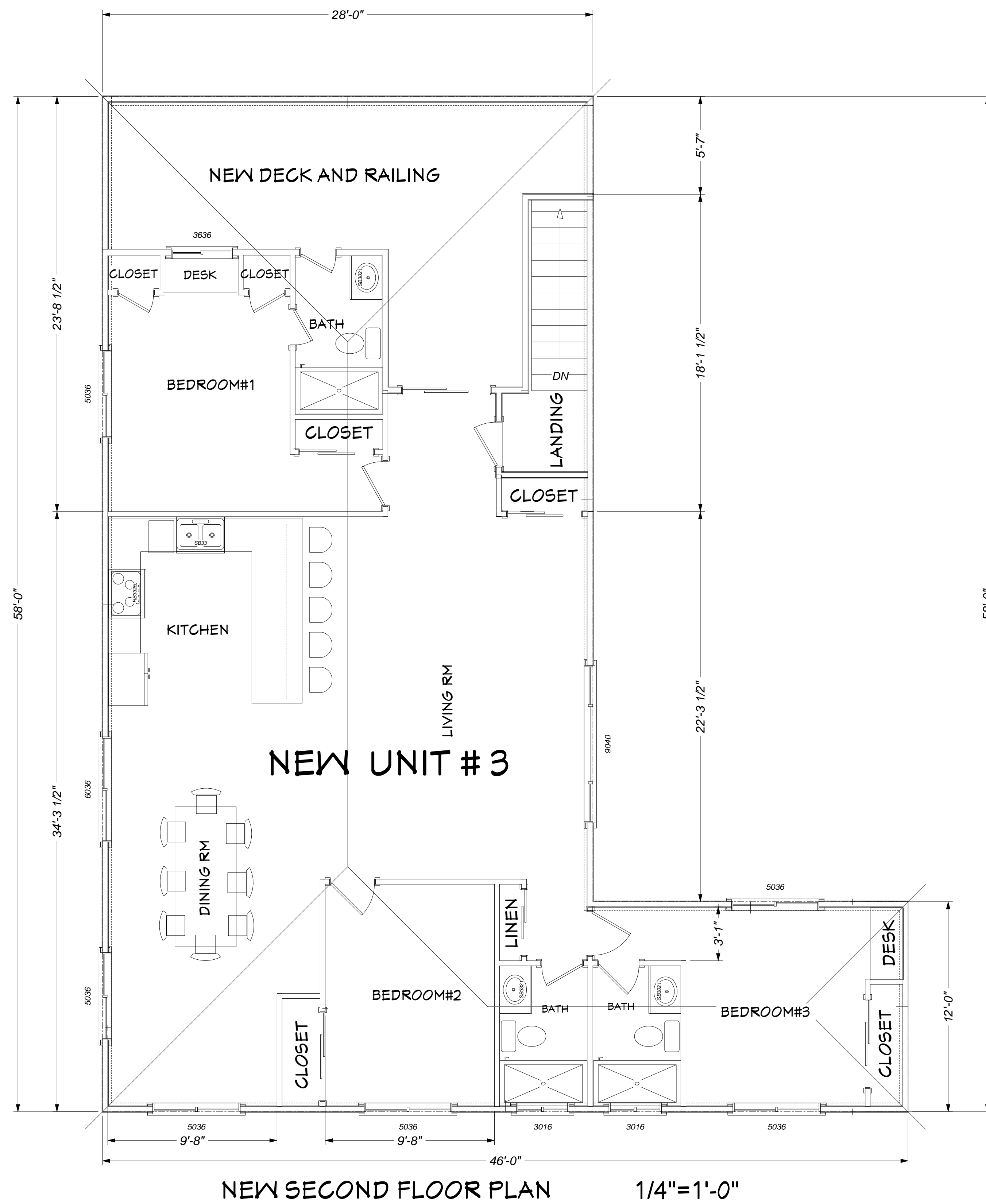
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 3001 WEST ELIZABETH ST  
 FT COLLINS, CO, 80521  
 APN R1008030 LOT 28

DRAWINGS PROVIDED BY:  
**HURCO HOME DESIGN**  
 4004 TEXAS STREET  
 SAN DIEGO, CA., 92104

DATE:  
 9/26/2016

SCALE:  
 1/4"=1'-0"

SHEET:  
 1 OF 1



NEW SECOND FLOOR PLAN 1/4"=1'-0"

**PROJECT DATA**  
 EXISTING UNIT #1 AREA=1304 SQ.FT.  
 EXISTING GARAGE AREA=784 SQ.FT.  
 NEW UNIT #2 AREA=1168 SQ.FT.  
 NEW GARAGE =604 SQ.FT.  
 NEW UNIT #3 =1481 SQ.FT.  
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TYPE OF CONSTRUCTION= VB  
 ZONING= LMN

**LOT SIZE= 10,373 SQ. FT.**

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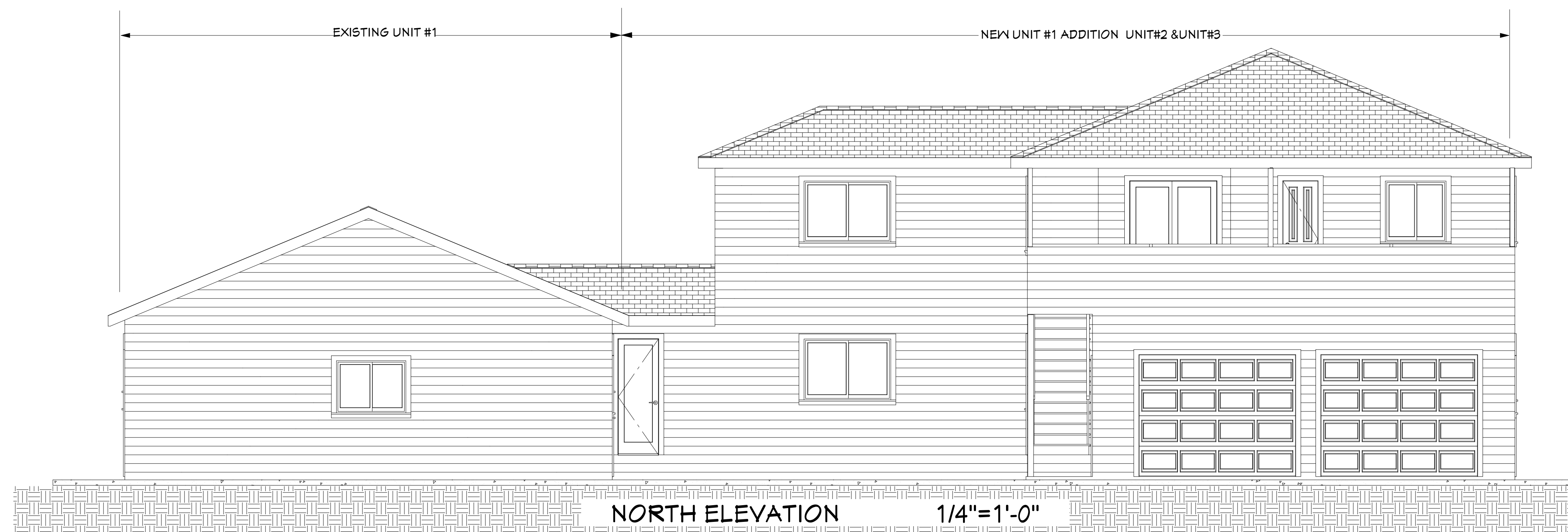
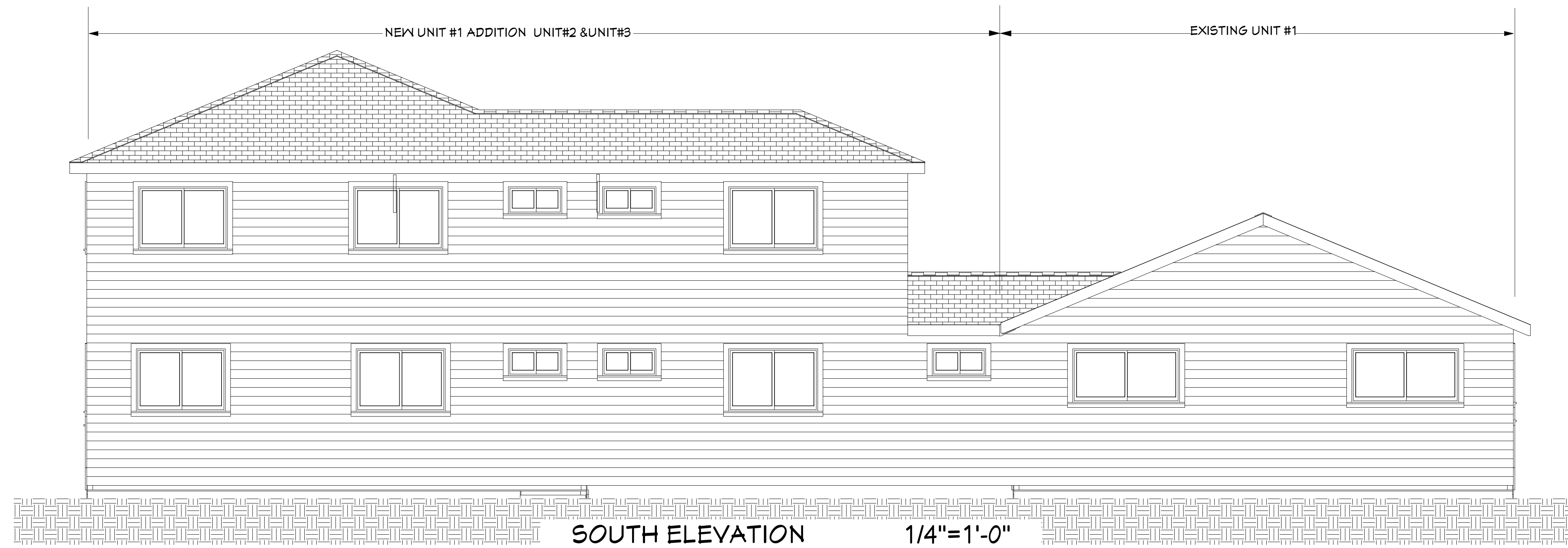
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 SAN DIEGO, CA., 92104

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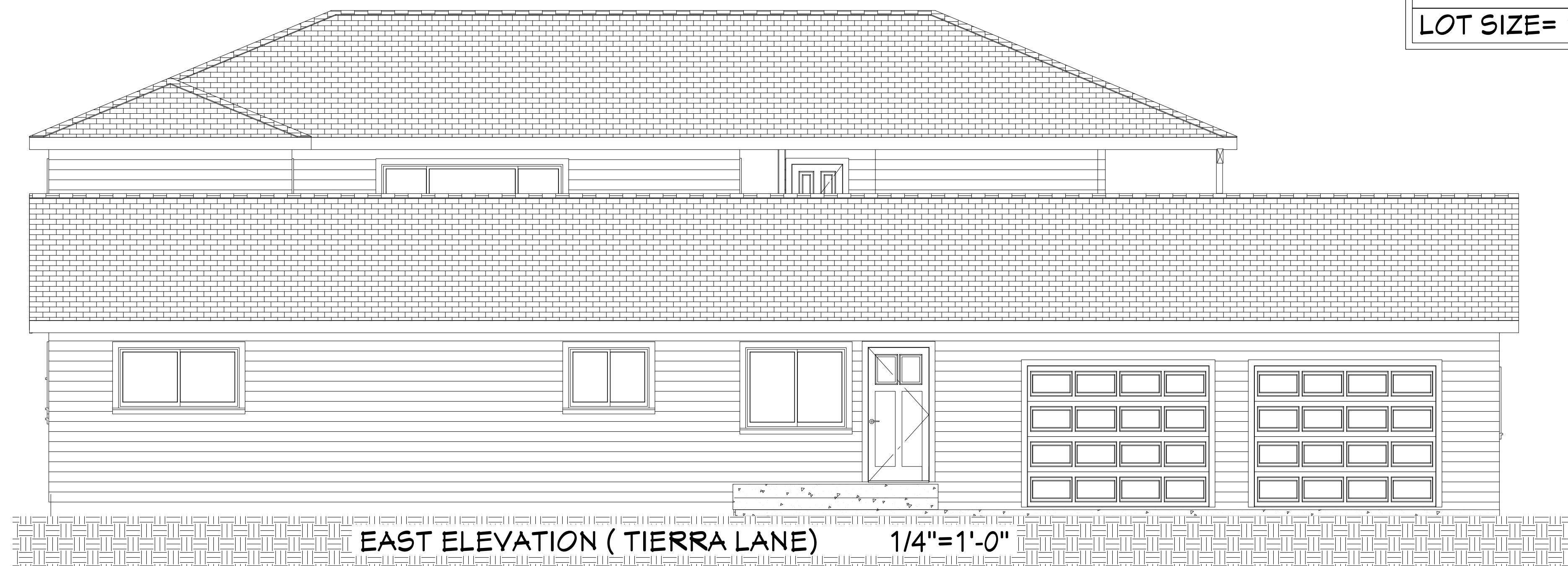
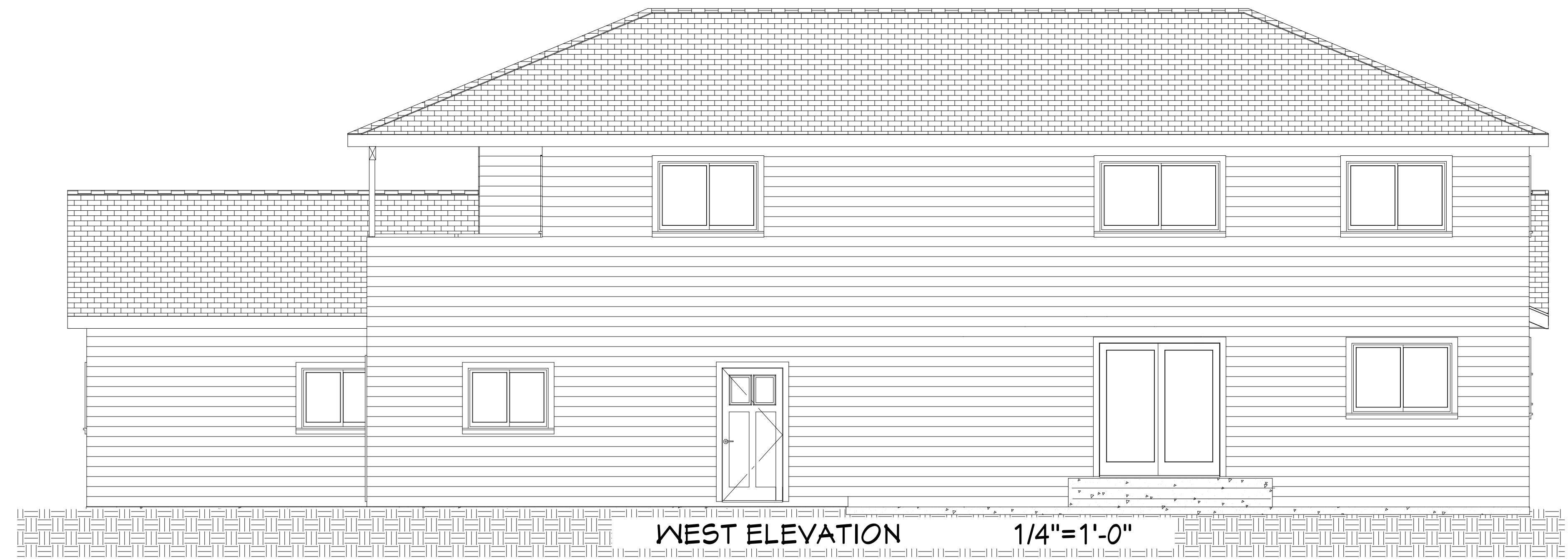
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DATE:

9/26/2016

SCALE:

SHEET:









SPEED LIMIT  
25

5001



October 21, 2016

Russell Romeo  
3001 Elizabeth St.  
Fort Collins, CO 80521

**Re:** 3001 Elizabeth St. - Triplex

**Description of project:** This is a request to add two dwelling units to the existing home at 3001 Elizabeth St. (parcel #9716320028). A new two-story addition would be added on to the back of the existing home. Parking would be accommodated by expanding the existing driveway along the north property line to the back of the lot. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. You are required to provide a trash and recycling enclosure which is convenient for all tenants.
2. One of the parking spaces will need to be a van accessible handicap space. This would need to be a minimum of 8 foot wide adjoining an 8 foot wide access aisle.

**Department: Water-Wastewater Engineering**

**Contact:** Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)

1. There are existing 12-inch and 8-inch water mains in Elizabeth Street and an existing 6-inch in Tierra Lane. The existing water service to this lot stems from the existing 12-inch main in Elizabeth and it is a 3/4-inch size service.
2. This project will be required to provide water demand calculations to determine the correct size for the domestic water service for the triplex. A sizing justification letter that includes demand calculations for maximum flows and estimated continuous flows will need to be provided as a part of the final submittal package for this project.
3. There is an existing 8-inch sewer main in Tierra Lane. This sewer main terminates in a manhole that is located in the street near the southerly property line of this parcel. If this project requires a sewer service that is larger than the existing service then a new service must be cored into the existing manhole.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>

5. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact: Nicole Hahn, 970-221-6820, [nhahn@fcgov.com](mailto:nhahn@fcgov.com)**

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.
2. Please work with the Engineering department to determine the extent of improvements required along Elizabeth.
3. Access should be taken off of Tierra, as shown.

**Department: Technical Services**

**Contact: Jeff County, 970-221-6588, [jcounty@fcgov.com](mailto:jcounty@fcgov.com)**

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
2. If submitting a replat for this property/project, addresses are not acceptable in the Subdivision Plat title/name.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Canal Importation Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2-year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.
3. If there is an increase in imperviousness greater than 1,000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs. If the increase in impervious area is greater than 350 square feet and less than 1,000 square feet, a drainage letter along with a grading and erosion control plan should be sufficient to document the existing and proposed drainage patterns. A grading plan is required if the increase in imperviousness is less than 350 square feet.
4. Please note that there are no public storm pipes adjacent to this property so any stormwater outfall for this site will need to daylight at the curb.
5. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
6. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.

7. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. If for some reason, the building were to be completely demolished and replaced, the LID ordinance would take effect, requiring a higher degree of water quality treatment with one of the two following options:
  - a. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - b. 75% of all newly added or modified impervious area must be treated by LID techniques.
8. There will be a final site inspection of the stormwater facilities when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. Standard operating procedures (SOPs) for on-going maintenance of all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:  
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
9. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage.
10. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
11. Please note that if this project proposal were a single family residence with a carriage house instead of a multi-family configuration (triplex or duplex), then we could treat this differently and allow for up to 50% imperviousness on this site without requiring stormwater detention. In this case, the imperviousness percentage would be based on the area of the property plus half of the roadway(s) adjacent to the property.
12. Please note that a Development Agreement would be required for a multi-family (triplex or duplex) configuration as this type of development will require standard water quality and LID systems to be installed, per comments 6 and 7 above.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. AUTOMATIC FIRE SPRINKLER SYSTEM**

A duplex or triplex is considered multi-family and will require an automatic fire sprinkler system under a separate permit. If the structures are separated (eg. carriage house), they would be considered single family detached and would not require a sprinkler system. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related questions at 970-416-2868.

**2. FIRE LANES**

Fire access is required to within 150' of all exterior portions of any building as measured by an approved route around the perimeter. For the purposes of this section, fire access cannot be measured from an arterial road (W Elizabeth). Measuring fire access from Tierra Ln appears to come close to satisfying the code requirement. The proposed building footprint

may fall short by 30'-50' however, as the building will be equipped with a fire sprinkler system, the distance is considered acceptable. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

### 3. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of any Commercial Building as measured along an approved path of vehicle travel. The hydrant on the NE corner of the property is expected to meet minimum volume and pressure requirements. Code language provided below.

> IFC 507.5 and PFA Policy: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

### 4. PREMISE IDENTIFICATION & WAYFINDING

Each unit shall be separately addressed. Addresses shall be posted on each living unit and where otherwise needed to aid in wayfinding. The building currently faces Tierra Ln. and takes access from that street. This project should be readdressed off of Tierra Lane unless the duplex/triplex fronts W Elizabeth. Code language provided below.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

## Department: Environmental Planning

Contact: **Stephanie Blochowiak, 970-416-4290, [sblochowiak@fcgov.com](mailto:sblochowiak@fcgov.com)**

1. Generally, an Ecological Characterization Study (ECS) is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known habitat (habitat associated with Pleasant Valley and Lake Canal; riparian areas). However, as there are intervening parcels and roads, and the standard buffer would not extend to this project area, the ECS is waived for this site.
2. City of Fort Collins Land Use Code [Section 3.2.1 (E)(3)], requires that to the extent reasonably feasible, all plans be designed to incorporate water conservation materials and techniques. This includes use of low-water-use plants and grasses in landscaping or re-landscaping and reducing bluegrass lawns as much as possible. Native plants and wildlife-friendly (ex: pollinators, butterflies, songbirds) landscaping and maintenance are also encouraged. Please refer to the Fort Collins Native Plants document available online and published by the City of Fort Collins Natural Areas Department for guidance on native plants is: <http://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf>.
3. Note LUC Section 3.2.1(C) requiring developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "... (4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment." A significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and

any mitigation requirements that could result from the proposed development.

4. If tree mitigation is necessary, include the following note on the tree mitigation plan and/or landscape plan: "All tree removal shown shall be completed outside of the songbird nesting season (Feb 1 - July 31) or a survey will be conducted of the trees to be removed to ensure that no active nests are present."
5. Regarding any updates to site lighting, note:

Increased research has been done within the last decade on lighting and environmental health. The American Association (AMA) and International Dark-Sky Association (IDA) both have recommendations for outdoor lighting. Cooler color temperatures are harsher at night and cause more disruption to circadian (biological) rhythms for both humans and wildlife. Use of warmer color temperature (warm white, 3000K or less) for light fixtures is preferred in addition to fixtures with dimming capabilities. Light sources shall be fully shielded and down-directional to minimize up-light, light spillage and glare [see LUC 3.2.4(D)(3)]. Several resources on this topic including:

The Illuminating Engineers Society (IES) publication on Recommended Practice on Lighting for the Exterior Environment

Current Research and Award-Winning Work done by Colorado IES members

AMA Report Affirms Human Health Impacts from LEDs  
<http://darksky.org/ama-report-affirms-human-health-impacts-from-leds/>

Save Our Stars: City seeks to preserve night skies in Fort Collins  
<http://www.coloradoan.com/story/news/2016/09/27/save-our-stars-city-seeks-preserve-night-skies/90970492/>

6. Our city has an established identity as a forward-thinking community that cares about the high quality of life it offers its citizens now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project. Of particular interest may be:

1) ClimateWise program: [fcgov.com/climatewise/](http://fcgov.com/climatewise/)

2) Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)

3) Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)

4) Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)

5) Integrated Design Assistance Program: <http://fcgov.com/idap>, contact Gary Schroeder at 970-224-6003 or [gshroeder@fcgov.com](mailto:gshroeder@fcgov.com)

6) Nature in the City Strategic Plan: <http://www.fcgov.com/natureinthecity/>, contact Justin Scharton at 970-221-6213 or [jscharton@fcgov.com](mailto:jscharton@fcgov.com)

**Department: Engineering Development Review**

**Contact: Marc Virata, 970-221-6567, [mvirata@fcgov.com](mailto:mvirata@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.

2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:  
<http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project (the access ramp at the southwest corner of Elizabeth Street and Tierra Lane will need to be upgraded with truncated dome detection). The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Driveway access is in close proximity to the Elizabeth Street/Tierra Lane intersection and isn't necessarily considered ideal. If there are other options that allow for a greater distance from the intersection that would be ideal. Absent of this, the new driveway to these units should continue to access from the existing driveway and not widen out the existing driveway closer to the Elizabeth/Tierra intersection.
6. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:  
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
7. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along Elizabeth Street and 9 foot along Tierra Lane). Information on the dedication process can be found at:  
<http://www.fcgov.com/engineering/devrev.php>
8. Civil construction plans may be required.
9. A Development Agreement may be required and recorded once the project is finalized with recordation costs paid for by the applicant.
10. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
11. A Development Construction Permit (DCP) or excavation/sidewalk permit will need to be obtained prior to starting any work on the site.
12. Fences cannot be located in public right-of-way and also need to be a minimum of 2 feet of separation from any public street sidewalk.
13. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Luke Unruh, 9704162724, [lunruh@fcgov.com](mailto:lunruh@fcgov.com)**

1. The current electric service has a capacity of 150 amps. Any changes to the existing electric location or capacity will initiate electric development and system modification charges. Please coordinate power requirements with Light and Power Engineering at 221-6700.



2. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.
3. You may reference Light & Power's Electric Service Standards at [http://www.fcgov.com/utilities/img/site\\_specific/uploads/ElectricServiceStandards\\_FINAL\\_17June2016.pdf](http://www.fcgov.com/utilities/img/site_specific/uploads/ElectricServiceStandards_FINAL_17June2016.pdf)

**Department: Building Inspection**

**Contact: Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)**

1. Converting this home to a multi-family building would require it to be sprinkled and have a one-hour fire wall between each unit.

**Planning Services**

**Contact: Clay Frickey, 970-224-6045, [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com)**

1. The proposed density is 12.6 dwelling units per acre. This exceeds the maximum density of the zone district by 3.6 dwelling units per acre. Staff does not and will not support a modification to this standard.
2. A landscape plan will be required as part of this project. You will need to demonstrate in particular how you are screening the driveway and parking from adjacent uses and properties.
3. Where will bike parking be provided? You must provide at least one bicycle parking space per bedroom, which equates to 9 bicycle parking spaces. 60% of these spaces must be in an enclosed location while the rest can be provided on fixed racks.
4. How will trash and recycling be handled?
5. This development must be within 1,320 feet walking distance from a central gathering feature or park without crossing an arterial street. Please demonstrate how you meet this standard. If you do not meet this standard, you must either provide this amenity or seek a modification request.
6. Your property is adjacent to a single-family home across the street. Due to this adjacency, you must provide a 25' buffer yard in the front yard to provide buffering from this home. Your current plan does not meet this standard. Please provide a detailed landscape plan that shows how you will be providing buffering in the front yard.
7. Where is the building entrance to the second and third units? Building entrances are supposed to be clear from public streets and other public areas through prominent architectural features. As shown, this plan does not meet this code requirement. You will either need to add more prominent entries or seek a modification to this code requirement as well.
8. Will the existing fence remain as part of this proposal?
9. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.

- 10.** Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
- 11.** This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
- 12.** If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
- 13.** Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
- 14.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 15.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*2012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### Energy Code Use

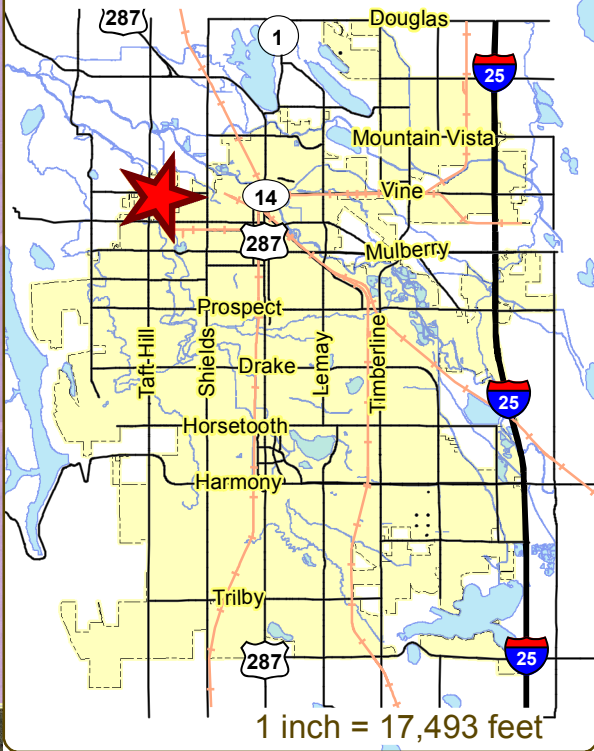
1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341

# 1516 W Vine Dr. Annexation and Replat

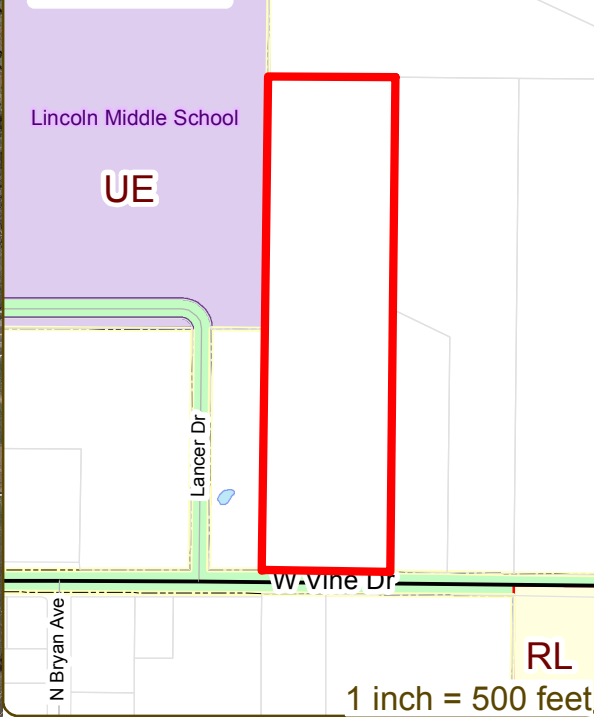
Vicinity Map



Aerial Site Map



Zoning Map



W Vine Dr

1 inch = 250 feet

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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 minute meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc)

James and Lynn Newton, owners of land

Business Name (if applicable)

Your Mailing Address 737 S Lemay Ave B-4 #182 Ft. Collins, CO 80524

Phone Number (ynn) 970-218-5748 Email Address newtsh4@comcast.net

Site Address or Description (parcel # if no address) 1516 W. Vine Drive

Parcel # 97034-00-010

Description of Proposal (attach additional sheets if necessary) Plat out front (south)

pasture 2 acres for single-family residence to be built by daughter and son-in-law.

Proposed Use single residence Existing Use pasture

Total Building Square Footage S.F. Number of Stories 1 of Dimensions

Age of any Existing Structures

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/cquery/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain?  Yes  No If yes, then at what risk is it? High, see attached

Info available on FC Maps: <http://gisweb.fcgov.com/redjrc/cefs/ft.aspx?layerTheme=1000plains>

Increase in Impervious Area S.F.

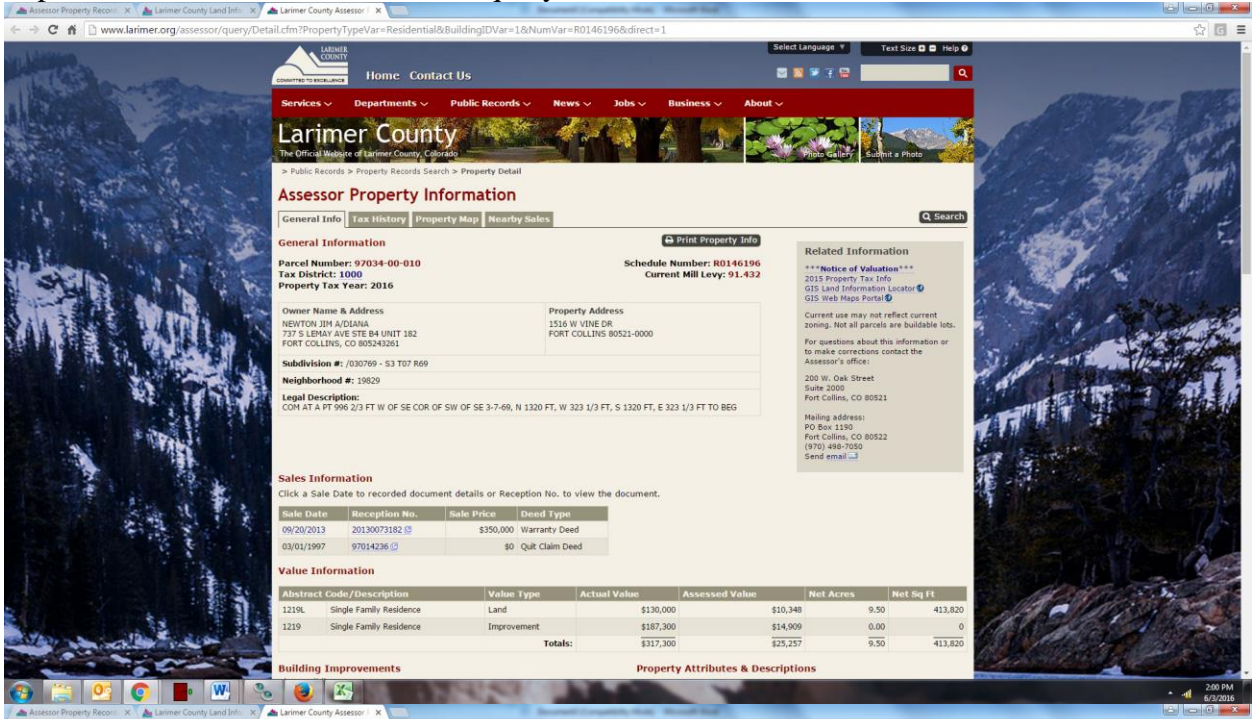
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested Items for the Sketch Plan:

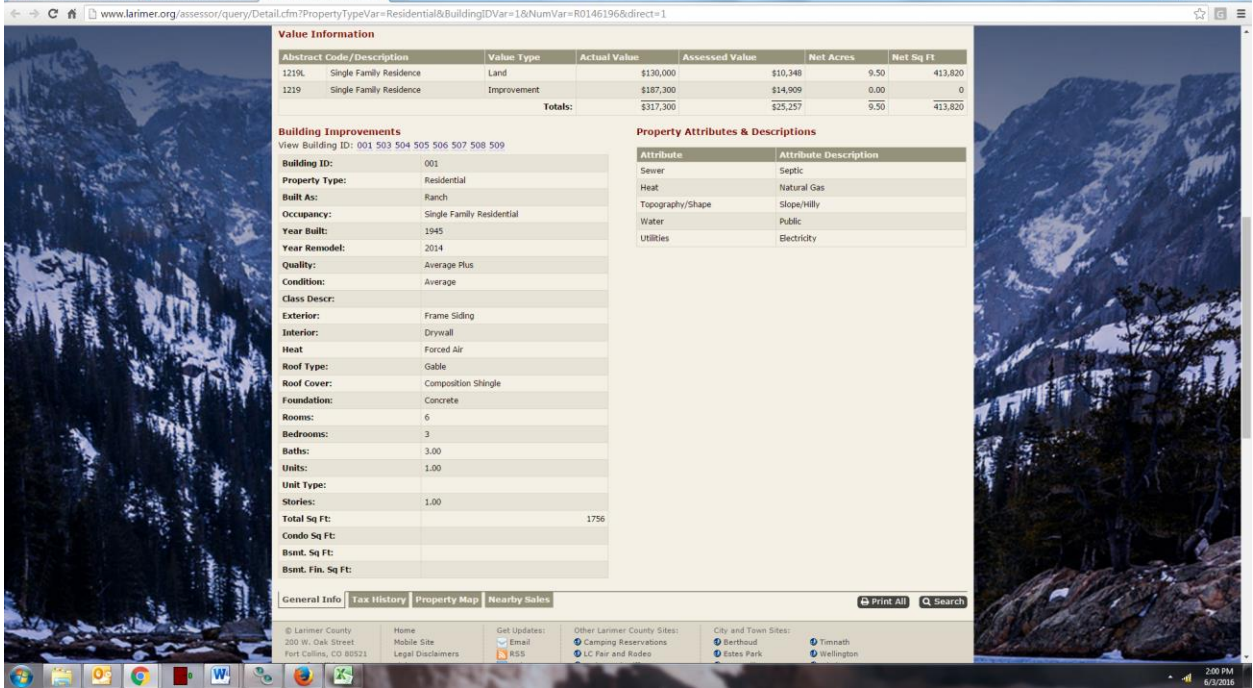
Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

see attached

# Existing Property Information, Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>



The screenshot shows the Larimer County Assessor's website interface. At the top, there is a navigation menu with links for Home, Contact Us, Services, Departments, Public Records, News, Jobs, Business, and About. The main header features the Larimer County logo and the tagline "The Official Website of Larimer County, Colorado". Below this, the page title is "Assessor Property Information" for a specific parcel. The page is divided into several sections: General Information, Related Information, Sales Information, Value Information, Building Improvements, and Property Attributes & Descriptions. The General Information section includes details such as Parcel Number (97034-00-010), Tax District (1000), Property Tax Year (2016), Owner Name & Address (NEWTON JIM A/DIANA), and Property Address (1516 W VINE DR). The Value Information section contains a table with columns for Abstract Code/Description, Value Type, Actual Value, Assessed Value, Net Acres, and Net Sq Ft. The Building Improvements section provides a detailed list of property characteristics, including Building ID, Property Type, Built As, Occupancy, Year Built, and various structural details.



This screenshot displays the "Property Attributes & Descriptions" section of the Larimer County Assessor's website. It features a table with columns for Abstract Code/Description, Value Type, Actual Value, Assessed Value, Net Acres, and Net Sq Ft. Below the table, there are two main sections: "Building Improvements" and "Property Attributes & Descriptions". The "Building Improvements" section lists various details such as Building ID (001), Property Type (Residential), Built As (Ranch), Occupancy (Single Family Residential), Year Built (1945), Year Remodel (2014), Quality (Average Plus), Condition (Average), Class Descr, Exterior (Frame Siding), Interior (Drywall), Heat (Forced Air), Roof Type (Gable), Roof Cover (Composition Shingle), Foundation (Concrete), Rooms (6), Bedrooms (3), Baths (3.00), Units (1.00), Unit Type, Stories (1.00), Total Sq Ft (1756), Condo Sq Ft, Bsmt. Sq Ft, and Bsmt. Fin. Sq Ft. The "Property Attributes & Descriptions" section includes a table with columns for Attribute and Attribute Description, listing items like Sewer (Septic), Heat (Natural Gas), Topography/Shape (Slope/Hilly), Water (Public), and Utilities (Electricity). The page also includes a footer with contact information for Larimer County and links to other county services.

# Tax Information

Assessor Property Information

General Info | Tax History | Property Map | Nearby Sales

**Property Tax History** [Print Tax Info](#)

Click a year to view "Where My Taxes Go" and first and second half breakdown in the right column.

Year	Total Tax Liability	Property Balance	Owner Tax Liability	State Tax Liability	Total Actual Value	Total Assessed Value
2015	\$2,385.61	\$1,192.80	\$2,385.61	\$0.00	\$317,300.00	\$25,257.00
2014	\$1,686.72	\$0.00	\$1,686.72	\$0.00	\$220,700.00	\$17,570.00
2013	\$1,562.95	\$0.00	\$829.80	\$733.15	\$203,800.00	\$16,220.00
2012	\$1,368.37	\$0.00	\$717.13	\$651.24	\$173,700.00	\$13,830.00
2011	\$1,332.07	\$0.00	\$1,332.07	\$0.00	\$173,700.00	\$13,830.00
2010	\$2,083.87	\$0.00	\$2,083.87	\$0.00	\$279,200.00	\$22,220.00
2009	\$1,984.16	\$0.00	\$1,984.16	\$0.00	\$279,200.00	\$22,220.00
2008	\$1,791.13	\$0.00	\$1,206.62	\$584.51	\$251,400.00	\$20,010.00
2007	\$1,793.34	\$0.00	\$1,106.98	\$686.36	\$251,400.00	\$20,010.00
2006	\$1,967.42	\$0.00	\$1,261.09	\$706.33	\$268,000.00	\$21,330.00
2005	\$1,905.32	\$0.00	\$1,905.32	\$0.00	\$268,000.00	\$21,330.00
2004	\$1,724.60	\$0.00	\$1,724.60	\$0.00	\$236,800.00	\$18,850.00
2003	\$1,721.38	\$0.00	\$1,721.38	\$0.00	\$236,800.00	\$18,850.00
2002	\$1,714.52	\$0.00	\$920.72	\$793.80	\$214,100.00	\$19,590.00
2001	\$1,715.29	\$0.00	\$1,715.29	\$0.00	\$214,100.00	\$19,590.00
2000	\$1,469.51	\$0.00	\$1,469.51	\$0.00	\$168,753.00	\$16,440.00

**Property Tax Status**

Tax Liens: N  
 Treasurer's Deed: N  
 Tax Deferred: N  
 Delinquent Prior Year(s) Taxes: N  
 Certificate of Taxes Due: 8/22/2013  
 Tax Exemption: N

NOTE: special assessments, fees and state assessed taxes not shown here

# Property Map

Assessor Property Information

General Info | Tax History | Property Map | Nearby Sales

**Property Map** [Print Map](#) [GIS Land Information Locator](#) [GIS Web Maps Portal](#)

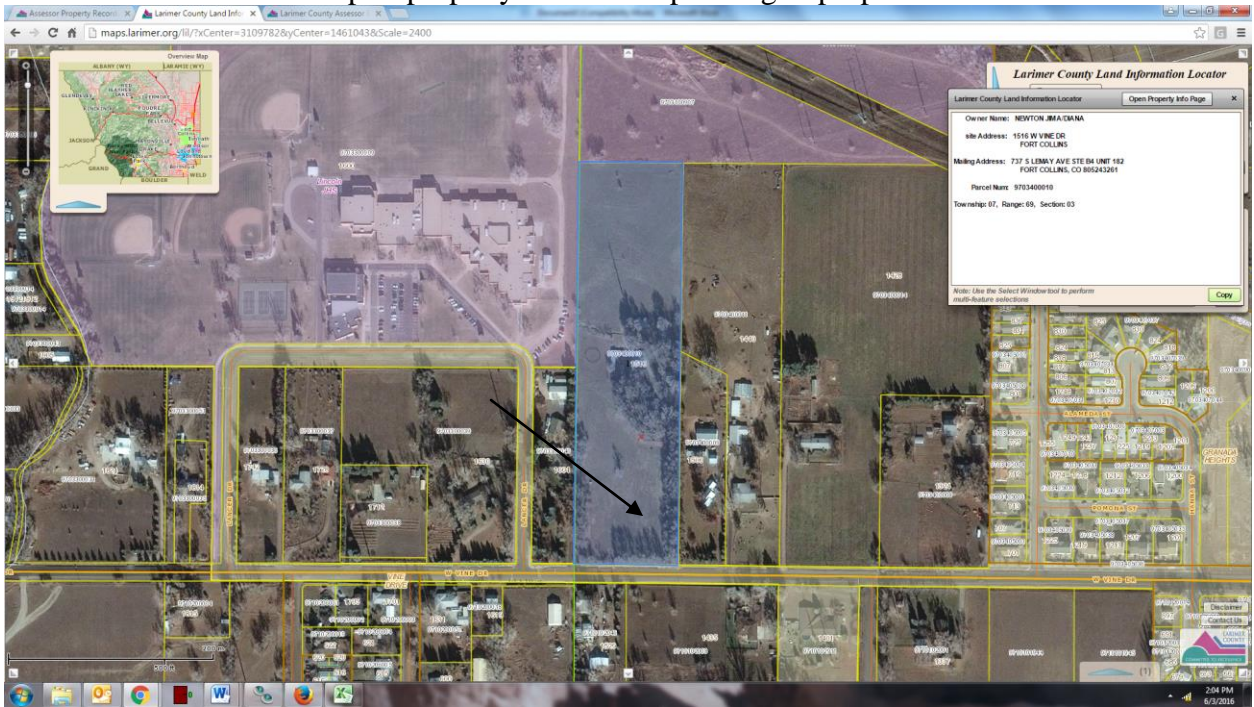
This Google map below shows an approximate location of the property based on the address or coordinates where available.  
 Note: Larimer County has no control of the content, operation or display of this map.

For parcel maps use one of the following links:  
 GIS Land Information Locator | GIS Web Maps Portal

1516 W Vine Dr  
 1516 W Vine Dr, Fort Collins, CO 80521

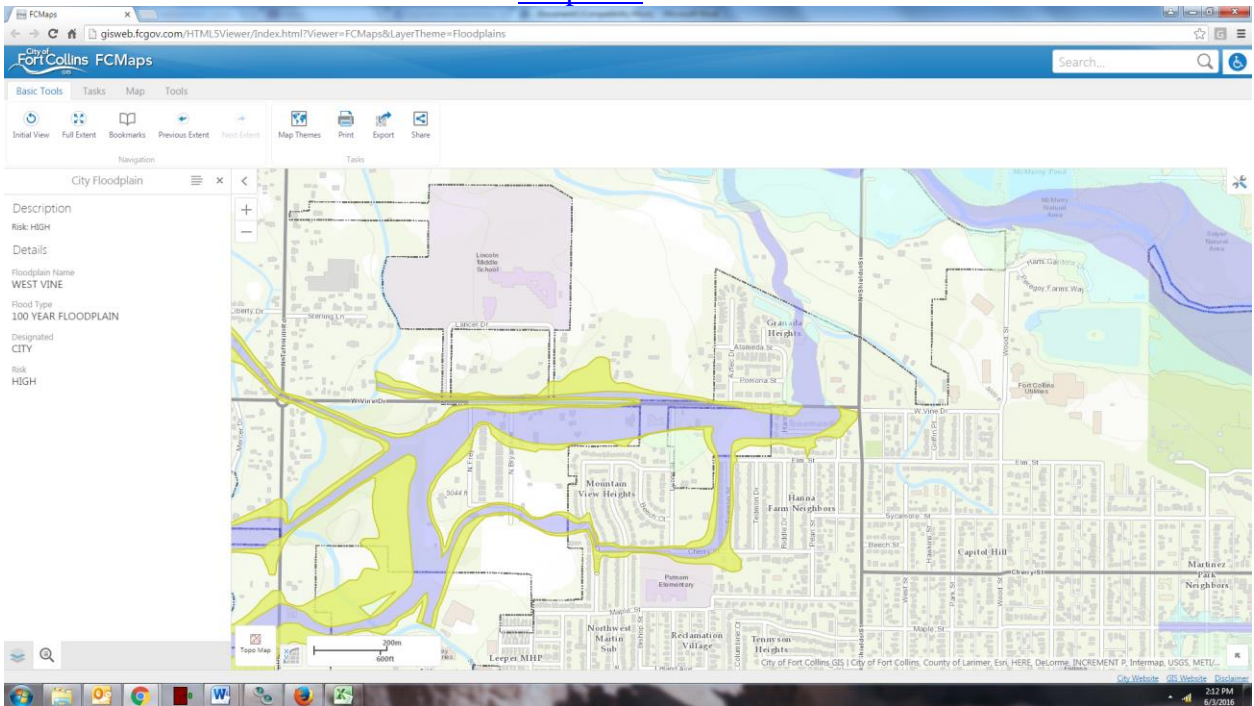
Map showing surrounding streets: Liberty Dr, Trevor St, W Vine Dr, Lincoln Middle School, Mountain View Heights, Sycamore St, Cherry St, Capitol Hill, Northwest Martin, and various parks and natural areas.

Additional map of property with arrow pointing to proposed site.



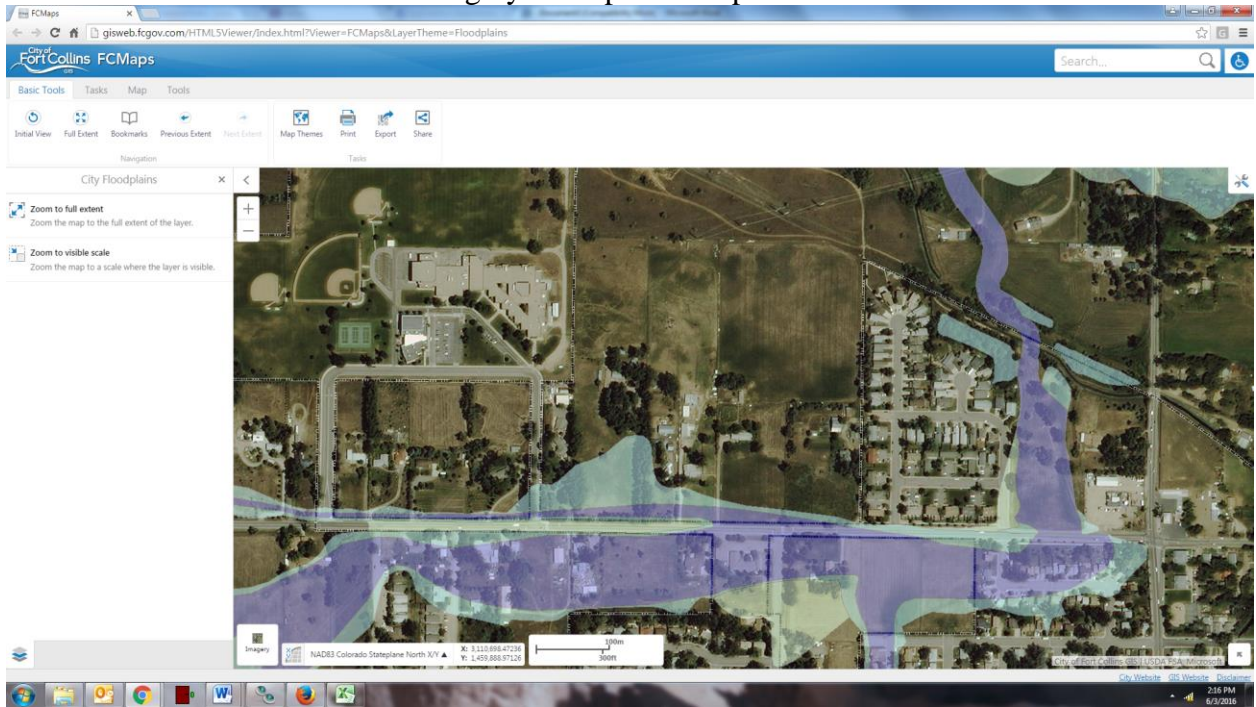
## Floodplains

<http://gisweb.fcgov.com/HTML5Viewer/Index.html?Viewer=FCMaps&LayerTheme=FIloodplains>

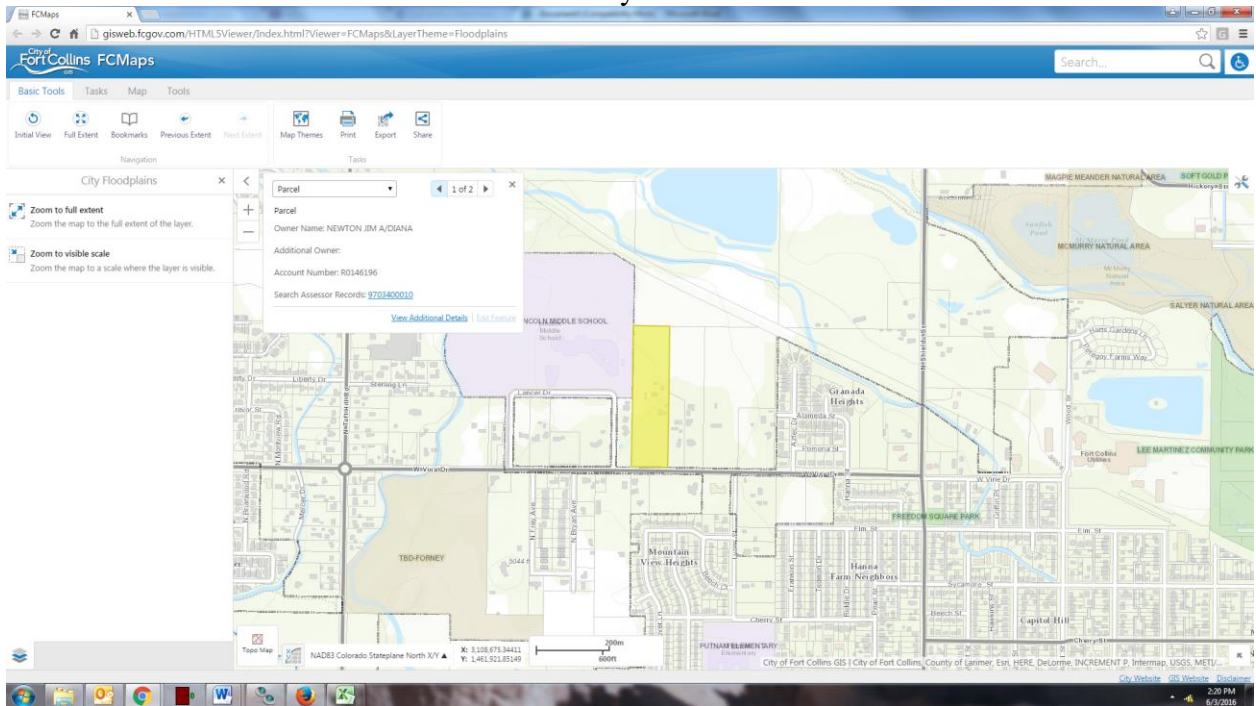




# Imagery Floodplains Map



# Ft. Collins City Limits

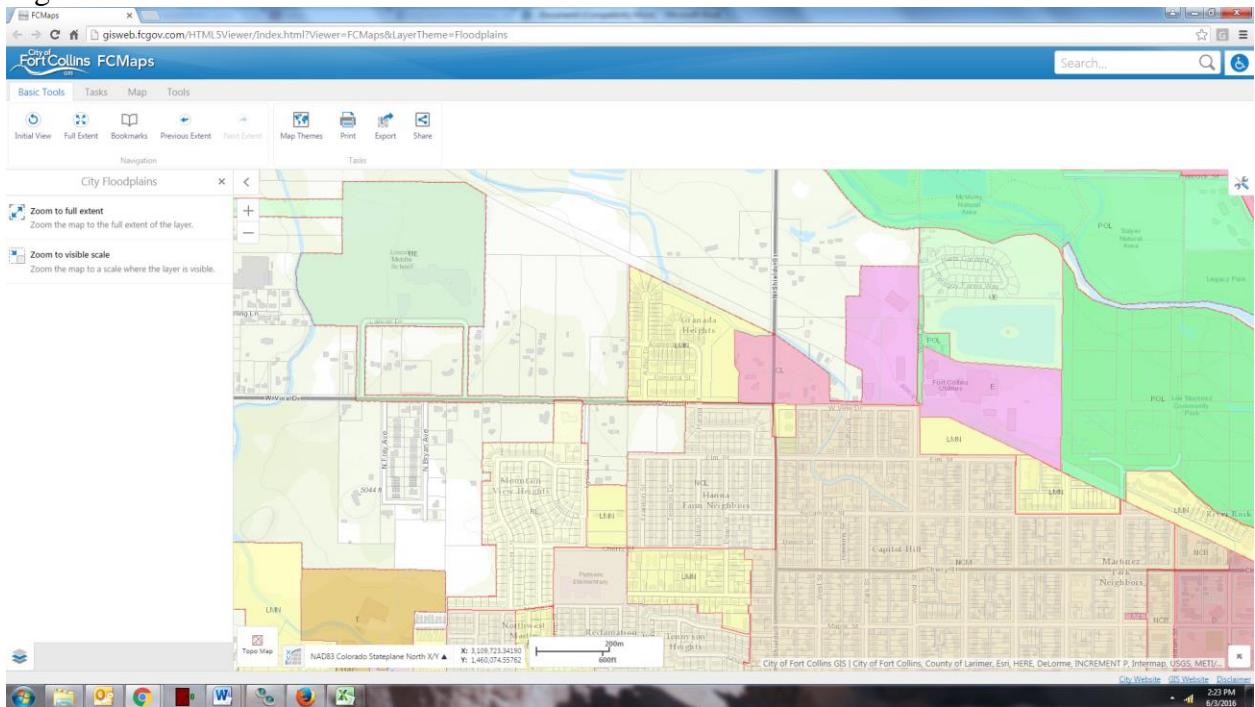


## Zoning Districts

Darker Yellow: Low density mixed-use neighborhood district

Lighter yellow: Low density residential district

Light Green: Urban estate district



Map of proposed site, single-family unit on no more than 2 acres land

## Additional Map



New property address would enter from driveway on below left:



Picture of the two driveways showing setback from street and existing bike path:



Picture of existing trench in front of proposed new plat:



Picture of pasture from driveway to plat out the two acres:



Picture showing distance from neighboring property:



Picture of front pasture of proposed site along W. Vine Dr.:





December 05, 2016

James Newton  
737 S Lemay Ave  
B-4  
#182  
Fort Collins, CO 80524

**Re:** 1516 W Vine Dr. - Annexation and Replat

**Description of project:** This is a request to replat, annex, and build a home on the property at 1516 W Vine Dr. (parcel #9703400010). The existing parcel will be subdivided to create a two acre lot for the development of a new single-family home. The rest of the property would remain as-is. The site will be zoned Urban Estate (UE) upon annexation into the City of Fort Collins. This proposal will be subject to Annexation and Initial Zoning followed by Administrative (Type I) review for the plat and single-family home.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ted Shepard, at 970-221-6343 or [tshepard@fcgov.com](mailto:tshepard@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ryan Boehle, 970-416-2401, [rboehle@fcgov.com](mailto:rboehle@fcgov.com)

1. This annexation would be zoned UE (Urban Estate), which is intended to set a prominence of low- density and large-lot housing.
2. Lot sizes shall be ½ acre or larger for dwellings that are not considered clustered.
3. Setbacks for a single family dwelling in the UE shall be at a minimum 30' for the front, 25' for the rear, and 20' for the side.
4. Maximum building height in the UE is designated as 3 stories.

**Department: Water-Wastewater Engineering**

**Contact:** Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)

1. There are existing water mains in the vicinity of this property. There are large water transmission mains along the northerly property line, and there is a 16-inch water main along Vine Drive. The existing water service to this lot comes from the main in Vine Drive and it is a ¾-inch size service.

2. There is a 24-inch sewer main in Vine Drive that is situated on the southerly side of the roadway.
3. A new water and sewer service will be required to be installed for the new residence at this property.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact: Nicole Hahn, 970-221-6820, [nhahn@fcgov.com](mailto:nhahn@fcgov.com)**

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.

**Department: Technical Services**

**Contact: Jeff County, 970-221-6588, [jcounty@fcgov.com](mailto:jcounty@fcgov.com)**

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
2. This property is outside of the City limits. When submitting an Annexation Plat, please note that addresses are not acceptable in the Plat title/name.
3. This property is not platted. If submitting a Subdivision Plat for this property/project, addresses are not acceptable in the Plat title/name.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the West Vine Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual
2. If there is an increase in imperviousness greater than 1,000 square feet a drainage report, erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs. If the increase in impervious area is greater than 350 square feet and less than 1,000 square feet, a drainage letter along with a grading and erosion control plan should be sufficient to document the existing and proposed drainage patterns. A grading plan is required if the increase in imperviousness is less than 350 square feet.
3. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
4. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.



5. A portion of this property is located in the City regulatory West Vine 100-year Floodplain and Floodway. Any improvements planned for within the floodplain and floodway boundaries must comply with Chapter 10 of City Code. A Flood Risk Map is attached.
6. The materials submitted for conceptual review show a residential lot and site improvements to be located in the floodplain and/or floodway. Please add the floodplain and floodway boundaries to all applicable drawings so that it is clear what flood zone the improvements will be impacting.
7. Per Section 10-102 of the City Municipal Code, new residential structures are prohibited in the floodway. Per Section 10-108, residential construction is allowed within the floodplain, provided that the lowest floor of all structures (along with all duct work, heating, ventilation and air-conditioning systems, hot water heaters, boilers, electrical, etc.) are elevated a minimum of 18-inches above the Base Flood Elevation (BFE). This elevation is known as the Regulatory Flood Protection Elevation (RFPE). New basements are not allowed below the RFPE in any residential structure located in the floodplain.
8. Nonstructural development (fill, utilities, driveways, sidewalks, vegetation, etc.) can be completed within the floodway as long it can be proven that the work will not cause a change in the Base Flood Elevation (BFE) or a change to the boundaries of the floodway or floodplain through a No-Rise Certification with supporting documentation and applicable floodplain modeling prepared by a licensed engineer registered in the State of Colorado.
9. Nonstructural development (fill, utilities, driveways, sidewalks, vegetation, etc.) is allowed in the floodplain with an approved Floodplain Use Permit.
10. Any and all construction activities in the floodplain/floodway must be preceded by an approved Floodplain Use Permit, the appropriate permit application fees, and approved plans. An approved FEMA Elevation Certificate is required prior to issuance of the Certificate of Occupancy for any structures built in the 100-year floodplain.
11. This floodplain is currently being re-modeled with updated hydrology and topographic information. A copy of the preliminary map is attached. The mapping is likely to become regulatory in 2017. The timing of the project will determine which mapping will apply. This project would be required to meet the above regulations based on which floodplain and floodway boundary is in effect at the time of building permit. These mapping changes could affect final layout of the site. Please plan for this change so that the site will be compatible with the applicable floodplain regulations.
12. Development review checklists and application forms for floodplain requirements can be obtained at <http://www.fcgov.com/utilities/what-we-do/stormwater/flooding/forms-documents>. Please utilize these documents when preparing your plans for submittal.
13. The floodplain and floodway boundaries must be shown and called out on all plans so that it is clear whether improvements are within the boundaries. Please contact Sandra Bratlie of Stormwater Master Planning at [sbratlie@fcgov.com](mailto:sbratlie@fcgov.com) for floodplain CAD line work as required per the floodplain development review checklist.
14. Please contact Heidi Hansen, 970-221-6854, [hhansen@fcgov.com](mailto:hhansen@fcgov.com) with questions concerning development in the floodplain.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE LANES**

Fire access is required to within 150' of all exterior portions of any building, or facility as measured by an approved route around the perimeter. For the purposes of this section, fire access cannot be measured from an arterial road. Any private alley, private road, or private drive serving as a fire lane shall be dedicated as an Emergency Access Easement (EAE) and be designed to standard fire lane specifications. Where a fire access cannot be provided, the condition may be offset by the installation of a residential sprinkler system. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

## 2. FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general commercial requirements (unless otherwise approved by the fire marshal):

> Shall be designated on the plat as an Emergency Access Easement.

> Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.

> Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.

> Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.

> The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.

> Be visible by painting and/or signage, and maintained unobstructed at all times. Sign locations or red curbing should be labeled and detailed on final plans.

International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

## 3. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 400' of any Residential Building as measured along an approved path of vehicle travel. Currently, the closest hydrant is approximately 1,130 feet to the east, which would typically trigger the need for another hydrant to be installed. Where a hydrant cannot be provided, the condition may be offset by the installation of a residential sprinkler system and adequate fire access, as per above. Code language provided below.

> IFC 507.5 and PFA Policy: RESIDENTIAL REQUIREMENTS: Within the Urban Growth Area, hydrants to provide 1,000 gpm at 20 psi residual pressure, spaced not further than 400 feet to the building, on 800-foot centers thereafter.

## 4. PREMISE IDENTIFICATION & WAYFINDING

Addresses shall be posted on each structure and where otherwise needed to aid in wayfinding. Code language provided below.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

**Department: Environmental Planning**

**Contact: Stephanie Blochowiak, 970-416-4290, [sblochowiak@fcgov.com](mailto:sblochowiak@fcgov.com)**

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of known natural habitat (riparian and forested area; tree and shrub groves; grasses and forbs). These areas may provide cover and nutritional resources for local and migratory wildlife. Standard buffers for natural habitats and features are varied and outlined in Section 3.4.1(E) of the Land Use Code. Based on the site size and conditions for this proposed

project area, an abbreviated and memo-based ECS (2-3 pg) can be submitted that addresses (a) general wildlife use of the site and broader area, (b) presence of stick nests including raptor nests. Once this information is received, staff can better evaluate whether the buffer zone standards and/or mitigation would be applied.

The Ecological Characterization Study is due a minimum of 10 days prior to the PDP submittal. A comprehensive list of local qualified ecological consultants can be provided upon request.

2. City of Fort Collins Land Use Code [Section 3.2.1 (E)(3)], requires that to the extent reasonably feasible, all plans be designed to incorporate water conservation materials and techniques. This includes use of low-water-use plants and grasses in landscaping or re-landscaping and reducing bluegrass lawns as much as possible. Native plants and wildlife-friendly (ex: pollinators, butterflies, songbirds) landscaping and maintenance are also encouraged. Please refer to the Fort Collins Native Plants document available online and published by the City of Fort Collins Natural Areas Department for guidance on native plants is: <http://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf>.
3. Note LUC Section 3.2.1(C) requiring developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment." A significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
4. If tree mitigation is necessary, include the following note on the tree mitigation plan and/or landscape plan: "All tree removal shown shall be completed outside of the songbird nesting season (Feb 1 - July 31) or a survey will be conducted of the trees to be removed to ensure that no active nests are present."
5. Our city has an established identity as a forward-thinking community that cares about the high quality of life it offers its citizens now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project.

1) Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)

2) Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)

3) Integrated Design Assistance Program: <http://fcgov.com/idap>, contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)

4) Nature in the City Strategic Plan: <http://www.fcgov.com/natureinthecity/>, contact Justin Scharon at 970-221-6213 or [jscharon@fcgov.com](mailto:jscharon@fcgov.com)

**Department: Engineering Development Review**

**Contact: Marc Virata, 970-221-6567, [mvirata@fcgov.com](mailto:mvirata@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this

project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.

4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. 24-95 of the City Code obligates development to the local street portion of abutting right-of-way. The local street portion of improvements would then require the design and construction for the widening of Vine Drive, the addition of curb and gutter, and construction of sidewalk abutting the property. City Transportation staff has discussed this and is acceptable to an option where in-lieu of the design and construction, the local street portion is paid to the City prior to the first building permit. The payment option instead of construction would still also be acceptable if an additional unit (duplex) is proposed.
6. Street cuts to public streets for utility services would require an excavation permit as found here: <http://www.fcgov.com/engineering/pdf/ExcavationPermitDigital.pdf>
7. Each lot should share a single driveway access point onto Vine Drive, as access spacing requirements onto Vine Drive would not allow to access points abutting the property.
8. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
9. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall include half of the minor arterial street standard (42 feet half street right-of-way) and the standard 15 foot utility easement behind the right-of-way. Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php>
10. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
11. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
12. At the conceptual review meeting it was indicated that the underground of overhead utilities (or conduit installation in lieu of the undergrounding) is required under city code. In looking at the code provision, Land Use Code section 3.3.2(D)(7)(a), it would appear that an exception to this is allowed based on the overhead line being temporary in nature for the purpose of servicing "lands not developed to urban qualifications" and would not be required with the project.
13. A Development Construction Permit (DCP) or excavation permit will need to be obtained prior to starting any work on the site.
14. The annexation of the property itself would not require the comments contained in this section, except for the TDRF in comment #2, specific to the TDR fee for Annexations.
15. Existing fences within the public right-of-way would need to be relocated with the development.
16. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Luke Unruh, 9704162724, [lunruh@fcgov.com](mailto:lunruh@fcgov.com)**

1. The closest place to tap into the electrical system is at Lancer Dr and Vine Dr.
2. Electric Capacity Fee, Building Site charges, and any necessary system modification charges will apply. Please see the Electric Estimating Calculator and Electric Construction Policies, Practices & Procedures at the following link:  
<http://www.fcgov.com/utilities/business/builders-and-developers>
3. You may contact FCU Light & Power, project engineering if you have questions. (970) 221-6700. You may reference Light & Power's Electric Service Standards at [http://www.fcgov.com/utilities/img/site\\_specific/uploads/ElectricServiceStandards\\_FINAL\\_17June2016.pdf](http://www.fcgov.com/utilities/img/site_specific/uploads/ElectricServiceStandards_FINAL_17June2016.pdf)

**Planning Services**

**Contact: Ted Shepard, 970-221-6343, [tshepard@fcgov.com](mailto:tshepard@fcgov.com)**

1. Upon annexation, per the City's Structure Plan Map, the property will be placed into the U-E, Urban Estate zone district.
2. Annexation and zoning requires a recommendation by the Planning and Zoning Board and then two readings by City Council. This takes three to four months.
3. Part of the Annexation and Zoning process is that the City notifies all current utility providers to the site. Please prepare a list of the applicable utility providers for electricity (R.E.A. or Xcel), natural gas, water, sanitary sewer, telephone (land line only), cable television (land line only).
4. The proposed size of the lot, two acres, exceeds the minimum required lot size of the Urban Estate zone district of one-half acre.
5. The Subdivision Plat must be prepared by a State of Colorado registered land surveyor. The Plat may be submitted and considered somewhat concurrently to the annexation and zoning but consideration of the Plat cannot take place until after Second Reading by Council on the A & Z.
6. The Subdivision may be considered a Minor Subdivision since no more than one new net lot is being created. This will be processed in accordance with Section 2.18. Please note that notification is required to surrounding property owners within 800 feet, exclusive of public right-of-way and publicly owned open space.
7. For the Minor Subdivision, the Planning Director will be the decision maker. There will be no public hearing. Instead, after proper notification, there will be a two-week open comment period. Please note that the Planning Director's decision may be appealed to the Planning and Zoning Board, per Section 2.18.
8. Please note that the Annexation Petition must be certified by an attorney.
9. For your reference, in U-E zone, the minimum required lot width is 100 feet. This standard will be evaluated at the time the subdivision plat is being reviewed.
10. Also for your reference, the building minimum required setbacks in the U-E zone are 30 feet for the front yard setback, 25 feet for the rear yard, and 20 feet for the side yards.
11. A pre-submittal meeting is recommended for both the Annexation and Zoning and the Subdivision Plat so that the proper number of submittal documents are prepared and that submittal fees are reviewed. Also, the review schedules can be scoped so the applicants are aware of the two timelines.