

**CITY OF FORT COLLINS
TYPE 1 ADMINISTRATIVE HEARING
FINDINGS AND DECISION**

HEARING DATE: May 20, 2015

PROJECT NAME: Centre for Advanced Technology 23rd Lot 2 Office Building

CASE NUMBER: FDP150007

APPLICANT: Cathy Mathis
The Birdsall Group
444 Mountain Avenue
Berthoud, CO 80513

OWNER: Colorado State Research Foundation
601 South Howes Street
Fort Collins, CO 80521

HEARING OFFICER: Kendra L. Carberry

PROJECT DESCRIPTION: This is a request for a consolidated Project Development Plan/Final Plan (FDP) to construct a 31,619 square foot office building on 1.88 acres. The project is located at the northwest corner of Rolland Moore Drive and Centre Avenue, between Centre Avenue and Perennial Drive. The FDP requests one Modification of Standard (Section 3.5.3(C)(2), Orientation to Build-to Lines for Streetfront Buildings) to provide a small parking lot on the south end of the building.

SUMMARY OF DECISION: Approved

ZONE DISTRICT: Employment (E)

HEARING: The Hearing Officer opened the hearing at approximately 5:30 p.m. on May 20, 2015, in Conference Room A, 281 North College Avenue, Fort Collins, Colorado.

EVIDENCE: During the hearing, the Hearing Officer accepted the following evidence: (1) Planning Department Staff Report; (2) application, plans, maps and other supporting documents submitted by the applicant; and (3) email from Shana Fisher dated May 18, 2015 (the Land Use Code, the Comprehensive Plan and the formally promulgated polices of the City are all considered part of the record considered by the Hearing Officer).

TESTIMONY: The following persons testified at the hearing:

From the City: Clay Frickey

From the Applicant: Cathy Mathis, Jeff Hansen, Bo Brown

From the Public: N/A

FINDINGS

1. Evidence presented to the Hearing Officer established the fact that the hearing was properly posted, legal notices mailed and notice published, with the exception that the published and mailed notices referred to the "Northeast corner of Rolland Moore Dr. and Centre Ave." when the evidence presented at the hearing demonstrated that the site is actually located on the Northwest corner of Rolland Moore Drive and Centre Avenue. However, the Hearing Officer finds that the mailed notice contained an accurate map, and the posted notice was posted on the correct property. Therefore, the Hearing Officer finds that the error was *de minimus* and that the notices were adequate to inform the public of the time and place of the hearing and the subject of the hearing.
2. The FDP complies with the applicable General Development Standards contained in Article 3 of the Code.
 - a. The FDP complies with Section 3.2.1(D)(1)(c), Tree Planting Standards – Full Tree Stocking, because the landscaping includes groups of canopy, coniferous evergreen, and ornamental trees planted in compliance with the Code.
 - b. The FDP complies with Section 3.2.1(D)(2), Tree Planting Standards – Street Trees, because the FDP includes ornamental Chanticleer Pear trees planted in compliance with the required spacing.
 - c. The FDP complies with Section 3.2.1(E)(4), Parking Lot Perimeter Landscaping, because the parking areas are screened from abutting uses with one tree every 25', plus a low wall of tall grasses, small shrubs and a mix of ornamental and evergreen trees.
 - d. The FDP complies with Section 3.2.2(E)(5), Parking Lot Interior Landscaping, because the parking lots includes shaded areas and landscaped islands, and each landscaped island includes at least one canopy tree with complementary small shrubs and grasses.
 - e. The FDP complies with Section 3.2.2(C)(4)(b), Bicycle Parking Space Requirements, because 8 it includes enclosed bicycle parking spaces and 8 fixed rack bicycle parking spaces.
 - f. The FDP complies with Section 3.2.2(C)(5), Walkways, because the walkways connect both entrances to the building to the sidewalk network on Perennial Lane, Rolland Moore Drive and Centre Avenue.
 - g. The FDP complies with Section 3.2.2(D)(1), Access and Parking Lot Requirements, because an extensive sidewalk network is provided around the building, which sidewalk is separated from vehicle use areas by a curb.
 - h. The FDP complies with Section 3.2.2(E), Parking Lot Layout, because the parking lot layout contains adequate circulation routes, orientation and landscaped islands, and minimizes points of conflict.

i. The FDP complies with Section 3.2.2(J), Setbacks, because the proposed parking lot is set back further than the 10' minimum from non-arterial streets and 5' minimum along lot lines.

j. The FDP complies with Section 3.2.2(K)(2), Nonresidential Parking Requirements, because it includes 97 parking spaces, which is greater than the minimum required, but does not exceed the maximum required.

k. The FDP complies with Section 3.2.2(K)(5), Handicap Parking, because the small lot will provide 2 handicap accessible spaces and the large lot will provide 3 handicap accessible spaces.

l. The FDP complies with Section 3.2.3, Solar Access, Orientation, Shading, because the building is designed and located to minimize the casting of shadows on adjacent properties and could accommodate future active and passive solar installations.

m. The FDP complies with Section 3.2.4, Site Lighting, because the proposed lighting plan is consistent with the requirements of the Code.

n. The FDP complies with Section 3.2.5, Trash and Recycling Enclosures, because the trash and recycling enclosure abuts a storage area, allows walk-in access without having to open the main service gate, is screened from public view and is built on a concrete pad.

o. The FDP complies with Section 3.5.1, Building and Project Compatibility, because: the building is of similar height and scale to surrounding developments; the building appears to have less bulk than surrounding developments, because of its L-shaped footprint; the building materials will minimize massing; the outdoor storage area is appropriately located and screened; and the rooftop mechanical equipment is appropriately screened.

p. The FDP complies with Section 3.5.3(D), Variation in Massing, because the proposed building is consistent with the requirements of the Land Use Code in regards to horizontal massing and changes in massing being related to entrances, the integral structure and interior spaces of the building. No horizontal plane exceeds a 1:3 height-width ratio. The changes in massing also relate to building features such as doors and windows, which are integral to the interior spaces of the building.

q. The FDP complies with Section 3.5.3(E), Character and Image, because: all walls break up their mass with windows, change in materials and fenestration pattern to provide a human scale; each entrance to the building is clearly defined by awnings and recession from abutting sections; extruded bays with a cornice line and window shades on the first story define a clear base of the building; and sloped roofs, a cornice line and awnings define a clear top of the building.

r. The FDP complies with Section 3.6.6, Emergency Access, because an emergency access easement runs through the large parking lot.

3. The FDP complies with the applicable standards contained in Article 4 of the Code for the Employment zone district.

a. The FDP complies with Section 4.28(B)(2), Permitted Uses, because office use is permitted in the Employment zone district.

b. The FDP complies with Section 4.27(D)(4)(a), Dimensional Standards – Maximum Building Height, because the structure is less than the 4-story maximum.

c. The FDP complies with Section 4.27(E)(1)(b), Site Design, because the office building is similar in size and scale to the abutting residential buildings and prevents an abrupt change in the scale and height of buildings.

4. The Modification of Standard (Section 3.5.3(C)(2), Orientation to Build-to Lines for Streetfront Buildings) meets the applicable requirements of Section 2.8.2(H) of the Code.

a. The Modification would not be detrimental to the public good.

b. The Modification will promote the general purpose of the standard equally well or better than would a plan which complies with the standard.

c. The visual impact of the parking lot will be mitigated on all sides by the landscaping, which includes a low screen wall of native grass, shrubs, ornamental trees and canopy trees. The pedestrian experience will also be enhanced by the connecting walkway, allowing pedestrians to access the building at either entrance without crossing a drive aisle.

DECISION

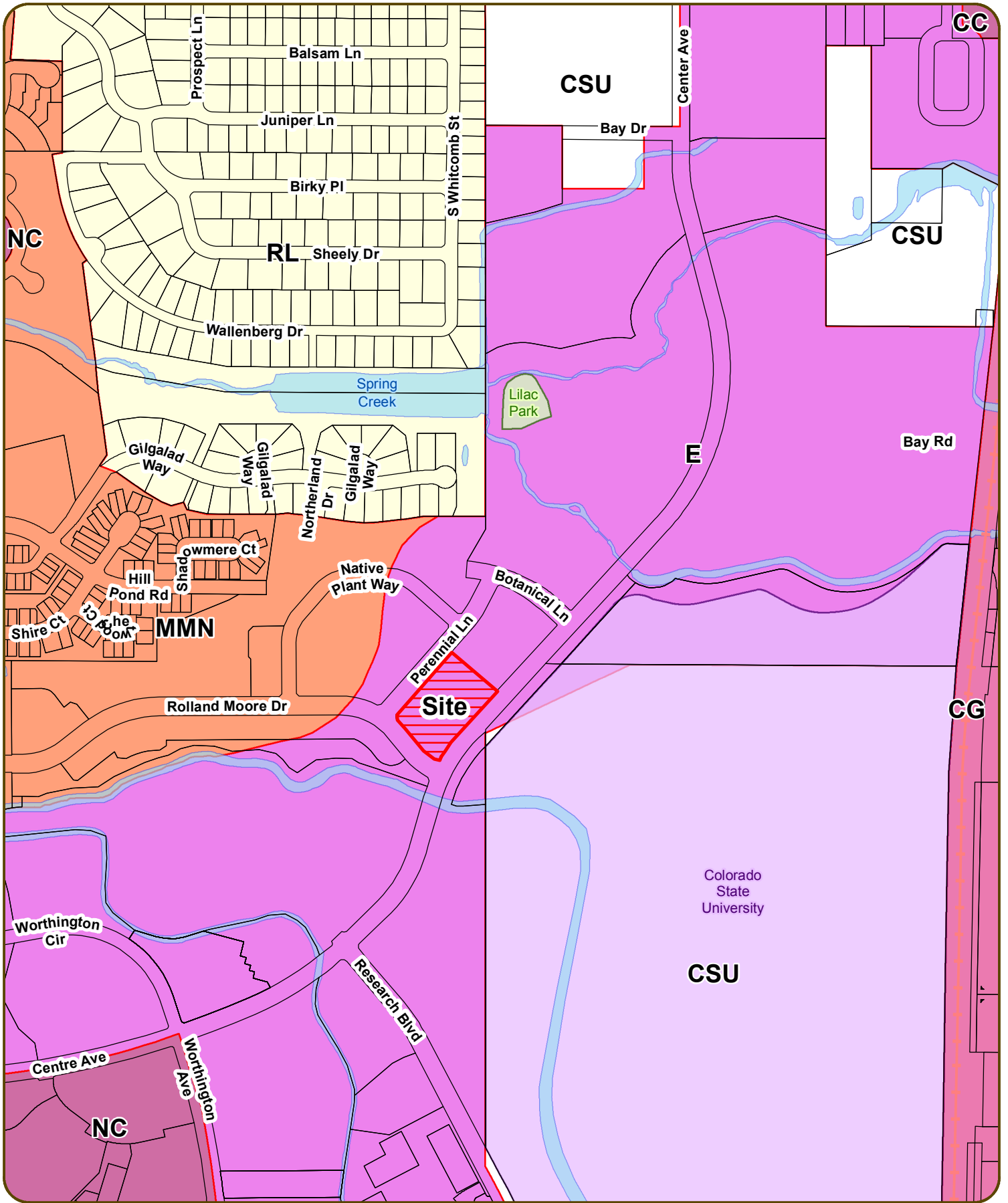
Based on the foregoing findings, the Hearing Officer hereby enters the following rulings:

1. The FDP and the Modification of Standard are approved as submitted.

DATED this 3rd day of June, 2015.



Kendra L. Carberry
Hearing Officer



1 inch = 500 feet

CAT 23rd - Office Vicinity Map



February 25, 2015

Centre For Advanced Technology 23rd Filing, Lot 2 Office Building

Statement of Planning Objectives

This proposal is for a new office building to be located on Lot 2 of the Centre For Advanced Technology 23rd Filing. The project location is at the corner of Rolland Moore Drive, between Perennial Lane and Centre Avenue. The surrounding infrastructure, utilities, street paving, and parking are all in place from the construction of the Grove.

Uses surrounding the property consist of the following:

South: The Grove parking lot, Zoned E
West: The Grove apartment buildings, Zoned E
North: Sunshine House Day Care, Zoned E
East: NRRC Research Campus, CSU

This building will be designed as a multi-tenant office building. It will have 2 stories fully above grade plus a lower, walk-out garden level. The building footprint is approx. 12,070 sq.ft. with total area for all 3 levels approx. 31,070 sq.ft. Architectural style will be contemporary with multiple building masses accentuated by changes in plane and/or materials. Elevations feature a mix of punched openings and larger, multi-story openings framed with aluminum storefront and curtainwall systems. Roofs will be a combination of flat single membrane roofs with extended parapet walls and sloping roofs with standing seam prefinished metal. Exterior wall finish materials will be primarily brick and stucco.

Main access to the site is provided from Perennial Lane, which serves the lower parking area, containing parking for 89 cars for employees and visitors. Access to the upper parking area will utilize an existing entrance off of Rolland Moore Drive, which currently aligns with the existing parking lot for the Grove. 12 parking spaces will be provided for visitors.

The 1.88-acre site is in the E- Employment zoning district. The area surrounding the proposed office building contains a mix of single and multi-family, government buildings, office parks, a senior living campus and community gardens. The site is ideal for this type of use as it provides a high-quality office building in a vacant infill site in Fort Collins. The proposed project is located within walking and biking distance to neighborhoods, restaurants, employment, and shopping centers. There is an existing transit stop directly across Centre Avenue and there is a new pad for a stop on the west side of Centre. There are bike lanes in Centre Avenue and the Spring Creek Bike Trail is close to the site. In addition, there are ample resources for the office building's employees to tap into, such as the Gardens on Spring Creek, numerous bike trails, Rolland Moore Park and the MAX bus route.

(i) **Statement of appropriate City Plan Principles and Policies achieved by the proposed plan:**

This proposal meets the following applicable City Plan Principles and Policies:

Environmental Health

Principle ENV 19: The City will pursue opportunities to protect and restore the natural function of the community's urban watersheds and streams as a key component of minimizing flood risk, reducing urban runoff pollution, and improving the ecological health of urban streams.

Policy ENV 19.2 – Pursue Low Impact Development

The project is implementing LID by incorporating grass swales and pervious pavement, which will treat runoff from the new building.

Community and Neighborhood Livability

Principle LIV 38: Employment Districts will be the major employment centers in the community, and will also include a variety of complementary uses to meet the needs of employees. By design, they will be accessible to the City's multimodal transportation system and encourage walking, bicycling, car and van pooling, and transit use.

Policy LIV 38.1 - Mix of Uses

Policy LIV 38.5 – Coordinate District Design

Policy LIV 38.7 – Address Parking

Policy LIV 38.8 – Provide Walkways and Bikeways

Policy LIV 38.10 – Link to Transit

The proposed office building is a primary use located in rapidly developing area. The area surrounding the site contains a mix of residential, institutional, employment, office and retail. The visual impacts of the parking lot have been reduced by placing the parking to the side of the building and enhancing with landscaping. Centre Avenue, the Spring Creek trail and the nearby MAX BRT all will help promote and encourage the use of multi-modal transportation.

Transportation

Principle T 8: Transportation that provides opportunities for residents to lead healthy and active lifestyles will be promoted.

Policy T 8.1 – Support Active Transportation

Policy T 8.2 – Design for Active Living

The location of this office building will support active lifestyles by utilizing on-street sidewalks, designated bike lanes, bike and walking trails and transit.

Principle T 9: Enhanced Travel Corridors will contain amenities and designs that specifically promote walking, the use of mass transit, and bicycling.

Policy T 9.1 – Locating Enhanced Travel Corridors

The project is located within walking distance to the MAX Bus Rapid Transit.

Principle T10: Using transit will be a safe, affordable, easy, and convenient mobility option for all ages and abilities.

Policy T 10.1 – Transit Stops

There are existing transit stops on Centre Avenue, very close to the site.

Principle T11: Bicycling will be a safe, easy, and convenient mobility option for all ages and abilities

The location of the office building will promote and support the idea of the employees and clients to utilize alternative modes of transportation (walking/biking) or public transportation. There are bike lanes and sidewalks on all of the public streets.

(ii) Description of proposed open space, wetlands, natural habitats and features, landscaping, circulation, transition areas, and associated buffering on site and in the general vicinity of the project.

There are no wetlands or significant natural habitats within the boundaries of the site. However, due to the proximity to the existing Larimer County Canal No. 2 irrigation ditch, an ECS letter has been provided.

(iii) Statement of proposed ownership and maintenance of public and private open space areas; applicant's intentions with regard to future ownership of all or portions of the project development plan.

The facility will be constructed and owned by CSURF.

(iv) Estimate of number of employees for business, commercial, and industrial uses.

45 - 60

(v) Description of rationale behind the assumptions and choices made by the applicant.

Our assumptions are based on the following rationale for the proposed office use:

The motivation behind the new building was to provide Class A office space for lease. The site has been vacant for many years and the improvements will create an attractive corner presence at the intersection of two busy streets.

(vi) The applicant shall submit as evidence of successful completion of the applicable criteria, the completed documents pursuant to these regulations for each proposed use. The planning Director may require,

or the applicant may choose to submit, evidence that is beyond what is required in that section. Any variance from the criteria shall be described.

At this time the project is not proposing any variance from the City of Fort Collins criteria.

- (vii) Narrative description of how conflicts between land uses or disturbances to wetlands, natural habitats and features and or wildlife are being avoided to the maximum extent feasible or are mitigated.**
There are not existing wetlands, natural habitats or features currently located on site. See above.
- (viii) Written narrative addressing each concern/issue raised at the neighborhood meeting(s), if a meeting has been held.**
There was no neighborhood meeting held.
- (ix) Name of the project as well as any previous name the project may have had during Conceptual Review.**
The project is called CAT 3rd Lot 2 Office Building. The project was called Centre For Advanced Technology - Office at Conceptual Review.

February 25, 2015

Administrative Hearing Officer
c/o City of Fort Collins
Current Planning Department
281 North College Ave.
Fort Collins, CO 80524

Re: CAT 23rd Lot 2 Office Building

Please accept this request for a Modification of Standards to **Sections 3.5.3(C)(2)** of the Land Use Code.

Background

This proposal is for a new office building to be located on Lot 2 of the Centre For Advanced Technology 23rd Filing. The project location is at the corner of Rolland Moore Drive, between Perennial Lane and Centre Avenue. The surrounding infrastructure, utilities, street paving, and parking are all in place from the construction of the Grove.

The proposed building will contain approximately 31,600 sq. ft. of office space and is one to three stories in height. Main access to the site is provided from Perennial Lane, which serves the lower parking area, containing parking for 89 cars for employees and visitors. Access to the upper parking area will utilize an existing entrance off of Rolland Moore Drive, which currently aligns with the existing parking lot for the Grove. 12 parking spaces will be provided for visitors.

The 1.88-acre site is in the E- Employment zoning district. The area surrounding the proposed office building contains a mix of single and multi-family, government buildings, office parks, a senior living campus and community gardens. The site is ideal for this type of use as it provides a high-quality office building in a vacant infill site in Fort Collins. The proposed project is located within walking and biking distance to neighborhoods, restaurants, employment and shopping centers. There is an existing transit stop directly across Centre Avenue and there is a new pad for a stop on the west side of Centre. There are bike lanes in Centre Avenue and the Spring Creek Bike Trail is close to the site. In addition, there are ample resources for the office building's employees to tap into, such as the Gardens on Spring Creek, numerous bike trails, Rolland Moore Park and the MAX bus route.

The modifications are requested in accordance with the review procedures set forth in Section 2.8.2(H) of the Land Use Code as follows:

Modification to Section 3.5.3(C)(2)

Code Language: Section 3.5.3(C) *Relationship of Buildings to Streets, Walkways and Parking* states the following:

(2) *Orientation to Build-to Lines for Streetfront Buildings.* Build-to lines based on a consistent relationship of buildings to the street sidewalk shall be established by development projects for new buildings and, to the extent reasonably feasible, by development projects for additions or modifications of existing buildings, in order to form visually continuous, pedestrian-oriented streetfronts with no vehicle use area between building faces and the street.

Requested Modification: We request that the proposed building have a vehicle use area between the south building face and Rolland Moore Drive.

Modification Criteria

The request of approval for this modification complies with the standards per Review Criteria 2.8.2 (H)(1) in the following ways:

1. The plan as submitted will promote the general purpose of the standard for which the modification is requested **equally well or better than** would a plan which complies with the standard for which a modification is requested.

Further, We feel that the granting of the modification would **not be detrimental to the public good.**

Justification

We feel that the plan as submitted will promote the general purpose of the standard for which the modification is requested **equally well or better than** would a plan which complies with the standard for which a modification is requested for the following reasons:

- The intervening vehicle use area that separates the southwest side of the building from Rolland Moore Drive allows vehicles to circulate and park on the south side of the building. This area is relatively small in size and will be paved with porous pavers, thus minimizing the fact that there is a parking lot between the building and the street.
- The pedestrian-oriented streetfront is reinforced by the fact that there is a continuous connecting walkway from the building entry to the street so that pedestrians do not have to cross a drive aisle. The building entry plaza is a significant feature that mitigates the impact of the vehicle use area. The purpose of the connecting walkway is to strengthen the relationship between the building and the street and the plaza feature accomplishes this purpose well.
- Due to the existing site grading, the siting of the building is unique, offering a lower level walk out on the north side of the building and an upper level entrance on the south side. Allowing a small parking area to be located here allows visitors to have a convenient place to park.
- The proposed alternative plan continues to improve the design, quality and character of new development by exceeding the building standards set forth in Section 3.5. The use of high quality building materials, building articulation, projections and recesses ensure sensitivity to and compatibility with the surrounding neighborhood.

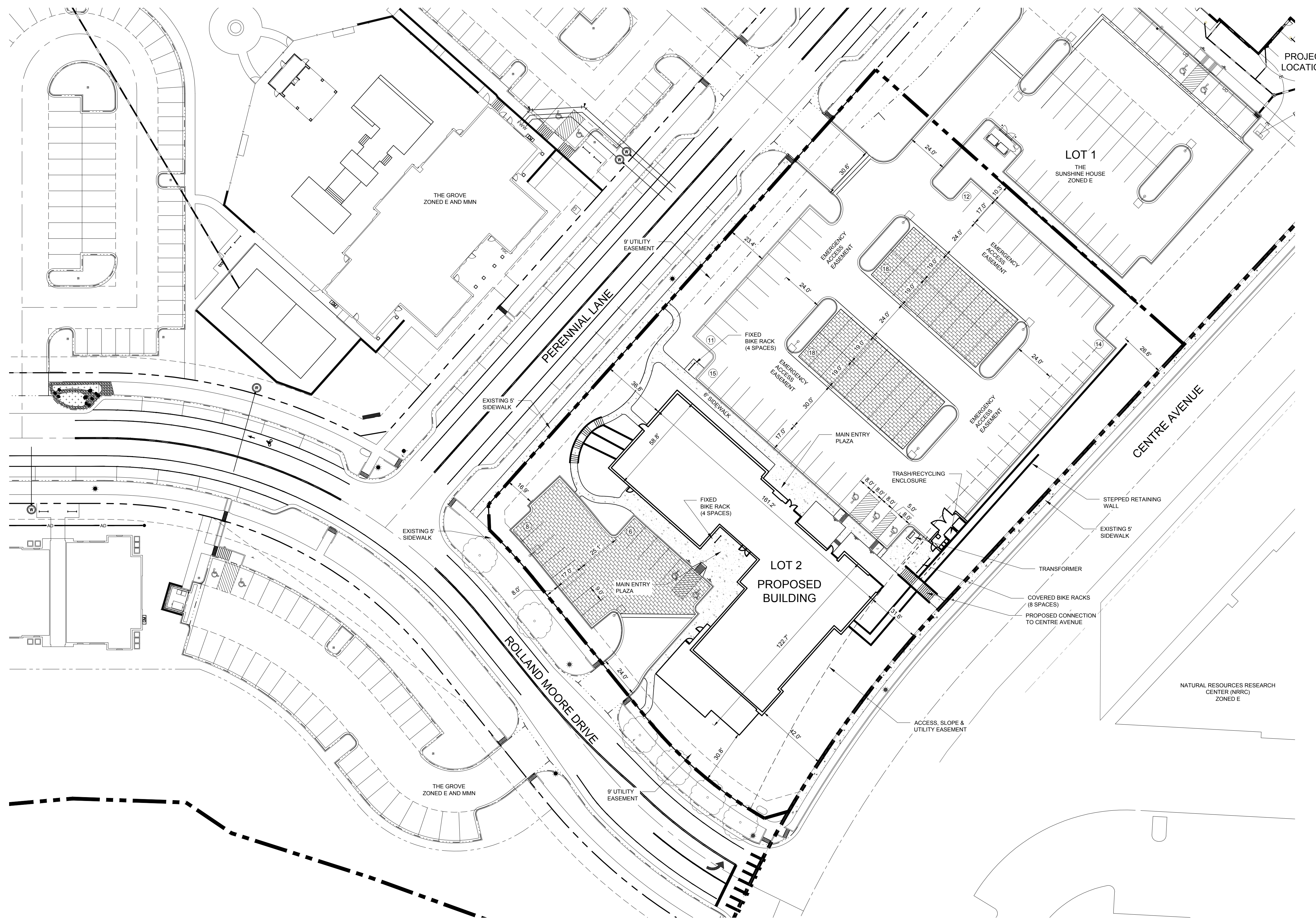
- The proposed alternative plan continues to encourage the development of vacant properties within established areas. The site is surrounded by existing development - a mix of multi-family, government office buildings, a day care center and a community garden.
- The visual impacts of the vehicle use area is greatly reduced by the use of extensive, enhanced landscaping along the frontage of Rolland Moore Drive, utilizing a combination of shrubs, grasses and trees that will provide ample screening.

We look forward to working with you during this process and will be happy to answer any questions you may have.

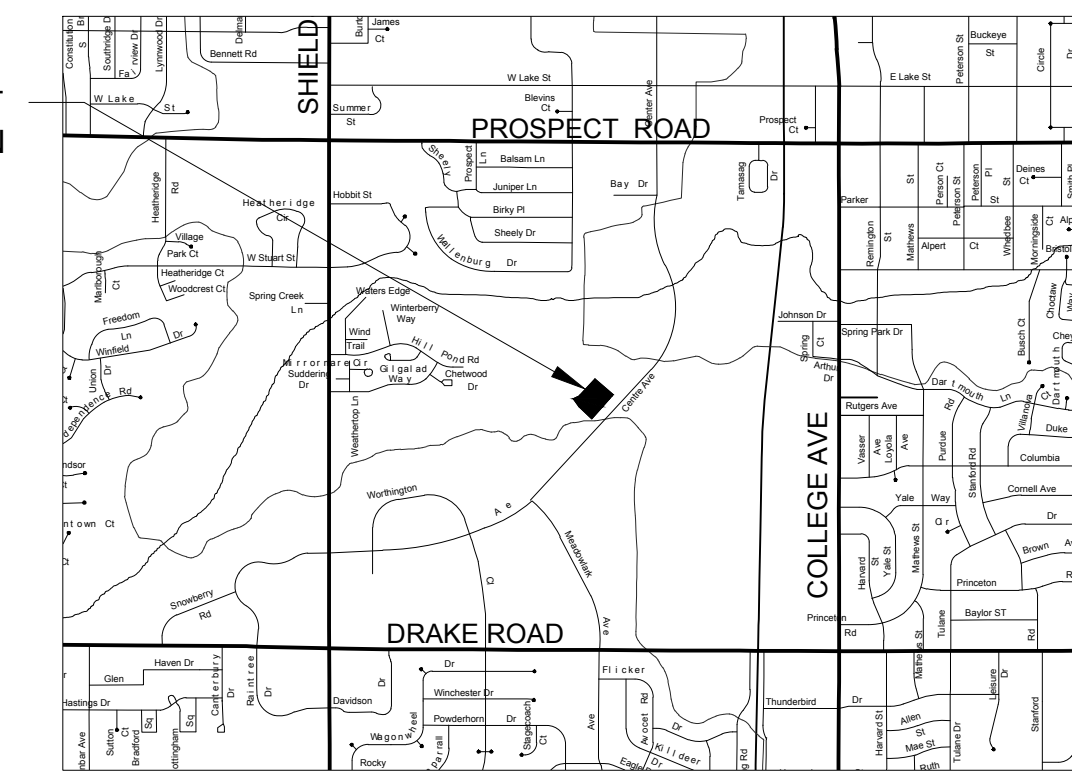
Sincerely,

A handwritten signature in black ink that reads "Cathy Mathis". The signature is written in a cursive, flowing style.

Cathy Mathis, APA
Project Manager, The Birdsall Group



Vicinity Map:



Land-Use Statistics

EXISTING ZONING:	E - EMPLOYMENT
GROSS LAND AREA:	82,264 SF 1.88 AC
NUMBER OF BUILDINGS:	1
LAND USE:	OFFICE
TOTAL BUILDING GROSS S.F.:	32,294 SF
TOTAL STORIES:	3
FLOOR AREA RATIO:	2.6:1 F.A.R.

GROSS AREA COVERAGE

	SQUARE FEET	ACRES	% OF
BUILDING FOOTPRINT	11,756	0.270	14%
LANDSCAPE AREA	28,530	0.655	35%
PAVED DRIVES AND PARKING	37,461	0.860	46%
SIDEWALKS/PATIOS	4,517	0.103	5%
TOTAL AREA:	82,264	1.888	100%

OFF-STREET PARKING:

PER IUC SECTION 8.2.2(K)(II/A):
GENERAL OFFICE: MIN. 1 / 1,000 SQ. FT. MAX. 1 / 3,000 SQ. FT.

REQUIRED: MIN. 32 MAX. 97

PROVIDED:

STANDARD ACCESSIBLE 97 5

TOTAL SPACES PROVIDED 102

BICYCLE PARKING:

REQUIRED: 1 SPACE PER 4,000 SQ. FT. 8 SPACES

PROVIDED: ENCLOSED 8 SPACES
FIXED RACKS 8 SPACES

TOTAL SPACES PROVIDED 16 SPACES

Legend

- HANDICAP PARKING STALL
- TRANSFORMER
- EASEMENT LINE
- PROPERTY LINE
- BIKE RACK
- PERVIOUS PAVERS
- PARKING LOT LIGHT POLE

General Notes:

- ALL SIGNS SHALL BE REQUIRED TO APPLY FOR SIGN PERMIT.
- PROPOSED GRADES SHALL MATCH OR IMPROVE EXISTING GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING WHILE PROVIDING A SMOOTH TRANSITION BETWEEN ALL ADJACENT UNDISTURBED GRADES AND PROPOSED GRADES.
- JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.
- SOILS DISTURBED ADJACENT TO WORK AREA, INCLUDING AREAS OUTSIDE OF CONSTRUCTION LIMITS, DUE TO NEW CONSTRUCTION ARE TO BE REGRADED AND SURFACE CONDITIONS REPAIRED AND SEEDED EQUIVALENT TO THAT CONDITION PRIOR TO START OF WORK.
- PROTECT EXISTING SURFACES BOTH INSIDE AND OUTSIDE OF CONSTRUCTION LIMITS, DURING CONSTRUCTION. IF GRADES, CONCRETE OR ASPHALT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS OR WEATHER THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO THAT EQUIVALENT TO EXISTING CONDITIONS AT NO EXPENSE TO THE OWNER / CITY.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT CONSIDERED OR CHANGED AFTER PLANS WERE SUBMITTED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE CITY OF FORT COLLINS IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC. DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1987.
- TO THE EXTENT FEASIBLE, COOPERATIVE AGREEMENTS WITH ADJACENT PROPERTY OWNERS TO CREATE A COMPREHENSIVE DEVELOPMENT PLAN THAT ESTABLISHES AN INTEGRATED PATTERN OF CROSS ACCESS, PARKING AREAS, OUTDOOR SPACES, BUILDING STYLES AND LAND USE.
- ALL ROOFTOP MECHANICAL EQUIPMENT WILL BE FULLY SCREENED FROM PUBLIC VIEW AND PAINTED TO MATCH THE ROOF.
- THE TRASH AND RECYCLING ENCLOSURE WILL BE CONSTRUCTED ON A CEMENT CONCRETE PAD PER IUC 3.2.5(C)(7).

Owner's Certification of Approval:

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.
IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS THE ____ DAY OF ____ 20__

CSU RESEARCH FOUNDATION:

NOTARIAL CERTIFICATE

STATE OF COLORADO)

COUNTY OF _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY (PRINTED NAME) THIS ____ DAY OF ____ 20__

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC _____

(SEAL)

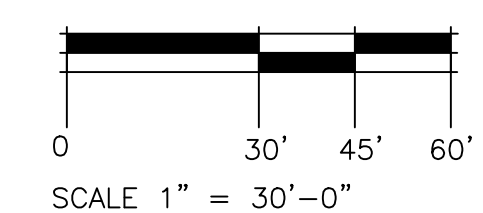
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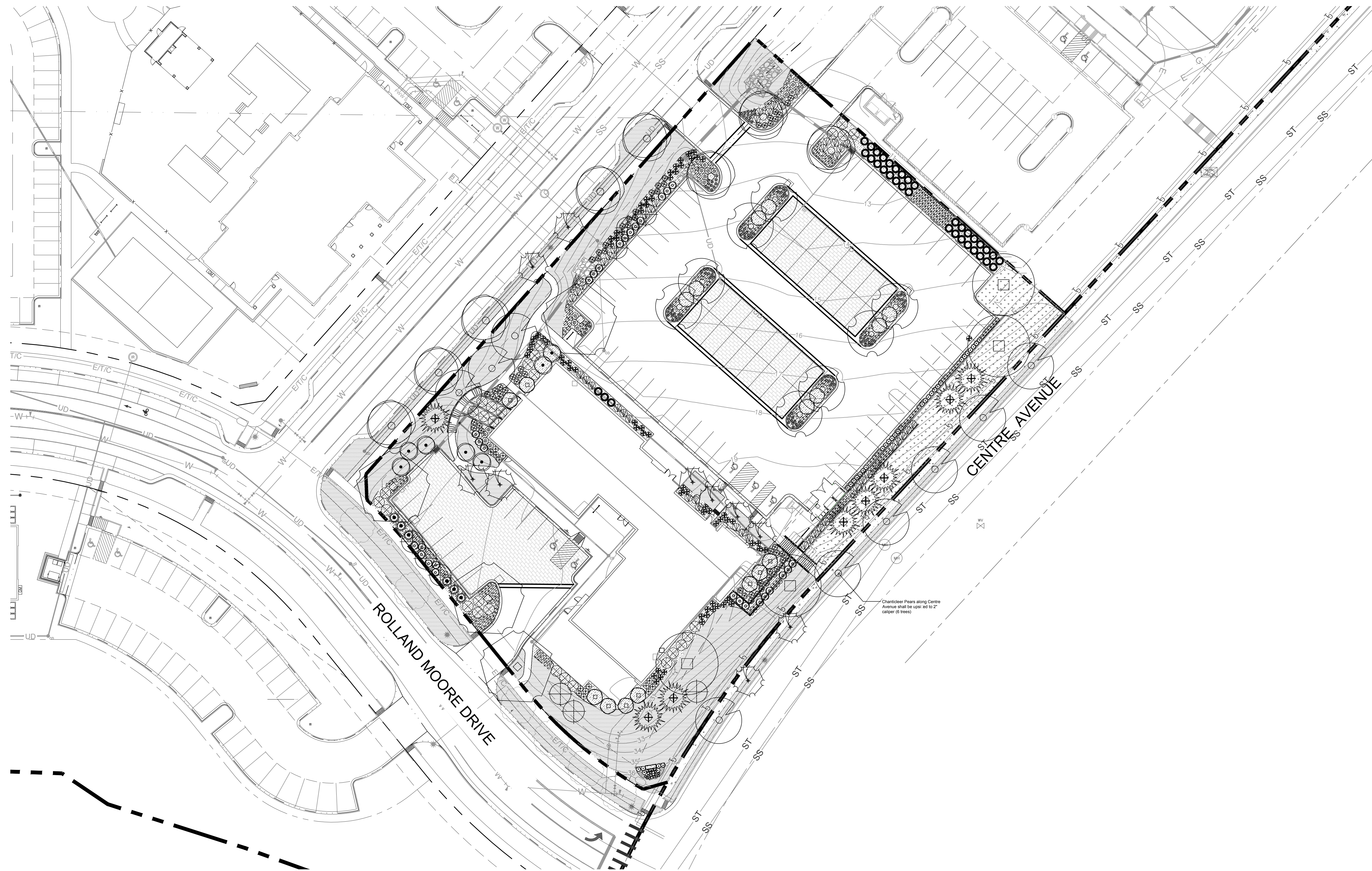
LOT 2, CENTRE FOR ADVANCED TECHNOLOGY 23RD FILING
THE ABOVE DESCRIBED AREA CONTAINS 82,264 SQUARE FEET OR 1.888 ACRES MORE OR LESS AND IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY NOW ON RECORD OR EXISTING.

Planning Approval:

BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO THIS ____ DAY OF ____ A.D., 20__

DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES





KEY	QTY	RATIO	COMMON NAME
SHADE / CANOPY TREES - 24			
	8	11.9%	COFFEE TREE, KENTUCKY
	4	6.0%	HACKBERRY, WESTERN
	8	11.9%	HONEYLOCUST, IMPERIAL
	4	6.0%	OAK, SHUMARD
EVERGREEN TREES - 8			
	8	11.9%	SPRUCE, BAKERI
ORNAMENTAL TREES - 35			
	10	14.9%	CRABAPPLE, SPRING SNOW
	7	10.4%	MAPLE, AMUR
	3	4.5%	PEAR, CHANTICLEER
	6	9.0%	PEAR, CHANTICLEER
	9	13.4%	SERVICEBERRY, AUTUMN BRILLANCE
EVERGREEN SHRUBS - 6			
	6	-	PINE, MUGO SLOWMOUND
DECIDUOUS SHRUBS - 211			
	9	-	BUTTERFLY BUSH, COMPACT PURPLE
	29	-	CHOKEBERRY, BRILLIANT RED
	36	-	EUONYMUS, COMPACT BURNING BUSH
	28	-	LILAC, DWARF KOREAN
	34	-	POTENTILLA, MCKAY'S WHITE
	8	-	SAND CHERRY, WESTERN PAWNEE BUTTES
	18	-	SPIREA, BLUE MIST
	49	-	SUMAC, THREE LEAF
PERENNIALS / GRASSES - 587			
	67	-	GRASS, AVENA
	134	-	GRASS, GRAMA BLONDE AMBITION GRAMA
	313	-	GRASS, FEATHER REED
	14	-	GRASS, REGAL MIST MUHLY

Parking Lot Area Landscape

PER LUC 3.2.1 (E)(5):

SMALL LOT	
TOTAL PARKING AREA	1,385 SF REQUIRED
PARKING LOT AREA LANDSCAPE	5,986 SF PROVIDED
LARGE LOT	
TOTAL PARKING AREA	411 SF REQUIRED
PARKING LOT AREA LANDSCAPE	980 SF PROVIDED

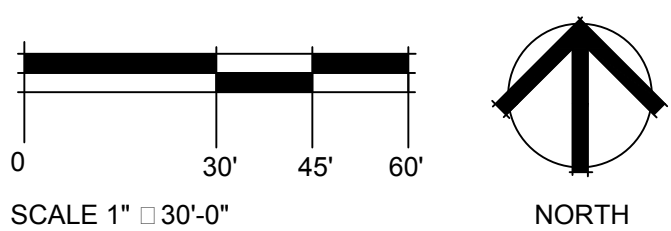
REVISIONS	DATE
STAFF COMMENTS	04.22.15

DATE
FEBRUARY 25, 2015

SHEET TITLE
Landscape Plan

SHEET INFORMATION

A FREE PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY STREET TREES ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY/TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATION AFTER UTILITY LOCATES. STREET TREES MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.



LOT 2, CENTER for ADVANCED TECHNOLOGY, 23rd FILING

FORT COLLINS, COLORADO



VAUGHT FRYE LARSON architects

Strength in design. Strength in partnership.
Strength in community.

401 West Mountain Avenue, Suite 100 Fort Collins, CO 80521
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IN ASSOCIATION WITH:

SCHEMATIC DESIGN

Issue	No.	Description	Date
	1	PDP SUBMITTAL	02-25-2015
	2	PDP RE-SUBMITTAL	04-22-2015
	3		
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Revisions	No.	Description	Date
	1		
	2		
	3		

DRAWN BY: RJH

CHECKED BY: RJH

SEAL:

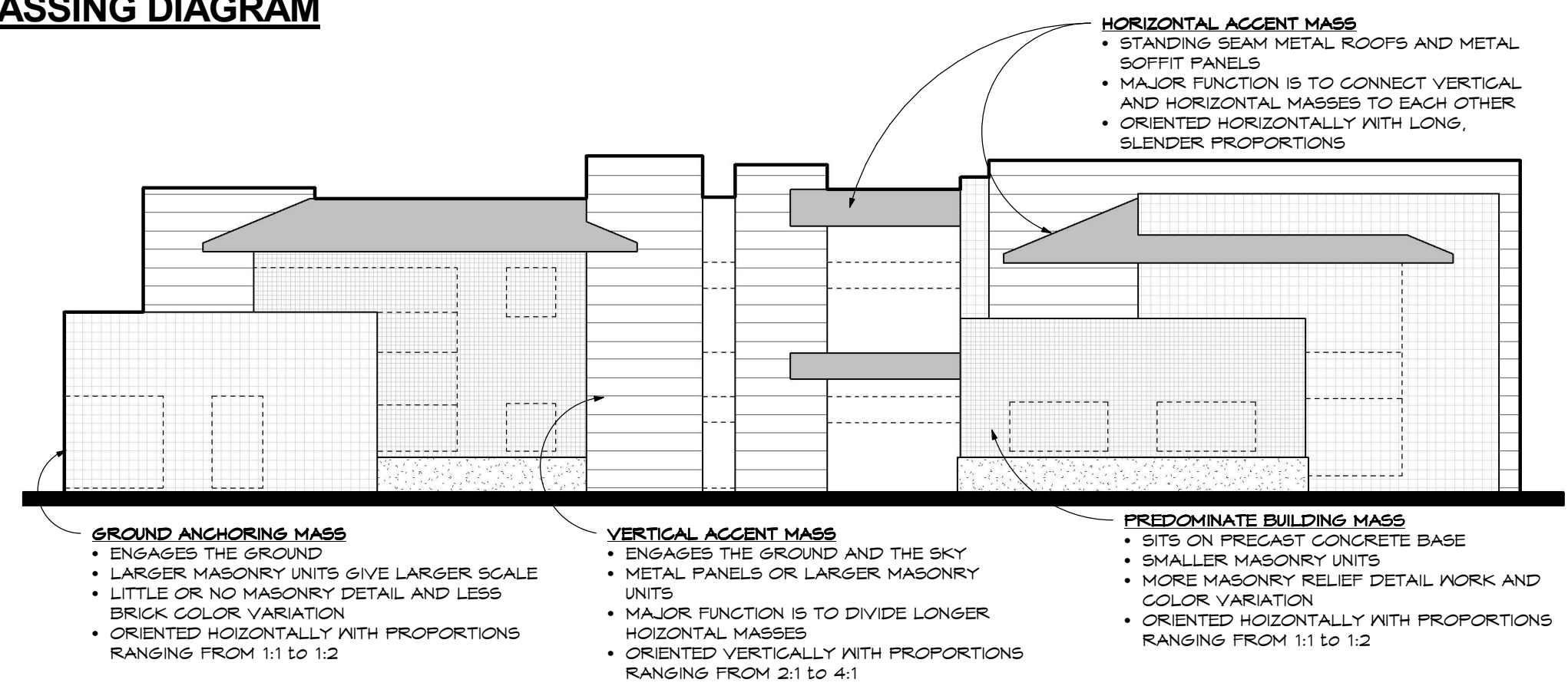
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EXTERIOR ELEVATIONS

DRAWING NUMBER:

A1

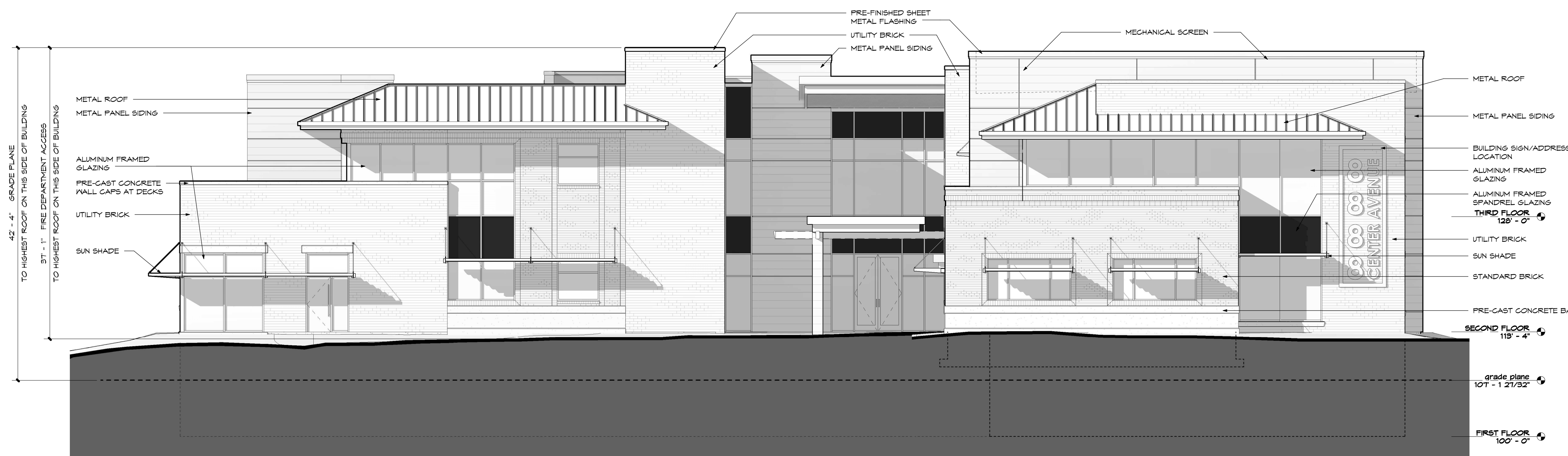
MASSING DIAGRAM



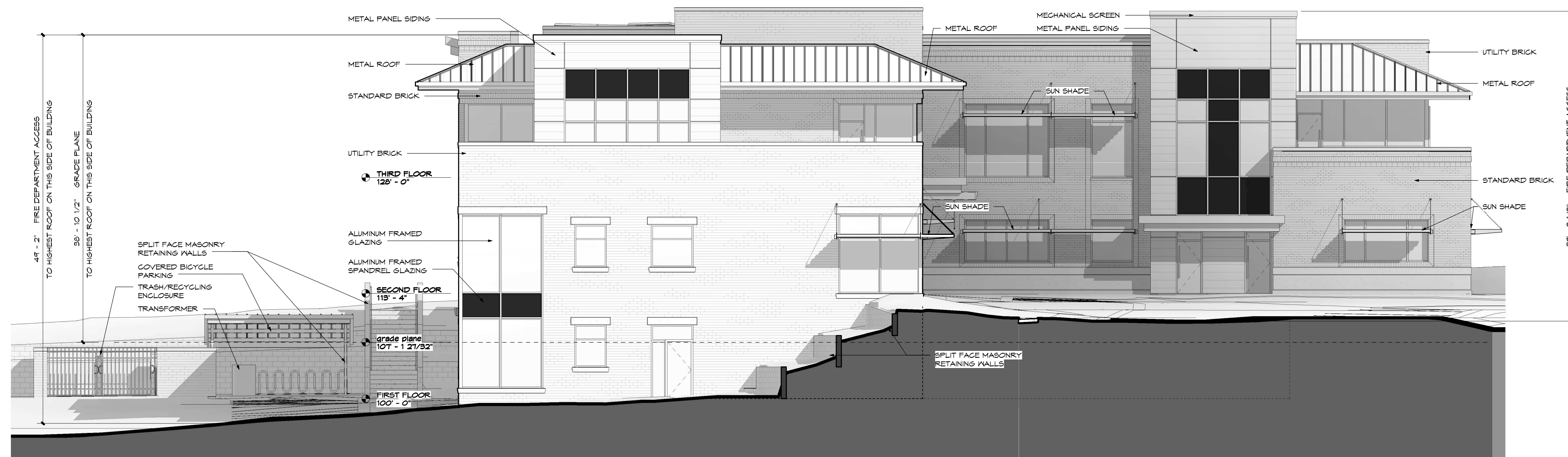
EXTERIOR FINISHES & COLOR SELECTION STRATEGY

UTILITY BRICK	BOLD, UNIFORM TO SLIGHTLY VARIEGATED COLOR SELECTED FROM THE BRICK MANUFACTURER'S "RED" PALETTE
STANDARD BRICK	MUTED AND VARIEGATED COLOR SELECTED FROM THE BRICK MANUFACTURER'S "GRAY/BUFF" PALETTE
PRECAST WALL BASE PRECAST WINDOW HEADS & SILLS PRECAST WALL CAPS AT DECKS	LIGHT & WARM UNIFORM COLOR SELECTED TO COMPLEMENT BOTH THE UTILITY BRICK AND STANDARD BRICK COLORS
METAL PANELS METAL ROOF PRE-FINISHED SHEET METAL FLASHING ALUMINUM FRAMES EXPOSED STEEL FRAMING	NEUTRAL COLOR OF A MEDIUM TO MEDIUM-DARK VALUE. ROOF MATERIAL REQUIRED TO MEET LEED STANDARDS FOR REFLECTIVE ROOFING.
VISION GLAZING	GRAY TINTED, SOLARBAN COATING ON SOUTH FACING GLAZING
SPANDREL GLAZING	COOL, MEDIUM GRAY BACK-PAINTED GLASS

GENERAL NOTE:
ALL EXTERIOR WALL MOUNTED LIGHTS TO BE FULL CUT-OFF.



1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

LOT 2, CENTER for ADVANCED TECHNOLOGY, 23rd FILING

FORT COLLINS, COLORADO



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1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES & COLOR SELECTION STRATEGY	
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SCHEMATIC DESIGN

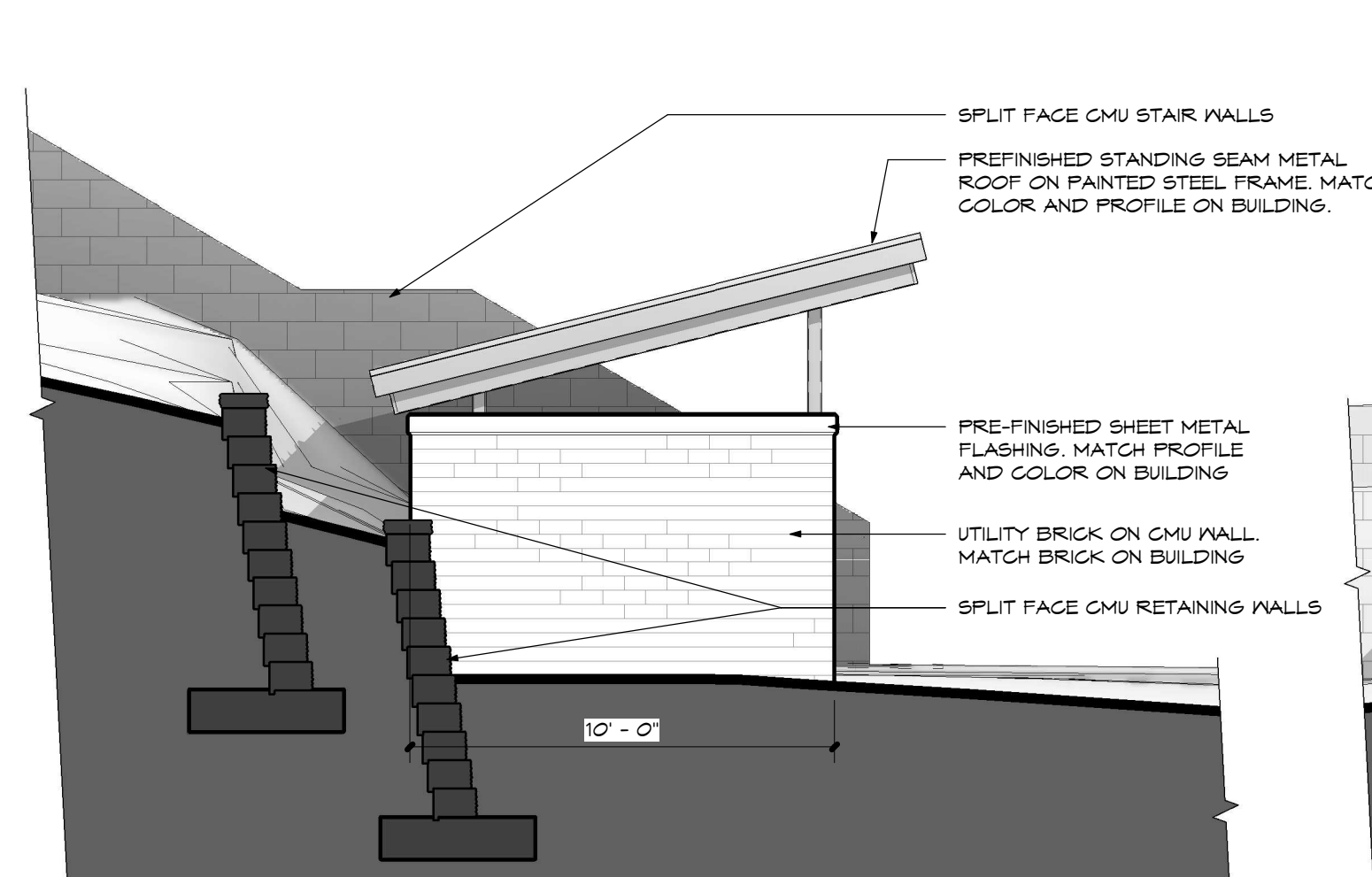
Issue		
No.	Description	Date
1	PDP SUBMITTAL	02-25-2015
2	PDP RE-SUBMITTAL	04-22-2015
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Revisions		
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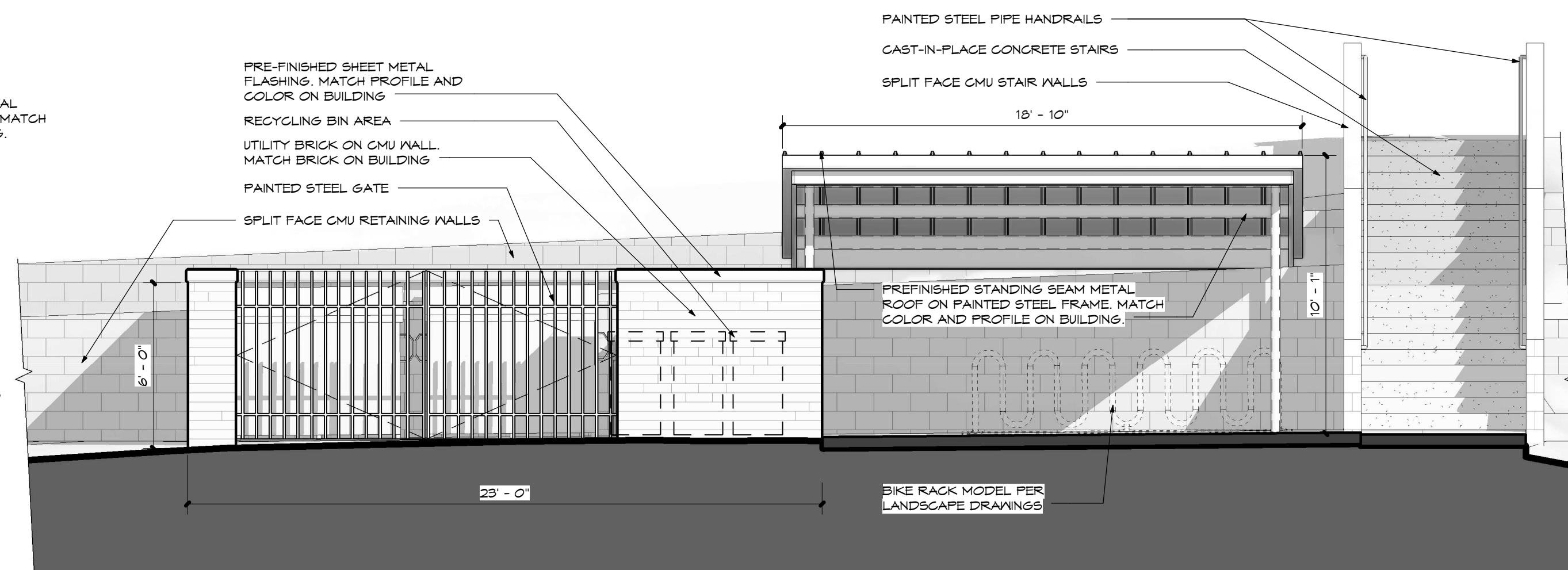
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CHECKED BY: RJH

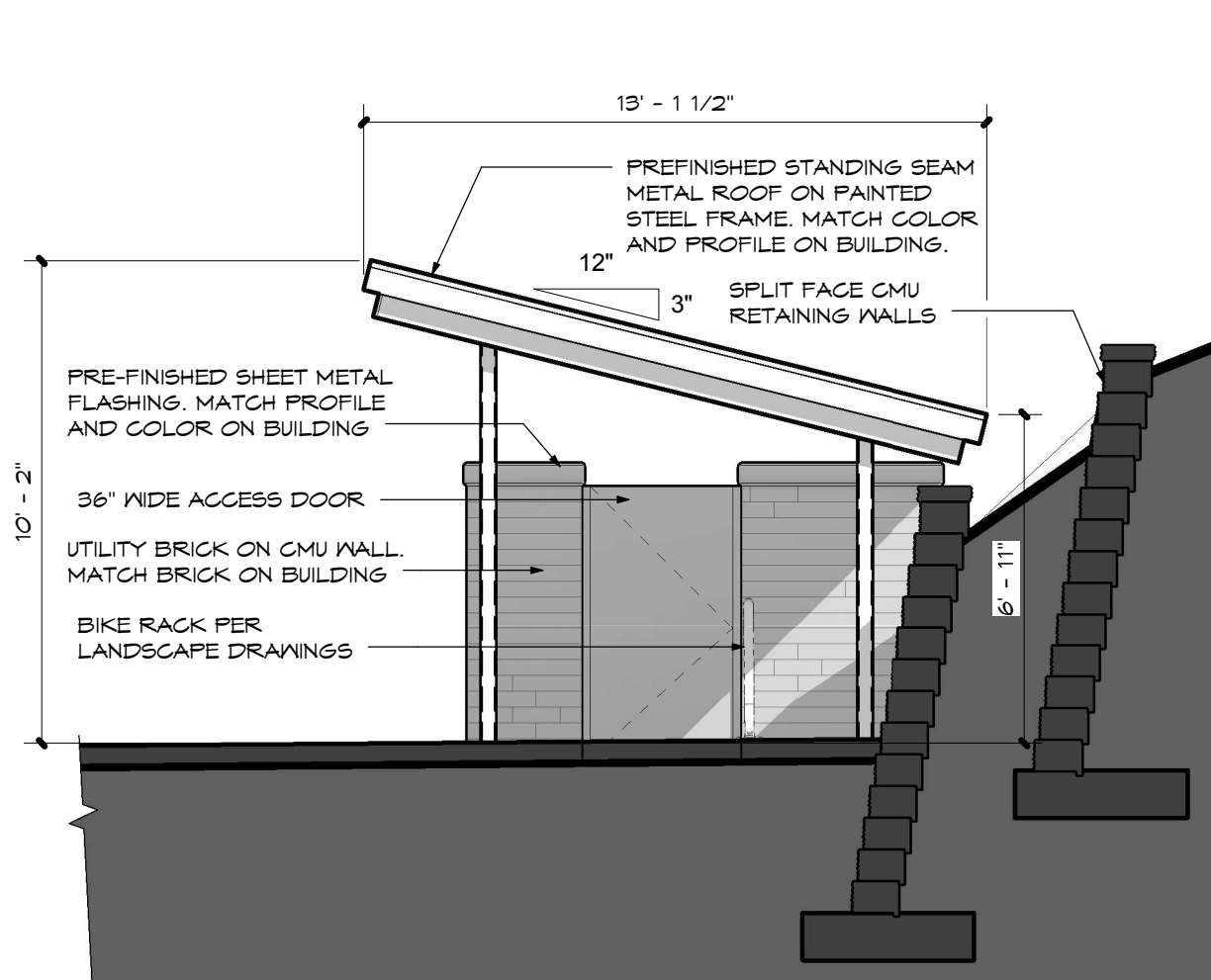
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5 TRASH & BIKE ENCLOSURES - RIGHT ELEVATION
1/4" = 1'-0"



4 TRASH & BIKE ENCLOSURES - FRONT ELEVATION
1/4" = 1'-0"



3 TRASH & BIKE ENCLOSURES - LEFT ELEVATION
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

DRAWING NUMBER:

A2



PROJECT NUMBER: 2014-122

LOT 2, CENTER for ADVANCED TECHNOLOGY, 23rd FILING

FORT COLLINS, COLORADO

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SCHEMATIC DESIGN

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No.	Description	Date
1	PDP SUBMITTAL	02-25-2015
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Revisions

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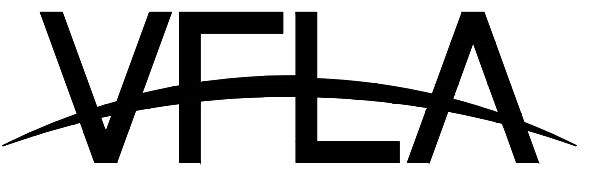
PERSPECTIVE VIEWS

DRAWING NUMBER:

A3

CAT 23rd LOT 2

Fort Collins, CO



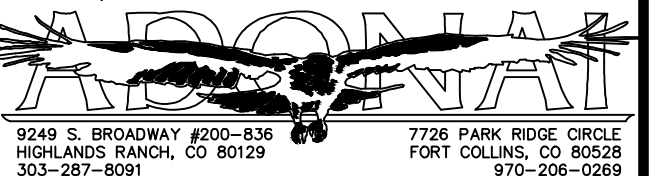
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IN ASSOCIATION WITH:

APS, INC. ELECTRICAL ENGINEERS



9248 S. BROADWAY #200-836 7726 PARK RIDGE CIRCLE
HIGHLANDS RANCH, CO 80129 FORT COLLINS, CO 80528
303-287-8091 970-206-0269

100 CD SET

No.	Description	Date
1	PDP SUBMITTAL	02-25-2015
2	STAFF COMMENTS	04-22-2015
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1	ADDENDUM 1	(00-00-0000)
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DRAWN BY: SJM

CHECKED BY: RJB, CP

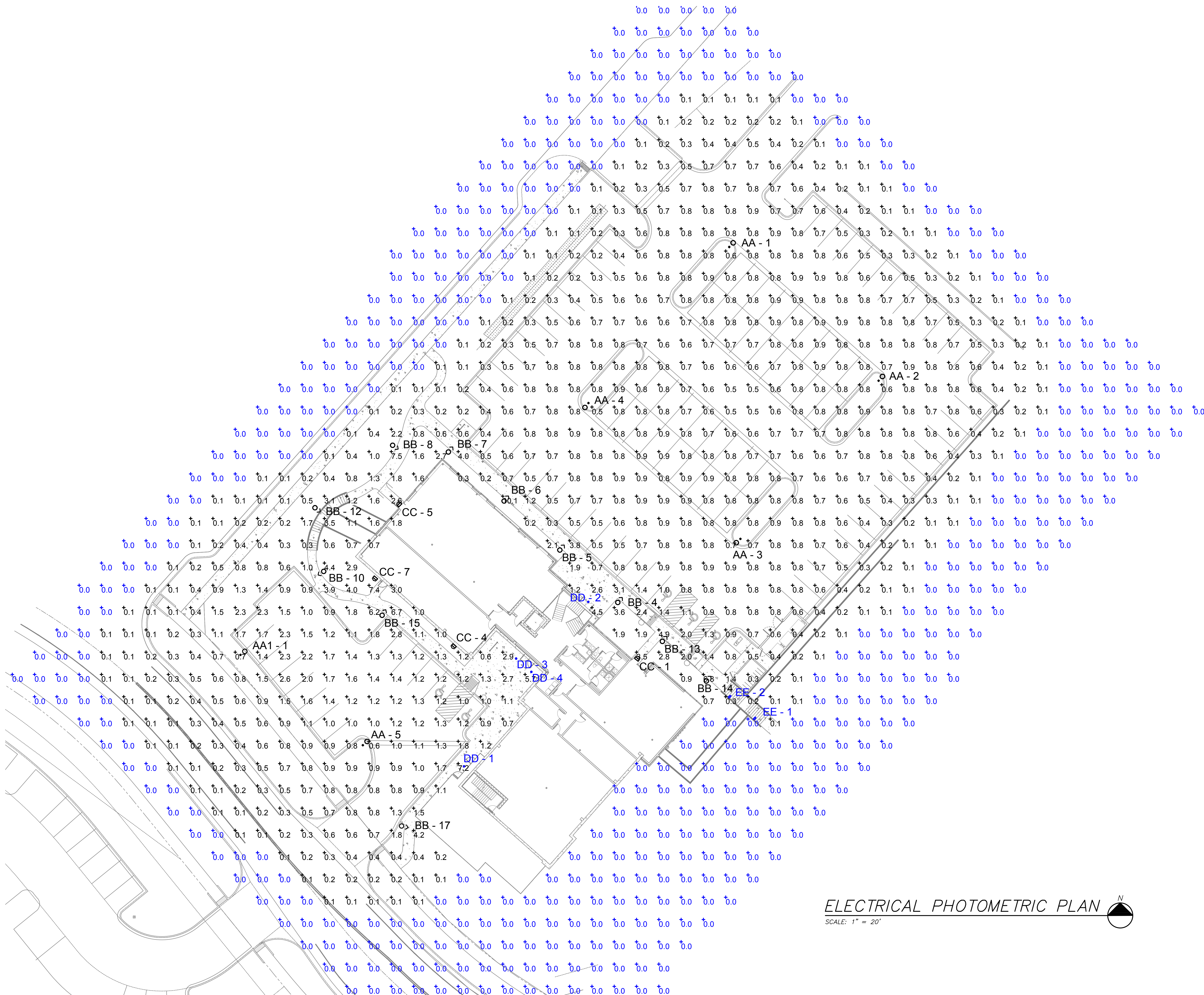
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PHOTOMETRIC PLAN

DRAWING NUMBER:

PM.1



ELECTRICAL PHOTOMETRIC PLAN
SCALE: 1" = 20'

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ITEM NO 1
MEETING DATE May 20th, 2015
STAFF Clay Frickey

ADMINISTRATIVE HEARING OFFICER

STAFF REPORT

PROJECT: Centre for Advanced Technology 23rd Lot 2 Office Building, FDP150007

APPLICANT: Cathy Mathis
The Birdsall Group
444 Mountain Ave.
Berthoud, CO 80513

OWNERS: Colorado State Research Foundation
601 S Howes St.
Fort Collins, CO 80521

PROJECT DESCRIPTION:

This is a consolidated Project Development Plan/Final Plan request to construct a 31,619 square foot office building on 1.88 acres. Due to the topography of the site, the building will be two stories on the south side and three stories on the north side. The project will provide 102 parking spaces. The project is located at the northwest corner of Rolland Moore Dr. and Centre Ave., between Centre Ave. and Perennial Dr. This site is located in the Employment (E) zone district. The parcel is platted as Lot 2 of the Centre for Advanced Technology 23rd subdivision.

RECOMMENDATION: Staff recommends approval of Centre for Advanced Technology 23rd Lot 2 Office Building, FDP150007.

EXECUTIVE SUMMARY:

Staff finds the proposed Centre for Advanced Technology 23rd Lot 2 Office Building Project Development Plan/Final Plan complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The Project Development Plan/Final Plan complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.

- The Modification of Standard to Section 3.5.3(C)(2) that is proposed with this Project Development Plan/Final Plan meets the applicable requirements of Section 2.8.2(H), in that the granting of the Modification would not be detrimental to the public good and the plan will promote the general purpose of the standard for which the modification is requested equally or better than would a plan which complies with the standard for which a modification is requested.
- The Project Development Plan/Final Plan complies with relevant standards of Article 3 – General Development Standards, if the Modification of Standard to Section 3.5.3(C)(2) is approved.
- The Project Development Plan/Final Plan complies with relevant standards located in Division 4.27 Employment (E) of Article 4 – Districts.

COMMENTS:

1. Background

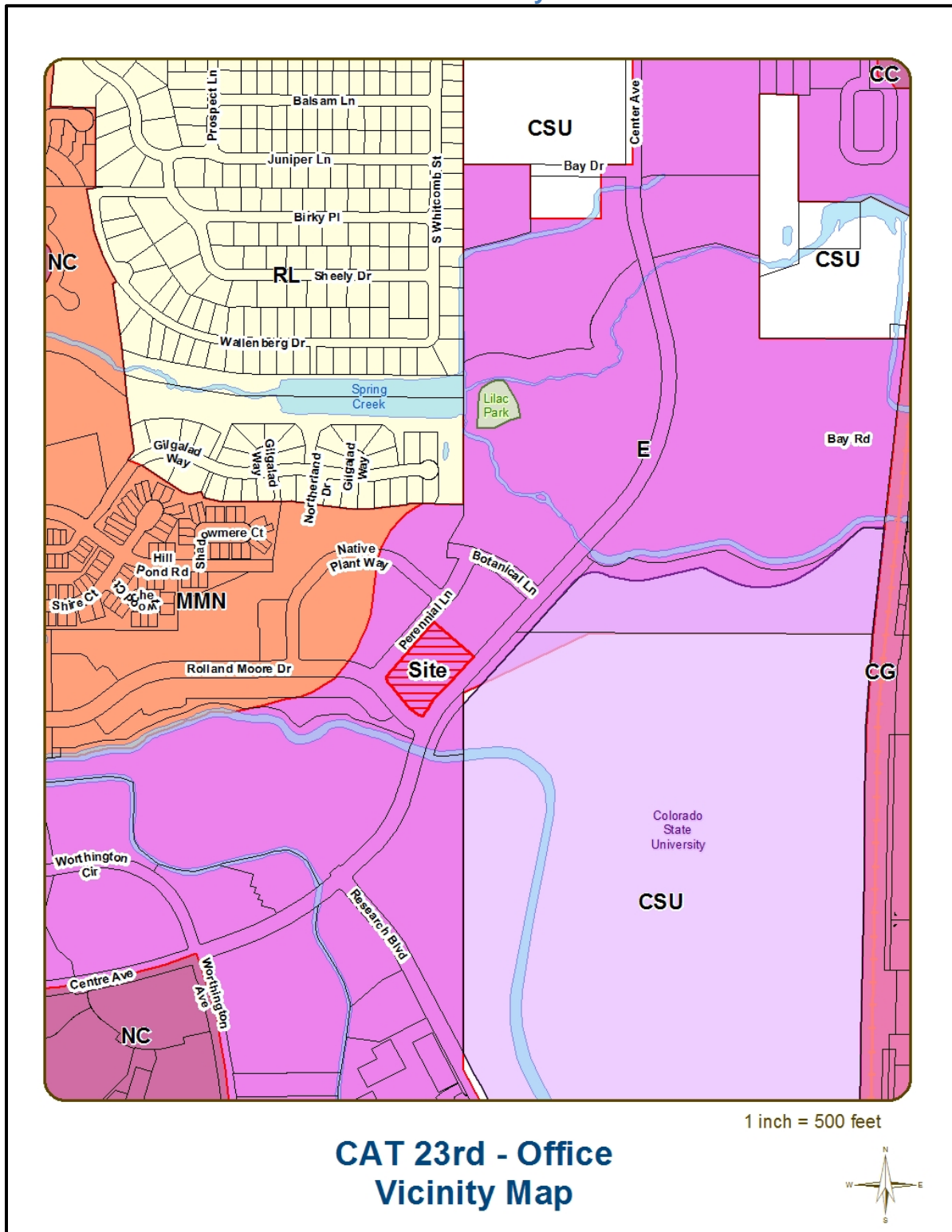
The properties were annexed into the City of Fort Collins as part of the College Fourth Annexation in September 1965. The parcel was platted as Lot 2 of the Centre for Advanced Technology 23rd Filing subdivision in February 2014.

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Employment (E), Low Density Residential (RL)	Child care, single-family detached residential
South	Employment (E)	Vacant, office, retail, tennis courts
East	CSU	Offices and research facilities
West	Employment (E), Medium Density Mixed-Use Neighborhood (MMN)	Multi-family residential

A zoning and site vicinity map is presented on the following page.

Map 1: Centre for Advanced Technology 23rd Lot 2 Office Building Zoning & Site Vicinity



2. **Compliance with Section 2.8.2(H) of the Land Use Code - Modification of Standards**

Modification Description:

The applicant requests a Modification to section 3.5.3(C)(2) - *Orientation to Build-to Lines for Streetfront Buildings* to provide a small parking lot on the south end of the building.

Land Use Code Standard Proposed to be Modified (areas underlined and bolded for emphasis):

Land Use Code 3.5.3(C)(2):

*Build-to lines based on a consistent relationship of buildings to the street sidewalk shall be established by development projects for new buildings and, to the extent reasonably feasible, by development projects for additions or modifications of existing buildings, in order to form visually continuous, pedestrian-oriented streetfronts **with no vehicle use area between building faces and the street.***

- (a) To establish "build-to" lines, buildings shall be located and designed to align or approximately align with any previously established building/sidewalk relationships that are consistent with this standard. Accordingly, at least thirty (30) percent of the total length of the building along the street shall be extended to the build-to line area. If a parcel, lot or tract has multiple streets, then the building shall be built to at least two (2) of them according to (b) through (d) below, i.e. to a street corner. If there is a choice of two (2) or more corners, then the building shall be built to the corner that is projected to have the most pedestrian activity associated with the building.*
- (b) Buildings shall be located no more than fifteen (15) feet from the right-of-way of an adjoining street if the street is smaller than a full arterial or has on-street parking.*
- (c) Buildings shall be located at least ten (10) and no more than twenty-five (25) feet behind the street right-of-way of an adjoining street that is larger than a two-lane arterial that does not have on-street parking.*

Examples & Explanations

- (d) Exceptions to the build-to line standards shall be permitted:*

- 1. In order to form an outdoor space such as a plaza, courtyard, patio or garden between a building and the sidewalk. Such a larger front yard area*

shall have landscaping, low walls, fencing or railings, a tree canopy and/or other similar site improvements along the sidewalk designed for pedestrian interest, comfort and visual continuity.

2. if the building abuts a four-lane or six-lane arterial street, and the Director has determined that an alternative to the street sidewalk better serves the purpose of connecting commercial destinations due to one (1) or more of the following constraints:

a. high volume and/or speed of traffic on the abutting street(s),

b. landform,

c. an established pattern of existing buildings that makes a pedestrian-oriented streetfront infeasible.

Such an alternative to the street sidewalk must include a connecting walkway(s) and may include internal walkways or other directly connecting outdoor spaces such as plazas, courtyards, squares or gardens.

3. In the case of Large Retail Establishments, Supermarkets or other anchor-tenant buildings that face internal connecting walkways with pedestrian frontage in a development that includes additional outlying buildings abutting the street(s).

Examples & Explanations

4. If a larger or otherwise noncompliant front yard area is required by the City to continue an established drainage channel or access drive, or other easement.

5. In order to conform to an established pattern of building and street relationships, a contextual build-to line may fall at any point between the required build-to line and the build-to line that exists on a lot that abuts, and is oriented to, the same street as the subject lot. If the subject lot is a corner lot, the contextual build-to line may fall at any point between the required build-to line and the build-to line that exists on the lot that is abutting and oriented to the same street as the subject lot. A contextual build-to line shall not be construed as allowing a vehicular use area between the building and the street.

Land Use Code Modification Criteria:

“The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

(1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or

(2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city’s Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or

(3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner’s ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

Any finding made under subparagraph (1), (2), (3) or (4) above shall be supported by specific findings showing how the plan, as submitted, meets the requirements and criteria of said subparagraph (1), (2), (3) or (4).

Summary of Applicant’s Justification:

The applicant requests that the Modification be approved and provides the following justification based upon Criterion 1 (proposal is equal or better than provisions in the Land Use Code):

Applicant's Justification for Criterion 1:

- The pedestrian-oriented streetfront is reinforced by the fact that there is a continuous connecting walkway from the building entry to the street so that pedestrians do not have to cross a drive aisle. The building entry plaza is a significant feature that mitigates the impact of the vehicle use area. The purpose of the connecting walkway is to strengthen the relationship between the building and the street and the plaza feature accomplishes this purpose well.
- The visual impacts of the vehicle use area is greatly reduced by the use of extensive, enhanced landscaping along the frontage of Rolland Moore Drive, utilizing a combination of shrubs, grasses and trees that will provide ample screening.
- Due to the existing site grading, the siting of the building is unique, offering a lower level walk out on the north side of the building and an upper level entrance on the south side. Allowing a small parking area to be located here allows visitors to have a convenient place to park.

Staff Finding:

Staff finds that the request for a Modification of Standard to section 3.5.3(C)(2) is justified by the applicable standards in 2.8.2(H)(4).

- A. The granting of the Modification would not be detrimental to the public good
- B. The project design satisfies 2.8.2(H)(1): *the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested.*

Staff finds that the proposed plan meets the intent of the code section equal to or better than would a plan that complies with the standard for which this modification is requested. The purpose of the code standard is to minimize the visual impact of parking lots and to promote a pedestrian-friendly built environment. The visual impact of the parking lot will be mitigated on all sides by the landscape treatment, which includes a low screen wall of native grass, shrubs, ornamental trees and canopy trees. The pedestrian experience will also be enhanced by the provision of a connecting walkway that allows pedestrians to access the building at either entrance without having to cross a drive aisle.

3. Compliance with Article 3 of the Land Use Code – General Development Standards:

The project complies with all applicable General Development Standards as follows:

A. *Division 3.2.1(D)(1)(c) – Tree Planting Standards - Full Tree Stocking*

The proposed landscaping meets the minimum tree stocking standards. The proposed landscape plan shows groups of canopy, coniferous evergreen, and ornamental trees planted in closer proximity than the minimum requirements outlined in the code.

B. *Section 3.2.1(D)(2) - Tree Planting Standards - Street Trees*

The Land Use Code requires canopy shade trees to be planted at thirty to forty-foot spacing in the center of parkway areas where the sidewalk is detached from the street. The proposed trees are upsized Chanticleer Pear, which is an ornamental tree. This tree type is consistent with the street trees on Centre Avenue that were installed with the development of Lot 1 of the Centre for Advanced Technology 23rd filing. Upsized Chanticleer Pear trees were used since the narrow parkway along Centre Avenue cannot support canopy trees. Due to the width limitation of the parkway, the proposed development meets this code requirement by staying consistent with the street tree planting standards applied to adjacent developments.

C. *Section 3.2.1(E)(4) - Parking Lot Perimeter Landscaping*

The proposed parking lot perimeter landscaping meets this code requirement by screening parking areas from abutting uses, providing one tree every 25 feet along public streets and screening the parking lot from abutting uses and the street. The perimeter of both parking lots will be screened with a low wall consisting of tall grasses, small shrubs and a mix of ornamental and evergreen trees.

D. *Section 3.2.2(E)(5) - Parking Lot Interior Landscaping*

The proposed parking lot interior landscaping meets this code requirement by providing areas of shading and landscaped islands. Each landscaped island will have at least one canopy tree with a complement of small

shrubs and grasses. Both parking lots also exceed the 6% minimum landscaping requirement.

E. *Section 3.2.2(C)(4)(b) - Bicycle Parking Space Requirements*

The Land Use Code requires one bicycle parking space per 4,000 square feet with 20% provided in an enclosure and 80% provided via fixed racks. For a 32,294 square foot office building, the Land Use Code requires eight bike parking spaces with two provided in an enclosure and six provided via fixed racks. The proposed building will provide eight enclosed bicycle parking spaces and eight fixed rack bicycle parking spaces.

F. *Section 3.2.2(C)(5) - Walkways*

Walkways must be provided to link sidewalks with building entries through parking lots. These walkways must also provide direct connections to off-site pedestrian and bicycle destinations. The proposed walkways connect both entrances to the building to the sidewalk network on Perennial Lane, Rolland Moore Drive and Centre Avenue. The walkways also allow pedestrians to navigate the site without crossing any drive aisles.

G. *Section 3.2.2(D)(1) – Access and Parking Lot Requirements - Pedestrian/Vehicle Separation*

To the maximum extent feasible, pedestrians and vehicles shall be separated through provisions of a sidewalk or walkway. The site complies with this standard by providing an extensive sidewalk network around the building. The sidewalk is separated from vehicle use areas by a curb.

H. *Section 3.2.2(E) - Parking Lot Layout*

The proposed parking lot layout is consistent with requirements of the Land Use Code in regards to circulation routes, orientation, landscaped islands, and points of conflict.

I. *Section 3.2.2(J) - Setbacks*

The proposed parking lot is setback further than the 10-foot minimum from non-arterial streets and 5-foot minimum along a lot line required per the Land Use Code.

J. *Section 3.2.2(K)(2) - Nonresidential Parking Requirements*

The minimum, maximum and proposed parking are contained in the table below. The proposed parking is within the range of required parking and thus meets the requirements of the Land Use Code.

Table 1: Proposed Parking

Use	Min. Parking	Max. Parking	Parking Provided
Office (32,294 square feet)	1/1,000 square feet = 33 parking spaces	3/1,000 square feet = 97 parking spaces	97 spaces

K. *Section 3.2.2(K)(5) - Handicap Parking*

Parking lots with less than 25 parking spaces are required to provide one handicap accessible space and parking lots with 76-100 parking spaces are required to provide four handicap accessible spaces for a total of five handicap parking spaces. The small lot will provide two handicap accessible spaces and the large lot will provide three handicap accessible spaces resulting in five handicap parking spaces.

L. *Section 3.2.3 - Solar access, orientation, shading*

All developments must be designed to accommodate active and/or passive solar installations and must not deny adjacent properties access to sunshine. The proposed building is designed and located to minimize the casting of shadows on adjacent properties and could accommodate future active and/or passive solar installations.

M. *Section 3.2.4 - Site Lighting*

The proposed lighting plan is consistent with the requirements of the Land Use Code in regards to the general standard, lighting levels and design standards.

N. *Section 3.2.5 - Trash and Recycling Enclosures*

Trash and recycling enclosures must be provided in locations abutting refuse collection or storage areas, shall be designed to allow walk-in access without having to open the main service gate, shall be screened from public view and shall be constructed on a concrete pad. The

proposed trash and recycling enclosure abuts a storage area, allows walk-in access without having to open the main service gate, is screened from public view and is built on a concrete pad.

O. *Section 3.5.1 - Building and Project Compatibility*

The proposed plan is consistent with the requirements of the Land Use Code in regards to building and project compatibility including building size, height, bulk, mass, scale, mechanical equipment screening and operational/physical compatibility.

Size, Height, Bulk, Mass and Scale

The projects adjacent to the Centre for Advanced Technology 23rd include an 11-building residential complex to the northwest comprised of three-story buildings. The development to the east is an office/research park comprised of large two, three and four story buildings with similar walk out features where there are steep grades. The development on Lot 1 of the Centre for Advanced Technology 23rd is a one-story building that is smaller in scale than its surroundings.

The proposed building will be of a similar height and scale to the majority of the developments in its immediate surroundings. The proposed building will appear to have less bulk than its neighbors due to the L-shaped building footprint. The proposed building will also break up its massing through change of materials, the change of planes in vertical architectural elements and a defined base, middle and top.

Outdoor Storage Areas/Mechanical Equipment

The proposed plan is consistent with the requirements of the Land Use Code in regards to the location of outdoor storage, screening of storage areas, and screening of rooftop mechanical equipment from public view.

Operational/Physical Compatibility

The proposed plan is consistent with the requirements of the Land Use Code in regards to hours of operation, placement of trash receptacles and location and number of off-street parking spaces.

P. *Section 3.5.3(D) - Variation in Massing*

The proposed building is consistent with the requirements of the Land Use Code in regards to horizontal massing and changes in massing being related to entrances, the integral structure and interior spaces of the building. No horizontal plane exceeds a 1:3 height-width ratio. The changes in massing also relate to building features such as doors and windows, which are integral to the interior spaces of the building.

Q. *Section 3.5.3(E) - Character and Image*

The proposed building is consistent with the relevant requirements of this Land Use Code section including façade treatments, entrances, and base and top treatments. All walls break up their mass with windows, change in materials and fenestration pattern to provide a human scale. Each entrance to the building is clearly defined by awnings and recession from abutting sections of the building. Extruded bays with a cornice line and window shades on the first story define a clear base of the building. Sloped roofs, a cornice line and awnings define a clear top of the building.

R. *Section 3.6.6 – Emergency Access*

An emergency access easement is proposed that runs through the large parking lot on the north side of the site. The emergency access easement ensures emergency vehicles can gain proper access and maneuvering to reach all portions of the proposed building.

4. **Compliance with Article 4 of the Land Use Code – Employment (E), Division 4.27:**

The project complies with all applicable Article 4 standards as follows:

A. *Section 4.28(B)(2)(c) – Permitted Uses*

The proposed use, office, is permitted in the Employment zone district and is consistent with the district's intent to provide a variety of workplaces throughout the community.

B. *Section 4.27(D)(4)(a) – Dimensional Standards - Maximum Building Height*

The proposed building complies with the 4-story maximum building height requirement.

C. *Section 4.27(E)(1)(b) – Site Design*

Where an employment use abuts a residential area, there shall be no drastic and abrupt change in the scale and height of buildings. The project abuts a residential development to the north called The Grove. The Grove is comprised of 11 buildings that are each three stories tall. The largest of these 11 buildings are 30,420 square feet. The proposed office building will be three stories at its tallest point on the south side of the building with 31,619 square feet of floor area. The proposed office building is similar in size and scale to the existing residential use and prevents an abrupt change in the scale and height of buildings.

5. Findings of Fact/Conclusion:

In evaluating the request for the Centre for Advanced Technology 23rd Lot 2 Office Building Project Development Plan/Final Plan, Staff makes the following findings of fact:

- A. The Project Development Plan/Final Plan complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The Modification of Standard to Section 3.5.3(C)(2) that is proposed with this Project Development Plan/Final Plan meets the applicable requirements of Section 2.8.2(H), in that the granting of the Modification would not be detrimental to the public good and the plan will promote the general purpose of the standard for which the modification is requested equally or better than would a plan which complies with the standard for which a modification is requested.
- C. The Project Development Plan/Final Plan complies with relevant standards located in Article 3 – General Development Standards.
- D. The Project Development Plan/Final Plan complies with relevant standards located in Division 4.27 Employment (E) of Article 4 – Districts.

RECOMMENDATION:

Staff recommends approval of the Centre for Advanced Technology 23rd Lot 2 Office Building, FDP150007.

ATTACHMENTS:

1. Zoning & Site Vicinity Map
2. Applicant's Statement of Planning Objectives
3. Applicant's Modification of Standard Request
4. Centre for Advanced Technology 23rd Lot 2 Office Building Planning Document Set (Site Plan, Landscape Plan, Elevations & Photometric Plan)