

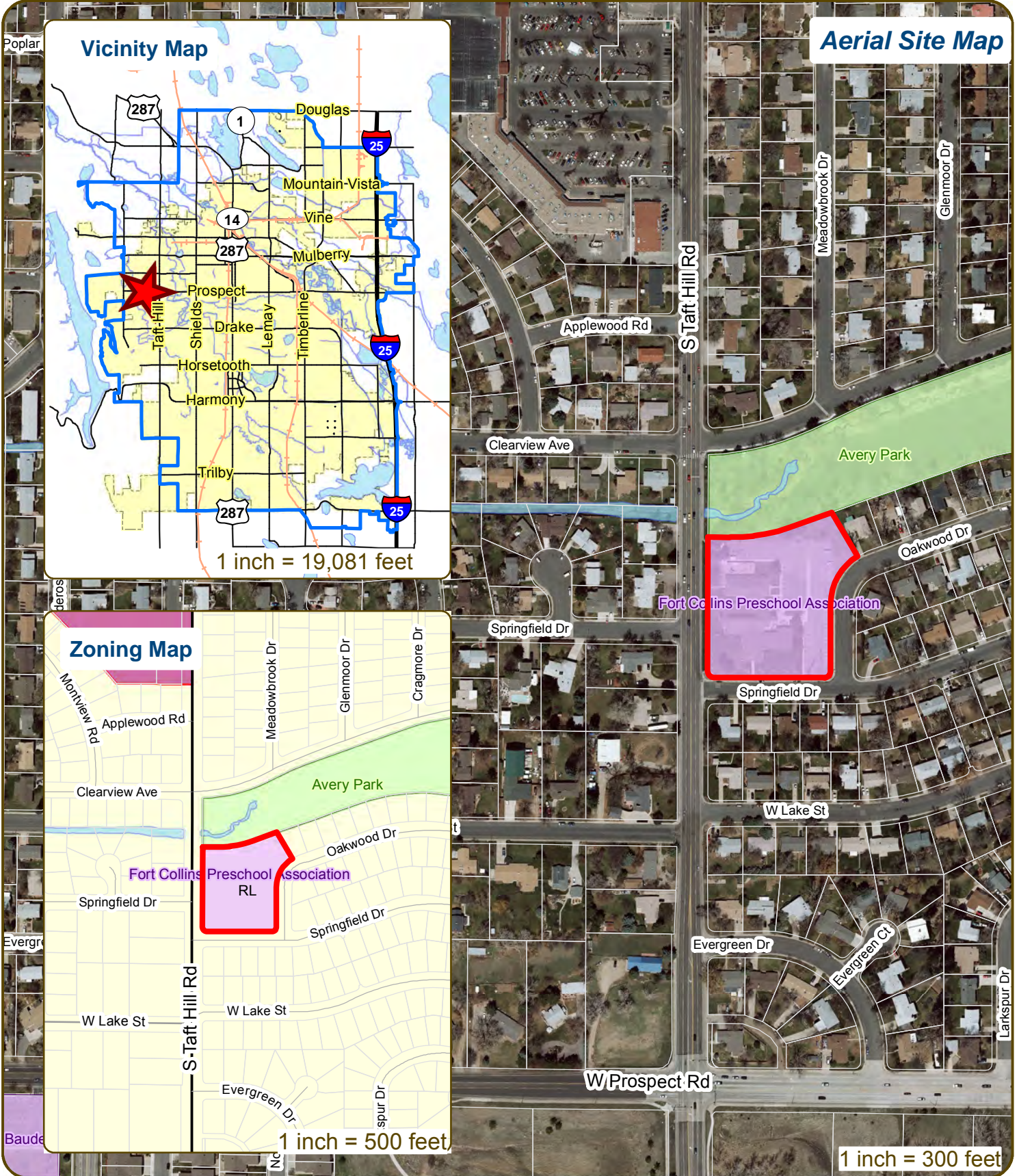
Conceptual Review Agenda

Schedule for 11/29/18
281 Conference Room A

Thursday, November 29, 2018

Time	Project Name	Applicant Info	Project Description		
10:15	S Taft Hill Sprint	Charmaine Dregalla 303-507-3471	This is a request to install a new wireless telecommunications facility on the church property at 1200 S Taft Hill Road (parcel #9715306970). The proposed facility would be designed as a 50-foot bell tower. The equipment would include six radio heads and six antennas. Sprint would lease two areas on the site, one 144 sq ft area for the fenced equipment shelter and one 440 sq ft area for the proposed tower. The property is located in the Low Density Residential (RL) zone district and is subject to the Addition of Permitted Use (APU) process.	Planner	Clark Mapes
	Wireless Facility	Charmained1960@gmail.com		DRC	Brandy BH
	CDR180086				
CANCELLED					
11:00	Sunshine House	Shelley La Mastra 970-484-8855	This is a request to build an early learning center on a vacant lot along Miles House Avenue southwest of the Great Western Railway (parcel #8720467003). The early learning center will have a capacity for 176 children and 25 staff members. The site currently has 37 parking spaces. Seven spaces will be added for a total of 44 parking spaces. Access to the site is taken from Miles House Avenue to the south. The property is located in the Urban Estate District (UE) zone district and is subject to Planning and Zoning Board (Type 2) Review.	Planner	Ted Shepard
	Early Learning Center	slamastra@russellmillsstudios.com		DRC	Todd Sullivan
	CDR180087				

S Taft Hill Sprint Wireless Facility



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed land development projects begin with Conceptual Review. Anyone with a land development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan or site plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Generally, Conceptual Review works best after a brief conversation with a representative from the Zoning or Planning Department to first establish compliance with the permitted uses under the applicable zone district. Then a sketch plan or site plan is prepared that allows staff to review and provide comments on the land development aspects of the proposal. Please be aware that any information submitted may be considered a public record, and may be made available to anyone who requests it, including the media. The applicant acknowledges that that they are acting with the owner's consent.

Conceptual Reviews are scheduled on three Thursday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are held each Thursday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 12:00pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from various City departments, including Community Development and Neighborhood Services (Zoning, Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Transportation Planning and Poudre Fire Authority. Staff provides the applicant with comments to assist in preparing the detailed formal project application. There is no approval or denial of development proposals associated with Conceptual Review. The applicant will receive the comment letter at the review meeting.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Business Name (if applicable) _____

Your Mailing Address _____

Phone Number _____ Email Address _____

Site Address or Description (parcel # if no address) _____

Description of Proposal (attach additional sheets if necessary) _____

Proposed Use _____ Existing Use _____

Total Building Square Footage _____ S.F. Number of Stories _____ Lot Dimensions _____

Age of any Existing Structures _____

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? Yes No If yes, then what risk level? _____

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area _____ S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

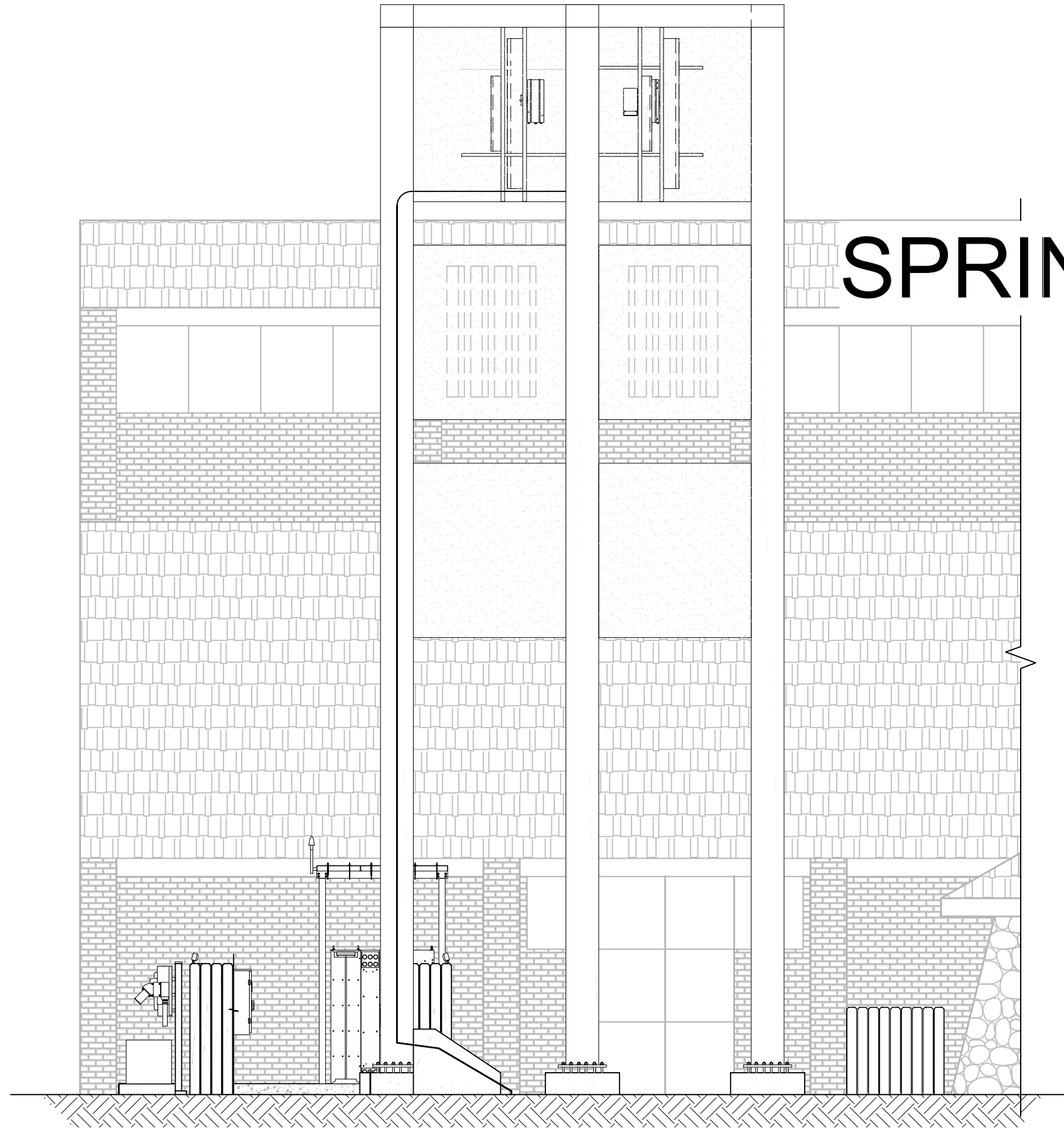
Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



DN90XCF56

SPRINT NEIGHBORHOOD EXPANSION/FIRST TIME INSTALL
PUBLIC RECORD PARCEL NO. 9715306970

1200 S TAFT HILL ROAD
FORT COLLINS, COLORADO 80521
LARIMER COUNTY
NEW 49'-0" THREE-LEGGED TOWER
(OVERALL HEIGHT: 50'-0" A.G.L.)
RAWLAND COMMUNICATION SITE



BUILDING CODE SUMMARY:	
ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES:	
USED	Code Year / Type: (ORDINANCE)
X	2015 INTERNATIONAL BUILDING CODE (IBC)
X	2015 UNIFORM PLUMBING CODE (W/O CHAP. 13) (UPC)
X	2015 INTERNATIONAL FUEL GAS CODE (IFGC)
X	2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
X	2015 INTERNATIONAL MECHANICAL CODE
X	2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
X	2015 INTERNATIONAL FIRE CODE (IFC)
X	2017 NATIONAL ELECTRICAL CODE (NEC)
REFER TO BUILDING PERMIT DOCUMENTS AND ALL CONSTRUCTION DOCUMENTS FOR ADDITIONAL CODE REQUIREMENTS.	

PRELIMINARY
NOT FOR CONSTRUCTION

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SHEET INDEX		
SHEET	TITLE	REV.
T1	TITLE SHEET	A
SP1	SPECIFICATION & PHOTO SHEET	A
IN1	INSPECTION SHEET	A
LS-1	SITE SURVEY	2
LS-2	SITE SURVEY	2
C1	SITE PLAN & SETBACK SITE PLAN	A
C2	ENLARGED SITE PLAN & EQUIPMENT LAYOUT PLAN	A
C3	ELEVATIONS	A
C4	SECTIONS & DETAILS	A
C5	SECTIONS & DETAILS	A
RF1	ANTENNA INFORMATION & RRH HYBRID CABLE CHART	A
RF2	ICE CANOPY DETAIL	A

PROJECT INDEX:
 APPLICANT/CLIENT:
 MASTEC NETWORK SOLUTIONS
 CONSTRUCTION DEPARTMENT
 7025 SOUTH REVERSE PARKWAY, UNIT 100

CONTACT:
 PM: MICHELE O'LEARY
 PHONE: 913-707-8223
 EMAIL: michele.oleary@mastec.com

CM: RYAN PRUETTE
 PHONE: 913-707-8223
 EMAIL: ryan.pruette@mastec.com

ENGINEERS/DESIGNERS:
 J5 INFRASTRUCTURE PARTNERS
 8392 S CONTINENTAL DIVIDE RD UNIT 101
 LITTLETON, CO 80127

CONTACT: AARON ZAJICEK
 PHONE: 303-683-3194 EXT. 154
ZONING/SITE AC:
 J5 INFRASTRUCTURE PARTNERS
 8392 S CONTINENTAL DIVIDE RD., UNIT 101
 LITTLETON, CO 80127

CONTACT: CHARMINE DREGALLA
 MOBILE: 303-507-3471
 EMAIL: cdregalla@j5ip.com

SURVEYOR:
 RLF CONSULTING
 1214 N. STADEM DRIVE
 TEMPE, AZ 85281

CONTACT: ADAM MUELLER
 PHONE: 480-445-9189 EXT. 402

GENERAL PROJECT NOTES:

- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE PROPOSED PROJECT.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A VERIZON REPRESENTATIVE.
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, UNLESS INDICATED OTHERWISE.
- NOTIFY VERIZON, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A VERIZON REPRESENTATIVE AND ADJUSTING THE BID ACCORDINGLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A VERIZON REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY VERIZON, THE CONTRACTOR SHALL PROVIDE VERIZON WITH ONE COPY OF ALL RED-LINED DRAWINGS.
- VERIFY ALL FINAL EQUIPMENT WITH A VERIZON REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY VERIZON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

PROJECT INFORMATION:

OWNER: SHEPHERD OF THE HILLS LUTHERAN CHURCH
 1200 S TAFT HILL ROAD
 FORT COLLINS, COLORADO 80521

JURISDICTION: CITY OF FORT COLLINS
 281 N COLLEGE
 FORT COLLINS, COLORADO 80524

PLANNING, DEVELOPMENT & TRANSPORTATION DEPARTMENT
 PHONE: 970-221-6601

PUBLIC RECORD PARCEL NO.: 9715306970

LATITUDE: 40.57023°N

LONGITUDE: 105.11471°W

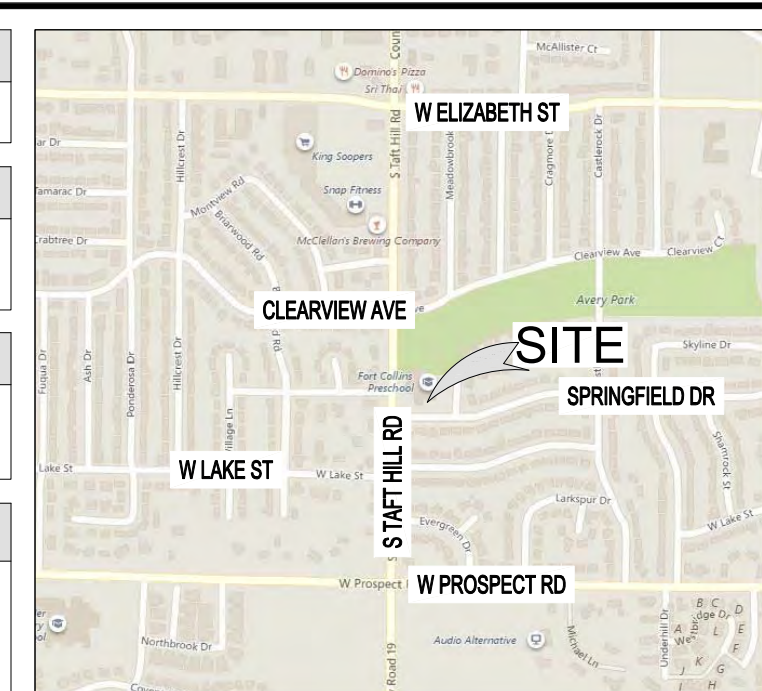
FCC COMPLIANCE:
 RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.

ADA COMPLIANCE:
 THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXITS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.

ABBREVIATED LEGAL DESCRIPTION:
 TRACT A, MILLER BROTHERS SOUTH FOOTHILLS SUBDIVISION, FIRST FILING, ACCORDING TO THE PLAT FILED MARCH 25, 1960 IN THE CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

PROJECT DESCRIPTION:
 THIS PROJECT CONSISTS OF THE FOLLOWING:
INSTALLATION

- ONE (1) 49'-0" THREE-LEGGED TOWER (DESIGNED BY OTHERS)
- ONE (1) NEW ELTEK ECAB MOUNTED ON NEW ELTEK GROUND MOUNTING KIT
- ONE (1) NEW ELTEK BCAB MOUNTED ON NEW ELTEK GROUND MOUNTING KIT
- ONE (1) NEW ELTEK GROUND MOUNTING KIT MOUNTED FOR NEW EQUIPMENT CABINETS
- ONE (1) NEW ELTEK TELCO AND POWER BOX MOUNTED ON NEW GALVANIZED H-FRAME
- NEW WOOD CEDAR FENCE ENCLOSURE WITH GATE
- SIX (6) NEW PANEL ANTENNAS
- SIX (6) NEW RRH UNITS
- FOUR (4) NEW HYBRID CABLES
- EIGHT (8) NEW 4"Ø PVC CONDUIT PIPES FOR CABLING
- ONE (1) NEW GENERATOR PLUG



VICINITY MAP
SCALE: N.T.S.
NORTH

DESIGNED FOR:

DESIGNED BY:

AZ - CA - CO - ID - NM - NV - TX - UT

PROJECT NAME:
 DN90XCF56
 NEW 49'-0" THREE-LEGGED TOWER
 (OVERALL HEIGHT: 50'-0" A.G.L.)
 RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:
 1200 S TAFT HILL ROAD
 FORT COLLINS, COLORADO 80521
 LARIMER COUNTY

SHEET TITLE:
 TITLE SHEET

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-

SAVE DATE: 10/22/2018 8:08 AM
 SHEET NUMBER: T1

GENERAL PROJECT NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
- EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO GRADING ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
- CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAYDOWN AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAYDOWN AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6' HIGH CHAIN LINK FABRIC AND IS TO BE REMOVED AT THE END OF CONSTRUCTION. LAYDOWN AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
- SURVEY INFORMATION SHOWN WAS CREATED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY.
- THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE MEANS AND METHODS CHOSEN BY THE ERECTOR.
- NEW EQUIPMENT COMPOUND SHALL BE COVERED W/ 4" CRUSHED ROCK INSTALLED OVER CLIENT-APPROVED WEED BARRIER MATERIAL (IF APPLICABLE).

GENERAL CONTRACTOR NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE PROJECT SCOPE OF WORK DEFINED UNDER THE REQUEST FOR PROPOSAL (RFP) FOR THIS PROJECT AND ALL ASSOCIATED ATTACHMENTS AND DOCUMENTS PROVIDED.
THE RFP AND ALL ASSOCIATED DOCUMENTS SHALL DEFINE THE COMPLETE PROJECT SCOPE OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL DOCUMENTS AND IS SOLELY RESPONSIBLE FOR ALL WORK.
ALL DOCUMENTS INCLUDED WITHIN THE PROJECT REQUEST FOR PROPOSAL ARE REQUIRED FOR THE COMPLETE PROJECT SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK (EQUIPMENT, MATERIAL, INSTALLATION, TESTING, ETC.) INDICATED IN ALL DOCUMENTS. THE RFP, VERIZON WIRELESS NETWORK STANDARDS AND PROJECT ADDENDUMS AND CLARIFICATIONS ARE COMPLEMENTARY TO EACH OTHER. THE FORMAT OF THE SPECIFICATIONS AND DRAWING NUMBERING PER DISCIPLINE IS NOT INTENDED TO IMPLY SEGREGATION OF SUB CONTRACTOR WORK. CONTRACTOR SHALL ASSIGN ALL SUB CONTRACTOR WORK AND VERIZON WIRELESS WILL NOT ACCEPT ANY CHANGE ORDERS FOR INTERNAL CONTRACTOR WORK ASSIGNMENTS.
CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ALL RFP DOCUMENTS TO THEIR SUB CONTRACTORS. ALL RFP DOCUMENTS ARE REQUIRED TO INDICATE THE PROJECT SCOPE OF WORK. PARTIAL SUB CONTRACTOR DOCUMENT PACKAGES ARE HIGHLY DISCOURAGED.
IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, REFERENCED STANDARDS, VERIZON WIRELESS STANDARDS, OR AGREEMENT TERMS AND CONDITIONS THE ARCHITECT/ ENGINEER SHALL BE CONTACTED FOR FORMAL INTERPRETATION OF THE REQUIREMENTS. THE CONTRACTOR SHALL BE DEEMED TO HAVE PROVIDED THE DETAILED AND EXTENSIVE INTERPRETATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECT/ ENGINEER INTERPRETATIONS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO VERIZON WIRELESS.
- ALL ANTENNAS MUST BE PIM TESTED WITHIN 48 HOURS OF THEM BEING RECEIVED BY THE INSTALLATION CONTRACTOR. THOSE RESULTS MUST BE SENT BACK TO THE VERIZON WIRELESS CONSTRUCTION ENGINEER AND EQUIPMENT ENGINEER WITHIN THE SAME 48 HOURS. IF YOU MISS THE 48HR TIMELINE AND THE ANTENNAS DO NOT PASS UPON INSTALLATION, YOUR COMPANY WILL BE CHARGED FOR THE COST OF THE ANTENNAS FOR REPLACEMENT.
- ALL LOADS MUST BE SECURED PROPERLY TO THE VEHICLE OR TRAILER. VERIZON WIRELESS WILL PASS ALONG THE COST OF ANY REPLACEMENTS DUE TO DAMAGE OR LOSS WHETHER IT IS NEW OR USED.

ANTENNA, MOUNTS & HARDWARE INSTALLATION NOTES:

- CONTRACTOR TO INSTALL ANTENNAS, MOUNTS AND TOWER HARDWARE PER MANUFACTURER'S RECOMMENDATIONS (OR AS REQUIRED BY THE OWNER/PROVIDER).
- ALL BOLTS SHALL BE TIGHTENED PER AISC REQUIREMENTS (SEE STEEL NOTES).
- ANY GALVANIZED SURFACES THAT ARE DAMAGED BY ABRASIONS, CUTS, DRILLING OR FIELD WELDING DURING SHIPPING OR ERECTION SHALL BE TOUCHED-UP WITH TWO COATS OF COLD GALVANIZING COMPOUND MEETING THE REQUIREMENTS OF ASTM A780.
- ANTENNA MOUNTS SHALL NOT BE USED AS A CLIMBING DEVICE. WORKERS SHALL ALWAYS TIE OFF TO AN APPROVED CLIMBING POINT.
- SEE ALSO GENERAL ANTENNA NOTES ON SHEET RF1 (IF APPLICABLE).

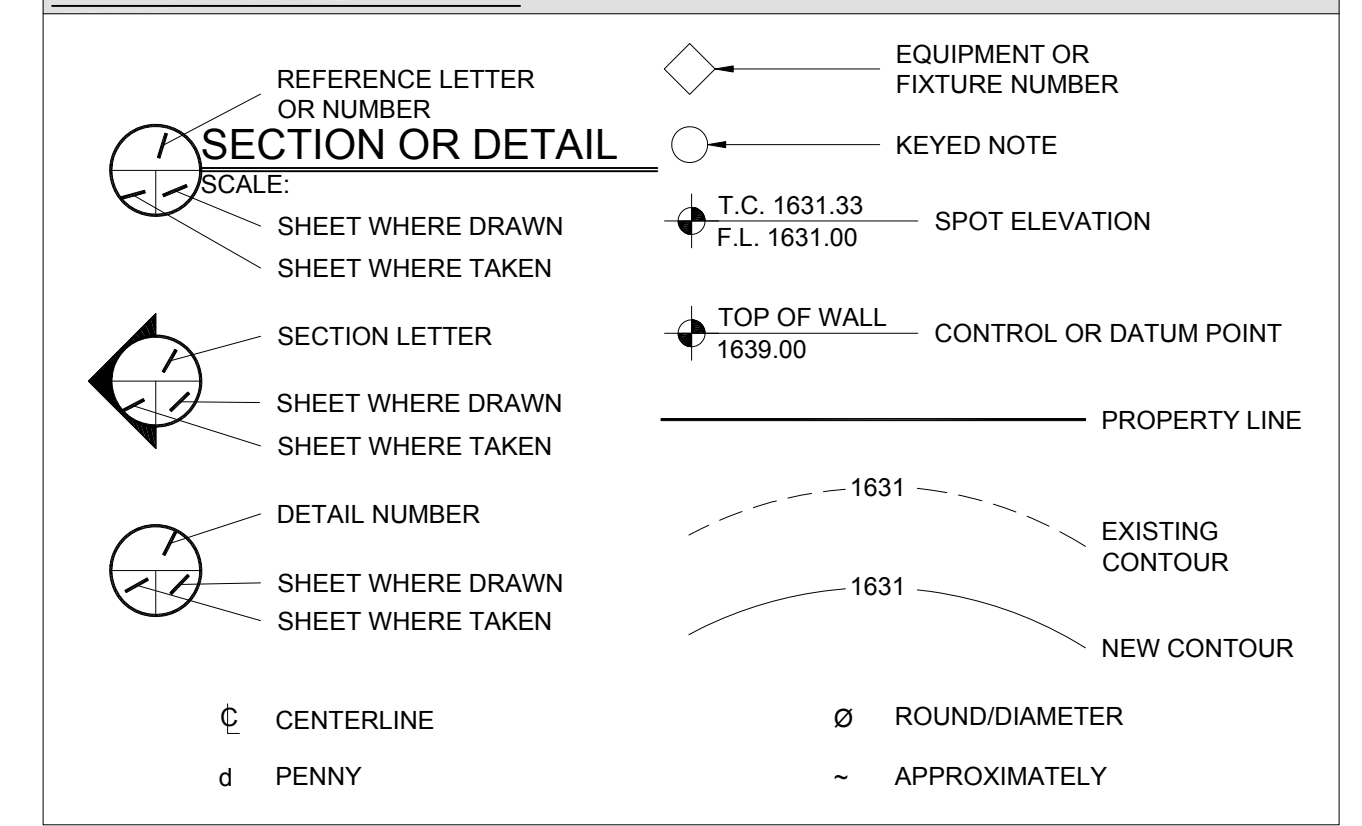
INTERIOR SAFETY BOARD SPECIFICATIONS:

CONTRACTOR TO INSTALL A 4'-0"x4'-0"x3/4" PLYWOOD SAFETY BOARD. SAFETY BOARD SHALL BE FASTENED TO INTERIOR WALL OF SHELTER, PAINTED "SAFETY YELLOW", AND CONTAIN THE FOLLOWING ITEMS:
EYE WASH KIT, FIRST AID KIT, SAFETY GLOVES, SAFETY APRON & EAR PROTECTION

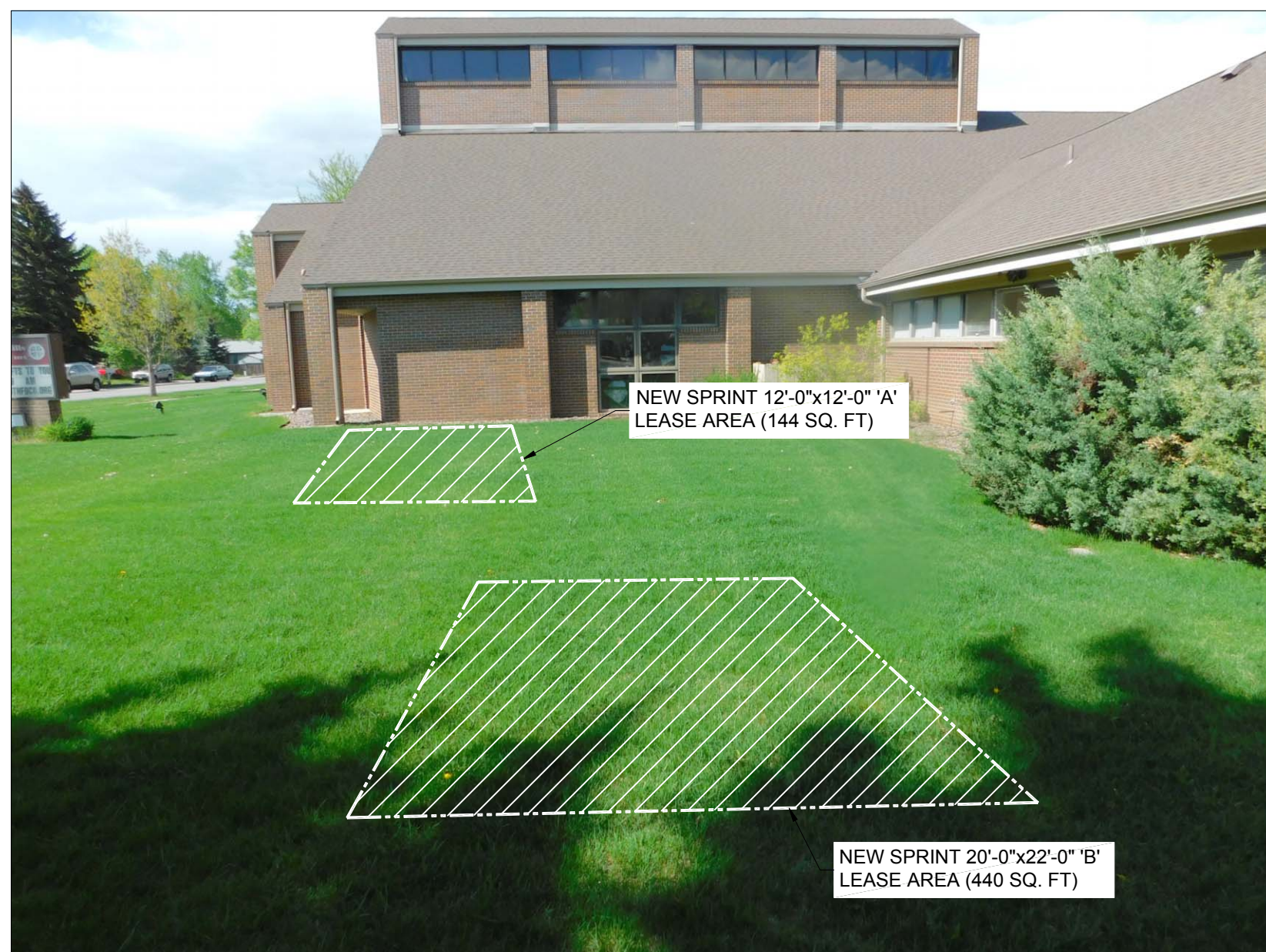
STRUCTURAL DESIGN CRITERIA:

- ALL LOADS DERIVED FROM REQUIREMENTS OF INTERNATIONAL BUILDING CODE 2015, ASCE 7-10, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" & ANSI TIA-222-G "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS".
- BUILDING STRUCTURES:**
- WIND LOADS: IBC 2015 §1609 & ASCE 7-10 §28.4 (SIMPLIFIED METHOD)
VULT = 115 MPH
OCCUPANCY CAT. = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0
 - SEISMIC LOADS: IBC 2015 §1613 & ASCE 7-10 §12.14 (SIMPLIFIED METHOD)
OCCUPANCY CAT. = II; SITE CLASS = D
 $V = F(Sps)W$
R
F = 1.0 (SINGLE-STORY), 1.1 (TWO STORY), 1.2 (THREE STORY)
Sps = (2/3) Sms
R = 1.5 (ORDINARY PLAIN CONCRETE SHEARWALLS),
6.5 (LIGHT-FRAMED WALLS W/ WOOD STRUCTURAL PANELS),
4.0 (ORDINARY REINFORCED CONCRETE SHEARWALLS)
- COMMUNICATIONS STRUCTURES:**
- WIND LOADS: IBC 2015 §1609, ASCE 7-10 §29.5 & ANSI TIA-222-G
V = 115 MPH (3-SEC. GUST)
V = 40 MPH (1/2" RADIAL ICE)
STRUCTURE CLASS. = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0
 - SEISMIC LOADS: IBC 2015 §1613, ASCE 7-10 §15.6.6 & ANSI TIA-222-G
STRUCT. CLASS. = II; OCC. CAT. = II; SITE CLASS = D; IMPORTANCE FACTOR = 1.0
 $V = Sds(W)$ (EQUIVALENT LATERAL FORCE PROCEDURE (METHOD 1))
R
 $V = \sum Sz2(Wz)$ (EQUIVALENT MODAL ANALYSIS PROCEDURE (METHOD 2))
R

LEGEND OF SYMBOLS:



PRELIMINARY
NOT FOR CONSTRUCTION



VIEW OF NEW LEASE AREA
(LOOKING NORTH)



VIEW OF NEW LEASE AREA
(LOOKING NORTHEAST)



VIEW OF NEW LEASE AREA
(LOOKING NORTHEAST)

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DESIGNED BY:
J5 INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

PROJECT NAME:
DN90XCF56
NEW 49'-0" THREE-LEGGED TOWER
(OVERALL HEIGHT: 50'-0" A.G.L.)
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SPECIFICATION & PHOTO SHEET

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SAVE DATE: 10/22/2018 8:08 AM
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TABLE 1705.3 REQUIRED SPECIAL INSPECTION AND TESTS OF CONCRETE CONSTRUCTION					
REQ'D	TYPE	CONTINUOUS SPECIAL INSPECTION	PERIODIC SPECIAL INSPECTION	REFERENCED STANDARD	IBC REFERENCE
X	1. INSPECT REINFORCEMENT, INCLUDING PRESTRESSING TENDONS, AND VERIFY PLACEMENT.	-	✓	ACI 318: Ch. 20, 25.2, 25.3, 26.6.1-26.6.3	1908.4
	2. REINFORCING BAR WELDING: a. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A708 b. INSPECT SINGLE-PASS FILLET WELDS, MAXIMUM 3/16" AND c. INSPECT ALL OTHER WELDS.	✓	✓	AWS D1.4 ACI 318: 26.6.4	-
	3. INSPECT ANCHORS CAST IN CONCRETE.	-	✓	ACI 318: 17.8.2	-
	4. INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS. a. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS. b. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.a.	✓	✓	ACI 318: 17.8.2.4 ACI 318: 17.8.2	-
	5. VERIFY USE OF REQUIRED DESIGN MIX.	-	✓	ACI 318: Ch. 19, 26.4.3, 26.4.4	1904.1, 1904.2, 1908.2, 1908.3
	6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	✓	-	ASTM C172 ASTM C31 ACI 318: 26.4, 26.12	1908.10
	7. INSPECT CONCRETE AND SHORCRETE PLACEMENT TO PROPER APPLICATION TECHNIQUES.	✓	-	ACI 318: 26.5	1908.6, 1908.7, 1908.8
	8. VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-	✓	ACI 318: 26.5.3-26.5.5	1908.9
	9. INSPECT PRESTRESSED CONCRETE FOR: a. APPLICATION OF PRESTRESSING FORCES; AND b. GROUTING OF BONDED PRESTRESSING TENDONS.	✓	-	ACI 318: 26.10	-
	10. INSPECT ERECTION OF PRECAST CONCRETE MEMBERS.	-	✓	ACI 318: Ch. 26.8	-
	11. VERIFY IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	-	✓	ACI 318: Ch. 26.11.2	-
	12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSION OF THE CONCRETE MEMBER BEING FORMED.	-	✓	ACI 318: Ch. 26.11.2(b)	-

TABLE N5.6-1 INSPECTION TASKS PRIOR BOLTING				
REQ'D	INSPECTION TASKS PRIOR TO BOLTING	OBSERVE ON A RANDOM BASIS	PERFORM FOR EACH BOLTED CONNECTION	APPLICABLE RCSC SPECIFICATION REFERENCES*
X	MANUFACTURERS CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS. FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS.	✓	-	2.1, 9.1 FIGURE C-2.1, 9.1 (ALSO SEE ASTM STANDARDS)
	PROPER FASTENERS SELECTED FOR THE JOINT DETAIL (GRADE, TYPE, BOLT LENGTH IF THREADS TO BE EXCLUDED FROM SHEAR PLATE)	✓	-	2.3.2, 2.7.2, 9.1
	PROPER BOLTING PROCEDURE SELECTED FOR JOINT DETAIL	✓	-	4, 8
	THE APPROPRIATE FAYING SURFACE CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS.	✓	-	3, 9.1, 9.3
	PRE-INSTALLATION VERIFICATION TESTING BY INSTALLATION PERSONNEL OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLIES AND METHODS USED.	-	✓	7, 9.2
	PROPER STORAGE PROVIDED FOR BOLTS, NUTS, WASHERS, AND FASTENER COMPONENTS. *RCSC (2009)	✓	-	2.2, 8, 9.1

TABLE N5.6-2 INSPECTION TASKS DURING BOLTING				
REQ'D	INSPECTION TASKS DURING TO BOLTING	OBSERVE ON A RANDOM BASIS	PERFORM FOR EACH BOLTED CONNECTION	APPLICABLE RCSC SPECIFICATION REFERENCES*
X	FASTENER ASSEMBLIES, OF SUITABLE CONDITION, PLACED IN ALL HOLES AND WASHERS (IF REQUIRED) ARE POSITIONED AS REQUIRED.	✓	-	8.1, 9.1
	JOINT BROUGHT TO THE SNUG TIGHT CONDITION PRIOR TO THE PRE-TENSIONING OPERATION. FASTENER COMPONENT NOT TURNED BE THE WRENCH PREVENTED FROM ROTATING.	✓	-	8.1, 9.1
	FASTENERS ARE PRE-TENSIONED IN ACCORDANCE WITH A METHOD APPROVED BY RCSC AND PROGRESSING SYSTEMATICALLY FROM MOST RIGID POINT TOWARD FREE EDGES. *RCSC (2009)	✓	-	8.2, 9.2

TABLE N5.6-3 INSPECTION TASKS AFTER BOLTING				
REQ'D	INSPECTION TASKS AFTER BOLTING	OBSERVE ON A RANDOM BASIS	PERFORM FOR EACH BOLTED CONNECTION	APPLICABLE RCSC SPECIFICATION REFERENCES*
X	DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS. *RCSC (2009)	-	✓	NOT ADDRESSED BY RCSC

TABLE N5.4-1 INSPECTION TASKS PRIOR TO WELDING				
REQ'D	INSPECTION TASKS PRIOR TO WELDING	OBSERVE ON A RANDOM BASIS	PERFORM FOR EACH WELDED JOINT OR MEMBER	AWS D1.1/D1.1M REFERENCES*
X	WELDING PROCEDURE SPECIFICATIONS (WPSs) AVAILABLE	-	✓	6.3
	MANUFACTURER CERTIFICATIONS FOR WELDING CONSUMABLES AVAILABLE	-	✓	6.2
	MATERIAL IDENTIFICATION (TYPE/GRADE)	✓	-	6.2
	WELDER IDENTIFICATION SYSTEM	✓	-	6.4 (WELDER QUALIFICATION) (IDENTIFICATION SYSTEM NOT REQUIRED BY AWS D1.1/D1.1M)
	FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY) - JOINT PREPARATION - DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL) - CLEANLINESS (CONDITION OF STEEL SURFACES) - TACKING (TACK WELD QUALITY AND LOCATION) - BACKING TYPE AND FIT (IF APPLICABLE)	✓	-	6.5.2 5.22 5.15 5.18 5.10, 5.22.1.1
	CONFIGURATION AND FINISH OF ACCESS HOLES	✓	-	6.5.2, 5.17 (ALSO SEE SECTION J1.6)
	FIT-UP OF FILLET WELDS - DIMENSIONS (ALIGNMENT, GAPS AT ROOT) - CLEANLINESS (CONDITION OF STEEL SURFACES) - TACKING (TACK WELD QUALITY AND LOCATION)	✓	-	5.22.1 5.15 5.18
	CHECK WELDING EQUIPMENT	✓	-	6.2, 5.11

TABLE N5.4-2 INSPECTION TASKS DURING WELDING				
REQ'D	INSPECTION TASKS DURING WELDING	OBSERVE ON A RANDOM BASIS	PERFORM FOR EACH WELDED JOINT OR MEMBER	AWS D1.1/D1.1M REFERENCES*
X	USE OF QUALIFIED WELDERS	✓	-	6.4
	CONTROL AND HANDLING OF WELDING CONSUMABLES - PACKAGING - EXPOSURE CONTROL	✓	-	6.2 5.3.1 5.3.2 (FOR SMAW), 5.3.3 (FOR SAW)
	NO WELDING OVER CRACKED TACK WELDS	✓	-	5.18
	ENVIRONMENTAL CONDITIONS - WIND SPEED WITHIN LIMITS - PRECIPITATION AND TEMPERATURE	✓	-	5.12.1 5.12.2
	WPS FOLLOWED - SETTINGS ON WELDING EQUIPMENT - TRAVEL SPEED - SELECTED WELDING MATERIALS - SHIELDING GAS TYPE/FLOW RATE - PREHEAT APPLIED - INTERPASS TEMPERATURE MAINTAINED (MIN./MAX.) - PROPER POSITION (F, V, H, OH)	✓	-	6.3.3, 6.5.2, 5.5, 5.2.1 5.6, 5.7
	WELDING TECHNIQUES - INTERPASS AND FINAL CLEANING - EACH PASS WITHIN PROFILE LIMITATIONS - EACH PASS MEETS QUALITY REQUIREMENTS	✓	-	6.5.2, 6.5.3, 5.24, 5.30.1

TABLE N5.4-3 INSPECTION TASKS AFTER WELDING				
REQ'D	INSPECTION TASKS AFTER WELDING	OBSERVE ON A RANDOM BASIS	PERFORM FOR EACH WELDED JOINT OR MEMBER	AWS D1.1/D1.1M REFERENCES*
X	WELDS CLEANED	✓	-	5.30.1
	SIZE AND LENGTH AND LOCATION OF WELDS	-	✓	6.5.1
	WELDS MEET VISUAL ACCEPTANCE CRITERIA - CRACK PROHIBITION - WELD/BASE-METAL FUSION - CRATER CROSS SECTION - WELD PROFILES - WELD SIZE - UNDERCUT - POROSITY	-	✓	6.5.3 TABLE 6.1(1) TABLE 6.1(2) TABLE 6.1(3) TABLE 6.1(4), 5.24 TABLE 6.1(6) TABLE 6.1(7) TABLE 6.1(8)
	ARC STRIKES	-	✓	5.29
	k-AREA*	-	✓	NOT ADDRESSED IN AWS
	BACKING REMOVED AND WELD TABS REMOVED (IF REQUIRED)	-	✓	5.10, 5.31
	REPAIR ACTIVITIES	-	✓	6.5.3, 5.26
	DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT OR MEMBER	-	✓	6.5.4, 6.5.5


SPECIAL INSPECTION COORDINATION:	
1.	IF STEEL FABRICATOR IS STATE APPROVED, STEEL SPECIAL INSPECTIONS ARE NOT REQUIRED.
2.	ALL SPECIAL INSPECTIONS MUST BE PERFORMED BY A QUALIFIED INSPECTOR.
3.	ALL INSPECTION REPORTS SHALL BE ORGANIZED INTO A CONCISE DOCUMENT AND DELIVERED TO THE ENGINEER OF RECORD FOR APPROVAL.


SPECIAL INSPECTION COORDINATIONS:	
1.	SPECIAL INSPECTIONS APPLICABLE TO CONCRETE CONSTRUCTION ARE ONLY REQUIRED FOR TOWER FOUNDATION. SPECIAL INSPECTION ARE NOT REQUIRED FOR SHELTER FOUNDATIONS OR GENERATOR PAD FOUNDATIONS.
2.	MARTINEZ ASSOCIATES, INC. 14828 WEST 6TH AVENUE, UNIT 9B GOLDEN, COLORADO 80401 CONTACT: JERE STRICKLAND, P.E. PHONE: 303-459-2216

PIER FOUNDATIONS (IBC TABLE 1704.9):				
REQ'D	VERIFICATION & INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD
X	1. OBSERVE DRILLING OPERATIONS AND MAINTAIN COMPLETE AND ACCURATE RECORDS FOR EACH PIER.	✓	-	-
	2. VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM PIER DIAMETERS, BELL DIAMETERS (IF APPLICABLE), LENGTHS, EMBEDMENT INTO BEDROCK (IF APPLICABLE) AND ADEQUATE END BEARING STRATA CAPACITY.	✓	-	-

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DESIGNED FOR: 

DESIGNED BY: 

PROJECT NAME: DN90XCF56
NEW 49'-0" THREE-LEGGED TOWER (OVERALL HEIGHT: 50'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS: 1200 S TAFT HILL ROAD
FORT COLLINS, COLORADO 80521
LARIMER COUNTY

SHEET TITLE: INSPECTION SHEET

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-

SAVE DATE: 10/22/2018 8:08 AM SHEET NUMBER: IN1

SURVEYOR NOTES

- ALL TITLE INFORMATION IS BASED UPON A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NO.: NCS-907743-CO EFFECTIVE DATE: 05/29/2018.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

LESSOR'S LEGAL DESCRIPTION

TRACT A, MILLER BROTHERS SOUTH FOOTHILLS SUBDIVISION, FIRST FILING, ACCORDING TO THE PLAT FILED MARCH 25, 1960 IN THE CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

SCHEDULE B EXCEPTIONS

- EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF MILLER BROTHERS SOUTH FOOTHILLS SUBDIVISION FIRST FILING, RECORDED JANUARY 14, 1960 IN PLAT BOOK M AT PAGE 66.

ITEMS 1 THRU 6, AND 8 THRU 9 OF THE CLIENT PROVIDED TITLE REPORT DO NOT CONTAIN GRAPHICALLY PLOTTABLE EASEMENTS, SETBACKS, RESTRICTIONS OR OTHER ENCUMBRANCES. THE SURVEYOR CANNOT GUARANTEE THAT NON-PLOTTABLE ENCUMBRANCES DO NOT EXIST THAT MAY AFFECT THE SUBJECT LEASED PREMISES.

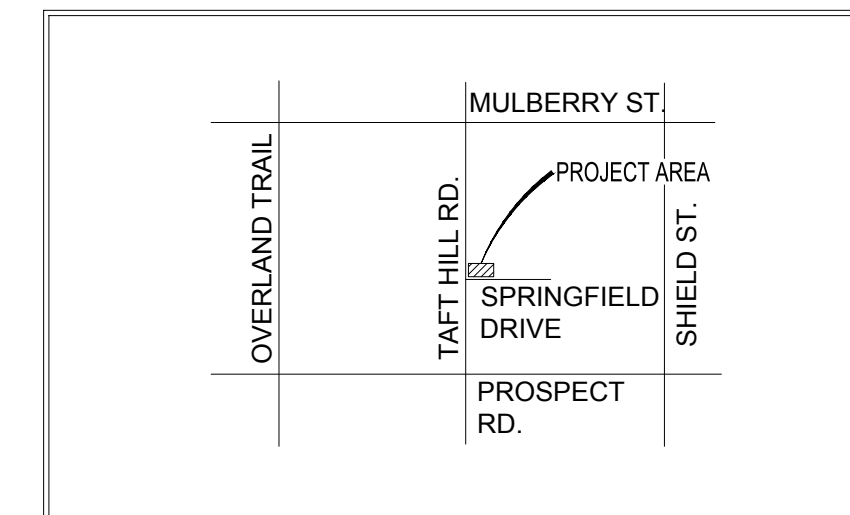
PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 12B SEPARATIONS CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM COLORADO STATE PLANE COORDINATE ZONE NORTH, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 09/07/2018.

FLOOD ZONE DESIGNATION

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 08069C0978G DATED 05/02/2012.

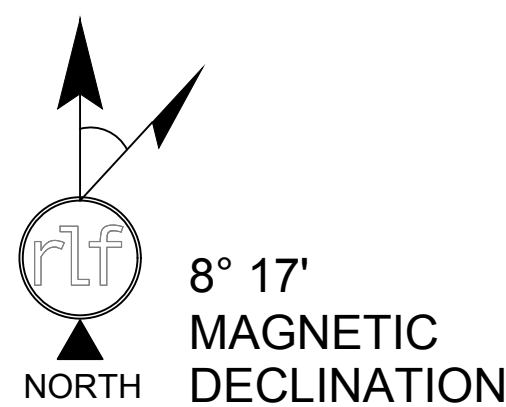
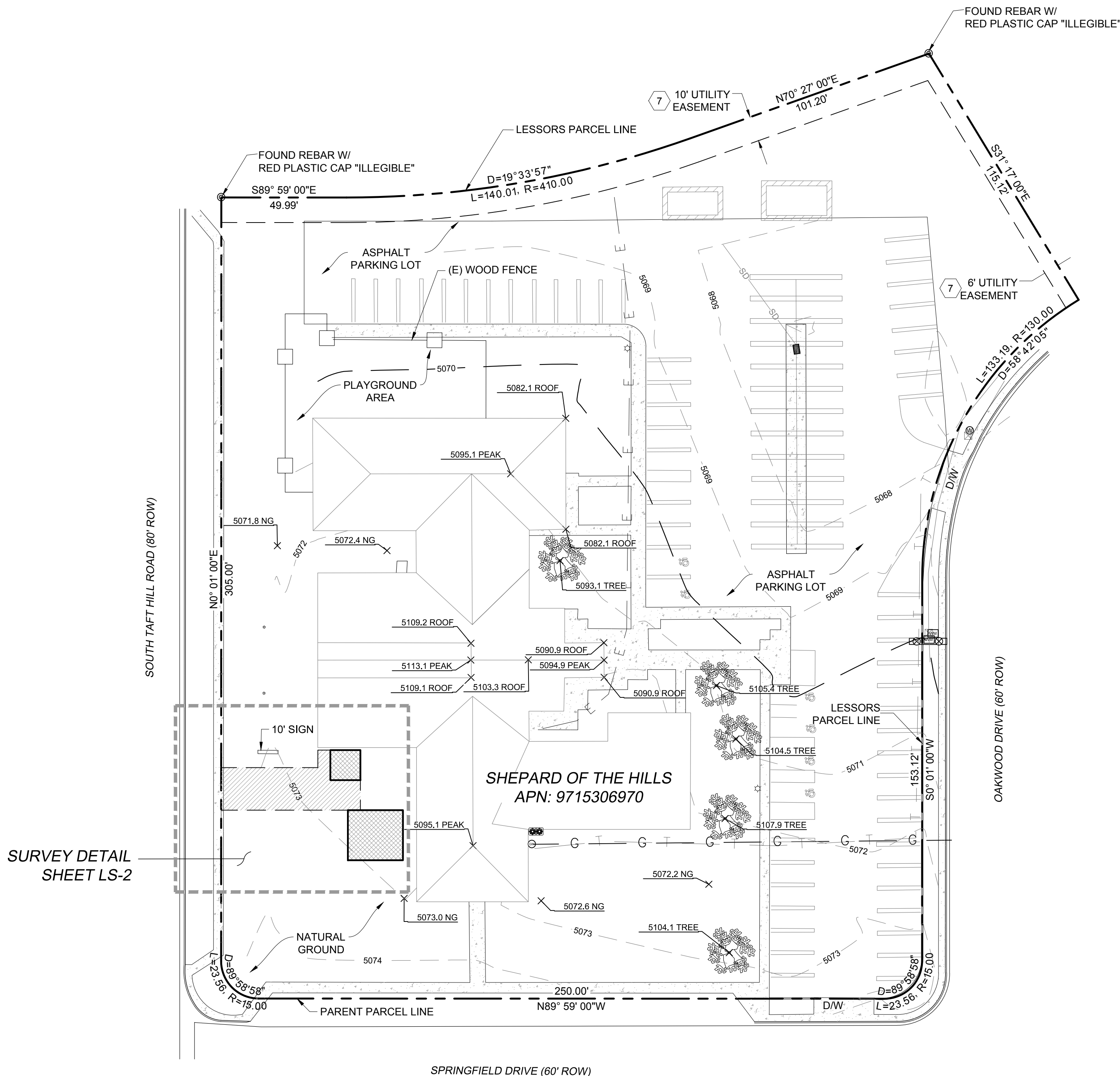
FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.



VICINITY MAP
N.T.S.

LEGEND

- ⊙ FOUND REBAR AS NOTED
- ⊗ HORIZONTAL/VERTICAL CONTROL
- ⊙ AIR CONDITIONING UNIT
- ⊞ ELECTRICAL TRANSFORMER
- ⊙ TELEPHONE PEDESTAL
- ⊙ LIGHT POST
- ⊙ GAS METER
- ⊙ WATER METER
- ⊙ BACKFLOW PREVENTER
- ⊙ WATER MANHOLE
- ⊙ STORM DRAIN GRATE
- ⊙ DECIDUOUS TREE
- ⊙ HANDICAP
- ⊙ SPOT ELEVATION
- PROPERTY LINE
- - - EASEMENT LINE
- - - WOOD OR IRON FENCE
- - - U/G ELECTRIC LINE
- - - U/G TELECOMMUNICATION LINE
- - - U/G GAS LINE
- - - STORM SEWER LINE
- DW DRIVEWAY



FIELD BY:	JAS
DRAWN BY:	BMH
CHECKED BY:	RLF

REVISIONS		
NO.	DATE	DESCRIPTION
2	10/21/18	ADD EASEMENTS
1	09/21/18	PRELIMINARY



REUSE OF DOCUMENT
THE IDEAS & DESIGN INCORPORATED HEREON, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF RLF CONSULTING, LLC & IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF RLF CONSULTING, LLC.

PROJECT No.
18003019

SITE NAME:
DX90XCF56

SITE ADDRESS:
1200 S. TAFT HILL RD.
FORT COLLINS, CO 80526

SHEET TITLE:
TOPOGRAPHIC SURVEY

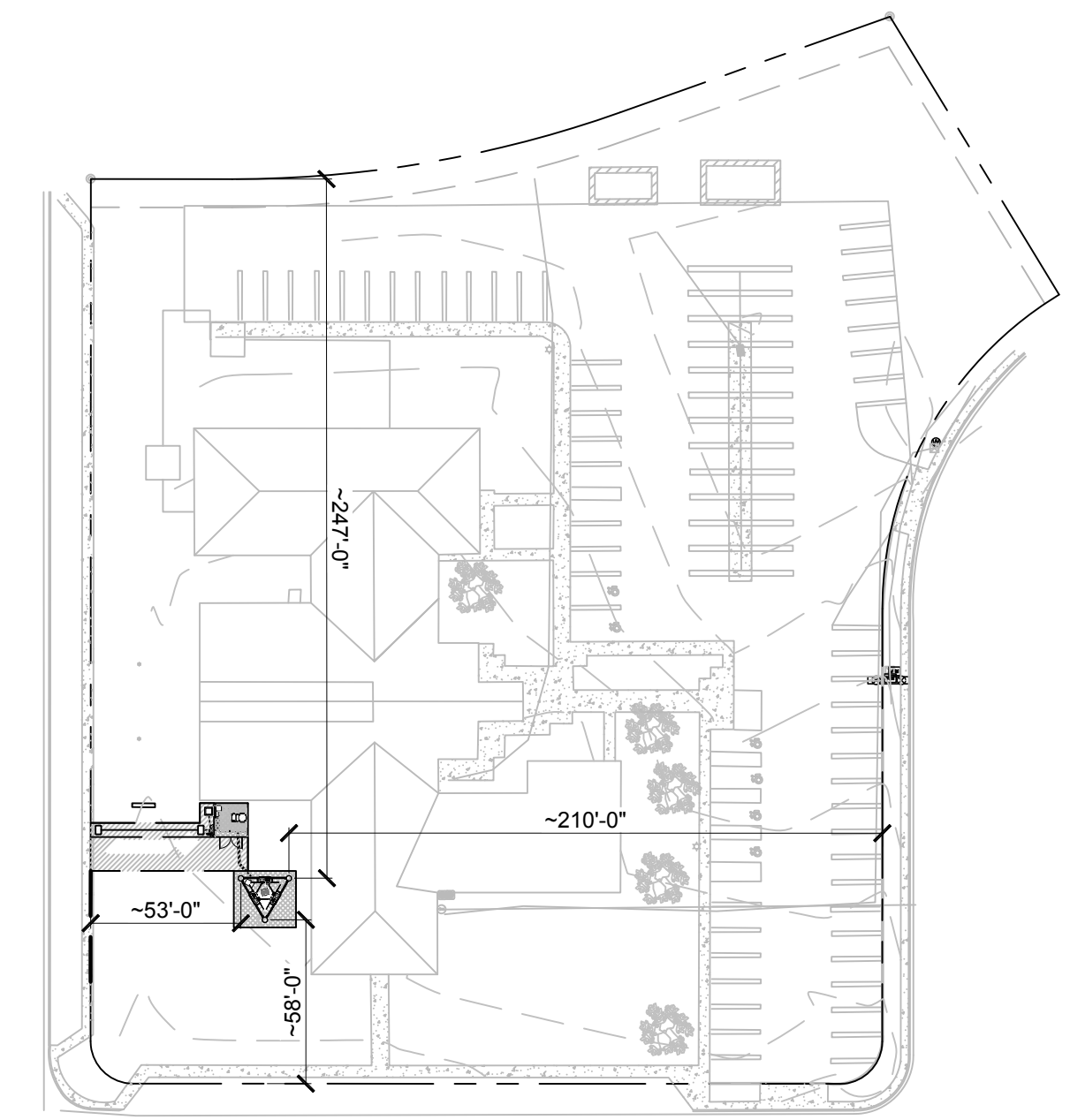
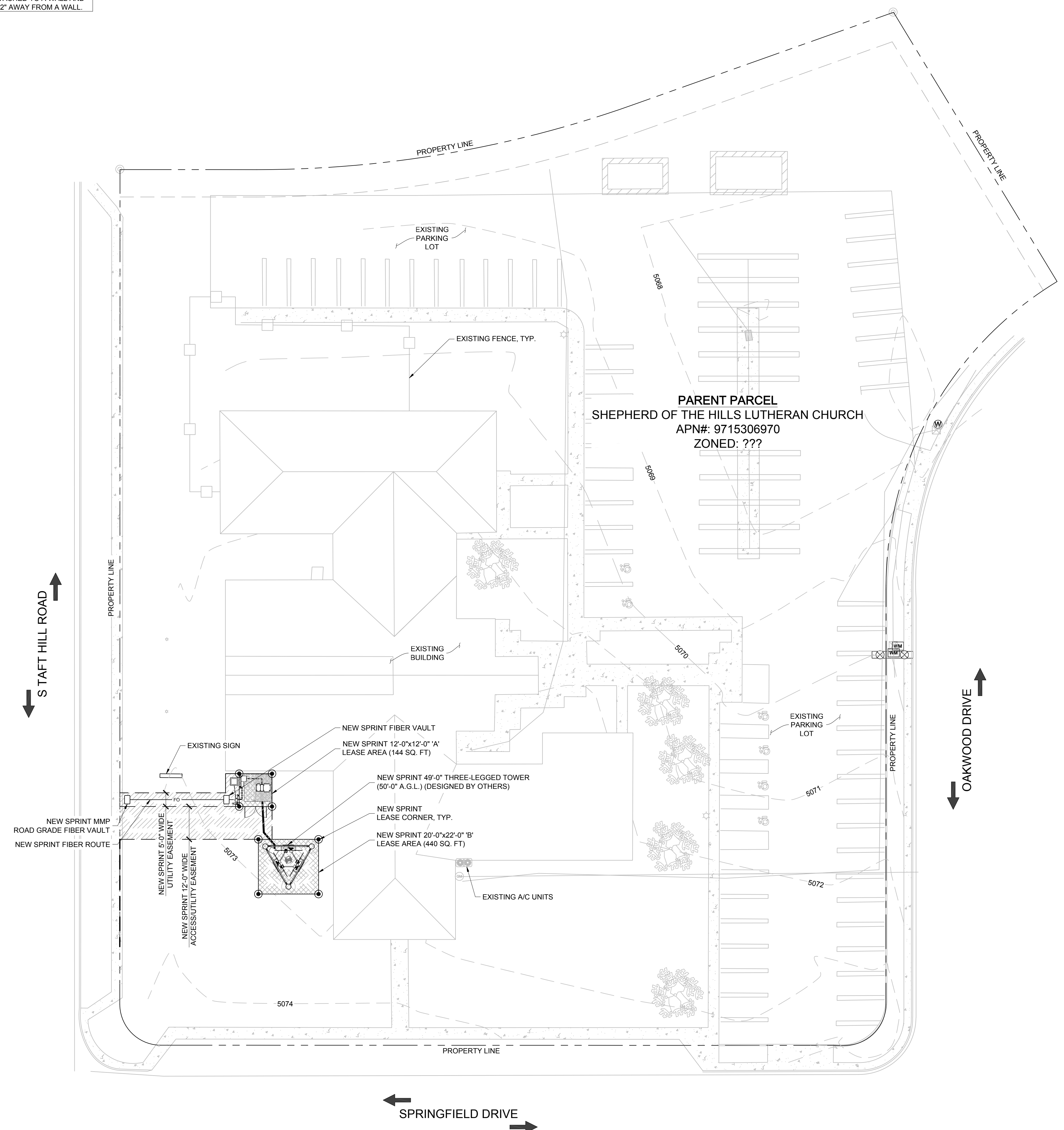
SHEET NO.
LS-1

REVISION:

SITE NOTES:
 1. METER & DISCONNECT WILL NOT BE ATTACHED TO A WALL AND WILL HAVE A MINIMUM SEPARATION OF 2' AWAY FROM A WALL.

SETBACK TABLE:

	TOWER BASE TO PARENT PROPERTY LINE	LEASE BOUNDARY TO PARENT PROPERTY LINE
NORTH	~245'-0"	~247'-0"
EAST	~207'-0"	~210'-0"
SOUTH	~55'-0"	~58'-0"
WEST	~51'-0"	~53'-0"



SETBACK SITE PLAN
 SCALE: 1" = 60'-0"
 NORTH
 SCALE: 1" = 60'-0"

S TAFT HILL ROAD

OAKWOOD DRIVE

SPRINGFIELD DRIVE

SITE PLAN
 SCALE: 1" = 20'-0"
 NORTH

SCALE: 1" = 20'-0"

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DESIGNED BY:
JS INFRASTRUCTURE PARTNERS
 AZ - CA - CO - ID - NM - NV - TX - UT

PROJECT NAME:
 DN90XCF56
 NEW 49'-0" THREE-LEGGED TOWER
 (OVERALL HEIGHT: 50'-0" A.G.L.)
 RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:
 1200 S TAFT HILL ROAD
 FORT COLLINS, COLORADO 80521
 LARIMER COUNTY

SHEET TITLE:
SITE PLAN & SETBACK SITE PLAN

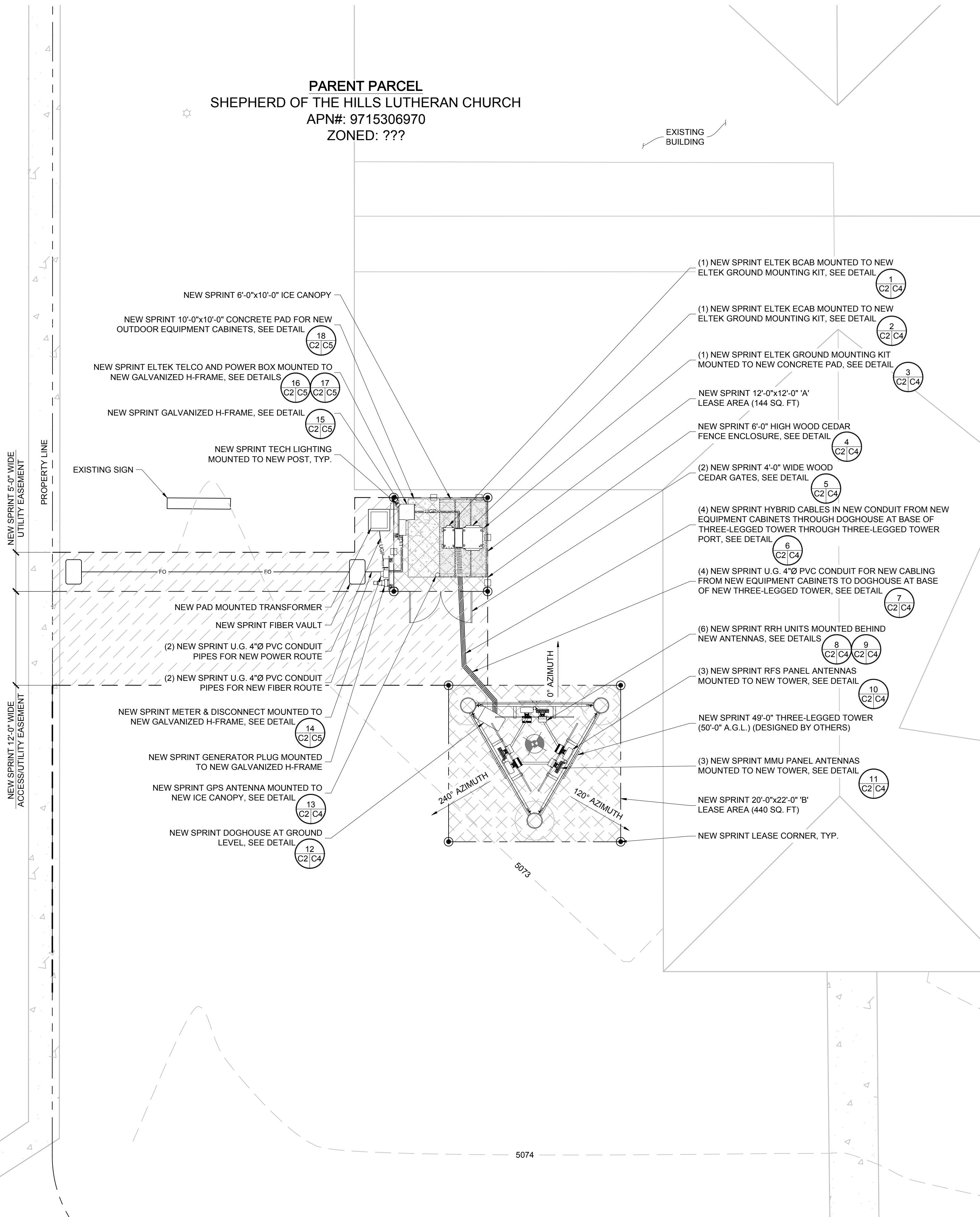
REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-

SAVE DATE: 10/22/2018 8:08 AM
 SHEET NUMBER: C1

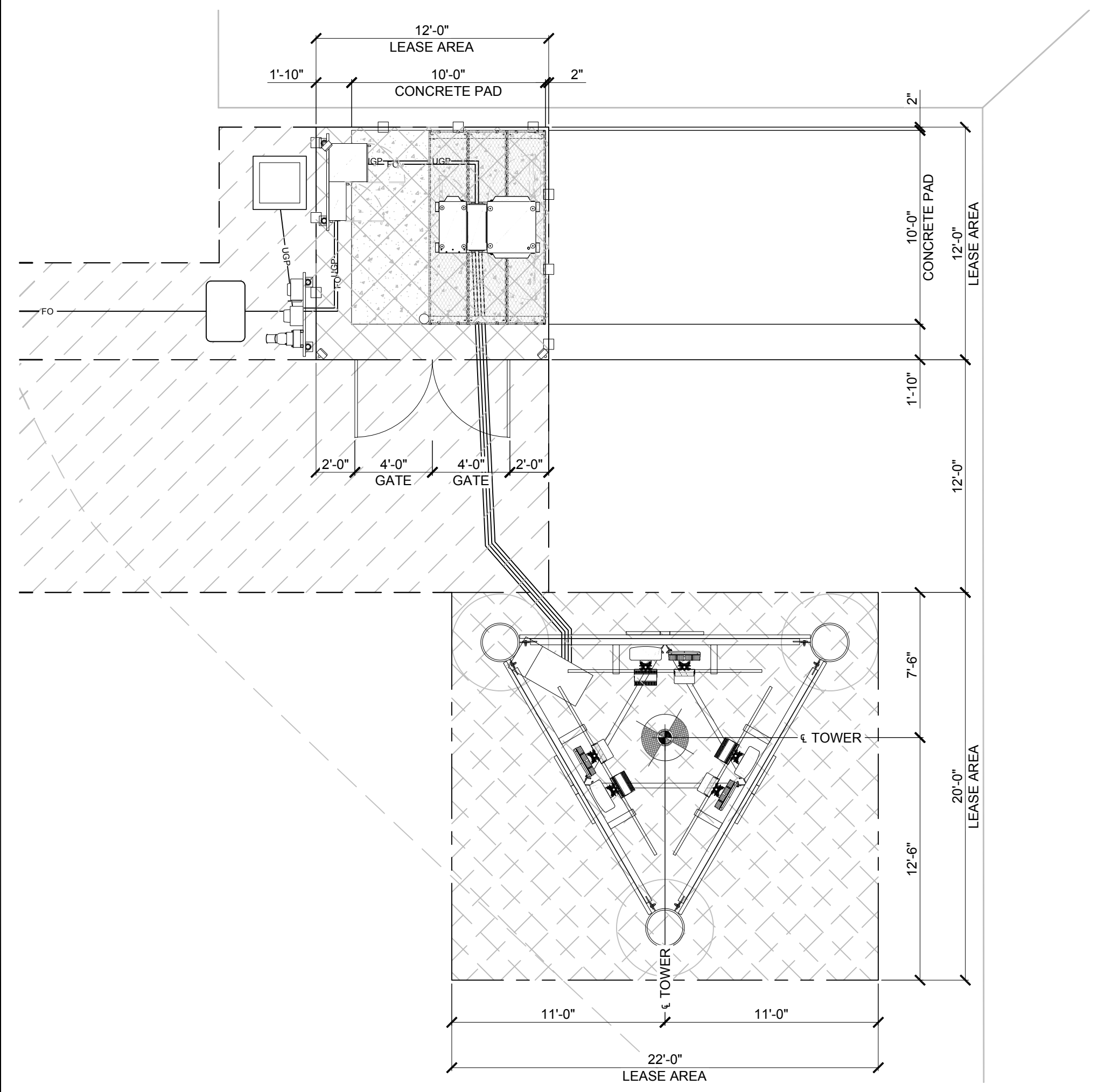
SITE NOTES:
 1. PRIOR TO EXCAVATION, CONTRACTOR SHALL CHECK THE AREA FOR UNDERGROUND FACILITIES.

PARENT PARCEL
 SHEPHERD OF THE HILLS LUTHERAN CHURCH
 APN#: 9715306970
 ZONED: ???

STAFF HILL ROAD



ENLARGED SITE PLAN
 SCALE: 1/8" = 1'-0"



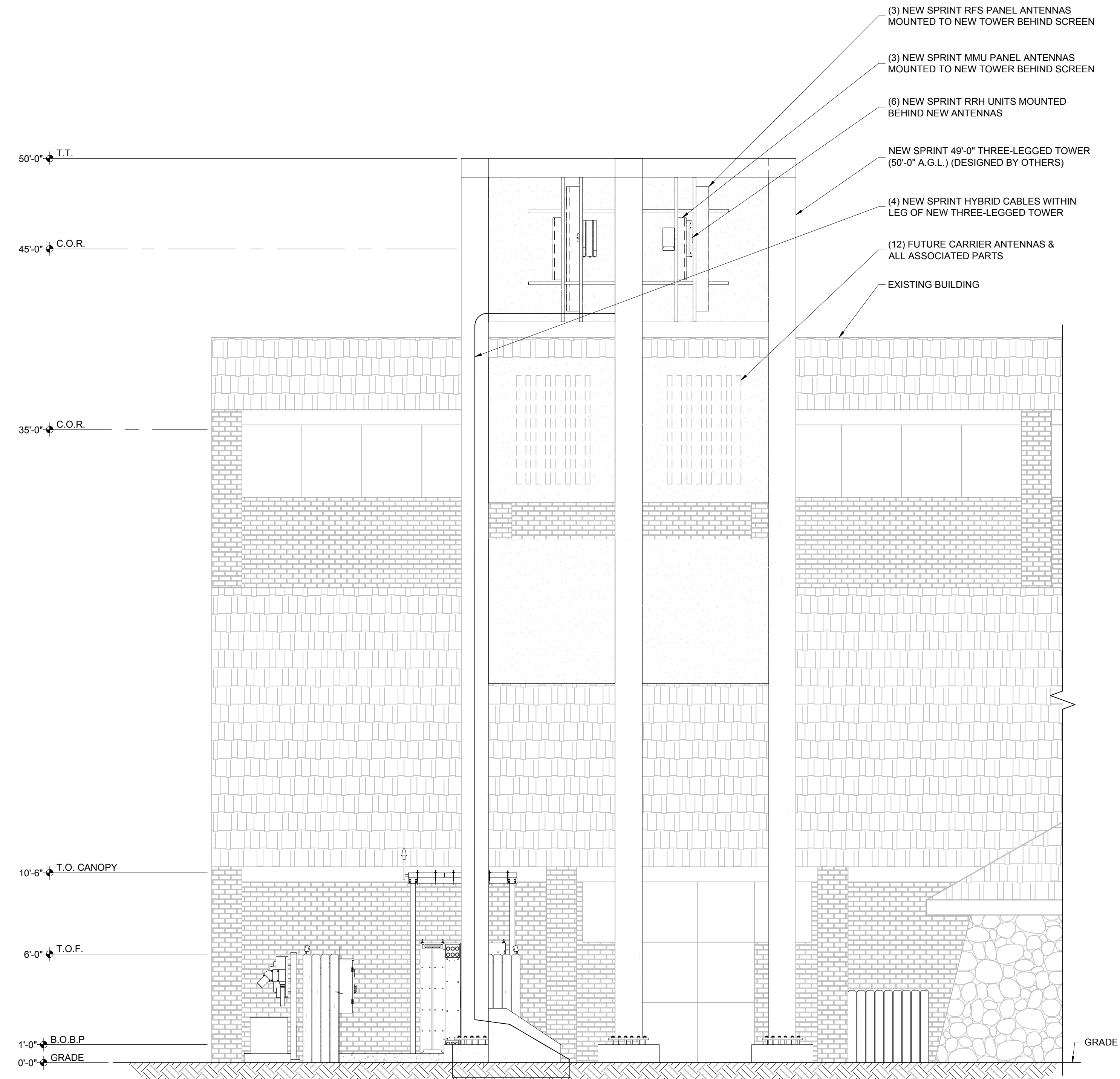
EQUIPMENT LAYOUT PLAN
 SCALE: 3/16" = 1'-0"

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DESIGNED FOR:				
DESIGNED BY:				
AZ - CA - CO - ID - NM - NV - TX - UT				
PROJECT NAME:				
DN90XCF56 NEW 49'-0" THREE-LEGGED TOWER (OVERALL HEIGHT: 50'-0" A.G.L.) RAWLAND COMMUNICATION SITE				
PROJECT ADDRESS:				
1200 S TAFT HILL ROAD FORT COLLINS, COLORADO 80521 LARIMER COUNTY				
SHEET TITLE:				
ENLARGED SITE PLAN & EQUIPMENT LAYOUT PLAN				
REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-
SAVE DATE:				
10/22/2018 8:08 AM			SHEET NUMBER:	
			C2	

SITE NOTES:
1. ANTENNAS TO INCLUDE ANTENNA SOCKS.



NEW SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

FAA/FCC COMPLIANCE NOTES:

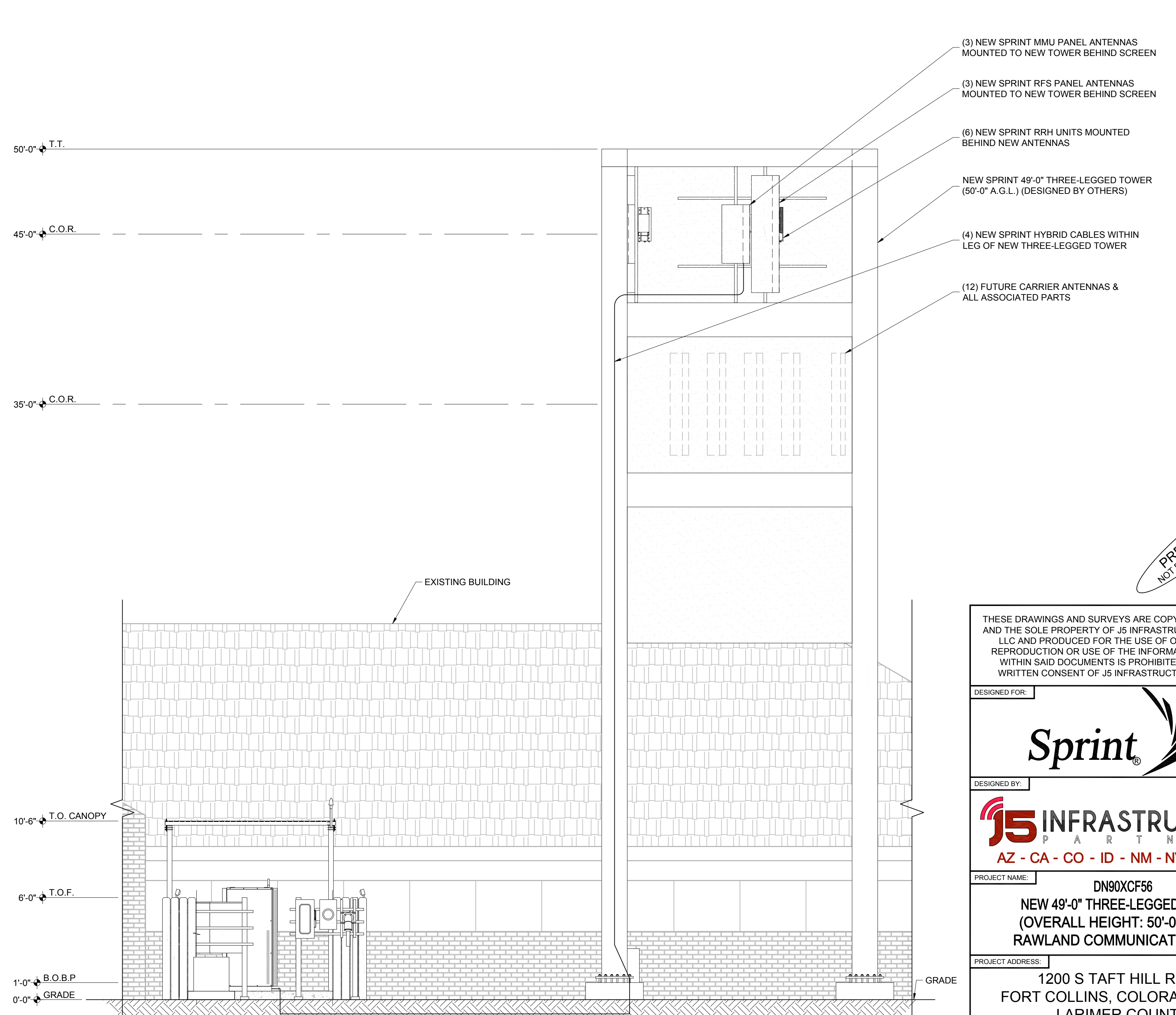
1. CONTRACTOR MUST ENSURE THAT THE AIR TERMINAL IS CORRECTLY INSTALLED ON THE TOP OF THE TOWER AS DEPICTED, AND THAT THE AIR TERMINAL IS THE TALLEST/HIGHEST OBJECT PROTRUDING ABOVE THE TOP OF THE STRUCTURE.
2. CONTRACTOR MUST ENSURE THAT THE TOWER LIGHTING SYSTEM MUST BE PROPERLY INSTALLED AND FUNCTIONING PER FAA/FCC REGULATIONS (IF REQUIRED AND DEPICTED).
3. CONTRACTOR MUST ENSURE THAT ADDITIONAL OR MORE STRINGENT TOWER LIGHTING SYSTEMS ARE INSTALLED IF REQUIRED BY ANY SUBSEQUENT FAA STUDY.
4. THE TOWER LIGHTING SYSTEM MUST COMPLY WITH FAA ADVISORY CIRCULAR AC70/7460.

KEY:

C.O.R. =	CENTER OF RADIATION
T.O.F. =	TOP OF FENCE
B.T. =	BOTTOM TIP LEVEL
T.T. =	TOP TIP LEVEL
A.G.L. =	ABOVE GRADE LEVEL
B.O.B.P. =	BOTTOM OF BASE PLATE

DISCLAIMER:

ALL INFORMATION PERTAINING TO THE SUBJECT TOWER AND ANTENNA MOUNTS SHOWN ARE FOR DEPICTION PURPOSES ONLY. CONFIRMATION OF THE TOWER STRUCTURAL INTEGRITY IS BEYOND THE SCOPE OF THIS PROJECT. IN NO EVENT WILL JS INFRASTRUCTURE PARTNERS BE LIABLE AND RESPONSIBLE FOR THE STRUCTURAL INTEGRITY AND ADEQUACY OF THE TOWER AND FOUNDATION WITHOUT FIRST REQUIRING STRUCTURAL ANALYSIS PRIOR TO THE INSTALLATION OF ANY NEW ANTENNAS, AND ALL RELEVANT APPURTENANCES.



NEW WEST ELEVATION
SCALE: 1/4" = 1'-0"

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DESIGNED BY:
JS INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

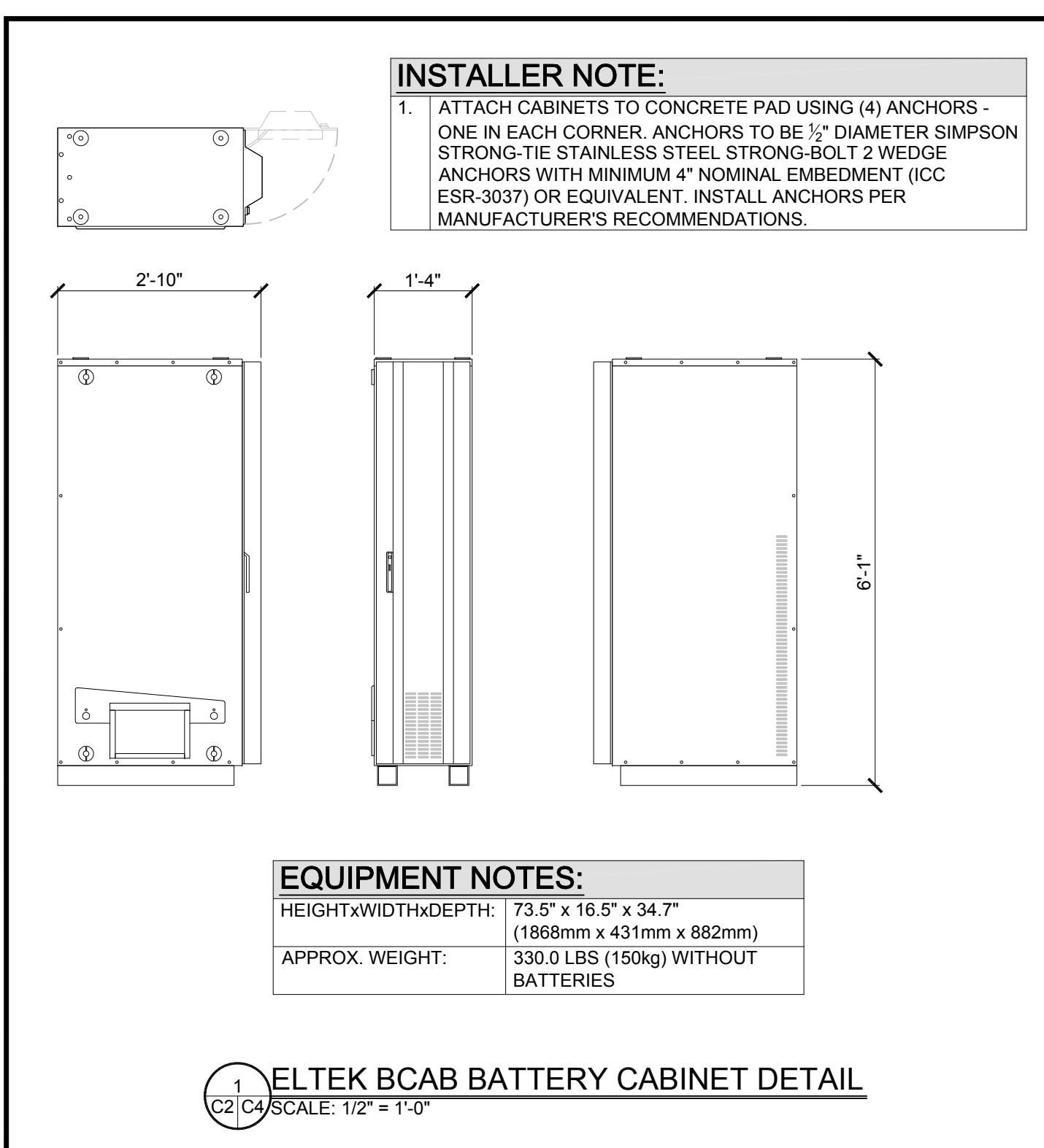
PROJECT NAME:
DN90XCF56
NEW 49'-0" THREE-LEGGED TOWER
(OVERALL HEIGHT: 50'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:
1200 S TAFT HILL ROAD
FORT COLLINS, COLORADO 80521
LARIMER COUNTY

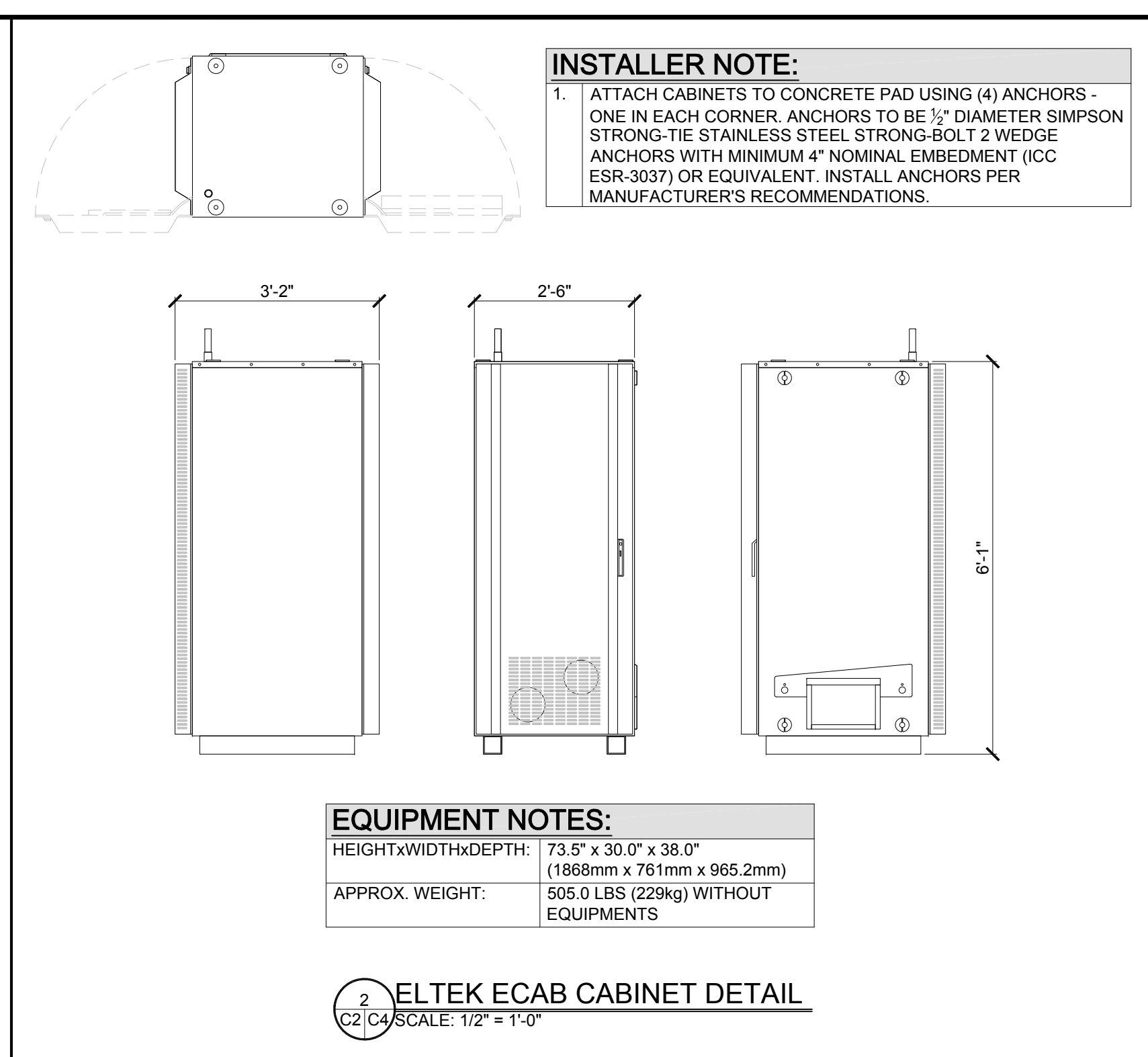
SHEET TITLE:
ELEVATIONS

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-

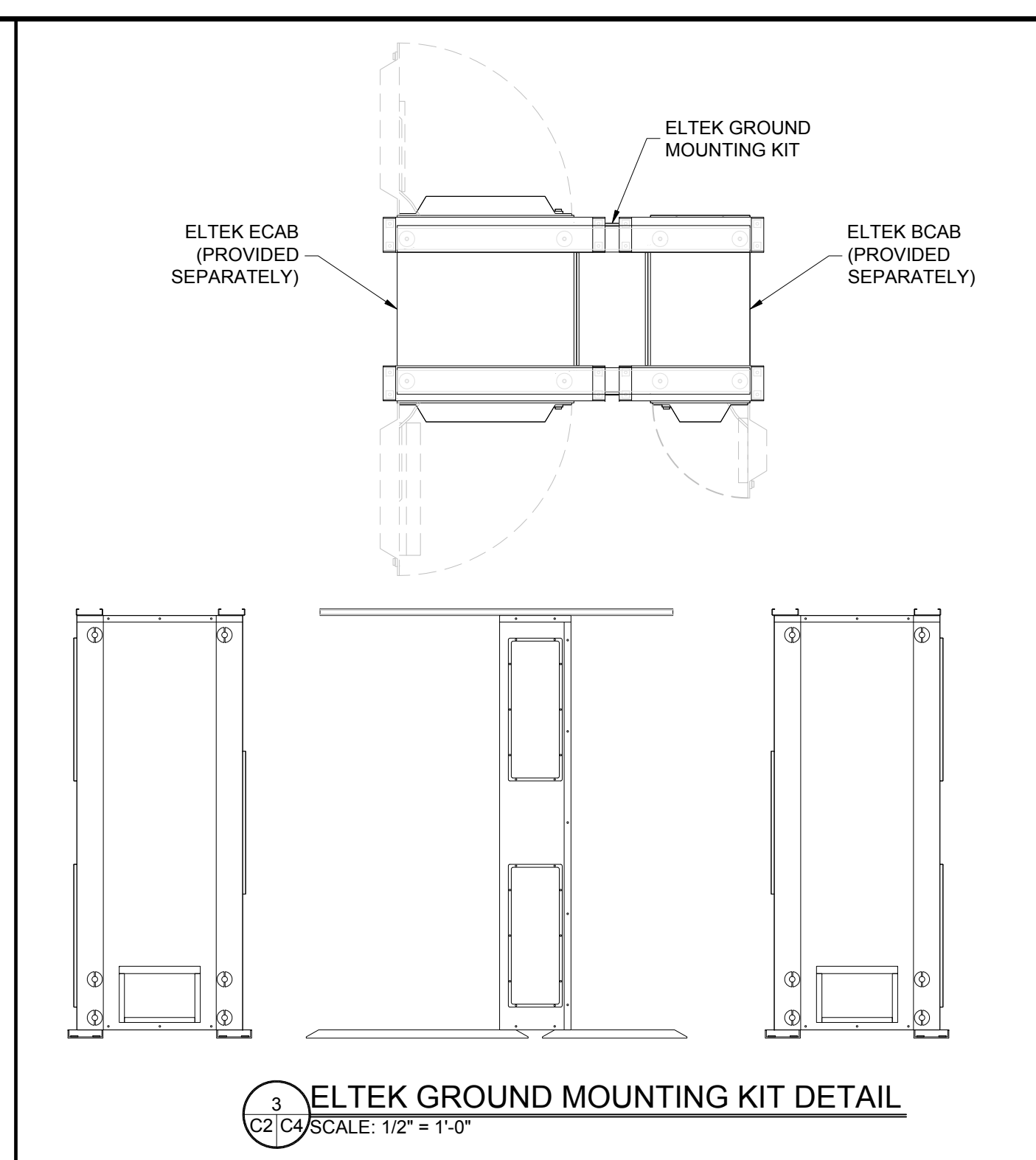
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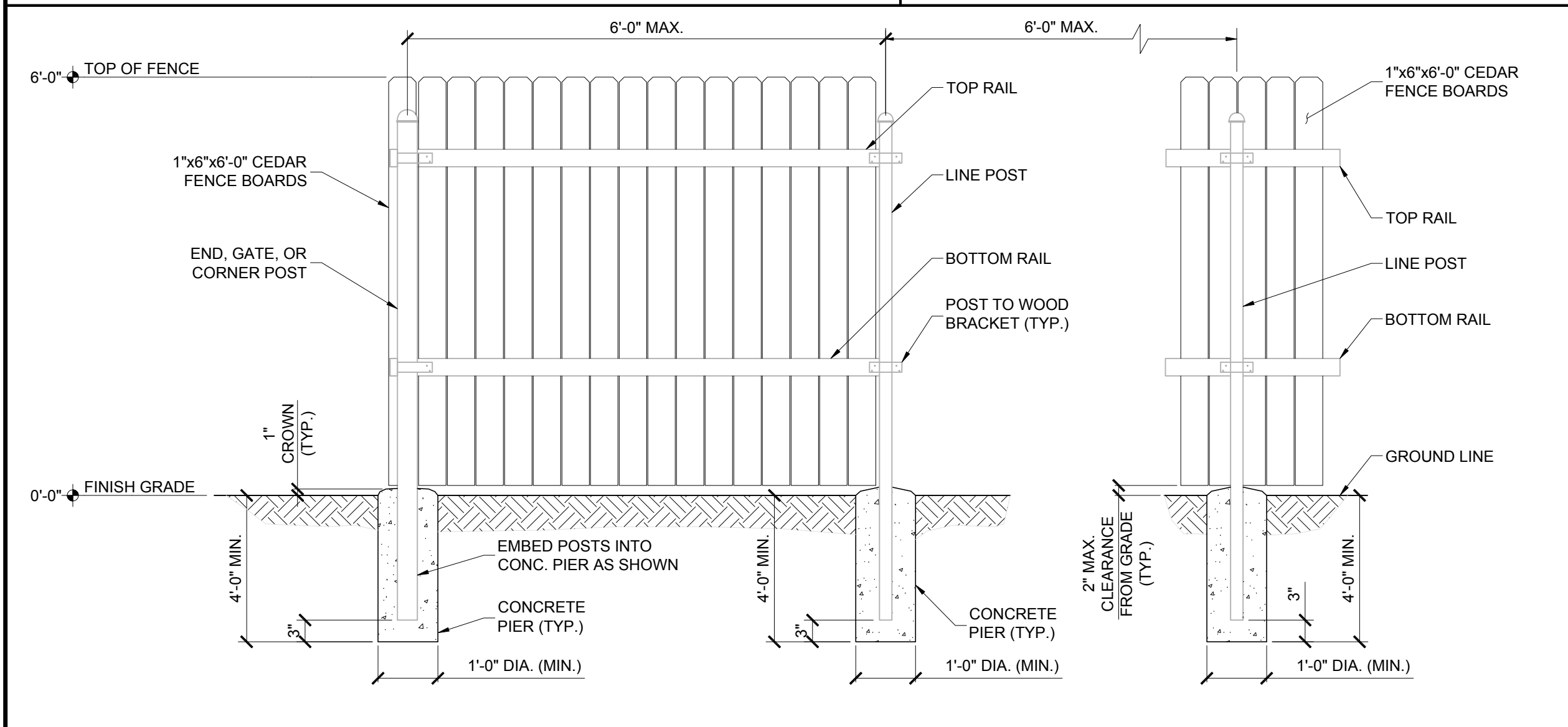
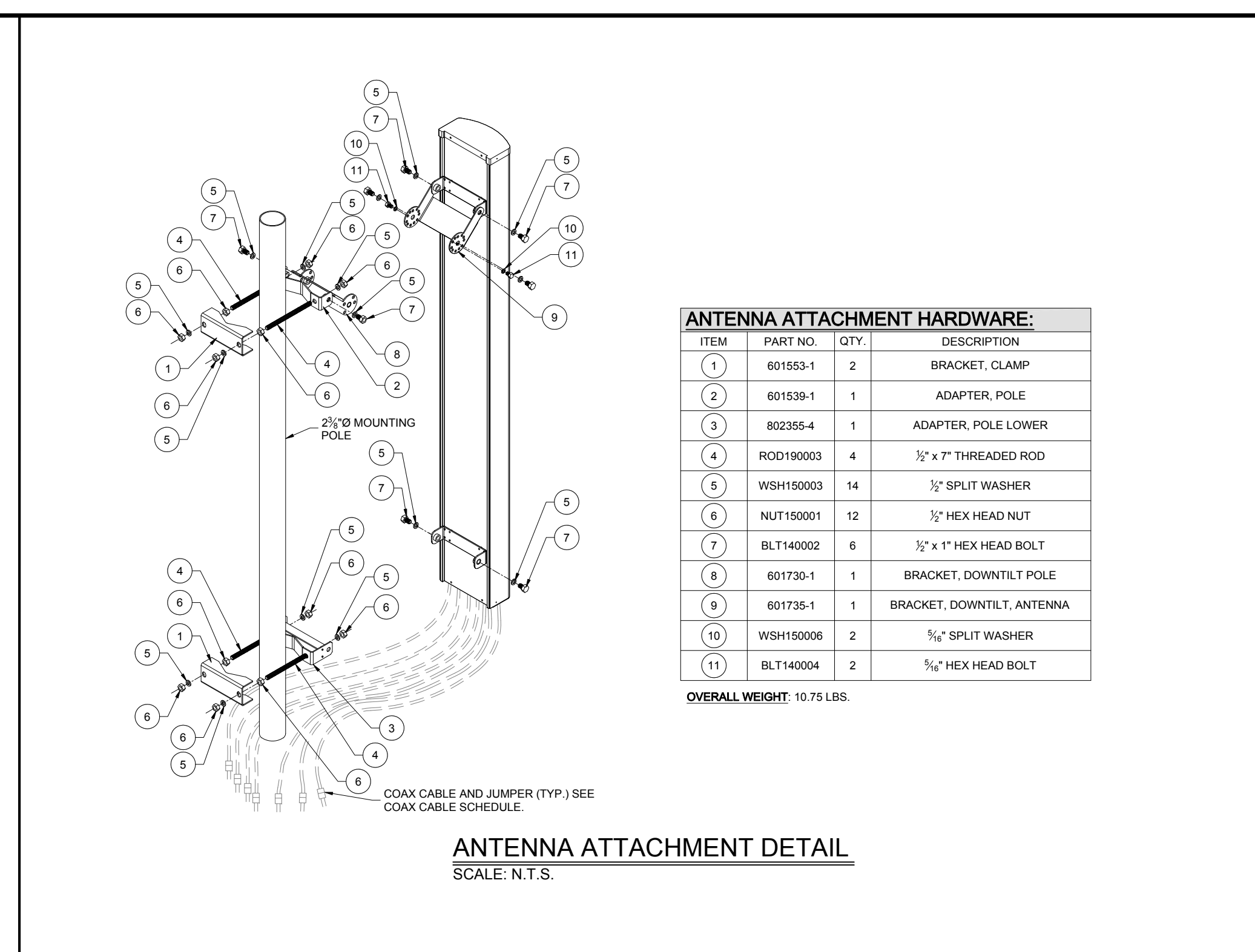
1 ELTEK BCAB BATTERY CABINET DETAIL
SCALE: 1/2" = 1'-0"



2 ELTEK ECAB CABINET DETAIL
SCALE: 1/2" = 1'-0"

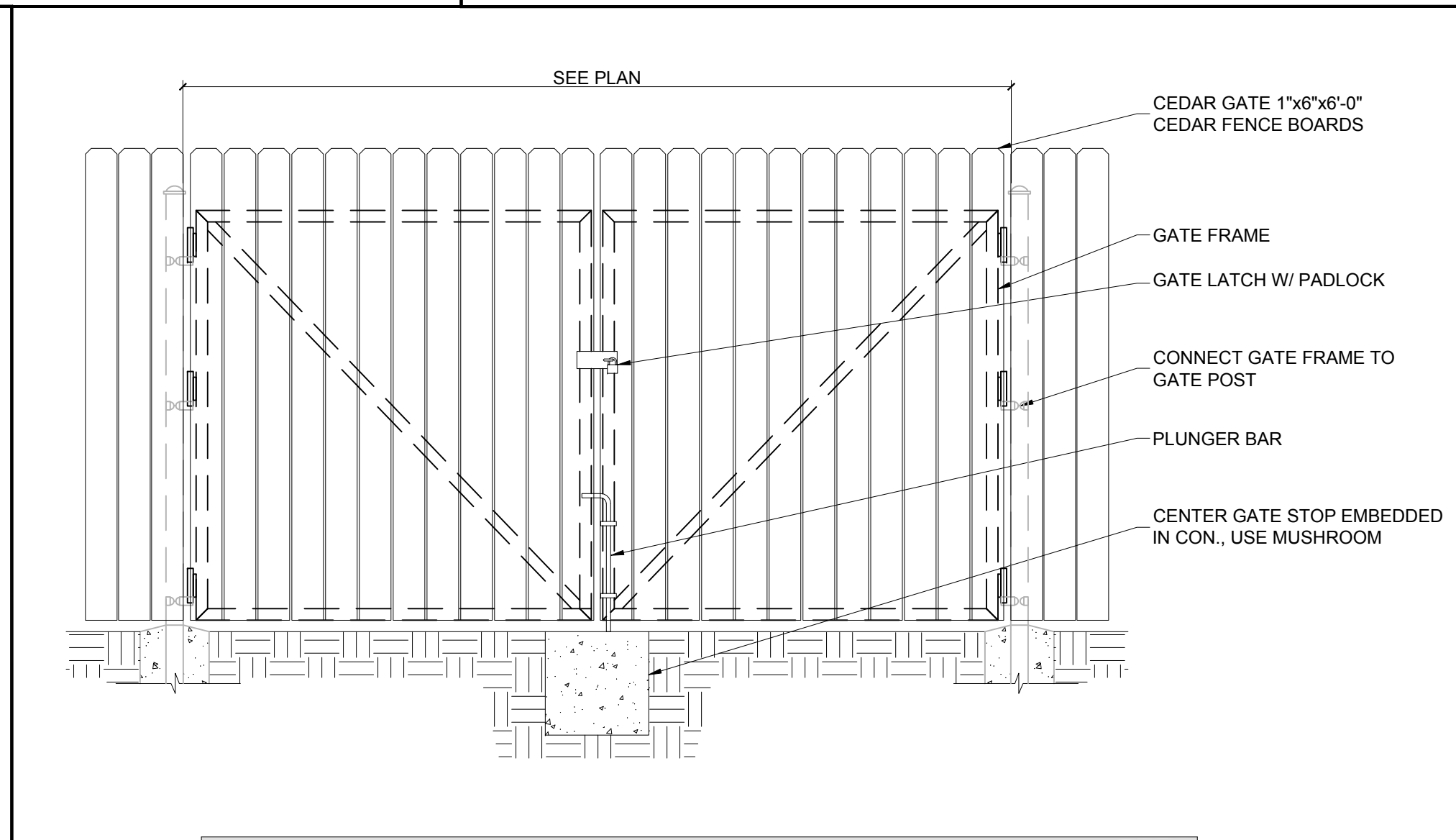


3 ELTEK GROUND MOUNTING KIT DETAIL
SCALE: 1/2" = 1'-0"



NOTES:
1 POST PIPE SIZES ARE FENCE INDUSTRY STANDARD. ALL PIPE TO BE GALV. (HOT-DIP, ASTM A120 GRADE "A" STEEL). CROSS BRACE ALL POSTS EXCEPT INTERMEDIATES.
2 FOR FENCE NOTES ON SHEET SP1.
3 FENCE LINE GRADE SHALL BE AS UNIFORM AS POSSIBLE SO THE TOP OF THE FENCE HAS A UNIFORM, SMOOTH APPEARANCE.
4 MINOR GRADING WORK ALONG THE FENCE MAY BE REQUIRED TO ACHIEVE UNIFORM FENCE GRADE.

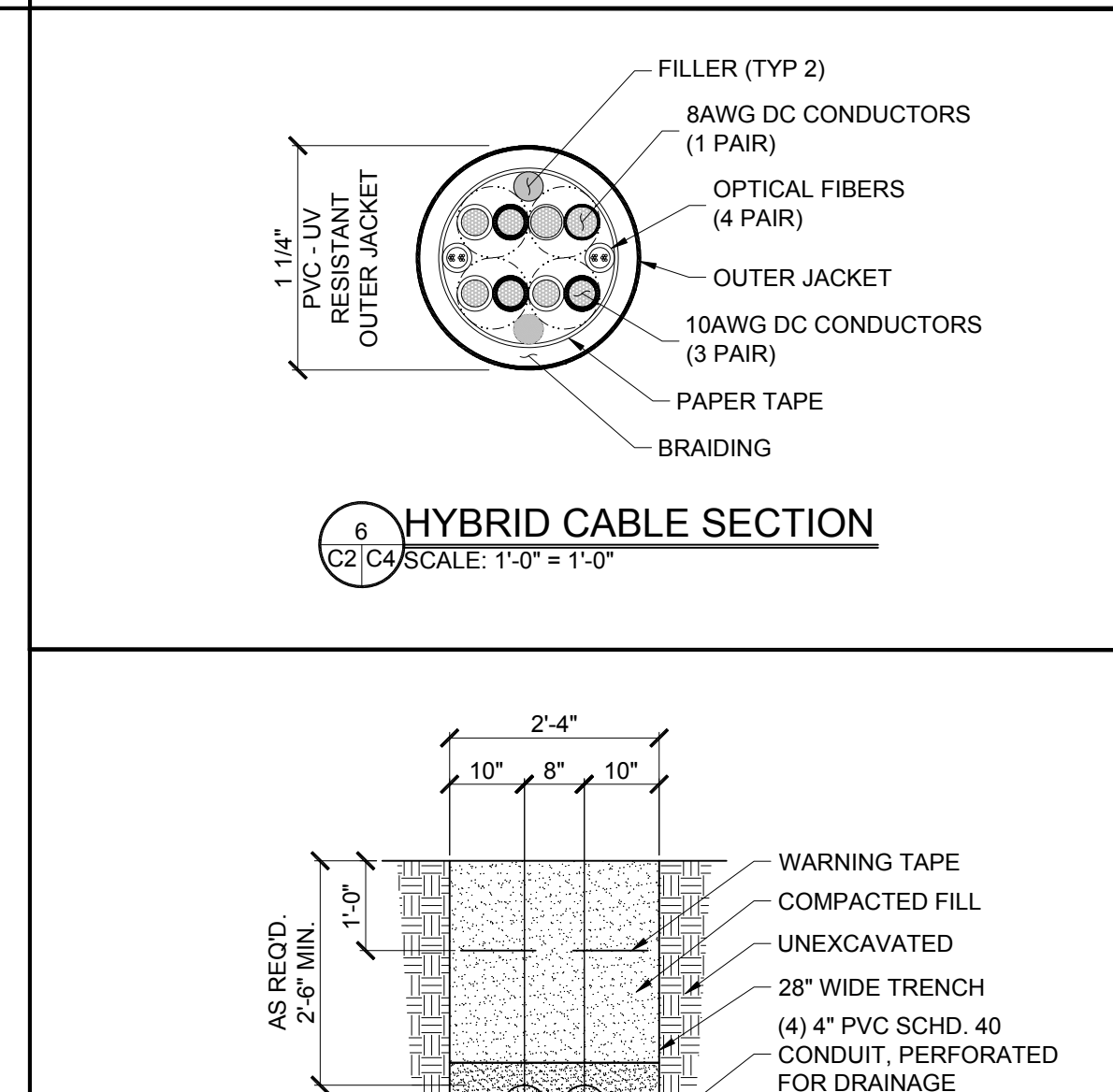
4 CEDAR FENCE DETAIL
SCALE: N.T.S.



CEDAR GATE SPECIFICATIONS:

CEDAR FENCE BOARDS	1"x6"x6"-0" FENCE BOARDS
GATE ANGLE	L5x5x1/8
GATE FRAME	2"x2" TUBE STEEL 14 GAUGE
GATE LATCH	1.375" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK. CONTRACTOR TO INSTALL (2) GATE HOLDBACKS TO HOLD GATE OPEN DURING USE.

5 CEDAR GATE DETAIL
SCALE: N.T.S.



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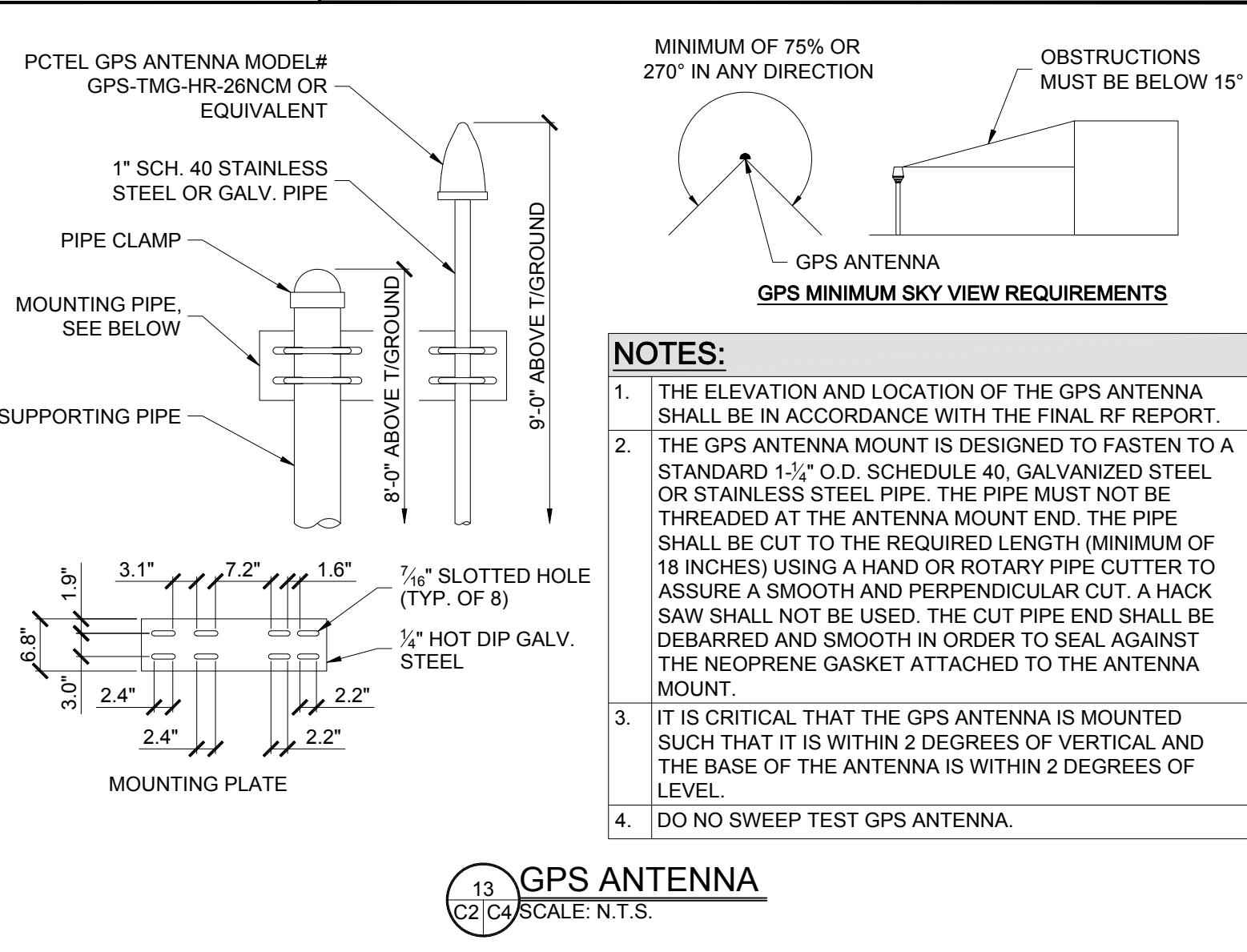
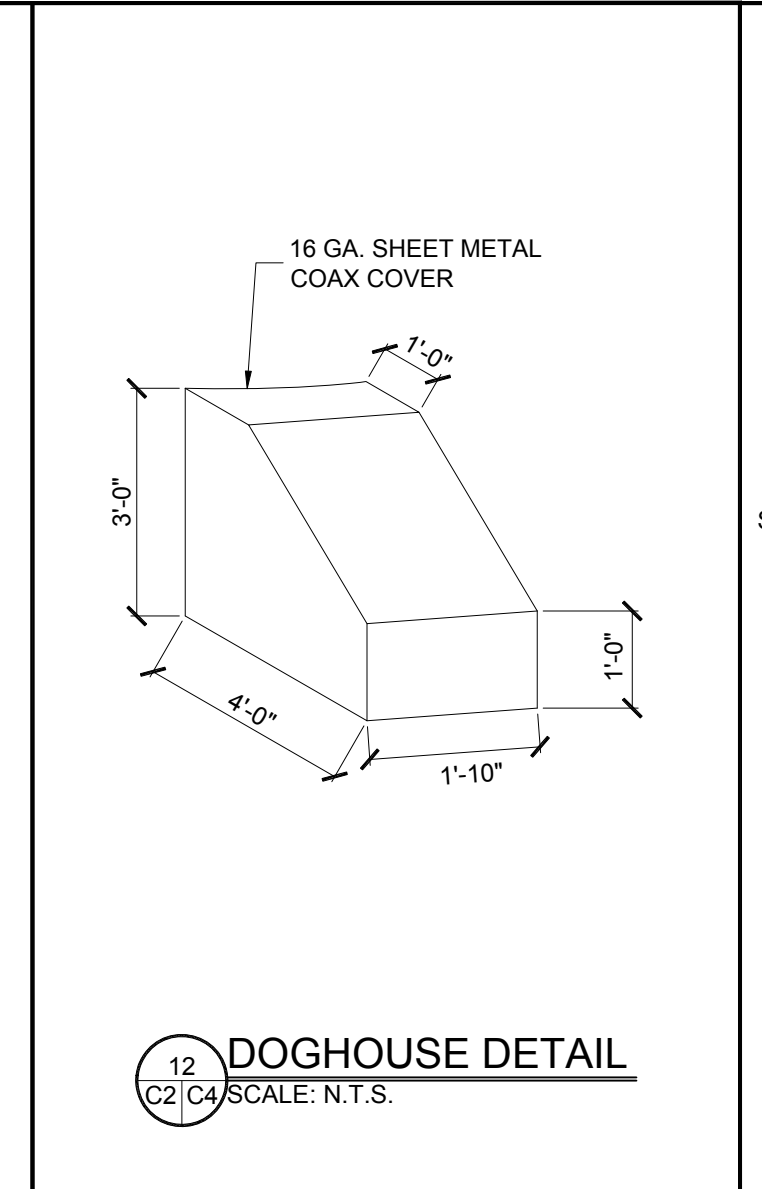
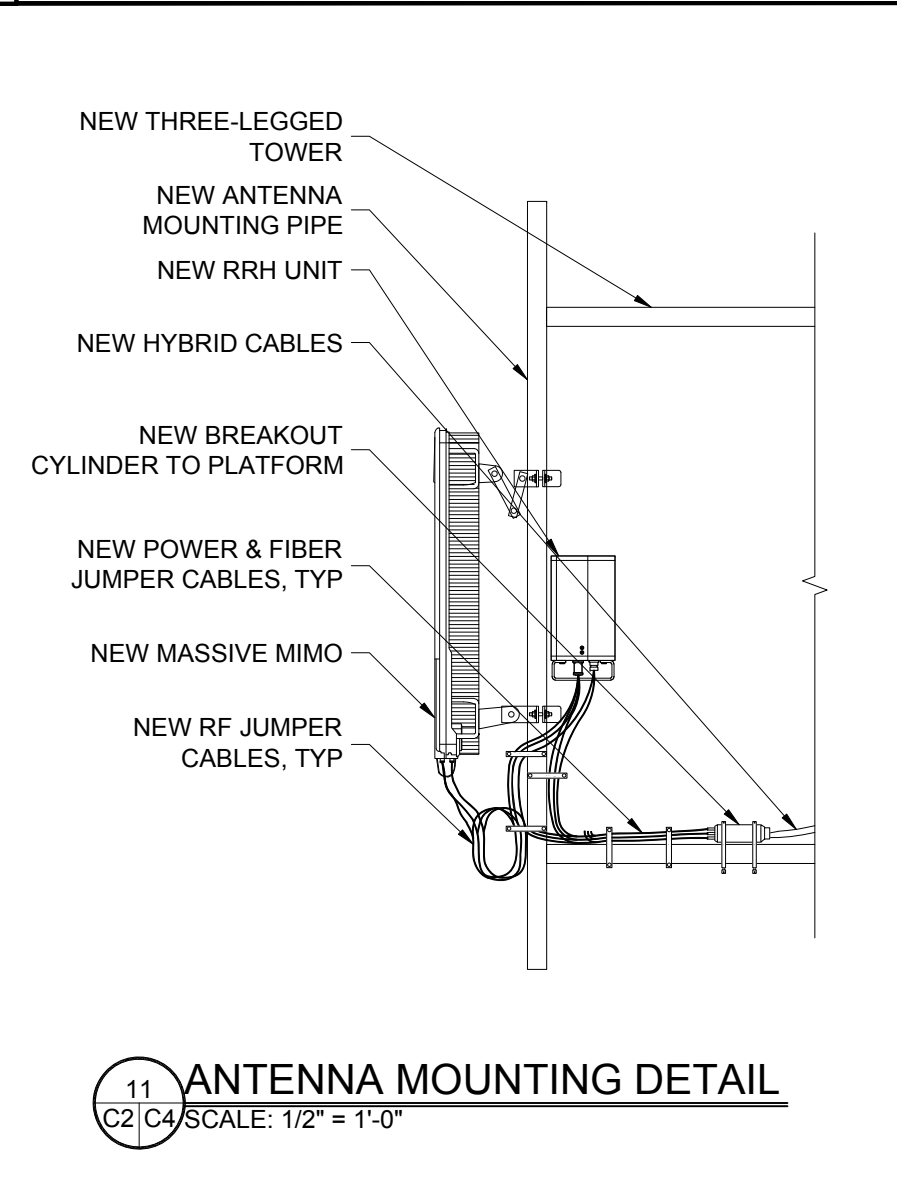
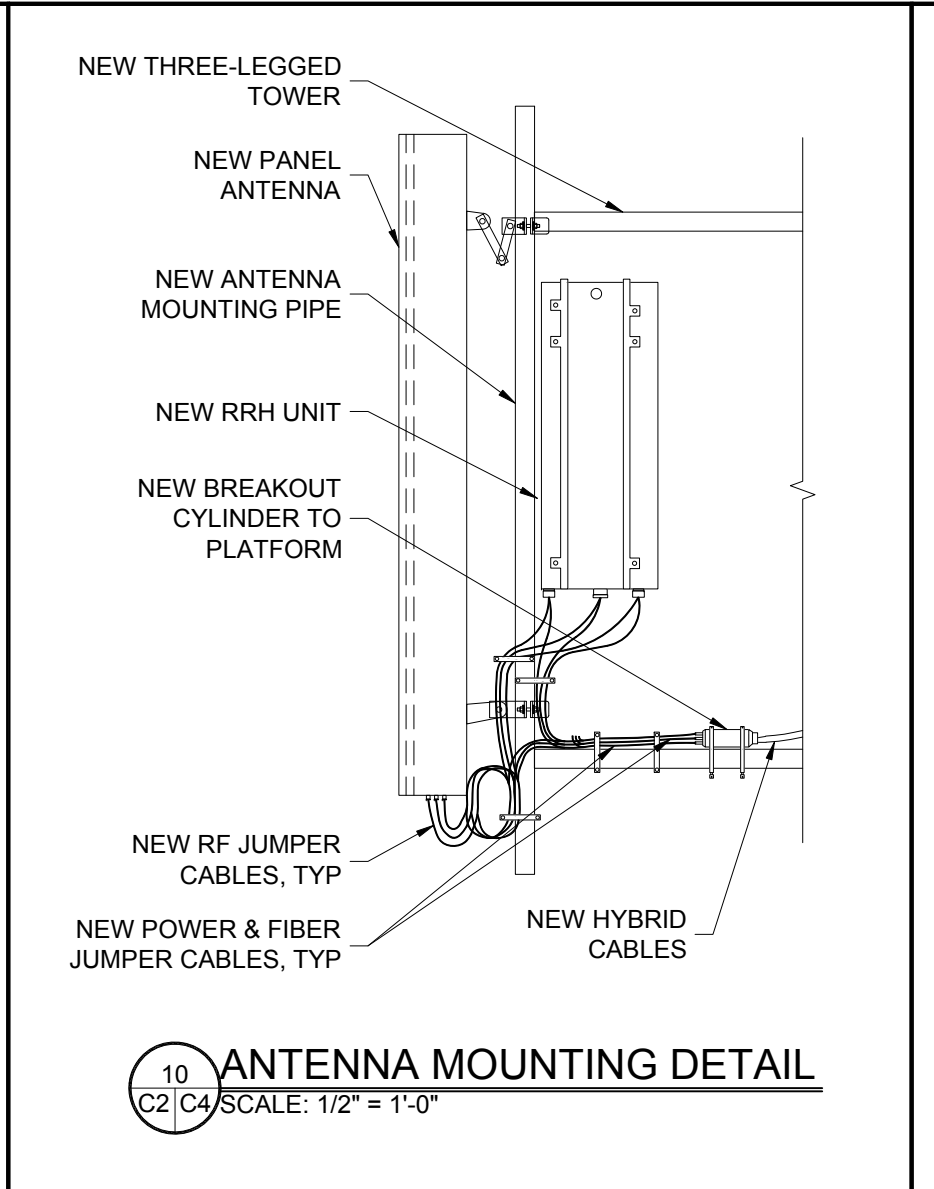
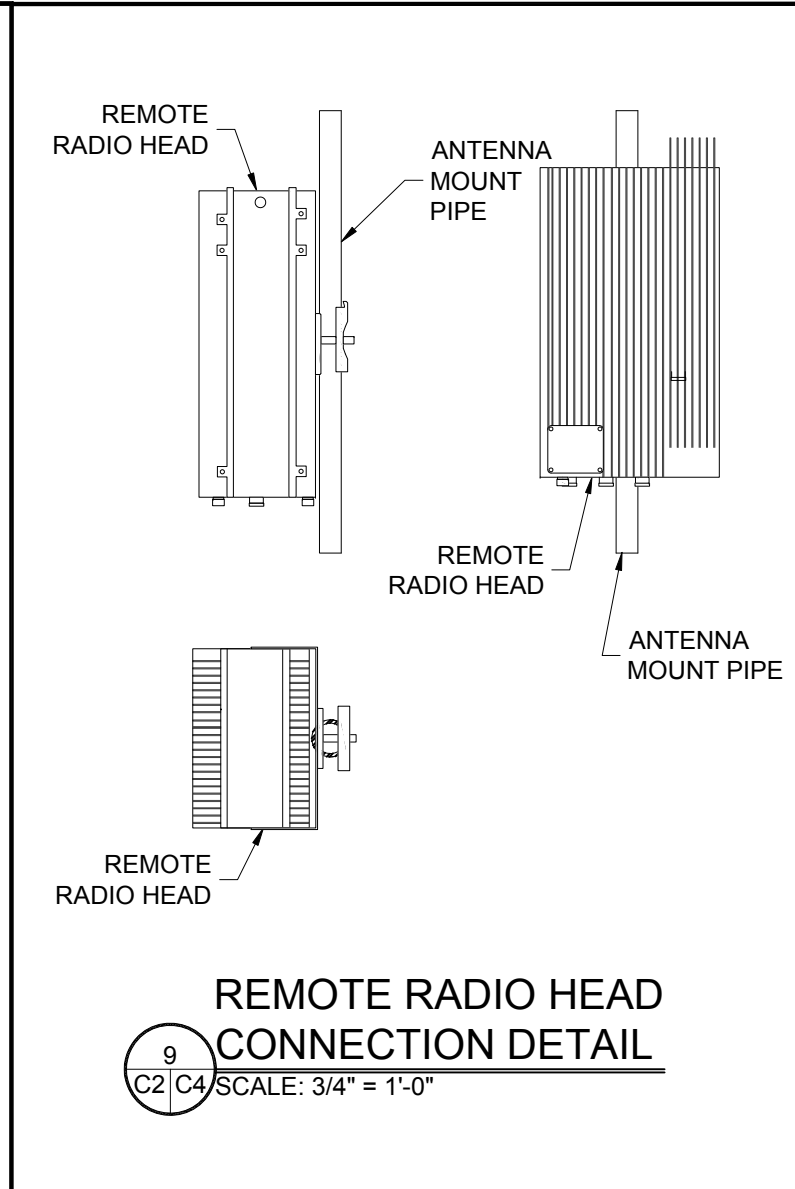
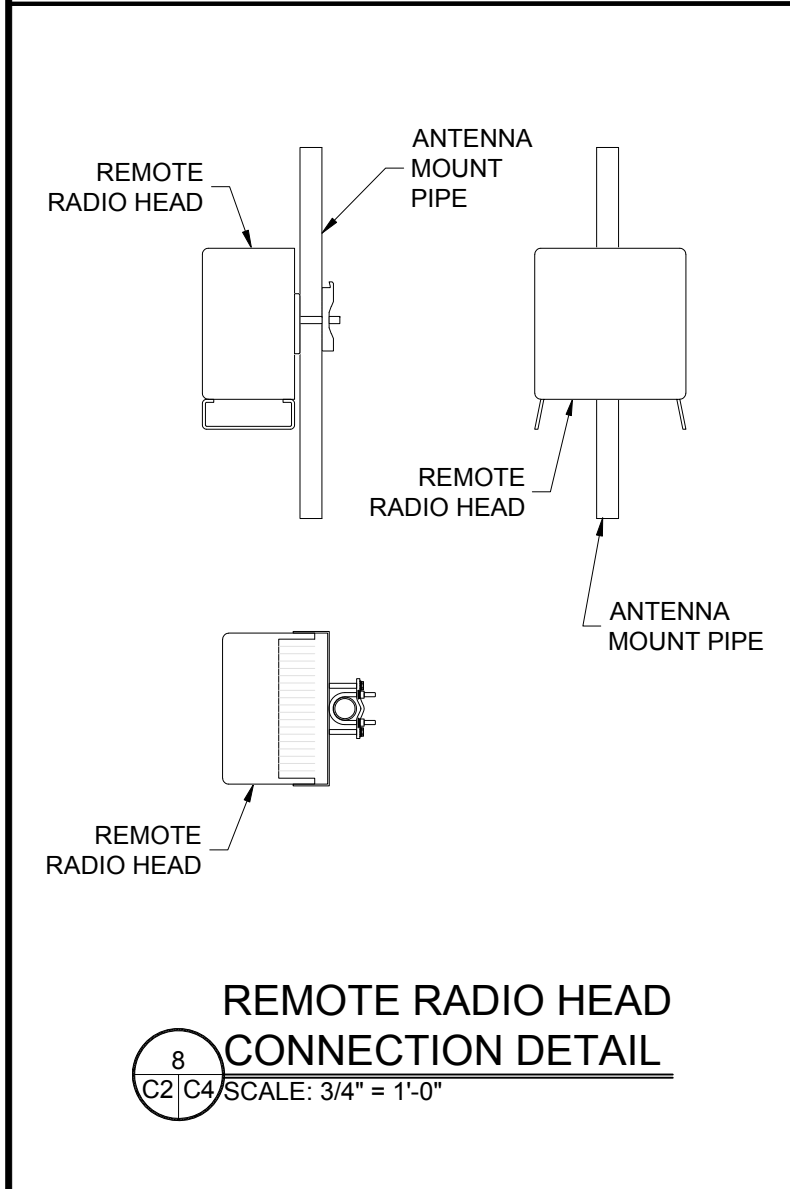
PROJECT NAME: DN90XC66
NEW 49'-0" THREE-LEGGED TOWER (OVERALL HEIGHT: 50'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS: 1200 S TAFT HILL ROAD
FORT COLLINS, COLORADO 80521
LARIMER COUNTY

SHEET TITLE: SECTIONS & DETAILS

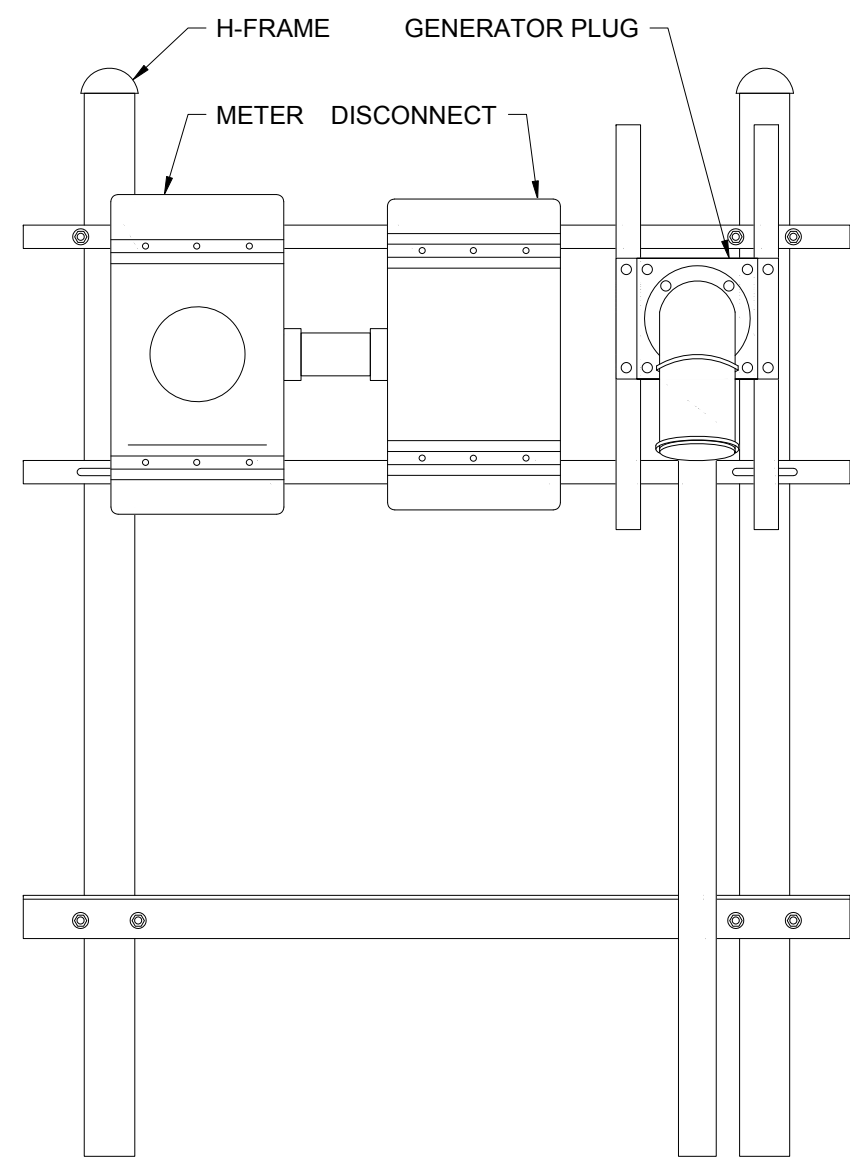
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A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-

SAVE DATE: 10/22/2018 8:08 AM
SHEET NUMBER: C4



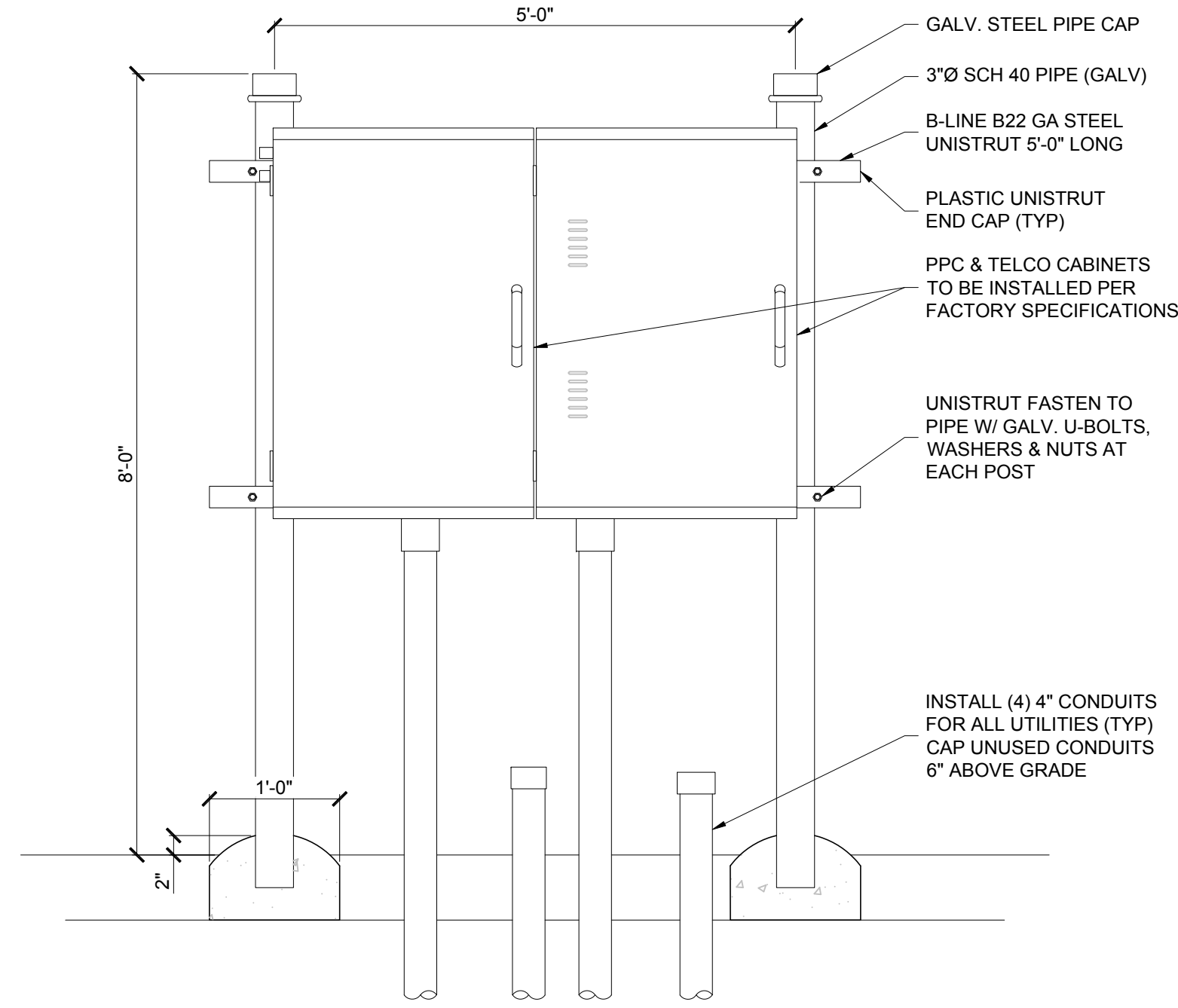
DESIGNED FOR: J5 INFRASTRUCTURE PARTNERS

DESIGNED BY: J5 INFRASTRUCTURE PARTNERS

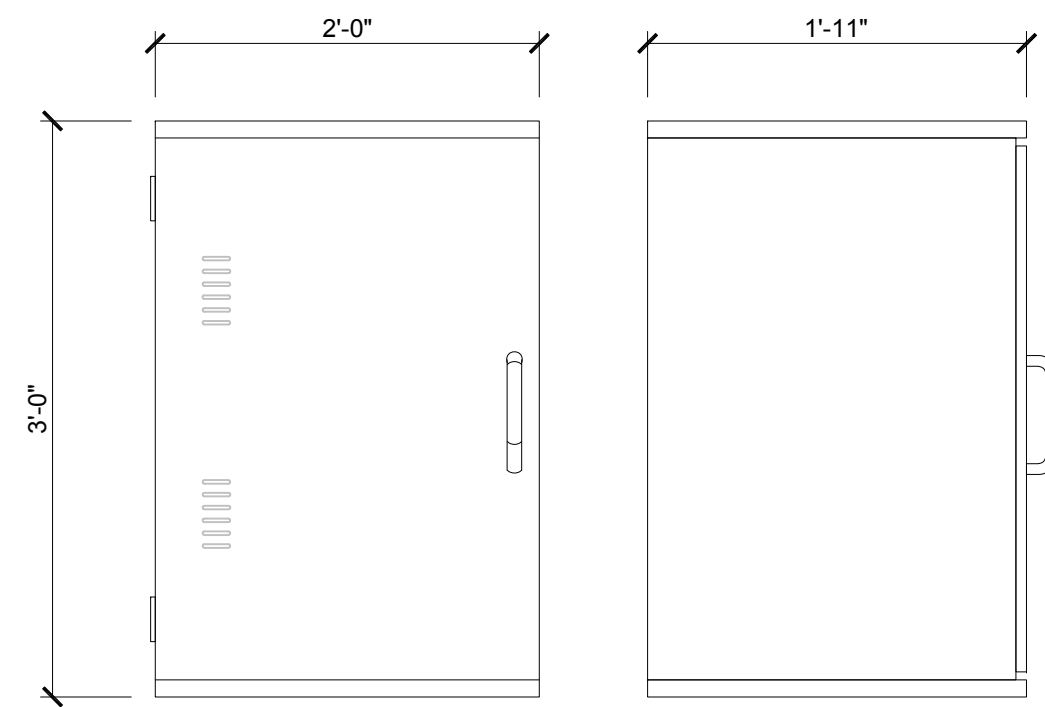


14 200A METER AND DISCONNECT
C2/C5 SCALE: N.T.S.

- NOTE:**
1. ALL EXPOSED ELECTRICAL CONDUIT MUST BE GALVANIZED STEEL RIGID CONDUIT.
 2. THREADLESS CONNECTORS ARE NOT ALLOWED.
 3. EMT CONDUIT CAN ONLY BE USED INSIDE.
 4. USE ONLY COMPRESSION TYP FITTINGS ON EMT CONDUIT.
 5. USE ONLY STRANDED CONDUCTORS FOR ALL ELECTRICAL WIRING. (EXCEPT TELCO AND THERMOSTAT)
 6. USE SCHEDULE 80 CONDUIT UNDER DRIVEWAYS AND/OR ANY VEHICLE CROSSING AREA.



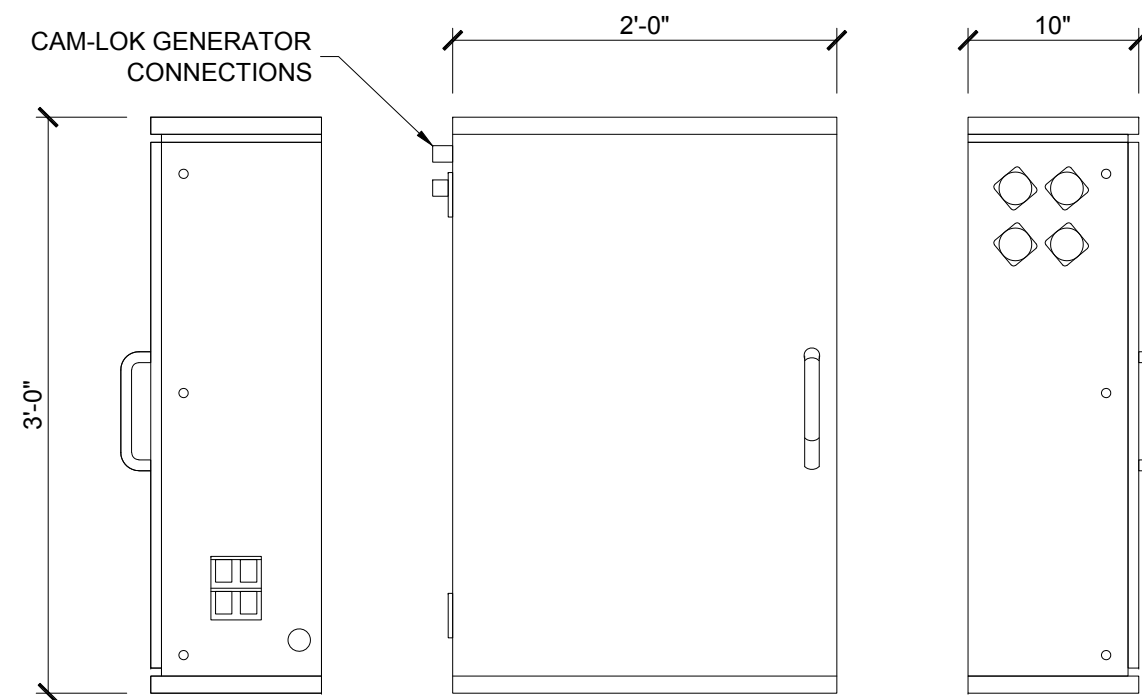
15 H-FRAME DETAIL
C2/C5 SCALE: N.T.S.



EQUIPMENT NOTES:

HEIGHTxWIDTHxDEPTH:	36.0" x 24.0" x 23.0" (914.4mm x 609.6mm x 584.2mm)
APPROX. WEIGHT:	50.0 LBS (22.67kg) WITHOUT EQUIPMENTS

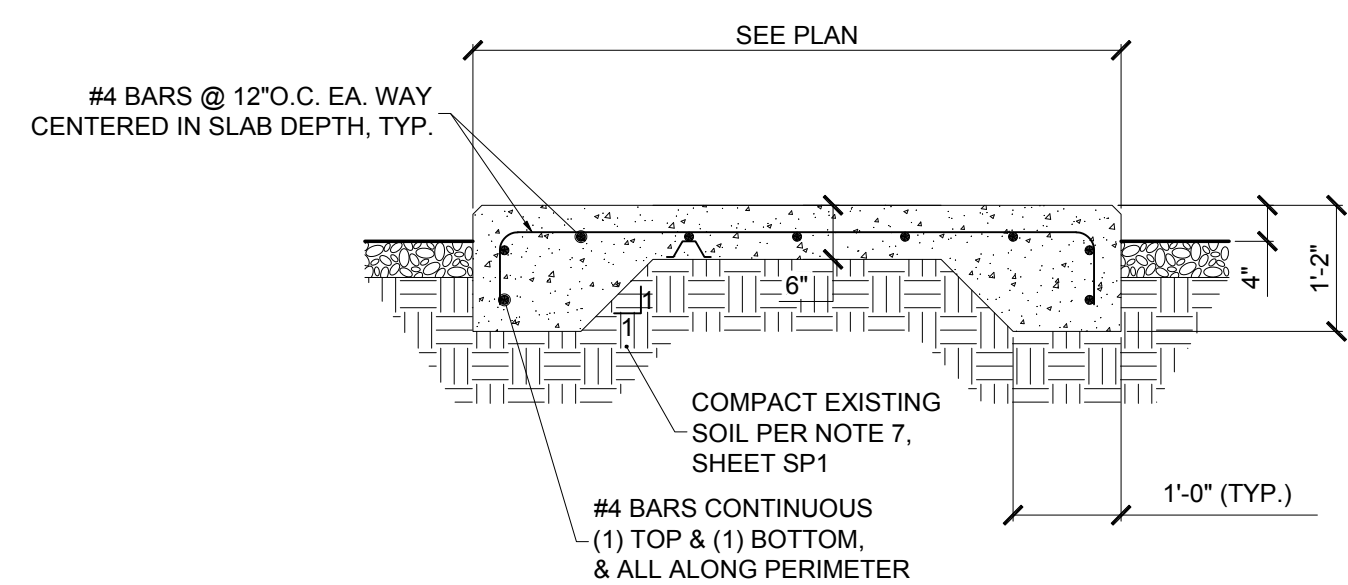
16 ELTEK TELCO CABINET
C2/C5 SCALE: 1" = 1'-0"



EQUIPMENT NOTES:

POWER CABINET DIMENSIONS:	36" x 24" x 10"
APPROXIMATELY	80 LBS
VOLTAGE:	120/240 VAC, SINGLE PHASE
AMPERAGE:	200A
FAULT CURRENT RATING:	22KAIC
MAIN BREAKERS:	200A SQUARE D, Q0 TYPE
TRANSFER TYPE:	SLIDE BAR MECHANICAL INTERLOCK
DISTRIBUTION:	24 POSITION, 200A LOAD CENTER
BRANCH BREAKERS:	20A BREAKER FOR GFCI OUTLET 15A BREAKER FOR TELCO CABINET FAN
GENERATOR RECEPTACLE:	CAMLOCK

17 ELTEK POWER CABINET (PPC)
C2/C5 SCALE: 1" = 1'-0"



18 EQUIPMENT CABINET CONCRETE PAD SECTION
C2/C5 SCALE: N.T.S.

PRELIMINARY
NOT FOR CONSTRUCTION

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DESIGNED BY:
J5 INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

PROJECT NAME:
DN90XCF56
NEW 49'-0" THREE-LEGGED TOWER
(OVERALL HEIGHT: 50'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:
1200 S TAFT HILL ROAD
FORT COLLINS, COLORADO 80521
LARIMER COUNTY

SHEET TITLE:
SECTIONS & DETAILS

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-

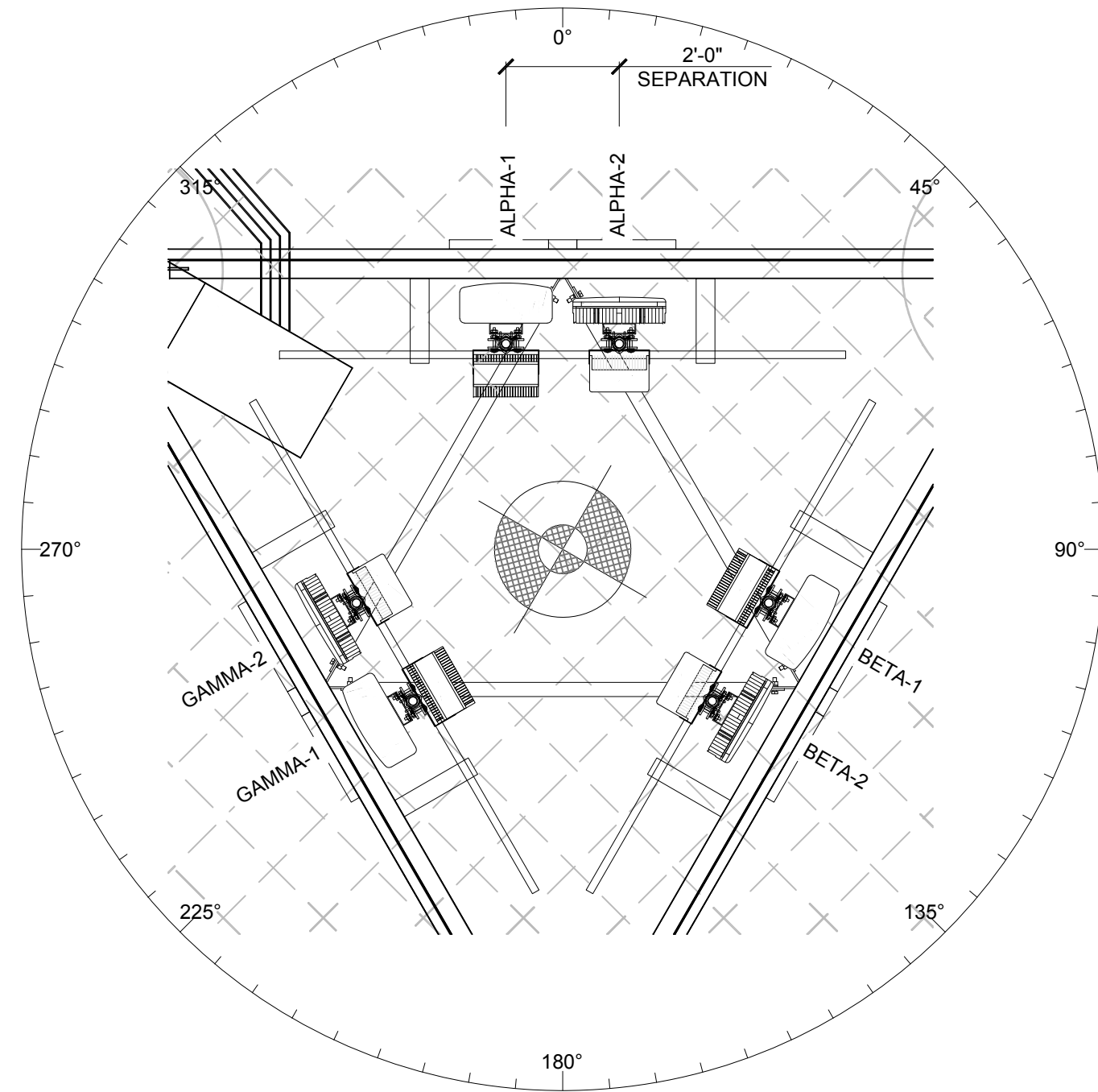
SAVE DATE: 10/22/2018 8:08 AM
SHEET NUMBER: C5

NEW SPRINT ANTENNA SCHEDULE:

ATTACH LEVEL (COR)	AZIMUTHS (DEG., MN)	ANTENNA TYPE	ANTENNA QUANTITY	MOUNT TYPE	COAX (QUANTITY) SIZE (NOMINAL)	ESTIMATED COAX CABLE LENGTH	MECHANICAL DOWN TILT	PIPE Ø (DxL)
45'-0"	0°	RFS APXVIBLL20X 43-C-120	3	SEE ANTENNA MOUNT SCHEDULE	(4) HYBRID CABLES (NEW)	SEE PLUMBING DIAGRAM	-	3.5'x96"
	120° 240°	7' PANEL ANTENNA SAMSUNG MMU 3' PANEL ANTENNA	3					

NOTES:

- FOR EXACT ANTENNA INFORMATION REFER TO THE RF DESIGN.
- ALL NEW COAX SHALL BE INSTALLED ON INSIDE OF NEW/EXISTING THREE-LEGGED TOWER (IF POSSIBLE).
- CONTRACTOR TO INSTALL DIPLEXERS IN SHELTER AND ON TOWER AS REQUIRED BY RF DESIGN (IF APPLICABLE).



ANTENNA SECTION @ 45'-0"
SCALE: N.T.S.



GENERAL ANTENNA NOTES:

- DUAL POLAR ANTENNAS REQUIRE TWO RUNS OF COAX PER ANTENNA.
- LENGTHS GIVEN ON THIS CHART ARE ESTIMATED FROM AVAILABLE INFORMATION.
- TYPES AND SIZES OF THE ANTENNA CABLES ARE BASED ON THE ESTIMATED LENGTH OF THE CABLES. CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE FIELD ENGINEER FOR VERIFICATION OF SIZES OF CABLES.
- CONTRACTOR TO PROVIDE AS BUILT FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION.
- CONTRACTOR TO PROVIDE FINAL CABLE LENGTHS AND RETURN LOSSES FOR ALL CABLES.
- ALL AZIMUTHS REFERENCE TRUE NORTH. CONSULT REQUIRED QUADRANGLE MAP FOR NECESSARY MECHANICAL DECLINATION.

NOTICE:

- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

PRELIMINARY
NOT FOR CONSTRUCTION

NEW HYBRID CABLE LENGTHS:

FROM (MAIN OVP) TO (MAIN OVP)				
MAIN TRUNK	SECTOR	CABLE/COAX SIZE (NOMINAL)	CABLE/COAX (QUANTITY)	ESTIMATED CABLE/COAX LENGTH
-	-	HYB 5X24	4	~75'
FROM (MAIN OVP) TO (RRH)				
RRH JUMPERS	ALPHA	HYB 1X1	1	~5'
		HYB 1X1	1	~5'
		HYB 1X1	1	~5'
	BETA	HYB 1X1	1	~5'
		HYB 1X1	1	~5'
		HYB 1X1	1	~5'
	GAMMA	HYB 1X1	1	~5'
		HYB 1X1	1	~5'
		HYB 1X1	1	~5'
FROM (RRH) TO (ANTENNAS)				
ANTENNA JUMPERS	ALPHA	1/2"Ø	8	CUT TO FIT
		1/2"Ø	8	CUT TO FIT
	BETA	1/2"Ø	8	CUT TO FIT
		1/2"Ø	8	CUT TO FIT

RRH HYBRID CABLE CHART
SCALE: N.T.S.

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DESIGNED FOR:



DESIGNED BY:



PROJECT NAME:

DN90XCF56
NEW 49'-0" THREE-LEGGED TOWER
(OVERALL HEIGHT: 50'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

1200 S TAFT HILL ROAD
FORT COLLINS, COLORADO 80521
LARIMER COUNTY

SHEET TITLE:

ANTENNA INFORMATION & RRH
HYBRID CABLE CHART

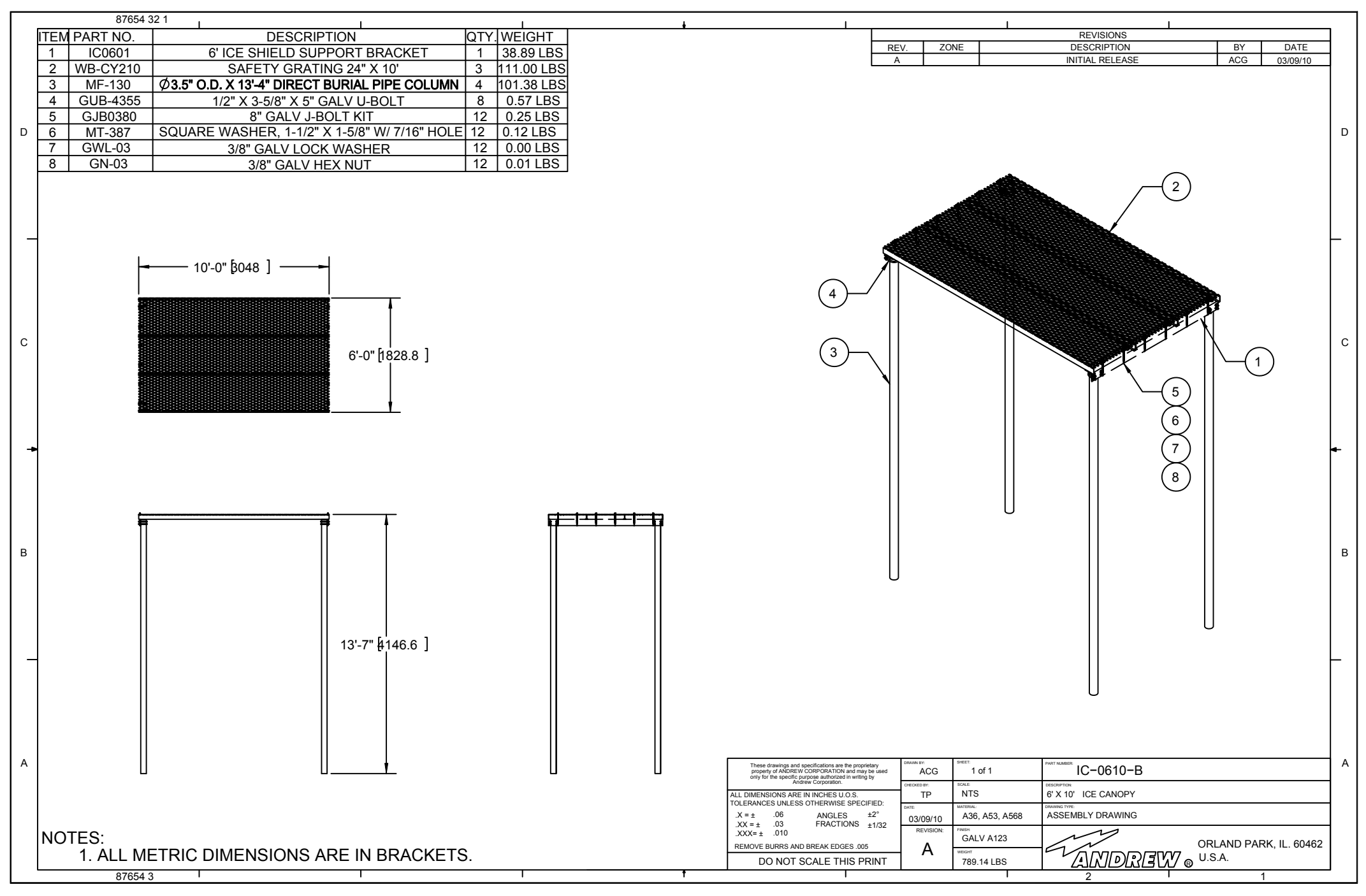
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A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-

SAVE DATE:

10/22/2018 8:08 AM

SHEET NUMBER:

RF1



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DESIGNED FOR:
PROJECT NAME: DN90XCF56
NEW 49'-0" THREE-LEGGED TOWER
(OVERALL HEIGHT: 50'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:
1200 S TAFT HILL ROAD
FORT COLLINS, COLORADO 80521
LARIMER COUNTY

SHEET TITLE:
ICE CANOPY DETAIL

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - NOT FOR CONSTRUCTION	10/22/18	MKR	-

SAVE DATE: 10/22/2018 8:08 AM SHEET NUMBER: RF2



EXISTING



PROPOSED



PHOTOSIMULATION INSTALL (6) PANEL ANTENNAS, (6) RRU'S INSIDE PROPOSED 50' THREE LEGGED TOWER





EXISTING



PROPOSED



PHOTOSIMULATION INSTALL (6) PANEL ANTENNAS, (6) RRU'S INSIDE PROPOSED 50' THREE LEGGED TOWER





EXISTING

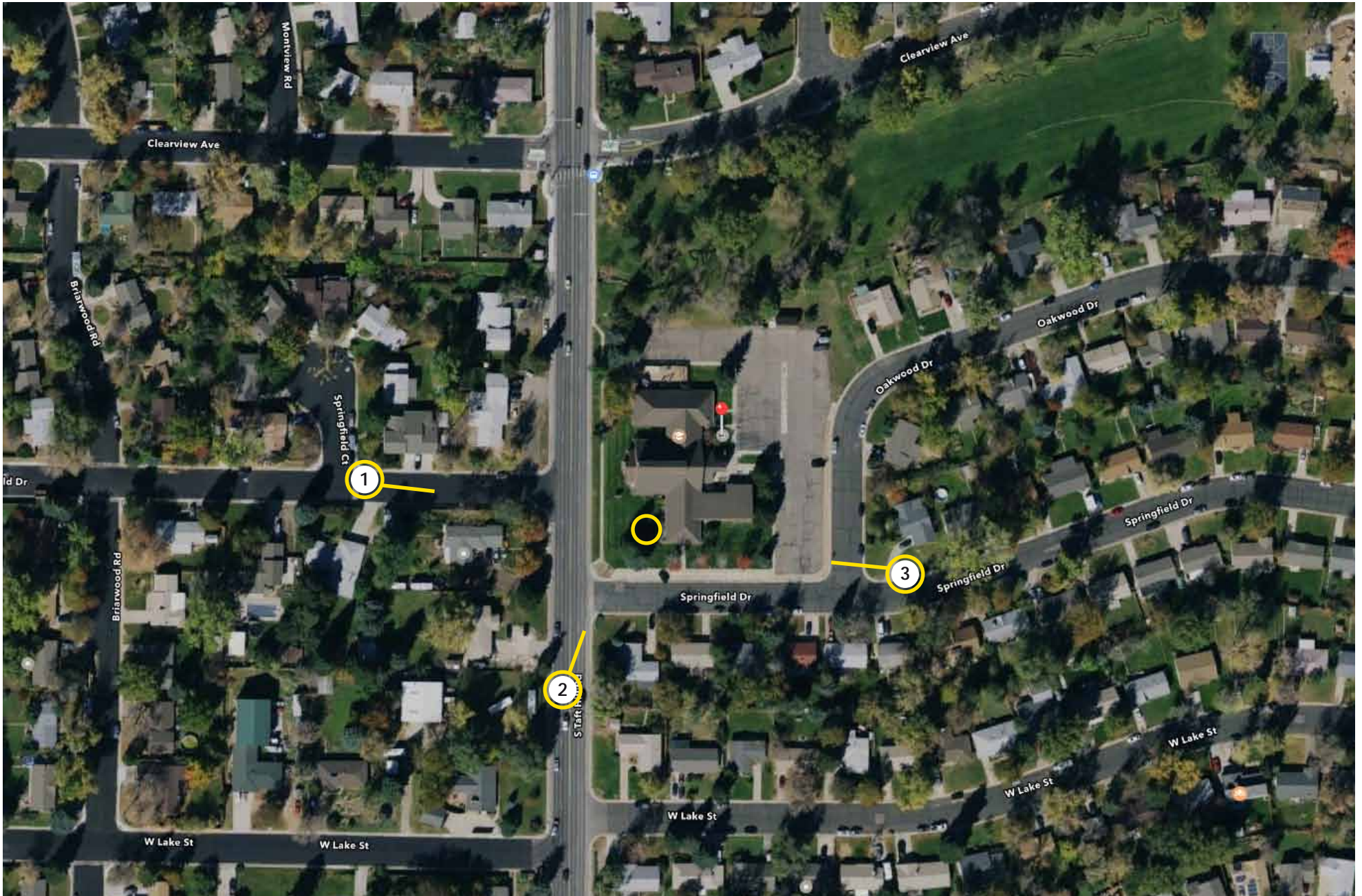


PROPOSED

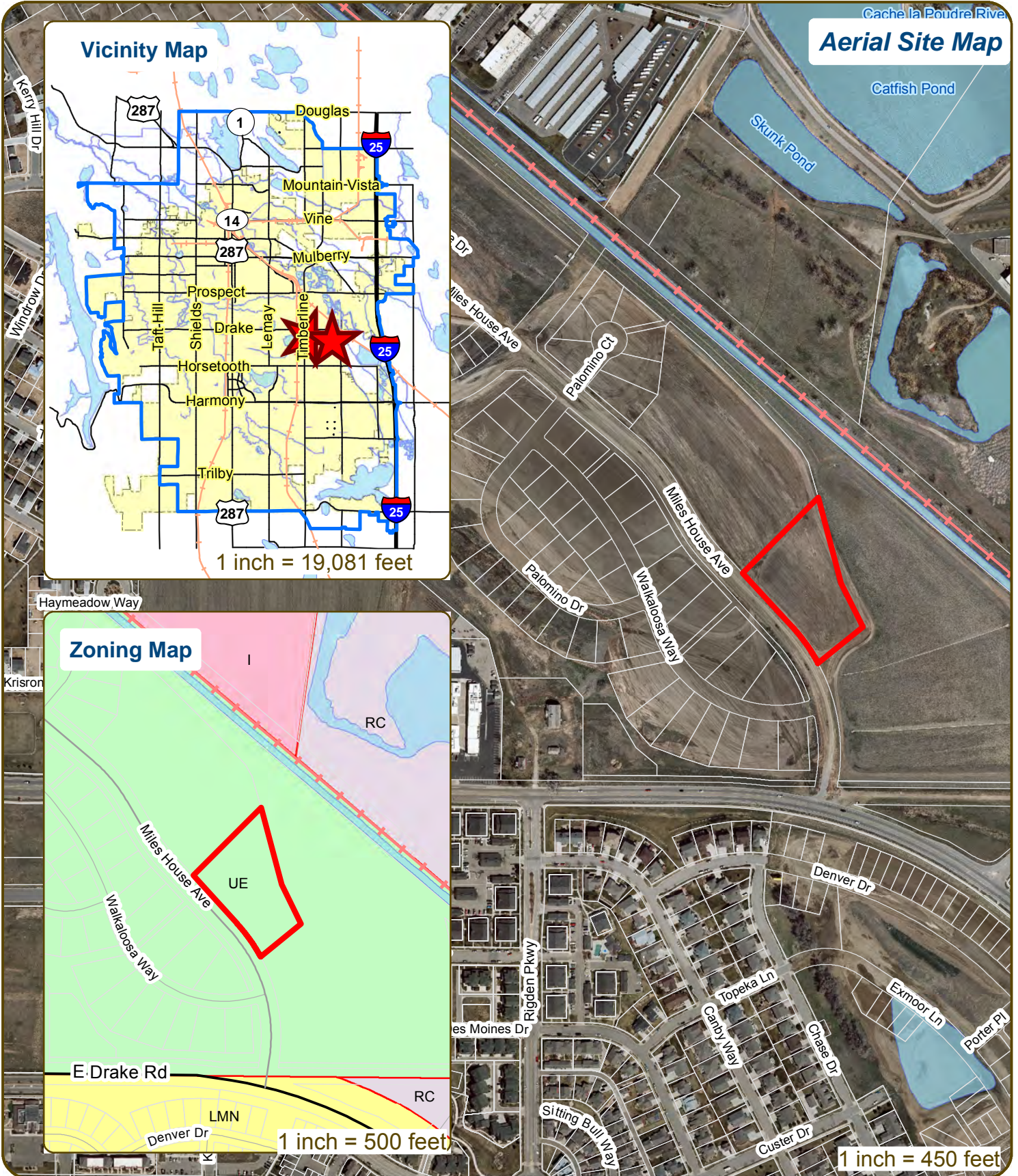


PHOTOSIMULATION INSTALL (6) PANEL ANTENNAS, (6) RRU'S INSIDE PROPOSED 50' THREE LEGGED TOWER





Sunshine House Early Learning Center



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed land development projects begin with Conceptual Review. Anyone with a land development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan or site plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Generally, Conceptual Review works best after a brief conversation with a representative from the Zoning or Planning Department to first establish compliance with the permitted uses under the applicable zone district. Then a sketch plan or site plan is prepared that allows staff to review and provide comments on the land development aspects of the proposal. Please be aware that any information submitted may be considered a public record, and may be made available to anyone who requests it, including the media. The applicant acknowledges that that they are acting with the owner's consent.

Conceptual Reviews are scheduled on three Thursday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are held each Thursday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 12:00pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from various City departments, including Community Development and Neighborhood Services (Zoning, Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Transportation Planning and Poudre Fire Authority. Staff provides the applicant with comments to assist in preparing the detailed formal project application. There is no approval or denial of development proposals associated with Conceptual Review. The applicant will receive the comment letter at the review meeting.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Business Name (if applicable) _____

Your Mailing Address _____

Phone Number _____ Email Address _____

Site Address or Description (parcel # if no address) _____

Description of Proposal (attach additional sheets if necessary) _____

Proposed Use _____ Existing Use _____

Total Building Square Footage _____ S.F. Number of Stories _____ Lot Dimensions _____

Age of any Existing Structures _____

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? Yes No If yes, then what risk level? _____

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodptains.

Increase in Impervious Area _____ S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

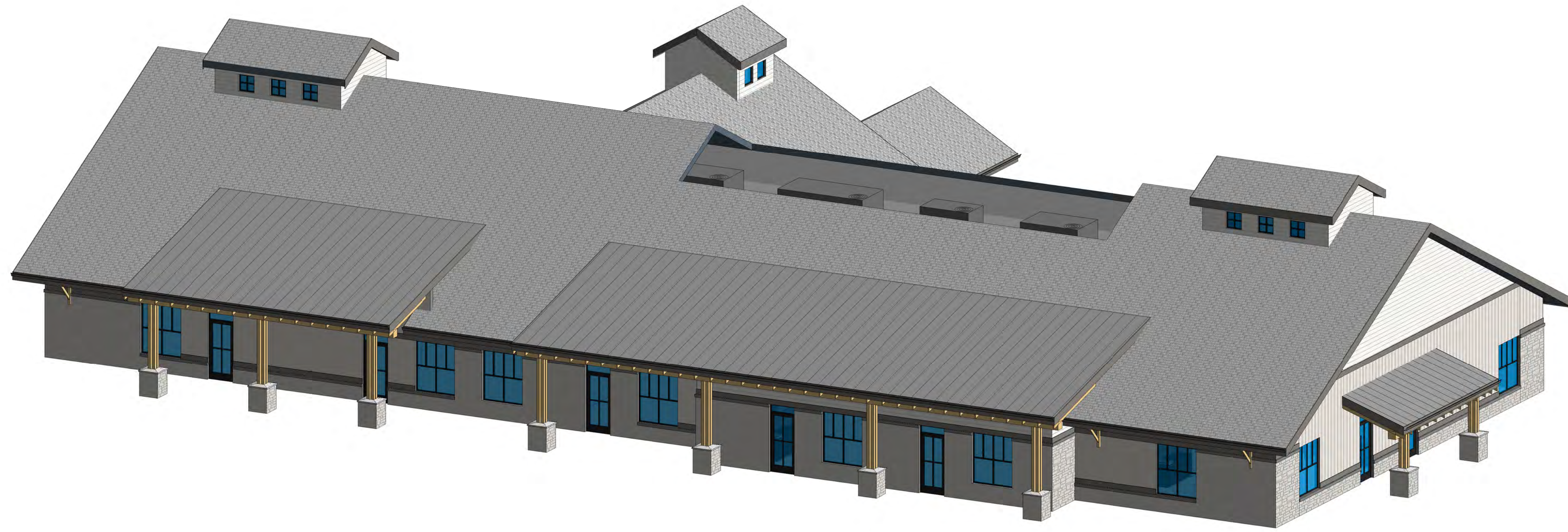
Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

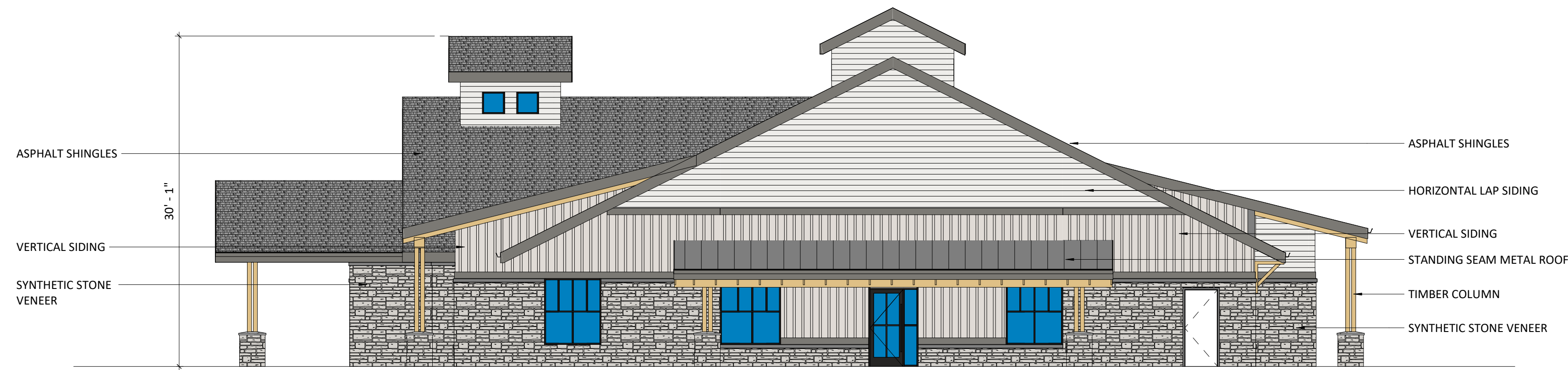


712 WHALERS WAY SUITE, B-100
FORT COLLINS, CO 80525
(970) 223-1820
www.alm2s.com

**SUNSHINE HOUSE
AT BUCKING HORSE
Fort Collins, CO.**



4
A4.1 **NE PERSPECTIVE**
SCALE:



1
A4.1 **EAST ELEVATION**
SCALE: 1/8" = 1'-0"



2
A4.1 **NORTH ELEVATION**
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

NO	ISSUE	DATE
PROJECT		1849
DATE		11/20/2018
DRAWN		KJB

BUILDING ELEVATIONS

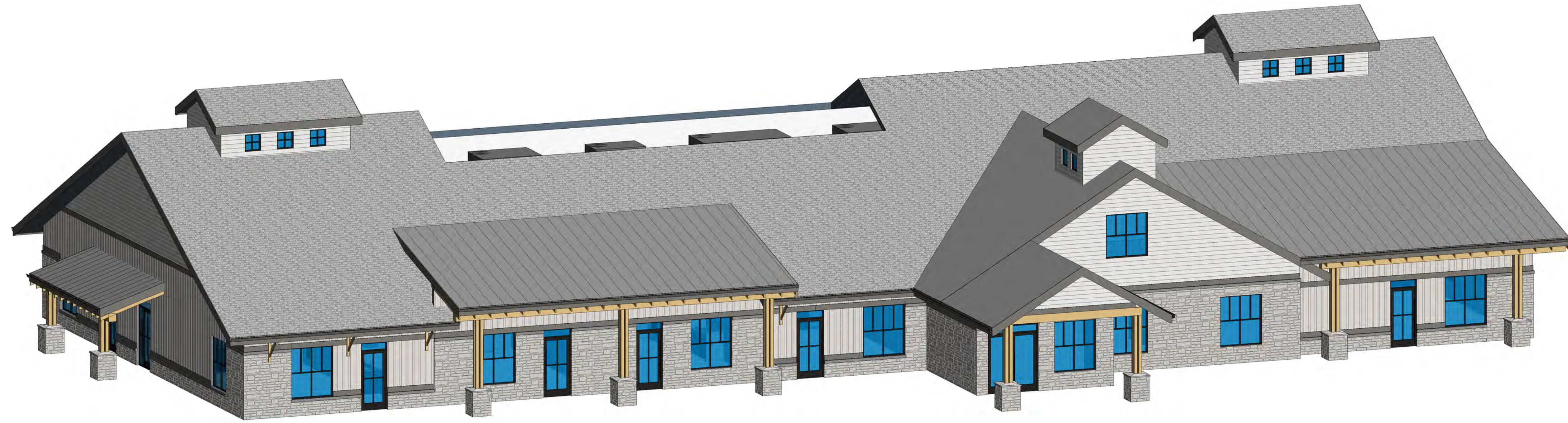
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© alm2s 2017
0 1/2 1 2"
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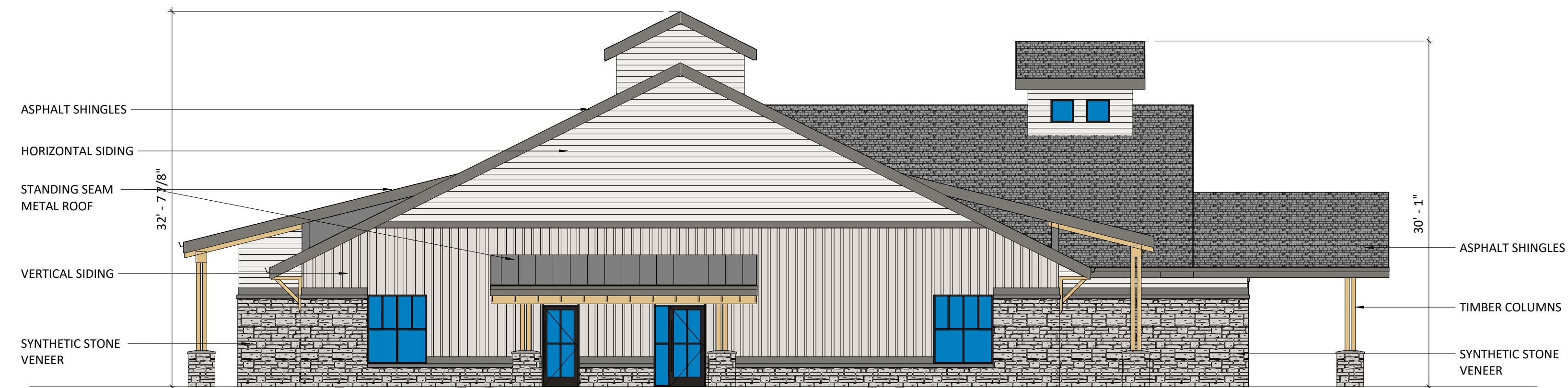


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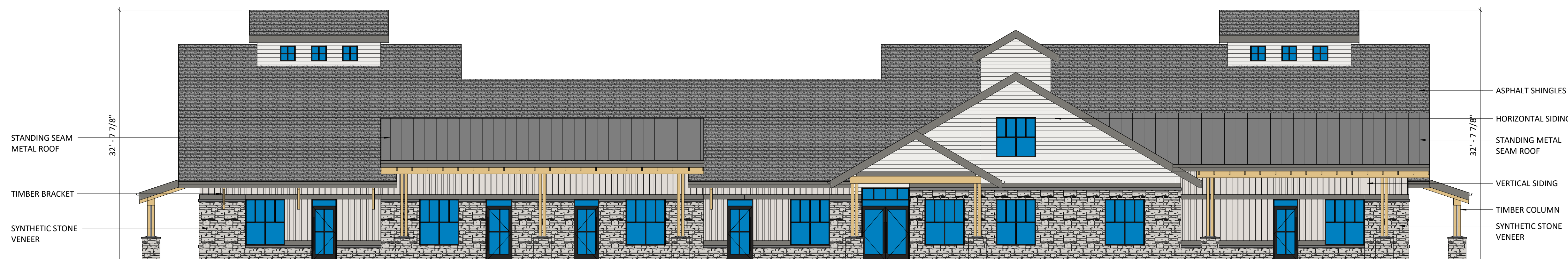
**SUNSHINE HOUSE
AT BUCKING HORSE
Fort Collins, CO.**



3 SW PERSPECTIVE
A4.2 SCALE:



2 WEST ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
A4.2 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

NO	ISSUE	DATE
PROJECT		1849
DATE		11/20/2018
DRAWN		KJB

BUILDING ELEVATIONS

A4.2

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0 1/2 1 2"
PRINTED 11/20/2018 4:25:55 PM
FILE NAME: 8000-17048-00-04

ORIGINAL NOTE FROM JOHNSON PROPERTY ODP MINOR AMENDMENT FEBRUARY 2003

JESSUP FARM WILL BE MAINTAINED AS A RURAL CHARACTER LIMITED TO USE PARCEL. FINAL SPECIFIC CONDITIONS AND COVENANTS WILL BE DETERMINED AT THE TIME OF SPECIFIC SITE PLAN. USES WILL BE LIMITED TO THE FOLLOWING PERMITTED USES IN THE INDUSTRIAL ZONE:

1. OFFICES, FINANCIAL SERVICES, AND CLINICS
2. MIXED USE DWELLING UNITS
3. ARTISAN PHOTOGRAPHY AND GALLERY/STUDIO
4. PLANT NURSERIES
5. VETERINARY FACILITIES AND SMALL ANIMAL CLINICS
6. BED AND BREAKFAST
7. CHILD CARE CENTER
8. EQUIPMENT RENTAL WITHOUT OUTDOOR STORAGE
9. RECREATIONAL USES

CURRENT APPROVED USES

- INDUSTRIAL AREA:**
1. OFFICES, FINANCIAL SERVICES, AND CLINICS
 2. MIXED USE DWELLING UNITS
 3. ARTISAN/ PHOTOGRAPHY AND GALLERY/STUDIO
 4. PLANT NURSERIES
 5. VETERINARY FACILITIES AND SMALL ANIMAL CLINICS
 6. BED AND BREAKFAST
 7. CHILD CARE CENTER
 8. EQUIPMENT RENTAL WITHOUT OUTDOOR STORAGE
 9. RECREATIONAL USES

LOW MIXED NEIGHBORHOOD

1. SINGLE FAMILY DETACHED
2. SINGLE FAMILY ATTACHED
3. MULTI-FAMILY
4. LIMITED RETAIL

URBAN ESTATE 'CLUSTER'

1. SINGLE FAMILY DETACHED

PROPOSED 'ADDITIONAL' USES (IN 'ADDITION' TO USES LISTED ON JOHNSON PROPERTY ODP MINOR AMENDMENT FEBRUARY 2003)

- INDUSTRIAL AREA:**
1. RETAIL
 2. AGRICULTURE ACTIVITIES
 3. FARMER'S MARKET/OPEN AIR MARKETS
 4. RESTAURANT STD.
 5. FOOD CATERING OR SMALL FOOD PRODUCT PREPARATION
 6. YOGA STUDIO (INDOOR RECREATION)
 7. SINGLE-FAMILY DETACHED

- LOW MIXED NEIGHBORHOOD**
1. MULTI-FAMILY WITH DENSITY CAP-NO GREATER THAN 14 DU/AC-23.5 AC + GREATER THAN 12 UNITS/BLDG + GREATER THAN 14,000 SF/BLDG

URBAN ESTATE

1. OFFICE - 2.5 AC
2. AGRICULTURAL ACTIVITIES - 14 AC

LEGEND

- RIGHT-IN RIGHT OUT INTERSECTION
- FULL MOVEMENT INTERSECTION
- PEDESTRIAN CIRCULATION
- ON-STREET BIKE LANES
- WATER TREATMENT BUFFER

OVERALL PROJECT SUMMARY					
TOTAL PARCEL	153.5 AC				
LAND USE SUMMARY					
ZONING	ACREAGE	DENSITY	UNITS	HEIGHT	TYPE
URBAN ESTATE CLUSTER	69.5 AC	2.0 DU/AC	139	20'	SINGLE FAMILY (DETACHED)
LOW MIXED NEIGHBORHOOD	60.5 AC	4.0-8.0 DU/AC	242-484	20'/3 STORIES	SINGLE FAMILY (DETACHED/ATTACHED) SINGLE FAMILY (DETACHED REAR LOADED) MULTI-FAMILY
INDUSTRIAL	13 AC	NA	NA	VARIES	NA
OPEN SPACE	8 AC				
COMMUNITY FARM	14 AC				
NEIGHBORHOOD PARK	2.5 AC				

NOTES:

1. JESSUP FARM ACTS AS A NEIGHBORHOOD CENTER BY COMBINING AT LEAST TWO (2) NONRESIDENTIAL USES AND AN OUTDOOR SPACE, WHICH TOGETHER PROVIDE A FOCAL POINT AND A YEAR-ROUND MEETING PLACE FOR A LOW DENSITY MIXED-USE NEIGHBORHOOD.
2. FOR THE URBAN ESTATE, LOW DENSITY MIXED-USE NEIGHBORHOOD AND INDUSTRIAL ZONE DISTRICTS, THE PROPOSED LAND USES AND DENSITIES SHOWN ON THIS O.D.P. ARE ESTIMATES OF DEVELOPMENT POTENTIAL. EXCEPT FOR EXISTING USES AND USES ALLOWED BY BASIC DEVELOPMENT REVIEW, APPROVAL OF THIS O.D.P. BY THE CITY DOES NOT CONSTITUTE FINAL APPROVAL OF LAND USES, DESIGN OR DENSITIES. ADDITIONS OF PERMITTED USE MAY BE GRANTED PER SECTION 1.3.4 BY A SPECIFIC ACTION OF THE PLANNING AND ZONING BOARD AND, IF SO GRANTED, ARE ELIGIBLE TO BE A PART OF A FUTURE SITE SPECIFIC DEVELOPMENT PLAN. ALL OTHER PERMITTED USES WITHIN EACH RESPECTIVE ZONE DISTRICT MUST BE APPROVED ACCORDING TO THE PROCEDURES, PROCESSES, AND CRITERIA OF A PROJECT DEVELOPMENT PLAN AND FINAL PLAN AND DO NOT REQUIRE AN AMENDMENT TO THIS O.D.P.

OWNER'S CERTIFICATION
THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNER/S OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER (SIGNED) _____ DATE _____

OWNER (SIGNED) _____ DATE _____

(STATE OF _____))
(COUNTY OF _____))SS

SUBSCRIBED AND SWORN TO BE BEFORE THIS _____ DAY OF _____ 20____
BY WITNESS MY HAND AND OFFICIAL SEAL.

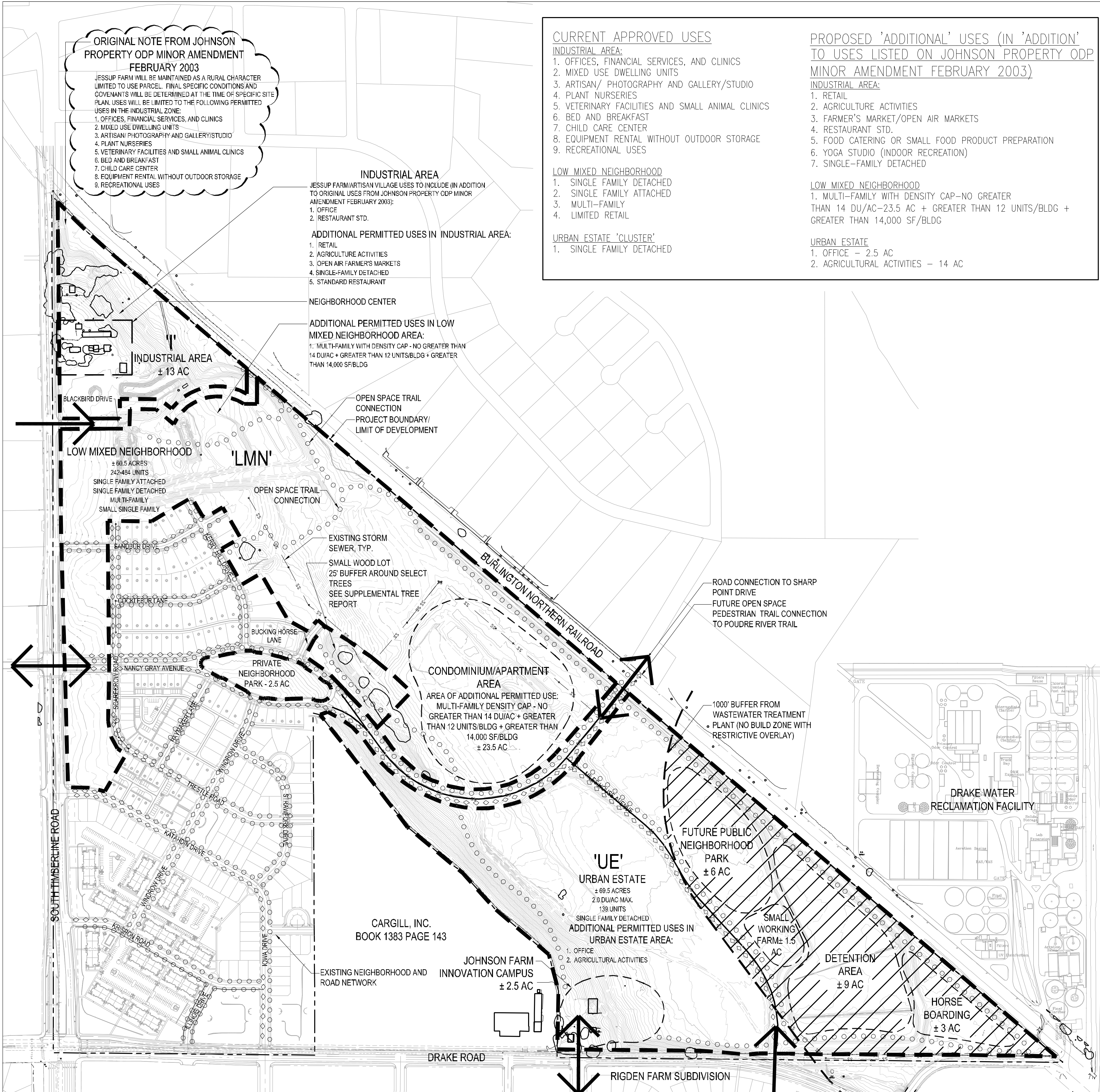
NOTARY PUBLIC _____

ADDRESS _____

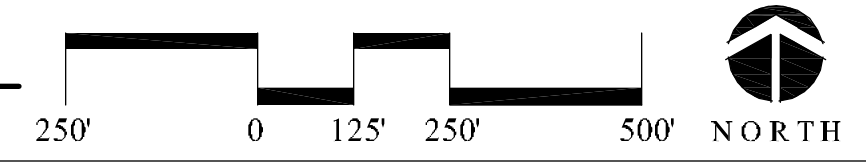
MY COMMISSION EXPIRES _____

DIRECTOR OF CURRENT PLANNING
APPROVED BY THE CURRENT DIRECTOR OF PLANNING OF THE CITY OF FORT COLLINS, COLORADO, THIS _____ OF _____, 20____

DIRECTOR OF CURRENT PLANNING _____



OVERALL DEVELOPMENT PLAN
SCALE: 1"=250'-0"



REV.	COMMENT	DATE

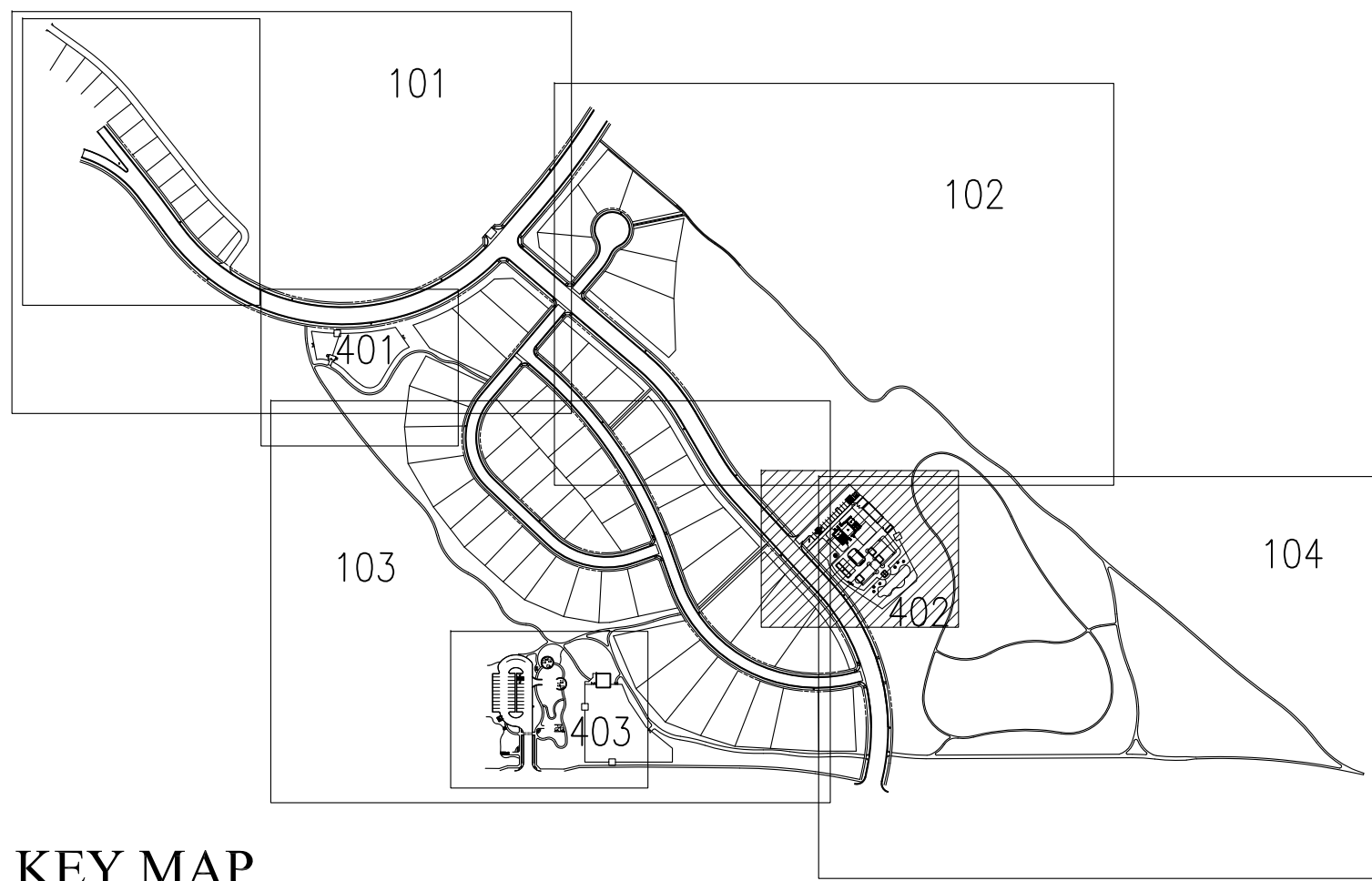
BELLISIMO, INC.
BELLISIMO, INC.
3702 Mannington Ave., Suite 201
Fort Collins, CO 80526
970-229-5900

russell+mills studios
141 S. College Ave., Suite 104
Fort Collins, CO 80524
p: 970-484-8855
www.russellmillsstudios.com

BUCKING HORSE
OVERALL DEVELOPMENT PLAN
MAJOR AMENDMENT

Date: 5/30/2012
Drawn By: JB/JS
Checked By: CR/PM

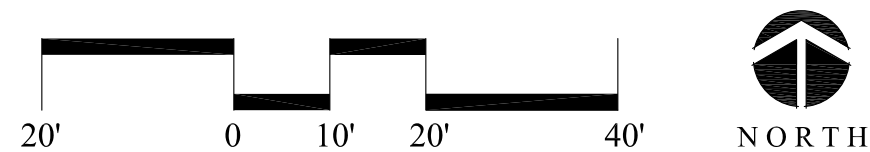
Sheet
ODP



KEY MAP

SITE LEGEND:

- STANDARD GRAY CONCRETE- 4" THICKNESS
- STANDARD GRAY CONCRETE- 6" THICKNESS
- FLAGSTONE
- CRUSHER FINES
- BUCKING HORSE BOUNDARY
- R.O.W. (BACK OF SIDEWALK)
- LOT LINE
- EASEMENT
- 1,000 FT WATER TREATMENT FACILITY BUFFER
- FUTURE CITY PARK AREA
- FENCE
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- TRASH ENCLOSURE
- PICNIC TABLES
- BENCH
- TRASH/RECYCLING RECEPTACLE
- BIKE RACK



PARKING FOR WORKING FARM TO BE SHARED WITH FUTURE PUBLIC NEIGHBORHOOD PARK
 PARKING AREA (35) 10'x20' SPACES
 (2) 10'x20' HANDICAP ACCESSIBLE



- ENTRY SIGN
- ENTRANCE GATE
- BIKE PARKING (4)
- SILO
- STONE WALL

- FURNITURE SCHEDULE
- MILES HOUSE AVENUE FENCE
- STANDARD COMMUNITY FENCE

ASPHALT PAVEMENT

TRASH ENCLOSURE

MANURE BIN (CONCRETE)

HAY STORAGE

BARN

EXTRA PEN

STANDARD COMMUNITY FENCE

CONCRETE PAVEMENT

ACCESS ROAD

STANDARD COMMUNITY FENCE

- FENCE
- PICNIC AREA
- DUCK POND
- 15'x15' SHELTER

REV.	COMMENT	DATE

BUCKING HORSE

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 Fort Collins, CO 80526
 970-229-5900

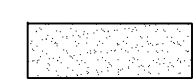
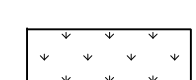
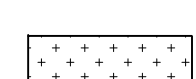
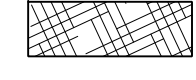
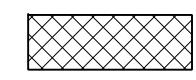


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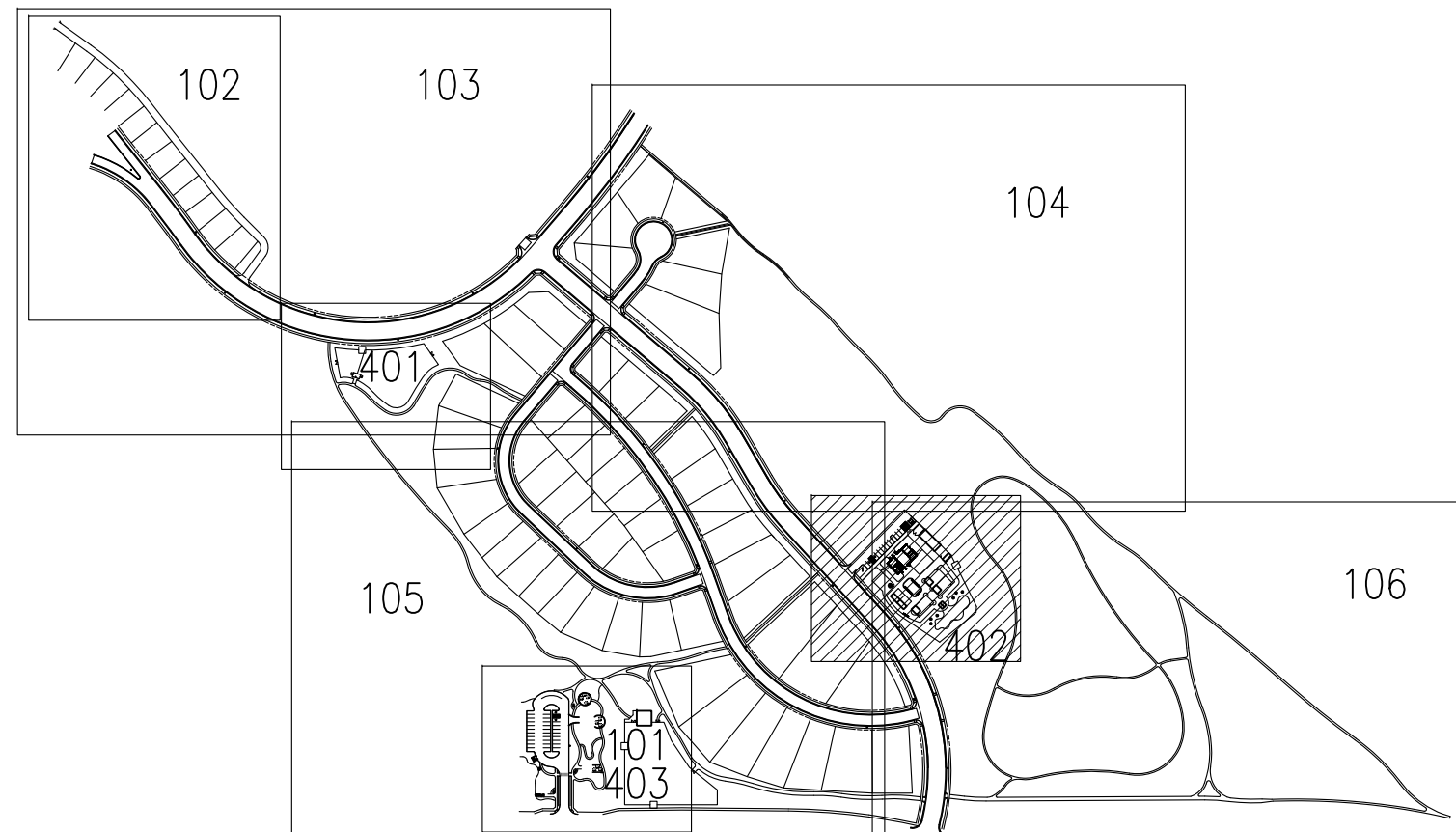
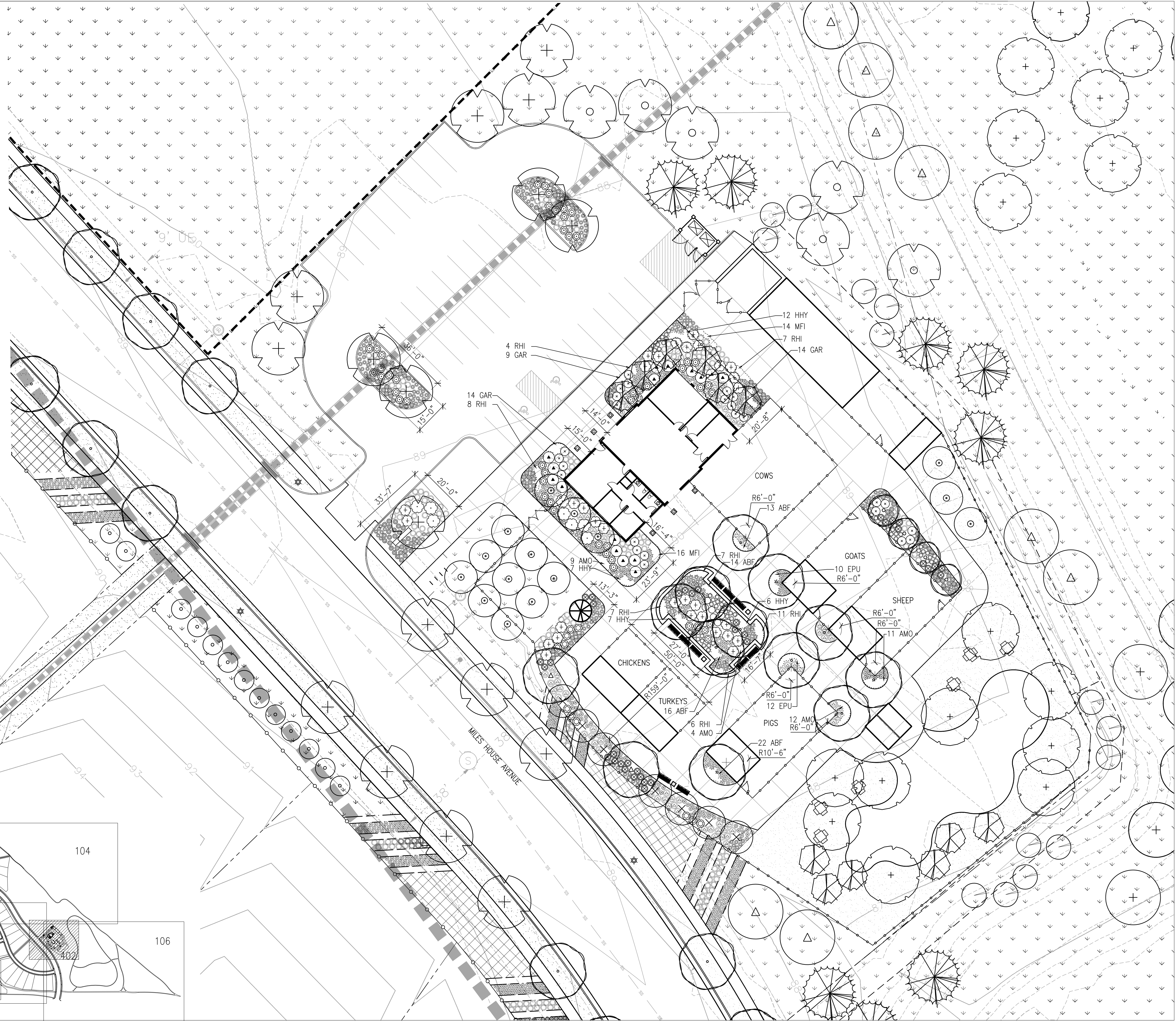
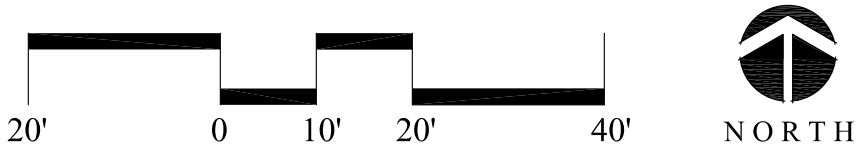
BUCKING HORSE FILING TWO
WORKING FARM SITE PLAN
 FINAL DEVELOPMENT PLAN

Date: DEC 14, 2012
 Drawn By: SL
 Checked By: CR

Sheet
LS402

LANDSCAPE LEGEND:

-  TURF MASTER 'ENVIROTURF'
(HYDROZONE - MODERATE)
-  SEED MIX 'A'
23% - BLUE GRAMA
10% - BUFFALO GRASS
20% - GREEN NEEDLEGRASS
20% - SIDE OATS GRAMA
10% - WESTERN WHEATGRASS
2% - SAND DROPSSEED
10% - INDIAN RICEGRASS
5% - NEEDLE AND THREADGRASS
-  SEED MIX 'B'
25% - ALKALI SACATON
25% - BLUEJOINT REEDGRASS
5% - PRAIRIE CORDGRASS
25% - SWITCHGRASS
10% - WESTERN WHEATGRASS
10% - NEBRASKA SEDGE
-  SEED MIX 'C'
22% - ALKALI SACATON
12% - AMERICAN MANNAGRASS
7% - PRAIRIE CORDGRASS
29% - SWITCHGRASS
10% - NEBRASKA SEDGE
3% - ALKALI BULRUSH
6.7% - OLNEY THREESQUARE
10.3% - SOFTSTEM BULRUSH
-  CORN (SUMMER PLANTING)
WINTER WHEAT (WINTER PLANTING)
-  MITIGATION TREE - 17 TOTAL
CANOPY SHADE TREES: 3" CALIPER
-  VEGETATIVE FILTER STRIPS



KEY MAP

REV.	COMMENT	DATE

BUCKING HORSE

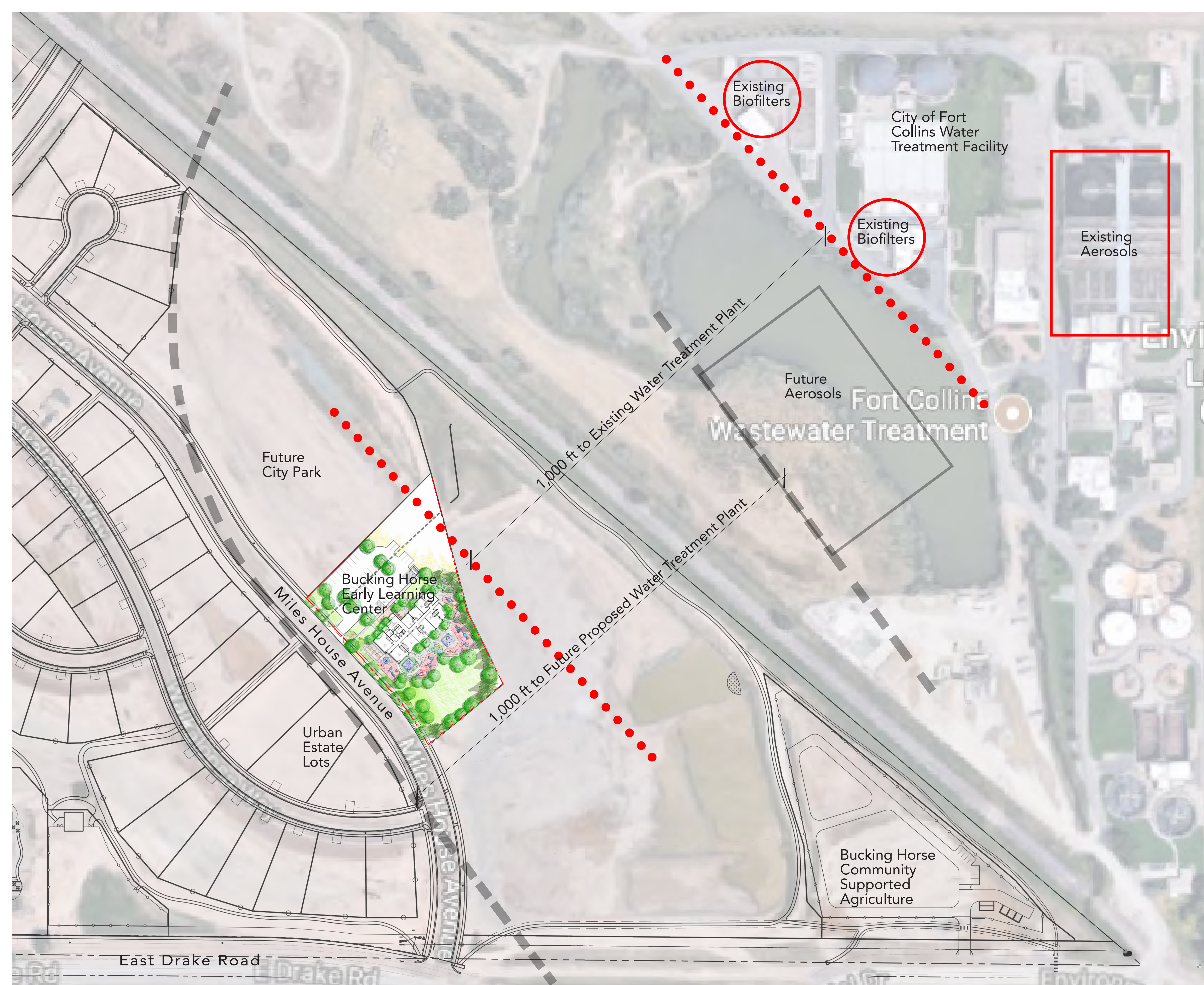
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BUCKING HORSE FILING TWO
WORKING FARM LANDSCAPE PLAN
FINAL DEVELOPMENT PLAN

Date: DEC 14, 2012
Drawn By: SL
Checked By: CR

Sheet
LP402



Requirements from FC Utilities for Development:

- (1) That the applicant shall acknowledge that the proposed development is located next to a wastewater treatment works;
- (2) That the minimum mitigation required shall include large continuous shrub beds around the facility building and outside play areas and installation of large evergreen and deciduous trees to create a vegetative buffer from odor and aerosol drift from the wastewater treatment facility;
- (3) That the applicant shall acknowledge that operation of the wastewater treatment facility may occasionally result in odors that may be detected by inhabitants of structures within the buffer;
- (4) That the applicant shall acknowledge that future expansion of the wastewater treatment facility may result in a further reduction of the 1000' buffer; and
- (5) That the applicant, and its successors and assigns, shall inform all future tenants of the building about these mitigation provisions.

Legend:

- - - - - Property line (109,089 sf / 2.5 ac)
- ● ● ● Current 1,000' Water Treatment Plant buffer
- Current Water Treatment Facilities
- Future 1,000' Water Treatment Plant buffer (based off of future expansion of facility - part of Filing 4 document set)
- Future Water Treatment Facilities





Land Use Code Requirements:

Existing Zone District:
Urban Estates

Permitted Uses:
Child Care Centers

Vehicle Parking: whichever requires the greatest number of parking spaces

- 1 parking space / 4 seats (176 kids) = 44 spaces
- 2 parking spaces / 3 employees (25 staff) = 17 spaces
- 1 parking space / 1,000 SF of floor area (11,000 SF) = 11 spaces

Bike Parking:
1/3,000 sf (minimum of 4), 100% fixed = 4

Outdoor Play Area:
(more than 15 children) 75 sf/child for 33% of the child capacity of the center

Capacity = 176 children
33% = 58 children
Outdoor play area required = 4,350 SF

Fencing:
Fencing shall be 6' height chain link fence with vegetation screening, densely planted.

Legend:

- - - - - Property lot line (109,089 sf / 2.5 ac)
- 1,000' Water Treatment Plant buffer (based off of future expansion of facility - part of Filing 4 document set)
- 1,000' Water Treatment Plant buffer (based off of current facility)

