



ITEM NO FDP #130003

MEETING DATE May 30, 2013

STAFF Pete Wray

ADMINISTRATIVE TYPE I HEARING

STAFF REPORT

PROJECT: Boardwalk Crossing at Mason Street, Project Development Plan/Final Development Plan - FDP #130003

APPLICANT: Steve Steinbicker
Architecture West, LLC
4710 S. College Ave
Fort Collins, CO 80525

OWNER: George Holter
3509 S. Mason Street
Fort Collins, CO 80525

PROJECT DESCRIPTION:

This is a request for a combined Project Development Plan/Final Plan to develop two commercial buildings located at 4012 S. Mason Street, in the General Commercial (CG) zone district. The site is also located in the Transit Oriented Development (TOD) overlay district.

A previously approved development plan on this parcel, with the same name, showed the proposed buildings in the same configuration, but that plan has expired. That plan included three buildings, the first of which was built, and is called Building 1 on Lot 1. The proposed buildings are called Building 2 and Building 3 on Lots 2 and 3 respectively. Minor changes requested to the original approved plan include lot line adjustments for new lots 2 and 3, and an increase of 2,000 square feet in Building 2.

Building 2 is a 12,000 square foot, two-story mixed-use building, with offices on the second level and possible uses on the first level to include office, medical, retail, service, restaurant and/or other compatible uses. Building 3 is a 5,500 SF one-story building to accommodate a mix of office, medical, retail, service, restaurant and/or other compatible permitted uses.

The applicant is requesting three Modifications of Standards.

RECOMMENDATION: Approval of the FDP and Modifications

EXECUTIVE SUMMARY:

The Boardwalk Crossing P.D.P/F.D.P. complies with procedural requirements of the Land Use Code (LUC) in Article 2, for administrative review. The P.D.P./F.D.P. complies with the applicable zoning standards of LUC Section 4.21 - General Commercial District. And, the P.D.P/F.D.P. complies with the General Development standards in Article 3, with three requests for Modifications of standards. Staff finds that the three Modification requests meet the criteria of Section 2.8.2 (H).

COMMENTS:

1. Zoning History:

- The property was annexed in 1978 and zoned Commercial as part of the Horsetooth-Harmony Annexation.
- The property was originally platted as Boardwalk Crossing, Filing 2, as part of the Garth Commercial Plaza.
- In 1997, with the adoption of the Land Use Code, the Commercial District zoning was carried forward.
- In 2007, the site was included in the Transit Oriented Development (TOD) district.
- In 2011, with the update of City Plan and LUC amendments, the Commercial District was renamed the C-G, General Commercial District.

Current surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	General Commercial (CG)	Restaurant (Olive Garden)
South	General Commercial (CG)	Vacant Lot
East	General Commercial (CG)	Financial Services (Warren Federal Credit Union), Retail (REI)
West	General Commercial (CG)	Hotel (Quality Inn & Suites)

2. Compliance with Article 4 of the Land Use Code - General Commercial (CG) District Standards in Division 4.21

Staff finds that the project complies with all applicable Article 4 standards. Following are some key examples:

- A. Purpose: The purpose of the General Commercial District is as follows:

The General Commercial District is intended to be a setting for development, redevelopment and infill of a wide range of community and regional retail uses, offices and personal and business services. Secondly, it can accommodate a wide range of other uses including creative forms of housing. While some General Commercial District areas may continue to meet the need for auto-related and other auto-oriented uses, it is the City's intent that the General Commercial District emphasizes safe and convenient personal mobility in many forms, with planning and design that accommodates pedestrians.

The proposed project is consistent with the stated purpose of the zone district as the project proposes to provide a mix of retail and office uses in an infill site adjacent to the Mason Corridor MAX bus rapid transit service, and buildings oriented to the streets and direct access to the sidewalk system for efficient pedestrian mobility.

- B. Permitted Land Uses - Section 4.21 (B): The proposed uses of retail, offices, medical, services, restaurant and other uses are permitted in the C-G zoning, subject to Administrative Type I Review.
- C. Land Use Standards – Section 4.21 (D): *The maximum building height shall be four (4) stories.*

A proposed mixed-use building on Lot 2 is two stories and 38' in height and the single-story building on Lot 3 is 26' in height.

- D. Development Standards – Section 4.21 (E) (2) Site Design:

(a) Pedestrian-oriented outdoor spaces shall be placed next to activity areas that generate the users (such as street corners, shops, stores, offices, day care and dwellings). Because liveliness created by the presence of people is the main key to the attractiveness of such spaces, to the maximum extent feasible, the development shall link outdoor spaces to and make them visible from streets and sidewalks. Sculpture, kiosks or shelters are encouraged to be prominently placed in outdoor spaces.

The proposed outdoor gathering place is centrally located and adjacent to Building 2, and accessible to the street by a direct sidewalk connection.

3. **Compliance with Article 3 of the Land Use Code - General Development Standards**

Staff finds that the project complies with all applicable Article 3 standards, except for three requested Modifications of standards as stated below. Following are some key examples:

1. Division 3.2 – Site Planning and Design Standards

A. *Section 3.2.1 (D) – Tree Planting Standards*

The proposed planting plan provides street trees in a landscaped parkway along Boardwalk Drive/S. Mason Street, in compliance with the *Larimer County Urban Area Street Standards*.

B. *Section 3.2.1(E) – Interior and Parking Lot Perimeter Landscaping*

The landscape plan complies with the landscape standards for perimeter, building foundation, and interior parking-island planting. The perimeter parking areas are screened from the street and abutting uses by providing sufficient ground plane and tree canopy plantings to screen at least 75% of the light from headlights, to a minimum height of 30" for at least 70% of the length of the parking area along the street. Staff evaluated the potential use of a low 30 inch tall masonry wall in lieu of planting to screen parking areas abutting S. Mason Street. Due to the narrow landscape area (six feet wide) and utility lines underground, staff determined a wall is not feasible and requested substantial shrub planting to screen parking.

C. *Section 3.2.2 – Access, Circulation and Parking*

General Standard. The parking and circulation system within each development shall accommodate the movement of vehicles, bicycles, pedestrians and transit, throughout the proposed development and to and from surrounding areas, safely and conveniently, and shall contribute to the attractiveness of the development. The on-site pedestrian system must provide adequate directness, continuity, street crossings, visible interest and security as defined by the standards in this Section.

The project complies with applicable standards in Section 3.2.2, **except (J) Landscape Setbacks. The applicant is requesting two modifications to this standard (explained in Section 4 below).**

D. Section 3.2.2 (K)(2) *Nonresidential Parking Requirements*

Nonresidential uses will be limited to a maximum number of parking spaces, based on the square footage of the gross leasable area and of the occupancy of specified uses. Parking maximums for vehicles are 4:1,000 SF for retail and 3:1,000 SF for general office.

The project includes 6,000 SF of office/retail uses in building 2, and 5,500 SF of retail/restaurant uses in building 3. The project proposes 51 off-street parking spaces, below the maximum allowed; six bike parking spaces are also provided in compliance with Section 3.2.2 (C) (4).

E. Section 3.5.1(B) – *Building and Project Architectural Compatibility*

Architectural Character, Building Size, Mass and Scale, Building Materials, Building Color, and Building Height Review [Section 3.5.1 (B), (C), (E), and (F)]

The area in which this project is proposed represents an eclectic mix of building styles – in form, scale, character, and material, and uses. There is not a common character established in the area. The architecture of the proposed two buildings is attempting to match newer existing buildings such as the adjacent bank, hotel, and REI in building size, mass, scale and height. The two proposed buildings also use similar building materials, textures, and colors as nearby buildings.

F. Section 3.5.2 *Mixed-Use, Institutional, and Commercial Buildings*

Relationship of Buildings to Streets, Walkways, and Parking, Variation in Massing, and Character and Image per Section 3.5.2 B, C, and D.

The main entrances of the buildings face onto a sidewalk and public plaza with direct connections to S. Mason Street and Boardwalk Drive, and parking areas. Building entrances also face the streets. The proposed buildings provide both vertical and horizontal variation and articulation. The proposed buildings create a recognizable base with masonry and stone material, fabric awning and glazing, and window treatments. The top element is treated with a color change in the stucco, cornice, and sloped metal roofing.

G. Section 3.10.4 *Development Standards for the Transit-Oriented Development (TOD) Overlay Zone*

The proposed project is in compliance with the applicable TOD standards in Section 3.10 including *Permitted Uses, Site Planning, Streetscape and Pedestrian Connections*, **except (C), Off-Street Parking. The applicant is requesting a modification to this standard (explained in Section 4 below)**. The project is also in compliance with the applicable standards in Section 3.10.5, *Character and Image*.

4. **Requests for Modification of Standards:**

The applicant is requesting three modifications of standards in LUC Article 3. The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that it meets at least one of four criteria described in LUC Section 2.8.2 (H).

The requested Modifications are based on two of the four criteria: 2.8.2 (H) (3) and (4). These criteria recognize exceptional practical difficulties unique to the property due to narrowness, and minor deviations from stated standards which are nominal and inconsequential in the context of the plan as a whole.

The three requested Modifications follow:

First Modification - Section 3.2.2 (J) – Setbacks: This standard requires “*any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet shall be set back from the side and rear lot lines by 5’*” in order to provide a landscape area to screen and buffer parking along the lot lines. The proposed landscape setback is between 0’ and 3’ along the rear lot line, with no proposed new landscaping. The abutting development comprises parking in the rear of a large retail establishment, with a 5-foot perimeter landscape area.

Applicant’s Justification:

The applicant asks that the Hearing Officer find that the requested modification be granted on the grounds that it is *not detrimental to the public good*; and that the modification *by reason of exceptional physical conditions unique to such property, including exceptional narrowness of lots, results in unusual and exceptional practical difficulties and hardship of the owner of property, and not caused by the act or omission of the applicant*; and that the modification does not diverge from the standard *except in a nominal, inconsequential way when considered from the perspective of the entire development plan*.

Following is the applicant's written justification for request for modification of standard:

- The site has a limited width dimension, that allows for one double and one single-loaded parking lot layout, which is not optimal. The proposed design does not provide the minimum parking for office and retail uses, normally provided in other mixed-use centers. Any change in the west parking lot location could lose between 5 & 12 parking spaces, which would be seriously detrimental to users, clients, developer and the general public.
- There is no off-street parking that would support the loss in parking stalls with a re-design. This loss of parking could force adjacent properties to share un-wanted vehicles parked on their properties, (i.e.; the nearby Olive Garden, REI, Barnes & Noble and/or others).
- The adjacent REI property to the east has an existing landscape island paralleling the property line with very mature, established landscaping. These plantings provide adequate screening and separation of both developments.
- The shift in parking and driveway locations would have a significant impact on the functionality of this development. There are no significant concerns with the approval of this modification, on this project.

Staff Evaluation of the Modification:

Staff acknowledges the hardship for commercial development of the parcel based on its narrow dimension of 110 feet from South Mason Street to the east lot line. While the proposed PDP/FDP includes only a partial landscape setback along the rear lot line ranging from 0' to 3', staff finds that the existing 5' landscape area along the rear lot line of the abutting rear parking lot of a retail building provides adequate landscaping for screening and buffering the proposed drive aisle along the lot line. Doubling the shrub screening with an additional 5-foot landscape strip between the abutting parking lot and the proposed drive aisle would have a small effect that would not affect the public good in a significant way.

The proposed landscape setback, while minimal, and the requested modification does not diverge from the standard except in a nominal, inconsequential way when considered from the perspective of the entire development plan.

Staff Recommendation and Findings of Fact:

Staff recommends approval of the Modification. In evaluating the request and in fulfillment of the requirements of Section 2.8.2(H) (3) (4), Staff makes the following findings of fact:

The granting of the Modification would not be detrimental to the public good, and:

- The plan as submitted will by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including exceptional narrowness of lots, result in unusual and exceptional practical difficulties and hardship of the owner of property, and not caused by the act or omission of the applicant.
- The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan and adjacent existing development.

Second Modification: Section 3.2.2 (J) – Setbacks: This standard requires any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet to be set back from the street right-of-way by a minimum dimension based on the type of street. This stretch of South Mason Street is an arterial street, which requires a 15-foot average width landscape area for parking along the right-of-way, and the proposed landscape setback area is 6 feet, resulting from the layout of proposed parking, which is constrained by the narrow lot.

Applicant's Justification:

The applicant asks that the Hearing Officer find that the requested modification be granted on the grounds that it is *not detrimental to the public good*; and that the modification *by reason of exceptional physical conditions unique to such property, including exceptional narrowness of lots, and not caused by the act or omission of the applicant*; and that the modification does not diverge from the standard *except in a nominal, inconsequential way when considered from the perspective of the entire development plan*.

The applicant is requesting a modification to the landscape setback standards requiring 1) a 15' landscape setback along S. Mason Street. The proposed landscape setback along S. Mason Street is 6'.

Following is the applicant's written justification for request for modification of standard:

- The site has a limited width dimension, that allows for one double and one single-loaded parking lot layout, which is not optimal. The proposed design does not provide the minimum parking for office and retail uses, normally provided in other mixed-use centers. Any change in the west parking lot location could lose between 5 & 12 parking spaces, which would be seriously detrimental to users, clients, developer and the general public.
- There is no off-street parking that would support the loss in parking stalls with a re-design. This loss of parking could force adjacent properties to share un-wanted vehicles parked on their properties, (i.e.; the nearby Olive Garden, REI, Barnes & Noble and/or others).
- The shift in parking and driveway locations would have a significant impact on the functionality of this development. There are no significant concerns with the approval of this modification on this project.

Staff Evaluation of the Modification:

The proposed deviation of the required 15' landscape setback from street right-of-way is approximately 9'. The utility easement along S. Mason Street includes an underground gas line. Staff assessed requiring a 30" high stone or masonry screen wall within the proposed 6' landscape area, and determined this is not feasible given the constraints mentioned above. Additional landscape planting is included in the planting plan to provide sufficient screening of parking from the street.

The modification as proposed would result in a reduction of landscape setback, yet staff has determined adequate landscape screening is provided for the parking area between Buildings 2 and 3 adjacent to S. Mason Street. Staff agrees with the applicant that the requested modification poses a hardship and does not diverge from the standards except in a nominal, inconsequential way when considered from the perspective of the entire development plan.

Staff Recommendation and Findings of Fact:

Staff recommends approval of the Modification. In evaluating the request and in fulfillment of the requirements of Section 2.8.2(H)(3)(4), Staff makes the following findings of fact:

The granting of the Modification would not be detrimental to the public good, and:

- The plan as submitted will by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property,

including exceptional narrowness of lots, result in unusual and exceptional practical difficulties and hardship of the owner of property, and not caused by the act or omission of the applicant.

- The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan and adjacent existing development.

Third Modification - Section 3.10.4 (C) – Off-Street Parking: This standard requires that “*off-street parking shall be located only behind, above or below street-facing buildings. No parking will be allowed between the street and the front or side of a building.*” The intent is to promote attractive, pedestrian friendly streets and mitigate the effects of vehicle parking. Proposed parking spaces along Mason Street extend closer to the street than Building 2, by several feet.

Applicant's Justification:

The applicant asks that the Hearing Officer find that the requested modification be granted on the grounds that it is *not detrimental to the public good*; and that the modification *by reason of exceptional physical conditions unique to such property, including exceptional narrowness of lots, results in unusual and exceptional practical difficulties and hardship of the owner of property in providing required access, parking, and landscape setbacks, and not caused by the act or omission of the applicant*; and that the modification does not diverge from the standard *except in a nominal, inconsequential way when considered from the perspective of the entire development plan*.

The applicant is proposing that the west parking area extend between the street and the front or side buildings by approximately 3' and as a result, does not meet the intent of the standard. In addition, the applicant's interpretation of the standard is such that the proposed west parking area is located behind the street-facing buildings. Both Buildings 2 and 3 have multiple entrances. Based on future tenant requirements, building 2 can have main entrances facing Boardwalk Drive, and Building 3 can have a main building entrance facing the street to the south.

The following is the applicant's written justification for request for modification of standard:

- The site has a limited width dimension, that allows for one double and one single-loaded parking lot layout, which is not optimal. The proposed design does not provide the minimum parking for office and retail uses, normally provided in other mixed-use centers. Any change in the west

parking lot location could lose between 5 & 12 parking spaces, which would be seriously detrimental to users, clients, developer and the general public.

- There is no off-street parking that would support the loss in parking stalls with a re-design. This loss of parking could force adjacent properties to share un-wanted vehicles parked on their properties, (i.e.; the nearby Olive Garden, REI, Barnes & Noble and/or others).
- The shift in parking and driveway locations would have a significant impact on the functionality of this development. There are no significant concerns with the approval of this modification on this project.

Staff Evaluation of the Modification:

As an infill site and existing narrow lot width poses a hardship. The proposed deviation of the standard requiring off-street parking behind street-facing buildings is nominal, extending beyond the buildings by only a few feet. Screening of this parking area is important, including separating this vehicle use area from the street and pedestrians walking along the street on the sidewalk. While the proposed landscape setback is narrow (6') rather than the required 15', it allows for reasonable landscape screening given the site constraints, and also considering the compatibility of the whole development plan in the context of surrounding commercial uses. Staff finds that the modification to this standard will not diverge from the standard except in an inconsequential way.

Staff Recommendation and Finding of Fact:

Staff recommends approval of the request for Modification to 3.10.4 (C) Off-Street Parking. In evaluating the request and in fulfillment of the requirements of Section 2.8.2(H) (3) (4), Staff makes the following findings of fact:

The granting of the Modification would not be detrimental to the public good, and:

- The plan as submitted will by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including exceptional narrowness of lots, result in unusual and exceptional practical difficulties and hardship of the owner of property, and not caused by the act or omission of the applicant.
- The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan and adjacent existing development.

5. Neighborhood Meeting:

The LUC does not require that a neighborhood meeting be held for development proposals that are not subject to a Planning and Zoning Board (Type 2) review. Therefore, a City-sponsored and facilitated neighborhood information meeting was not held for this project. There are no known impacts or issues with any adjacent development.

6. Findings of Fact and Conclusion:

In evaluating Boardwalk Crossing at Mason Street, Project Development Plan/Final Development Plan – PDP/FDP #13003, staff makes the following findings of fact:

- A. The Modification of Standard to Section 3.2.2 (J) regarding Setbacks along the side and rear lot lines that is proposed with this P.D.P./F.D.P. would not be detrimental to the public good and the Modification meets the applicable requirements of Section 2.8.2(H)(3). This is because the plan as submitted will by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including exceptional narrowness of lots, results in unusual and exceptional practical difficulties and hardship of the owner of property, and not caused by the act or omission of the applicant. The Modification meets the applicable requirements of Section 2.8.2 (H) (4). This is because the plan as submitted does not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan.
- B. The Modification of Standard to Section 3.2.2 (J) regarding Setbacks from the street that is proposed with this P.D.P./F.D.P. would not be detrimental to the public good and the Modification meets the applicable requirements of Section 2.8.2(H)(3). This is because the plan as submitted will by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including exceptional narrowness of lots, results in unusual and exceptional practical difficulties and hardship of the owner of property, and not caused by the act or omission of the applicant. The Modification meets the applicable requirements of Section 2.8.2 (H) (4). This is because the plan as submitted does not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan.

- C. The Modification of Standard to Section 3.10.4 (C) regarding off-street parking that is proposed with this P.D.P./F.D.P. would not be detrimental to the public good and the Modification meets the applicable requirements of Section 2.8.2(H)(3). This is because the plan as submitted will by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including exceptional narrowness of lots, results in unusual and exceptional practical difficulties and hardship of the owner of property in providing required access, parking, and landscape setbacks, and not caused by the act or omission of the applicant. The Modification meets the applicable requirements of Section 2.8.2 (H) (4). This is because the plan as submitted does not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan.
- D. The P.D.P./F.D.P. complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- E. The P.D.P. /F.D.P. complies with relevant standards located in Article 3 – General Development Standards, provided that the Modification of Standards to Section 3.2.2 (J) and Modification of Standard to Section 3.10.4 (C) that are proposed with this P.D.P. /F.D.P. is approved.
- F. The P.D.P. /F.D.P. complies with relevant standards located in Division 4.21, General Commercial of Article 4 – Districts.

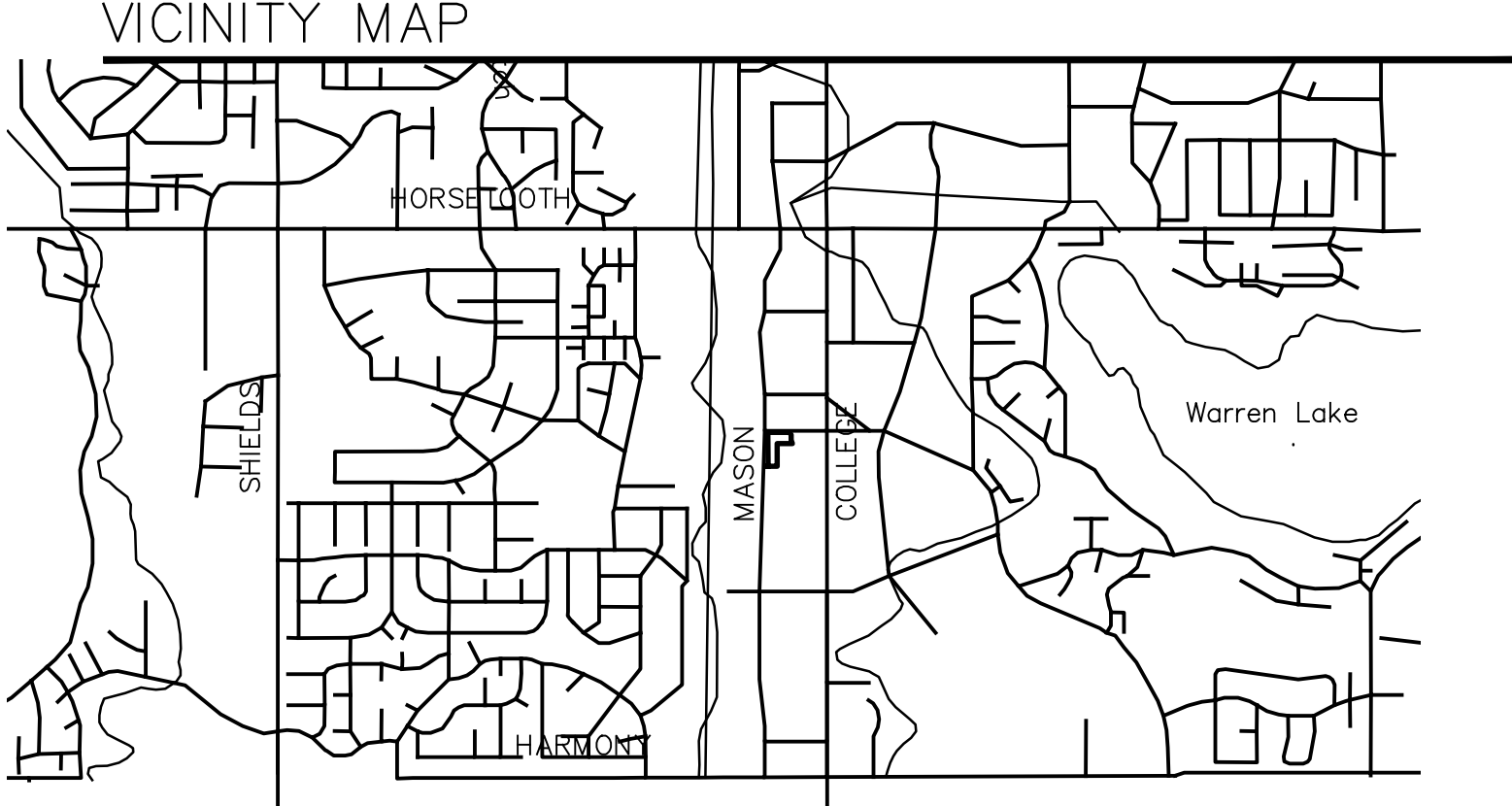
RECOMMENDATION:

Staff recommends approval of the Boardwalk Crossing at Mason Street, Project Development Plan/Final Development Plan – PDP/FDP #13003, and Modifications of Standards for Sections 3.2.2 (J), Sections 3.2.2 (J), and Section 3.10.4 (C).

ATTACHMENTS:

- 1. PDP/FDP Plan Set
- 2. Applicant's Modification Requests

PROJECT DEVELOPMENT PLAN AND FINAL DEVELOPMENT PLAN
BOARDWALK CROSSING AT MASON STREET



LAND USE TABLE

ZONING		C- COMMERCIAL	
SITE AREA			
LOT 1 (EXISTING)		25,452 SQ. FT.	
LOT 2		29,841 SQ. FT.	
LOT 3		21,861 SQ. FT.	
TOTAL		77,154 SQ. FT.	
SITE COVERAGE			
LOT 1 (EXISTING)		LOT 2	
BUILDING FOOTPRINT 4145 SQ FT		BUILDING FOOTPRINT 6248 SQ FT 21%	
PAVEMENT 12,324 SQ FT		PAVEMENT 12,920 SQ FT 43%	
CONCRETE 3728 SQ FT		CONCRETE 4931 SQ FT 17%	
LANDSCAPING 5255 SQ FT		LANDSCAPING 5742 SQ FT 19%	
TOTAL		TOTAL	
25,452 SQ FT		29,841 SQ FT 100%	
0.584 AC		0.685 AC	
LOT 3			
BUILDING FOOTPRINT 5500 SQ FT		25%	
PAVEMENT 9294 SQ FT		43%	
CONCRETE 4544 SQ FT		21%	
LANDSCAPING 2523 SQ FT		12%	
TOTAL		TOTAL	
21,861 SQ FT		100%	
0.502 AC			
OFF-STREET PARKING - LOT 2			
STANDARD 34		STANDARD 18	
ACCESSIBLE 1		ACCESSIBLE 1	
TOTAL 35		TOTAL 19	
OFF-STREET PARKING PROVIDED = 53			

LEGAL DESCRIPTION

BOARDWALK CROSSING, FILING 3. BEING A REPLAT OF LOTS 1 AND 2, BOARDWALK CROSSING, FILING 2, SITUATE IN THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 69 WEST C THE SIXTH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

GENERAL NOTES

- SEE UTILITY PLANS FOR DESIGN OF ALL EASEMENTS, LOT AREAS AND SIDEWALKS.
- BUILDING HEIGHT SHALL NOT EXCEED FORTY (40') FEET.
- ALL SIGNS SHALL COMPLY WITH THE CITY OF FORT COLLINS SIGN CODES.
- ANY ROOFTOP OR GROUND MOUNTED MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW.
- BICYCLE RACK (3 SPACES) SHALL BE PERMANENTLY AFFIXED AND DESIGNED & CONSTRUCTED ACCORDING TO THE REQUIREMENTS OF THE LAND USE CODE.
- BUILDING MOUNTED LIGHTING TO BE 250 WATT METAL HALIDE, DOWN-DIRECTIONAL, CUT-OFF. HOURS OF ILLUMINATION ARE 6:00 PM (START) TO 6:00 AM (STOP) WITH PHOTOCELL. SEE FOLLOWING NOTE # 7 FOR SITE LIGHTING DESCRIPTION AND SPECIFICATION.
- SITE LIGHTING TO BE 320 WATT POLE MOUNTED AT 22'-0". FIXTURES TO BE DOWN DIRECTIONAL WITH HORIZONTAL CUT-OFF HOUSING.

SIGNATURES AND APPROVALS

OWNERS CERTIFICATION:
THE UNDERSIGNED DOES/ DO HEREBY CERTIFY THAT I/ WE ARE THE LAWFUL OWNERS OF REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/ WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON THE SAID SITE PLAN.

OWNER'S SIGNATURE _____ DATE _____
NOTARY'S SIGNATURE _____ NOTARY'S ADDRESS _____

DIRECTOR OF PLANNING CERTIFICATION:
APPROVED BY THE DIRECTOR OF PLANNING OF THE CITY OF FORT COLLINS, COLORADO, THIS _____ DAY OF _____, 20____.

DIRECTOR OF PLANNING _____

BOARDWALK CROSSING AT MASON STREET
PROJECT DEVELOPMENT PLAN / FINAL DEVELOPMENT PLAN

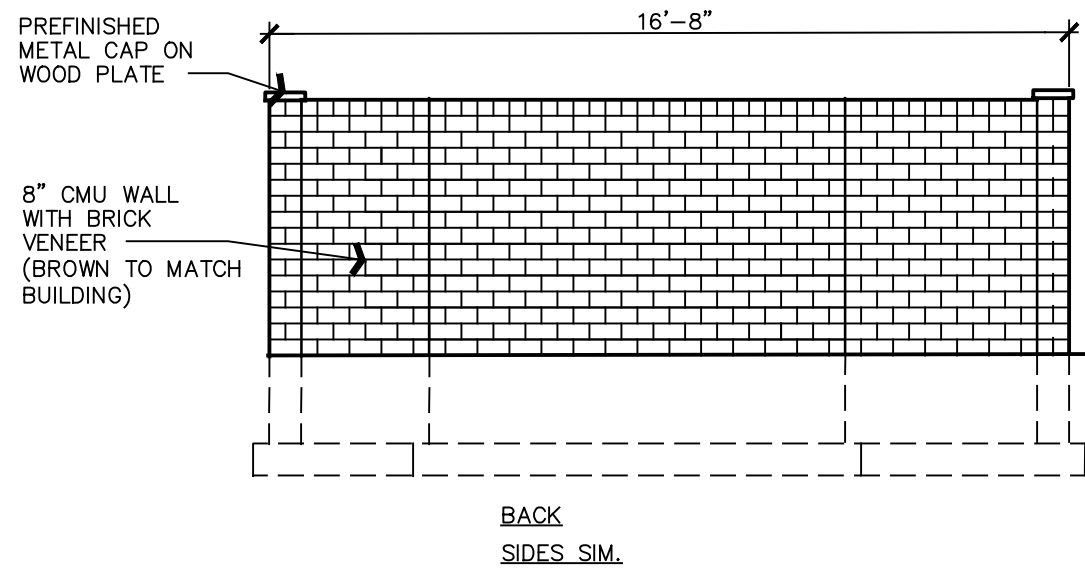
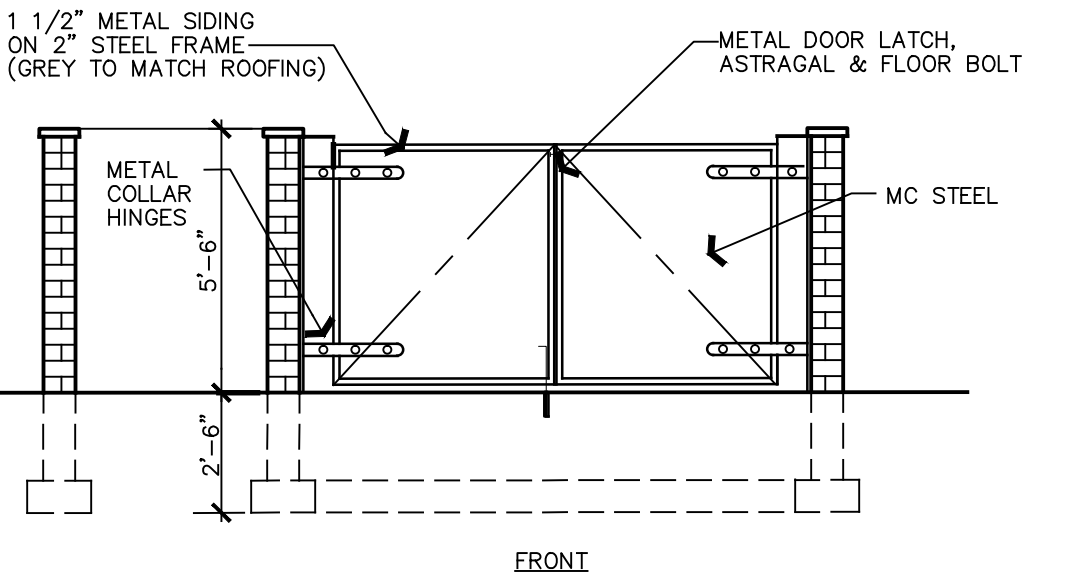
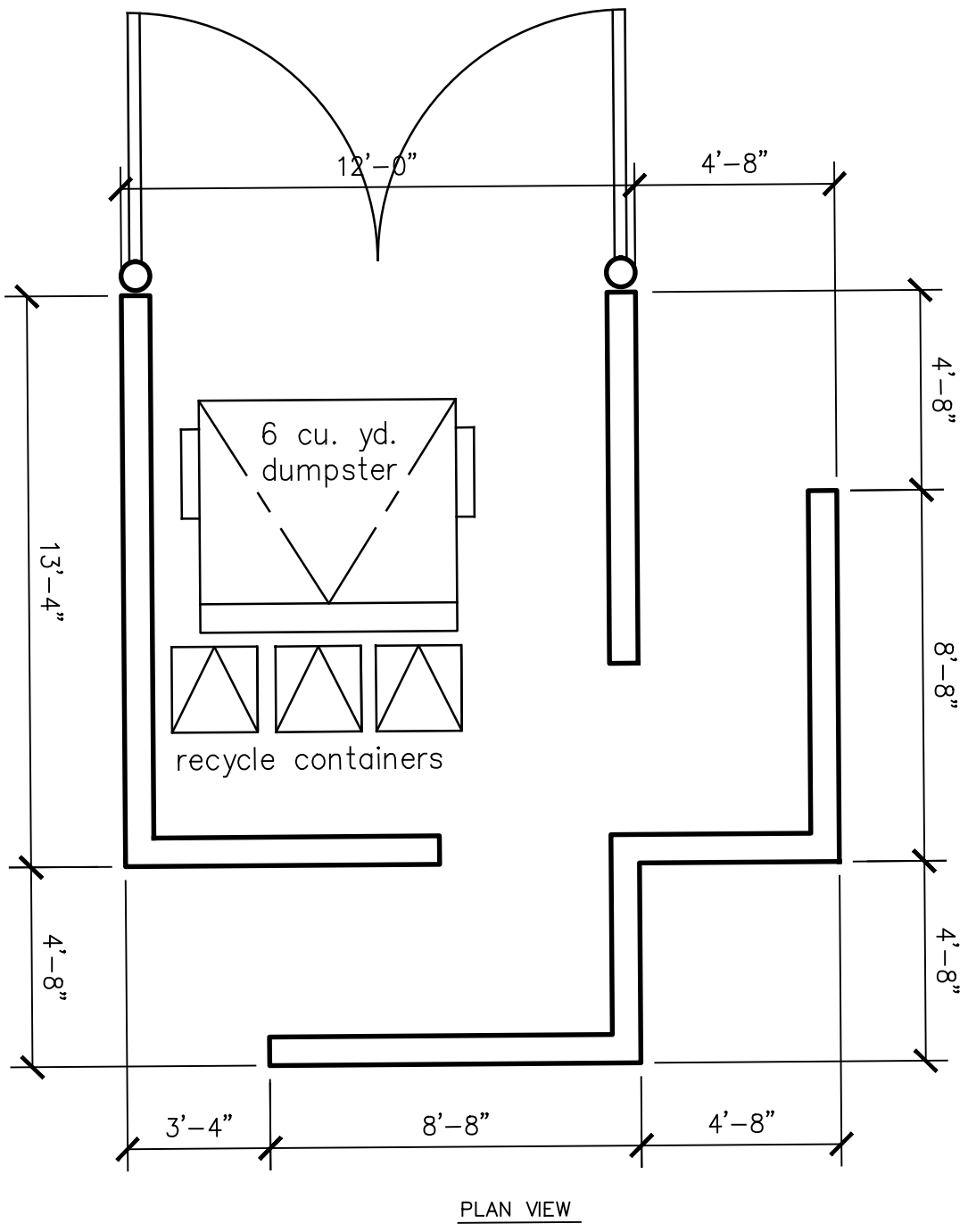
ARCHITECTURE
WEST, LLC
SOUTHWEST PLANNING

4710 S. COLLEGE AVE.
FORT COLLINS, CO. 80525
(970) 207-0424

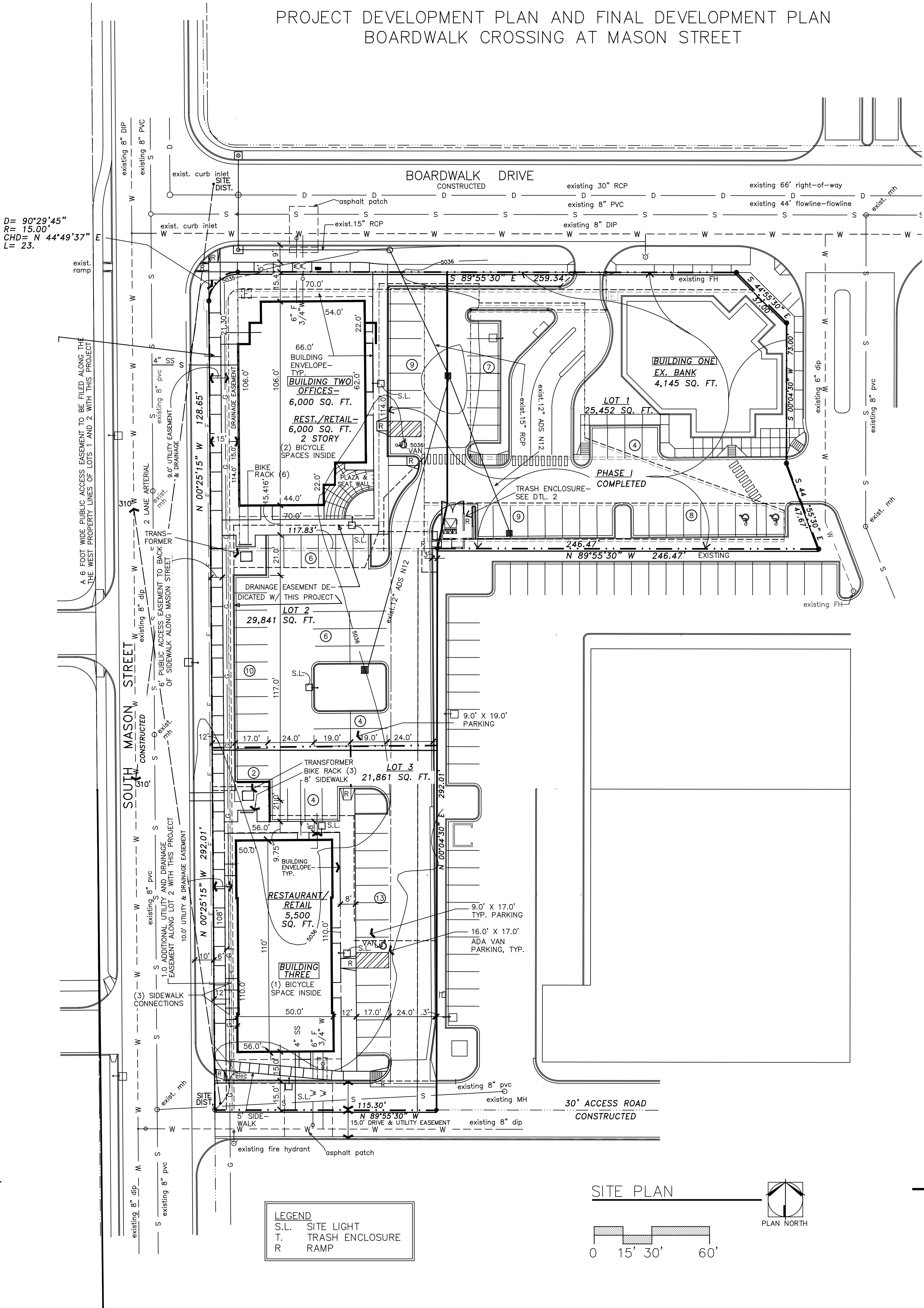
SITE PLAN
BOARDWALK & MASON

BOARDWALK CROSSING LP
PO BOX 272546
FORT COLLINS, CO. 80527

SHEET 1 OF 3
FEBRUARY 2005
FEBRUARY 27, 2013
APRIL 16, 2013
MAY 22, 2013



2 TRASH ENCLOSURE
1 SCALE: 1/4" = 1'-0"



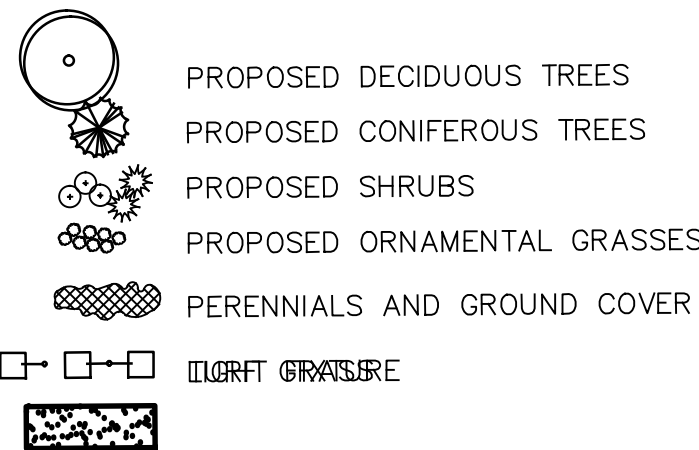
PLANTING NOTES

- Native Grass Mix: PBSI Native Prairie Mix
23% Blue Gamma, 10% Buffalo Grass (15lbs/acre), 20% Blue Needle Grass
20% Sideots Grama, 25% Western Wheat Grass, 2% Sand Dropseed
Drilled seed rate at a rate of 15-20 pounds per acre. This mix is easy to
remove if necessary, can be cut low, can handle some shade, and needs
very little irrigation once established
- NOT USED
- Turf Grass areas shall be irrigated with an automatic pop-up sprinkler
system. All plant material in shrub bed areas shall be irrigated with
an automatic drip or pop-up irrigation system.
- Refer to the planting details for proper backfill mixture.
- All plant material shall meet AAN standards for number one grade.
- Minor changes in plant species and location may be made during
construction, as required by site conditions and plant availability.
Overall quality and quantity of plant material shall be consistent
with the approved landscape plan. In the event of conflict
between plant quantities in the plant schedule and species
illustrated, the species and quantities illustrated shall be provided.
- All shrub bed areas adjacent to turf areas shall be edged with 4 in.
14-gauge steel edging. Edging shall be set level with top of turf
and covered with a safety cap.
- Weed barrier fabric shall cover all shrub bed and/or rock mulch
areas, except those areas planted with groundcovers and/or
perennials.
- All shrub bed areas shall be mulched with 1-1/2" to 3" river rock
except those areas planted with ground cover and/or perennials.
These areas shall be mulched with 3 in. of Fir Fiber mulch.
- The Owner shall be responsible for maintenance of the landscape
and irrigation system including such in the public street rights-of-
way.
- A permit must be obtained from the city forester before any
trees or shrubs as noted on this plan are planted, pruned or
removed on the public right-of-way. This includes zones
between the sidewalk and curb, medians, and other city
property. This permit shall approve the location and species to
be planted. Failure to obtain this permit may result in
replacing or relocating trees and a hold on a certificate of
occupancy.
- Coordinate tree planting with local utility companies. Location of
all utilities shall be verified in the field prior to planting.
- 40' between canopy shade trees and streetlights. 15' between ornamental
trees and street lights. 10' between trees and water or sewer lines.
4' between trees and gas lines. 4' between underground electric lines
shall be provided to the extent reasonably feasible. Per section 3.2.1 K
tree/utility separations shall not be used as a means of avoiding the
planting of required street trees.
- To the maximum extent feasible, topsoil that is removed during
construction activity shall be conserved for later use on areas
requiring revegetation and landscaping.
- The soil in all landscaped areas, including parkways and medians, shall be
thoroughly loosened to a depth of not less than (8) inches and the soil
amendment shall be thoroughly incorporated into the soil of all landscape
areas to a depth of at least six (6) inches by tilling, diskng or other suitable
method, at a rate of at least three (3) cubic yards of soil amendment per
one thousand (1,000) square feet of landscaped area.
- Developer shall insure that the landscape plan is coordinated with the plans
done by other consultants so the proposed grading storm drainage, or other
construction, does not conflict, nor preclude installation and maintenance of
landscape elements on this plan.
- All trees to be balled and burlapped, root control bag, or containerized.
- The developer shall contact the City Forester to inspect all
street tree plantings at the completion of each phase of
development. All trees need to have been installed as shown
on the Landscape Plan. Approval of the street tree planting is
required before the final approval of each phase. Failure to
obtain approval by the City Forester for street trees in a phase
shall result in a hold on certificate of occupancy for the future
phases of the development.

GENERAL NOTES

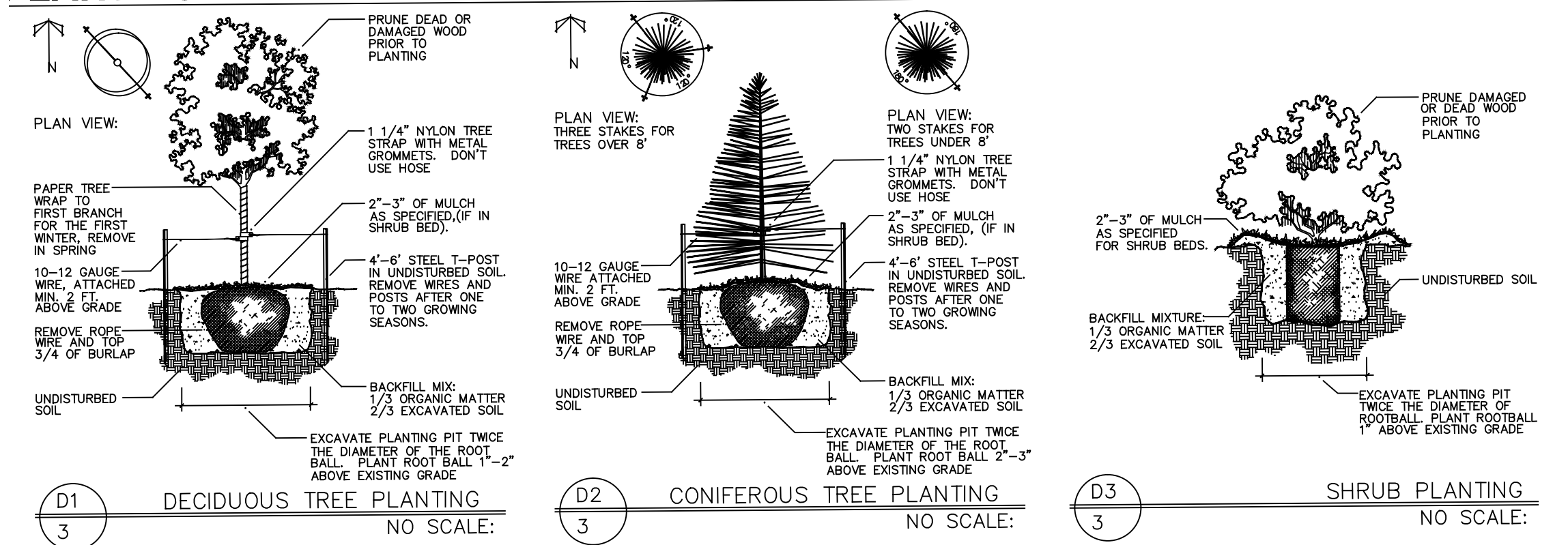
- Any required irrigation system shall be reviewed and approved by the City of
Fort Collins prior to the issuance of a Building Permit.

LEGEND



WATER BUDGET CHART			
HYDROZONE	AREA S.F.	WATER NEEDED (GALLONS/S.F.)	ANNUAL WATER USE (GALLONS)
HIGH	620	18 S.F.	11,160
MODERATE	7,465	10 S.F.	74,650
LOW	0	3 S.F.	0
VERY LOW	0	0	0
TOTAL:	8,265	AVERAGE: 10.38	85,810

PLANTING DETAILS:



LANDSCAPE WATER REQUIREMENT CATEGORIES IN SQ.FT.

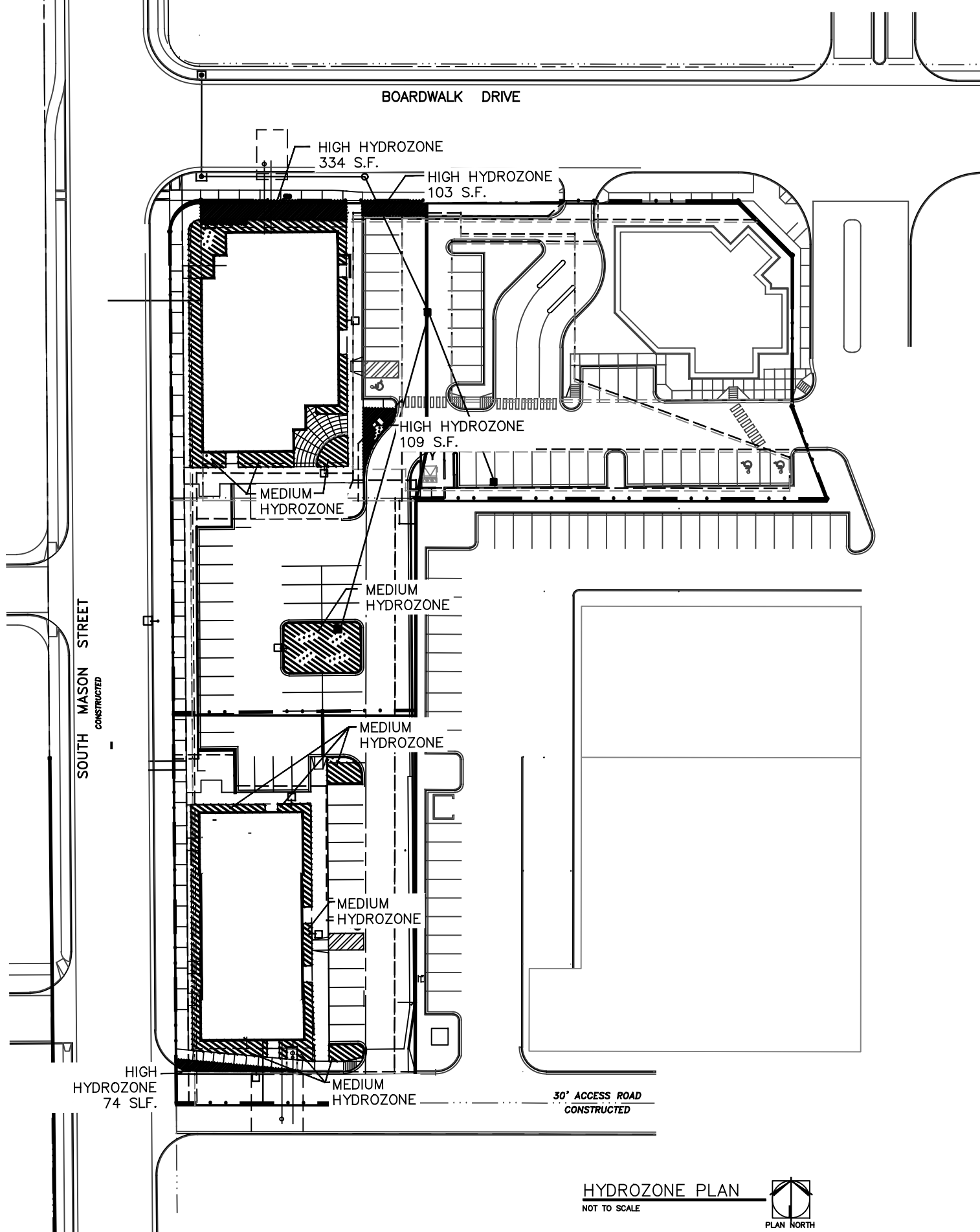
TURFGRASS		
HIGH USE	MODERATE USE	LOW USE
0 SQ. FT.	5,024 SQ. FT.	0 SQ. FT.

TREES			
HIGH USE	MODERATE USE	LOW USE	VERY LOW USE
0 SQ. FT.	2,475 SQ. FT.	1,350 SQ. FT.	675 SQ. FT.

SHRUBS			
HIGH USE	MODERATE USE	LOW USE	VERY LOW USE
0 SQ. FT.	27 SQ. FT.	1,728 SQ. FT.	0 SQ. FT.

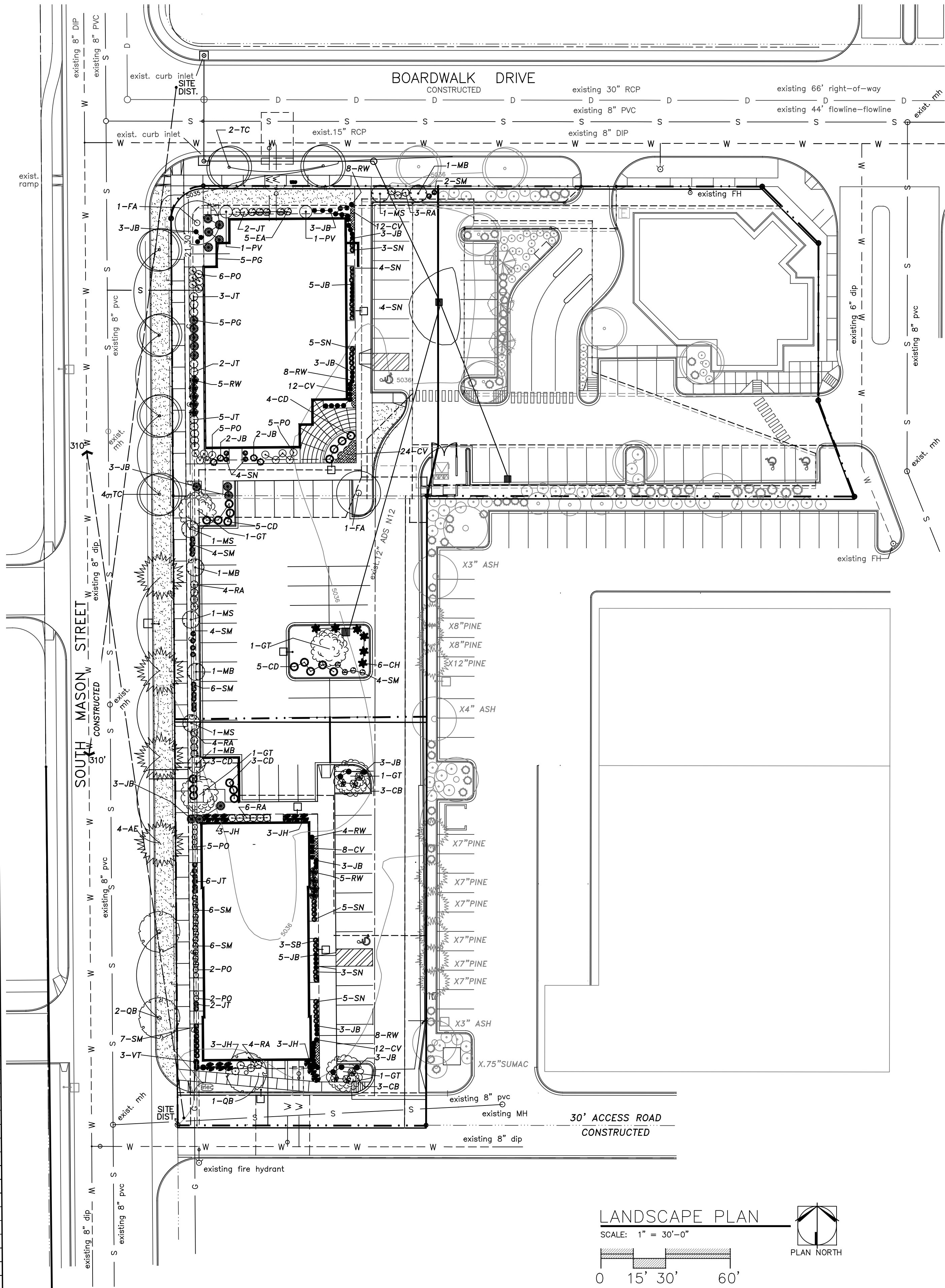
PERENNIALS			
HIGH USE	MODERATE USE	LOW USE	VERY LOW USE
0 SQ. FT.	0 SQ. FT.	185 SQ. FT.	0 SQ. FT.

PROJECT DEVELOPMENT PLAN AND FINAL DEVELOPMENT PLAN
BOARDWALK CROSSING AT MASON STREET



LANDSCAPE PLAN: (NEW PLANT MATERIAL ONLY LISTED)

DECIDUOUS TREES				
Code Name	Quantity	Scientific Name	Common Name	Size
FA	2	Celtis occidentalis	Autumn Purple Ash	2" CAL
AE	4	Ulmus acclade	Accolade Elm	2" CAL
GT	5	Gleditsia triacanthos inermis 'Skyline'	Imperial Honeylocust	2" CAL
QB	3	Quercus buckleyi	Texas Red Oak	2" CAL
TC	6	Tilia cordata	Littleleaf Linden	2" CAL
ORNAMENTAL TREES				
Code Name	Quantity	Scientific Name	Common Name	Size
PV	2	Prunus virginiana "Shubert"	Canada Res Chokecherry	1.5" Cal
MB	4	Malus Red Barron	Red Barron Crab Apple	1.5" Cal
MS	4	Malus Spring Snow	Spring Snow Crabapple	1.5" Cal
DECIDUOUS SHRUBS:				
Code Name	Quantity	Scientific Name	Common Name	Size
CD	19	Cotoneaster dammeri 'Coral Beauty'	Coral Berry Cotoneaster	5-Gal
CH	6	Cotoneaster horizontalis	Rock Cotoneaster	5-Gal
CB	6	Cornus sericea baileyi	Redtwig Dogwood	5-Gal
EA	5	Euonymus alata 'Compacta'	Dwarf Burning Bush	5-Gal
PG	14	Prunus glandulosa rosea	Pink Flowering Almond	5-Gal
PO	21	Phscoarpus opulifolius nanus	Dwarf Ninebark	5-Gal
RA	21	Ribes alpinum	Alpine Currant	5-Gal
RW	38	Rosa woodsii	Wood's Rose	5-Gal
SM	25	Syringa meyeri	Dwarf Korean Lilac	5-Gal
SN	28	Spiraea nipponica	Snowmond Spirea	5-Gal
VT	3	Viburnum trilobum compactum	Compact Am. Cranberry	5-Gal
EVERGREEN SHRUBS				
Code Name	Quantity	Scientific Name	Common Name	Size
JB	46	Juniperus sabina 'Broadmoor'	Broadmoor Juniper	1-Gal
JH	12	Juniperus horizontalis 'Yukon Belle'	Yukon Belle Juniper	1-Gal
JT	32	Juniperus sabina tamariscifolia	Tam Juniper	1-Gal
PERENNIALS				
Code Name	Quantity	Scientific Name	Common Name	Size
CV	58	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	1-Gal



BOARDWALK CROSSING AT MASON STREET
PROJECT DEVELOPMENT PLAN / FINAL DEVELOPMENT PLAN



LANDSCAPE PLAN
BOARDWALK & MASON

4710 S. COLLEGE AVE.
FORT COLLINS, CO. 80525
(970) 207-0424



BOARDWALK CROSSING LP
PO BOX 272546
FORT COLLINS, CO. 80527

SHEET 2 OF 3
FEBRUARY 2005
FEBRUARY 27, 2013
APRIL 16, 2013
MAY 22, 2013

DESCRIPTION

Galleria's beauty and versatility make it an excellent choice for roadway and general area lighting applications. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility.

Galleria's superior light distributions makes it the optimum choice for almost any small, medium or large area lighting application.

	Type
Catalog #	
Project	
Comments	
Prepared by	
	Date

SPECIFICATION FEATURES	
<p>Construction HODUSED: Formed aluminum housing with stamped reveal has interwoven seams for structural integrity and is finished in premiumTGC polyester powder coat. (S) L, U, Tated and CS fitted for wet locations. (S)OD aluminum door has heavy-duty hinges, captive retaining pins and is finished in premiumTGC polyester powder coat. (S)ODer door has steel door.</p> <p>Electrical BALLAST/T Ballast tray is hard-mounted to housing interior for cooler operation.</p>	<p>Optical REFLECTOR: Choice of 14 high efficiency optical systems utilizing horizontal and vertical beam orientations. Optional high efficiency segmented optical systems constructed of premium 98% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of wet heads, tabs or other means of attachment which may cause streaking in the light distribution. Standard with mogul-base socket. All optical models feature a quick disconnect with</p> <p>plugs are and light rotatable in 90° increments. LENS: Convex formed glass lens or flat glass.</p> <p>Mounting Extended aluminum arm includes extruded bolt guides allowing for easy positioning of fixture during assembly. Carton packing arm included mounting for convenient fixture single corner specifying of housing and arm.</p>

DESCRIPTION		McGRAW-EDISON®	
<p>The IMPACT Elite Trapezoid cutoff wall luminaire makes an ideal complement to site design. Rugged construction and full cutoff classified optics provide facade and security lighting for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities. U.L. and cUL Listed for wet locations in down mount applications and damp locations in up mounted applications.</p>		Catalog #	Type
		Project	
		Comments	Date

<p>VIEWPOINT</p>	<p>Proposed by:</p>	<p>IMPACT[®]</p>	<p>Full Cutoff</p>
<p>SPECIFICATION FEATURES</p> <p>Construction</p> <p>Two piece die cast aluminum housing and removable hinged door frame meets secondary seal for precise temperature control and repeatability. Hinged door frames inset for clean mating with cooling surface and secured via two (2) captive stainless steel fasteners. Optional timer resistant two-hurd fasteners (TR) offer additional resistant access to the electrical compartment. 18" clear, heat and electric resistant tempered flat glass lens combine with molded gaskets to seal the Integrated optical assembly while ensuring peak optical performance.</p> <p>Electrical</p> <p>Integral hard mount electrical components are secured and grounded within the die-cast aluminum housing for electrical heat sinking and extended component life. Minimum starting temperatures are -40°C (-40°F) for MPS and -30°C (-20°F) for MP Compact fluorescent luminaires</p>	<p>feature electronic universal 120-277V high efficiency 50/60Hz ballast with -15°C (-7°F) minimum starting temperature. Available in 50-175 HID or 26-645 E. Emergency power per available for 26-645 E.</p> <p>Optical</p> <p>Premium angled 95% reflective aluminum optical assemblies provide high efficiency Type II distribution. Optional alkali screened house side flat glass shield provides decreased wall brightness. All Impact Elite Wall Surface luminaires classify as IESNA full cutoff. Full light tight applications. Available with 10% or 55% uplight options for architectural highlighting of building details.</p> <p>Mounting</p> <p>Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" joist or wall with the Impact Elite "Hook-It" system for fast installation and mounting in both</p>	<p>traditional downlighting (wet location) or inverted uplighting (damp location) mounting. Available in 50-175W and 26-645W (2' captive corrosion resistant allen head set screws concealed from view, but accessible from bottom of fixture).</p> <p>Finish</p> <p>Housing and door are protected with 5-epoxy primer/TGIC polyurethane powder coat paint. The 18" clear tempered flat glass finishes withstand extreme climate changes while providing optimal optical and glass retention over the fixture's installed life. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic, RAL and custom color finishes available. Consult McGraw-Edison Architectural Products Brochure for complete selection.</p>	<p>IST</p> <p>IMPACT ELITE</p> <p>TRAPEZOID</p> <p>50 - 175W</p> <p>Pulse Start Metal Halide</p> <p>Metal Halide</p> <p>High Pressure Sodium</p> <p>26 - 64W</p> <p>Compact Fluorescent</p>



HOTOMETRICS (Complete IES files available at www.cooperlighting.com)

Footcandle Table
 Select mounting height and read across for footcandle values of each footcandle line. Distance in units of mounting height.

Mounting Height	A	B	C	D	E
1	100	75	50	25	10
2	25	18	12	6	2.5
3	14	10	7	3.5	1.5
4	10	7	5	2.5	1

4' x 6' IES FILE

[illegible]

SRB *CON*

MECHANICAL • ELECTRICAL

37127 Cullison Ridge Road
Windsor, CO 80550

[illegible]

CLIENT:

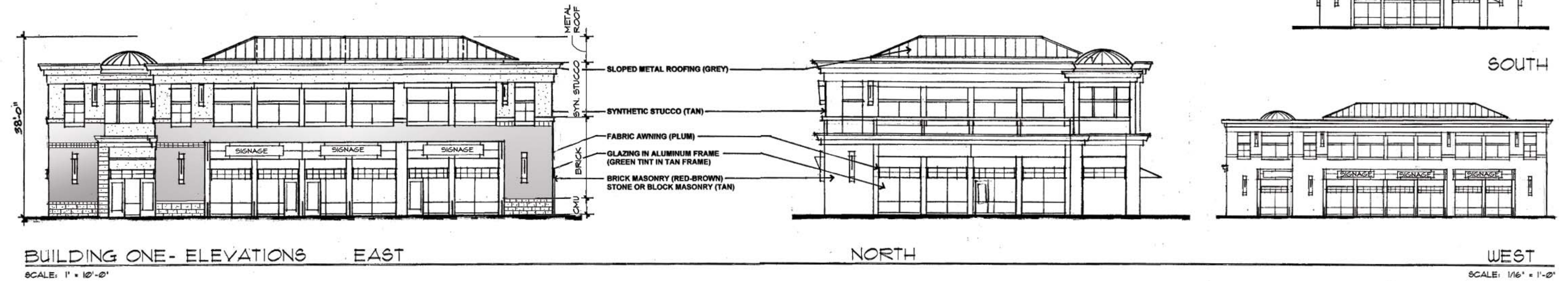
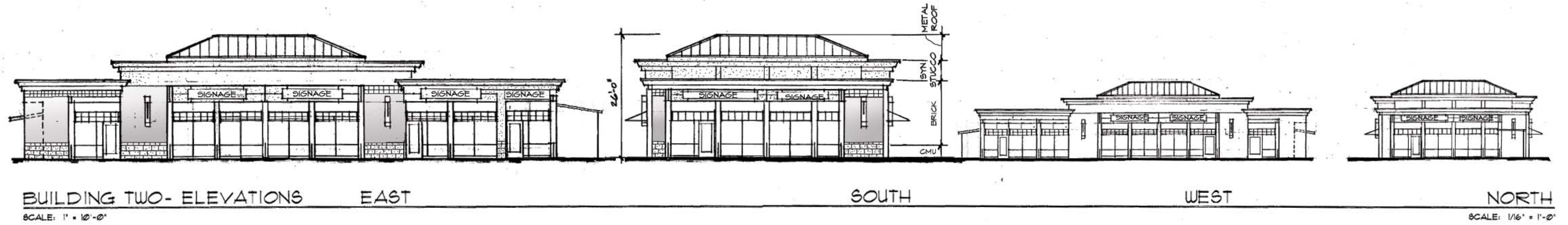
ARCHITECTURE WEST, L.L.C.
4710 S. COLLEGE AVE.
FT. COLLINS, CO

DRAWING TITLE:

DRAWN BY:		CW	SCALE:	AS NOTED
DESIGNED BY:		CW	DATE:	4/16/13
CHECKED BY:		LS	PROJECT NO:	13016
CADD FILENAME: E1.01 SITE PHOTOMETRIC 13016				
DRAWING NO: E-1.01				

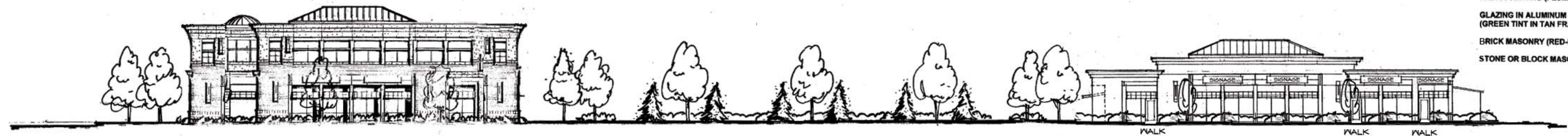
E-1.01

PROJECT DEVELOPMENT PLAN
BOARDWALK CROSSING



BUILDING MATERIALS LEGEND

SLOPED METAL ROOFING (GREY)	
SYNTHETIC STUCCO (TAN)	
FABRIC AWNING (PLUM)	
GLAZING IN ALUMINUM FRAME (GREEN TINT IN TAN FRAME)	
BRICK MASONRY (RED-BROWN)	
STONE OR BLOCK MASONRY (TAN)	



BOARDWALK CROSSING AT MASON STREET
PROJECT DEVELOPMENT PLAN / FINAL DEVELOPMENT PLAN

ELEVATIONS
BOARDWALK & MASON



4710 S. COLLEGE AVE.
FORT COLLINS, CO. 80525
(970) 201-0424
(FAX) 201-9191

BOARDWALK CROSSING LP
PO BOX 212546
FORT COLLINS, CO. 80521

SHEET 3 OF 3
FEBRUARY 2005
FEBRUARY 2013
APRIL 16, 2013
MAY 22, 2013

Katie Aurigemma

From: Steve Steinbicker
Sent: Tuesday, April 16, 2013 5:04 PM
To: Katie Aurigemma
Subject: FW: Lots 2 & 3, Boardwalk Crossing FDP 130003 _ Modification Requests
Attachments: E1.01 Site Photometric 13016 Updated 4-16-13.pdf; Boardwalk Response_4.15.13.docx

BOARDWALK CROSSING PDP & FDP
FDP #130003
LOTS 2 & 3 , MODIFICATION REQUESTS
(REFERENCE SUBMITTED SITE PLAN, ARCHITECTURE WEST LLC)

REQUEST FOR MODIFICATION OF STANDARDS , SECTION 2.8.2.H.4. ;

' the plan as submitted will not diverge from the standards of the Land Use Code.... except in a nominal, inconsequential way when considered from the perspective of the entire development plan.'

REQUEST NO. 1 – LUC SECTION 3.10.4;

The TOD requires that parking not be located between the street and the front or side of a building.

Parking spaces along Mason Street extend beyond Building Two, (north) closer to the street, by several feet.

REQUEST # 2 – LUC SECTION 3.2.2 (J);

The east side of the N-S drive aisle along the east property, requires a 5' landscape area between vehicle use areas and Lot line.

REQUEST # 3 – LUC SECTION 3.2.2 (J);

South Mason Street (an arterial street) requires a 15' setback for parking along the ROW. .

STATEMENT OF ISSUES;

- **SO. MASON** IS CLASSIFIED AS AN ARTERIAL AT THIS SECTION OF THIS PROJECT, IN ALL OTHER AREAS OF THE CITY IT IS A LOCAL COLLECTOR EXCEPT AT THIS ONE-MILE SECTION. THE COLLECTOR STANDARD FOR **PARKING SETBACK** WOULD TYPICALLY BE 10' IN WIDTH AND THEREFOR COMPLIANT, ELSEWHERE.
- AS AN **IN-FILL SITE** THAT HAS CERTAIN DESIGN CONSTRAINTS, INCLUDING EXISTING CONTIGUOUS DEVELOPMENT AND PUBLIC ROADS, ON ALL SIDES, ETC..
- THIS IS ONE OF THE LAST REMAINING SITES, UNDEVELOPED IN THIS AREA. **NO OTHER EXISTING BUILDINGS** ALONG SO. MASON NOR IN THIS CORRIDOR AREA **COMPLY WITH THE SAME PARKING SETBACK STANDARD.**
- BASED ON **OTHER DESIGN STANDARDS** THAT REQUIRE BUILDING FRONTAGES ALONG STREET FRONTAGES, THE EXISTING CURBCUT/ACCESS LOCATIONS, NO ACCESS GRANTED FROM EITHER BOARDWALK OR MASON, THIS SITE IS HIGHLY RESTRICTED TO BUILDING AND PARKING LAYOUTS AND ORIENTATION.
- THE PROJECT IS PROPOSING 2 BUILDINGS, LOCATED @ THE SEC OF SO. MASON STREET & BOARDWALK DRIVE. THE **PARKING SETBACK MATCHES/COMPLIES** WITH THE SAME SOUTH BUILDING THREE SETBACK. THE NORTH BUILDING IS SET BACK APPROX. 3' FROM THE SOUTH PARKING LINE TO ALLOW ADDITIONAL SETBACK & BUFFER FROM THE CORNER/INTERSECTION, TRAFFIC, VISIBILITY AT THE INTERSECTION, LANDSCAPING CONSIDERATIONS, ETC. .
- THIS REQUEST IS A **MINOR DEVIATION** OF THE STANDARD BY ONLY 3' +-.

- THE **SITE HAS A LIMITED WIDTH DIMENSION**, THAT ALLOWS FOR ONE DOUBLE AND ONE SINGLE-LOADED PARKING LOT LAYOUT, WHICH IS NOT OPTIMAL. THE PROPOSED DESIGN DOES NOT PROVIDE THE MINIMUM PARKING FOR OFFICE AND RETAIL USES, NORMALLY PROVIDED IN OTHER MIXED-USE CENTERS. ANY CHANGE IN THE WEST PARKING LOT LOCATION COULD LOSE BETWEEN 5 & 12 PARKING SPACES, WHICH WOULD BE SERIOUSLY **DETRIMENTAL** TO USERS, CLIENTS, DEVELOPER AND THE GENERAL PUBLIC.
- THERE IS **NO OFF-STREET PARKING** THAT WOULD SUPPORT THE LOSS IN PARKING STALLS WITH A RE-DESIGN THIS LOSS OF PARKING COULD FORCE ADJACENT PROPERTIES TO **SHARE UN-WANTED VEHICLES PARKED** ON THEIR PROPERTIES, (IE.; THE NEARBY OLIVE GARDEN, REI, BARNES & NOBLE AND/OR OTHERS).
- THERE ARE **OVERLAPPING DEVELOPMENT STANDARDS** REGARDING PARKING LOT SCREENING, THAT MITIGATE THIS MINIMAL DISTANCE DISCREPANCY. LUC REQUIRES A 70% OPACITY **SCREENING**, WHICH HAS BEEN PROVIDED. THE DISTANCE OF THE LANDSCAPE YARD IS NOT DETRIMENTAL TO THE FRONT VEHICLE DISTANCE. THE LIMITED PARKING **DISTANCE VARIATION IS NOT SIGNIFICANT**, CONSIDERING THE LANDSCAPE SCREENING PROVIDED.
- THE EAST & WEST **PROPERTY LINES** ARE NOT PARALLEL, WHICH PROVIDES FOR SOME OF THE **DEVIATION** IN THE PARKING AND DRIVE AISLE LAYOUTS.
- BOTH BUILDINGS TWO & THREE, HAVE MULTIPLE, VARYING ELEVATION/FAÇADE OFFSETS, INCLUDING SOME UPPER 2ND FLOOR WALL LINES, AS REQUIRED BY OTHER DESIGN STANDARDS IN THE CODE. THIS PROVIDES ADDITIONAL **ARCHITECTURAL INTEREST** FOR THE DEVELOPMENT, BEYOND THE MINIMUMS REQUIRED.
- WHILE SHOWN ON THE SITE PLAN AS A SINGLE WALL LINE, THERE ARE BUILDING OFFSETS. **BUILDING TWO IS SET BACK 15'** AND BUILDING THREE AND PARKING, 12' FROM MASON.
- SHIFTING THE WEST LINE OF PARKING STALLS CLOSEST TO SO. MASON, WOULD FORCE THOSE STALLS TO BECOME **COMPACT PARKING** BASED ON THEIR SHORTER LENGTH. THIS WOULD EXCEED THE PERMITTED MAXIMUM COMPACT STALL RATIO NUMBERS ESTABLISHED IN THE LUC.
- THE ADJACENT REI PROPERTY TO THE **EAST**, HAS AN **EXISTING LANDSCAPE ISLAND** PARALLELING THE PROPERTY LINE WITH VERY MATURE, ESTABLISHED LANDSCAPING. THESE PLANTINGS PROVIDE ADEQUATE SCREENING AND SEPARATION OF BOTH DEVELOPMENTS.
- THIS SITE PLAN DESIGN IS **COMPATIBLE WITH EXISTING DEVELOPMENT AND CHARACTER** OF THE SO. MASON CORRIDOR.
- THERE WOULD BE **NO HARM OR DETRIMENT TO THE GENERAL PUBLIC**, NOR SURROUNDING DEVELOPMENT.
- THERE ARE **NO COMPROMISE TO THE DESIGN STANDARDS** THAT WOULD NOT BE MET OR PROVIDED ELSEWHERE WITHIN THIS DEVELOPMENT.
- THE SHIFT IN PARKING AND DRIVEWAY LOCATIONS WOULD HAVE A **SIGNIFICANT IMPACT** ON THE FUNCTIONALITY OF THIS DEVELOPMENT. THERE ARE **NO SIGNIFICANT CONCERNS WITH THE APPROVAL OF THESE 3 MODIFICATIONS**, ON THIS PROJECT.

WE RESPECTFULLY REQUEST THE PLAN BE APPROVED WITH THE MODIFICATIONS AS REQUESTED AND NOTED. PLEASE CONTACT US WITH ANY FURTHER CLARIFICATIONS OR INFORMATION IS REQUIRED.

REGARDS,
STEVE
STEINBICKER
APRIL 16, 2013

Stephen J. Steinbicker, AIA, NCARB
LEED Accredited Professional BD+C



970-207-0424